



DFCM Addendum No. 1

Date: January 25, 2021

To: Pre-Qualified General Contractors

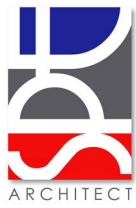
From: Lucas Davis – DFCM Project Manager

Reference: Ogden Bay WMA Office Building Addition
Division of Wildlife Resources – Hooper, Utah
DFCM Project No. 204195200 U3P Sourcing Event MW21013

	<u>Pages</u>
Content: Addendum Cover Page	1
Architect's Addendum No. 01	<u>17</u>
Total Pages	18

Note: This Addendum shall be included as part of the Contract Documents. Items in this Addendum apply to all drawings and specification sections whether referenced or not involving the portion of the work added, deleted, modified, or otherwise addressed in the Addendum. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to Disqualification.

- 1.1 SCHEDULE CHANGES:** There are no Project Schedule changes within this addendum.
- 1.2 GENERAL ITEMS:** See attached Architect's Addendum No. 01 dated January 25, 2021.



1/25/21

Project:

Ogden Bay WMA Office Building Addition

4786 South 7500 West

Hooper, Utah 84315

Addendum #01

The data included herein is issued by the Architect as a clarification and addition to drawings, specifications, and contract documents relative to the above project. Except as effected by data herein, all other parts of the Contract Documents shall remain in full force and effect as issued by the Owner, **8/17/20**. (This Date Applies to all Project Bid Documents). It shall be the sole responsibility of the bidder to appropriately disseminate this data to all concerned prior to the assigned bid date and time. **Receipt of the addendum shall be recorded by the bidder in the appropriate space on the proposal form included in the Contract Documents.**

I. GENERAL

Item #01 – Architectural Prior Approvals

The following manufacturers, trade names and products are allowed to bid on a name-brand-only basis with the provision that they completely satisfy every requirement of the drawings, specifications and all addenda and shall conform to the design, quality and standards specified, established and required for the complete and satisfactory installation and performance of the building and all its respective parts.

PRODUCT	MANUFACTURER	STATUS
Aluminum Storefront Systems	Manko	Approved
Underslab Vapor Barrier – Viper Vaporcheck II	ISI Building Products	Approved

Item #02 – Geotechnical Report

Q: Do you know what the soils conditions are?

A: The Geotech report can be found in the specifications in Division 2 – 023200 Geotechnical Study.

II. ARCHITECTURAL

Item #01 – Sheet Vinyl

Q: What is the sheet vinyl? It has not been called out in the spec or the roof finish legend.

A: From the State Contract, provide Mohawk Group, Healthy Environments Resilient, Geomorphic, in 12' goods. Heat weld any seams and coved corners. Architect may select from the full range of colors. The intent is that a single sheet will be installed with no secondary colors or patterns.

Item #02 – Missing Detail

Q: Keynote 1 of AE 102 references C4/AE501. This detail doesn't exist. Can you please add this detail?

A: Reference detail A3/AE-508 of the current drawing set in lieu of the detail called out in the keynote.

Item #03 – Ashford Formula

Q: There is no call out on the plans for the Ashford Formula cure-seal-hardener, but it is called out in the spec. Do we need to include this in our bid?

A: There will be no requirement for the Ashford Formula. Delete all reference to this being required.

III. CIVIL

Item #01 – Trench Drain

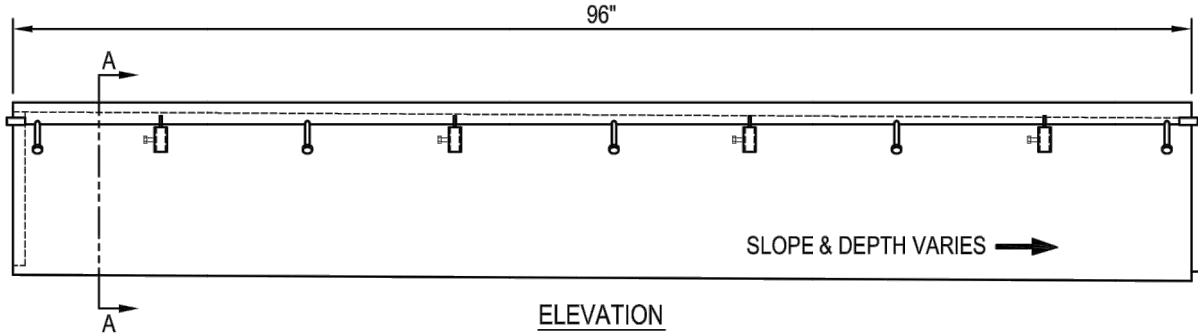
Q: Will you please provide a specification for the trench drain?

A: Provide the attached trench drain or equal. Coordinate with adjacent concrete flatwork.

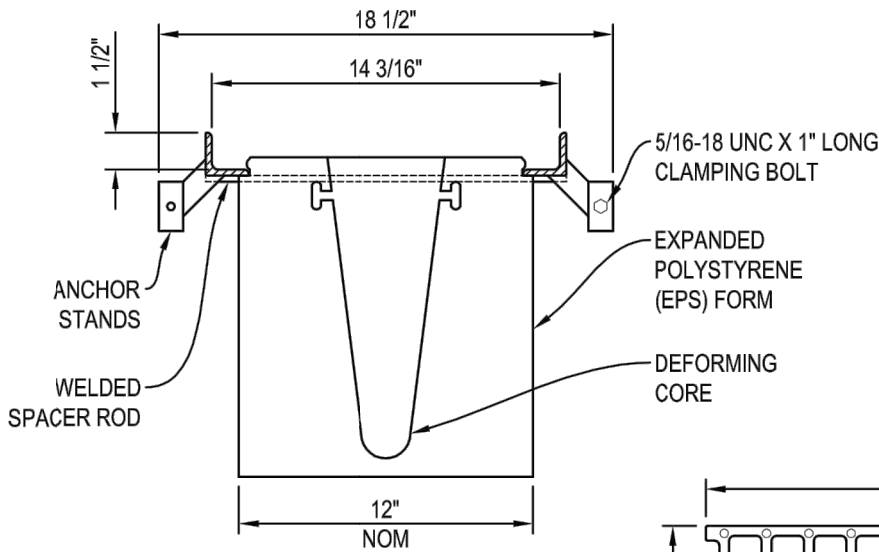


We Drain Your Site, Not Your Budget!

MULTIDRAIN SYSTEMS, INC.
 1405 INDUSTRIAL DRIVE
 STATESVILLE, NC 28625
 TOLL FREE: 1-800-433-1119
 PHONE: (704) 508-1010
 FAX: (704) 508-1011
 www.multidrain.com



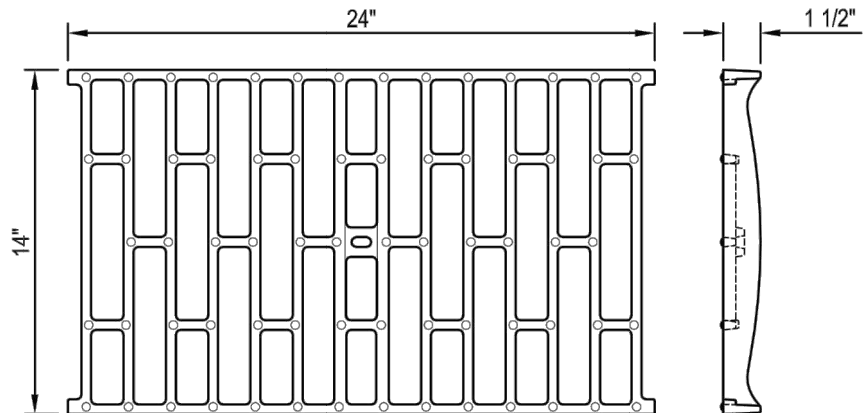
ELEVATION
DO NOT SCALE



SECTION A-A
DO NOT SCALE

FINISH SPECIFICATION
 GRATE FRAME: BLACK PAINT - STANDARD
 HOT DIP GALVANIZE - OPTIONAL
 STAINLESS STEEL - OPTIONAL
 CAST GRATE : BLACK PAINT - STANDARD
 HOT DIP GALVANIZE - OPTIONAL

67% OPEN AREA
 112 SQUARE INCHES PER LINEAR FOOT



DUCTILE IRON GRATE: #EG-1424-1DI-A2P
 AASHTO M306 - H20 & HS25
 (INSTALLED AFTER REMOVAL OF EPS FORM)

NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
2. DO NOT SCALE DRAWINGS.

SD-2 EconoDrain® Series #12
CE-601 SLOTTED DUCTILE IRON GRATE (STANDARD)

IV. STRUCTURAL

See attached.



STRUCTURAL ADDENDUM #1

Project: Ogden Bay WMA Office Building

Location: Hooper, Utah

By: Jeremy Achter, S.E.

Project No: 20005

Date: January 22, 2021

The following narrative explains the structural items issued as part of this Addendum to the structural drawings dated 01/22/2021. All items that have been changed or modified from the original set are clouded on the enclosed sheets:

Also, in response to the sourcing event question submission:

Question- "Can the anchor bolts for the sill plate and hold downs be wet set or do they need to be secured in place prior to pouring foundation walls?"

Answer- Please refer to structural note F.3 on sheet S001 and note K.8 on S002. Wet-setting of cast-in anchors is not permitted per the 2018 IBC.

S101: -Hold down callouts have been revised.

S102: -The 2x12 blocking indicated for the middle roof portion, between gridlines 2 and 3, was missing the graphic representation extending the full width of the roof. On the revised attached S102, it has been graphically represented.

-Wood Framing note 9 has been revised.

S203: -Detail 6 has been revised to correct the anchor bolt sizes.

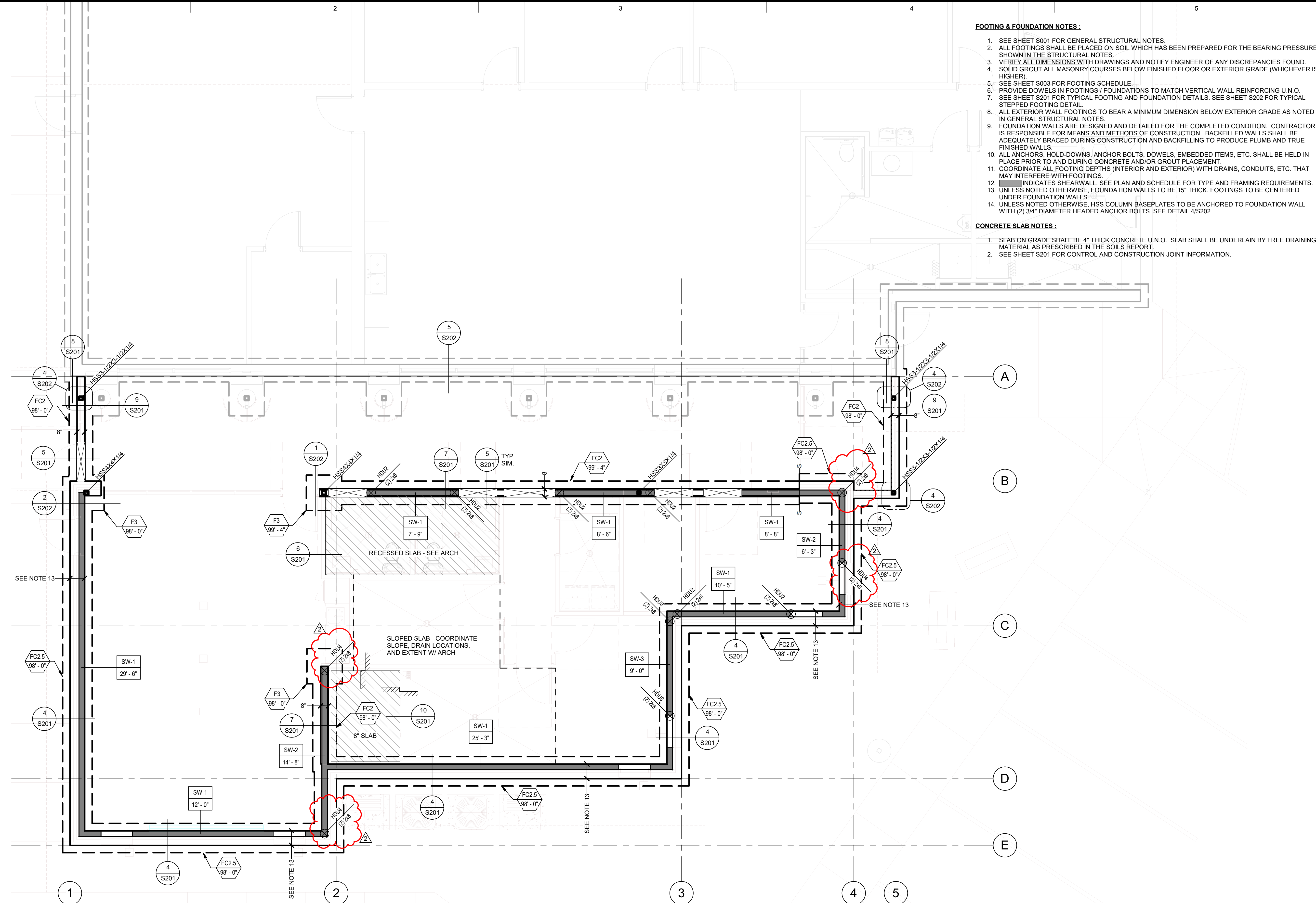
This concludes the structural items in this Addendum.

Copy to: Jason Evans, Scott Evans; Scott P. Evans Architect & Associates, P.C.

Filing: Project File Other
20005_add01_20210122

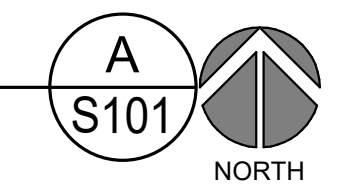
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BM 300/19-55 Ogden Bay WMA Office Building/ARW - Ogden Bay WMA Office Building - v20.rvt



- FOOTING & FOUNDATION NOTES:**
- SEE SHEET S001 FOR GENERAL STRUCTURAL NOTES.
 - ALL FOOTINGS SHALL BE PLACED ON SOIL WHICH HAS BEEN PREPARED FOR THE BEARING PRESSURE SHOWN IN THE STRUCTURAL NOTES.
 - VERIFY ALL DIMENSIONS WITH DRAWINGS AND NOTIFY ENGINEER OF ANY DISCREPANCIES FOUND.
 - SOLID GROUT ALL MASONRY COURSES BELOW FINISHED FLOOR OR EXTERIOR GRADE (WHICHEVER IS HIGHER).
 - SEE SHEET S003 FOR FOOTING SCHEDULE.
 - PROVIDE DOWELS IN FOOTINGS / FOUNDATIONS TO MATCH VERTICAL WALL REINFORCING U.N.O.
 - SEE SHEET S201 FOR TYPICAL FOOTING AND FOUNDATION DETAILS. SEE SHEET S202 FOR TYPICAL STEPPED FOOTING DETAIL.
 - ALL EXTERIOR WALL FOOTINGS TO BEAR A MINIMUM DIMENSION BELOW EXTERIOR GRADE AS NOTED IN GENERAL STRUCTURAL NOTES.
 - FOUNDATION WALLS ARE DESIGNED AND DETAILED FOR THE COMPLETED CONDITION. CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION. BACKFILLED WALLS SHALL BE ADEQUATELY BRACED DURING CONSTRUCTION AND BACKFILLING TO PRODUCE PLUMB AND TRUE FINISHED WALLS.
 - ALL ANCHORS, HOLD-DOWNS, ANCHOR BOLTS, DOWELS, EMBEDDED ITEMS, ETC. SHALL BE HELD IN PLACE PRIOR TO AND DURING CONCRETE AND/OR GROUT PLACEMENT.
 - COORDINATE ALL FOOTING DEPTHS (INTERIOR AND EXTERIOR) WITH DRAINS, CONDUITS, ETC. THAT MAY INTERFERE WITH FOOTINGS.
 - INDICATES SHEARWALL. SEE PLAN AND SCHEDULE FOR TYPE AND FRAMING REQUIREMENTS.
 - UNLESS NOTED OTHERWISE, FOUNDATION WALLS TO BE 15" THICK. FOOTINGS TO BE CENTERED UNDER FOUNDATION WALLS.
 - UNLESS NOTED OTHERWISE, HSS COLUMN BASEPLATES TO BE ANCHORED TO FOUNDATION WALL WITH (2) 3/4" DIAMETER HEADED ANCHOR BOLTS. SEE DETAIL 4/S202.
- CONCRETE SLAB NOTES:**
- SLAB ON GRADE SHALL BE 4" THICK CONCRETE U.N.O. SLAB SHALL BE UNDERLAIN BY FREE DRAINING MATERIAL AS PRESCRIBED IN THE SOILS REPORT.
 - SEE SHEET S201 FOR CONTROL AND CONSTRUCTION JOINT INFORMATION.

FOOTING AND FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



ARCHITECT'S INFORMATION:

SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
P.O. Box 517
Kaysville, Utah 84037
T 801.298.1368
info@spe-architect.com
www.spe-architect.com

PROFESSIONAL STAMP:

CODE OFFICIAL STAMP:

PROJECT NAME:

OGDEN BAY WMA OFFICE BUILDING

4786 S 7500 W., HOOPER, UT 84315

REVISIONS:

NO.	DATE	DESCRIPTION
1	08/17/20	CONSTRUCTION BID SET
2	10/22/21	ADD R01

ISSUED:

NO.	DATE	DESCRIPTION
1	08/17/20	CONSTRUCTION BID SET

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SPE PROJECT #: 19-55
DRAWN BY: ZT
CHECKED BY: JA
DESIGNED BY: TP

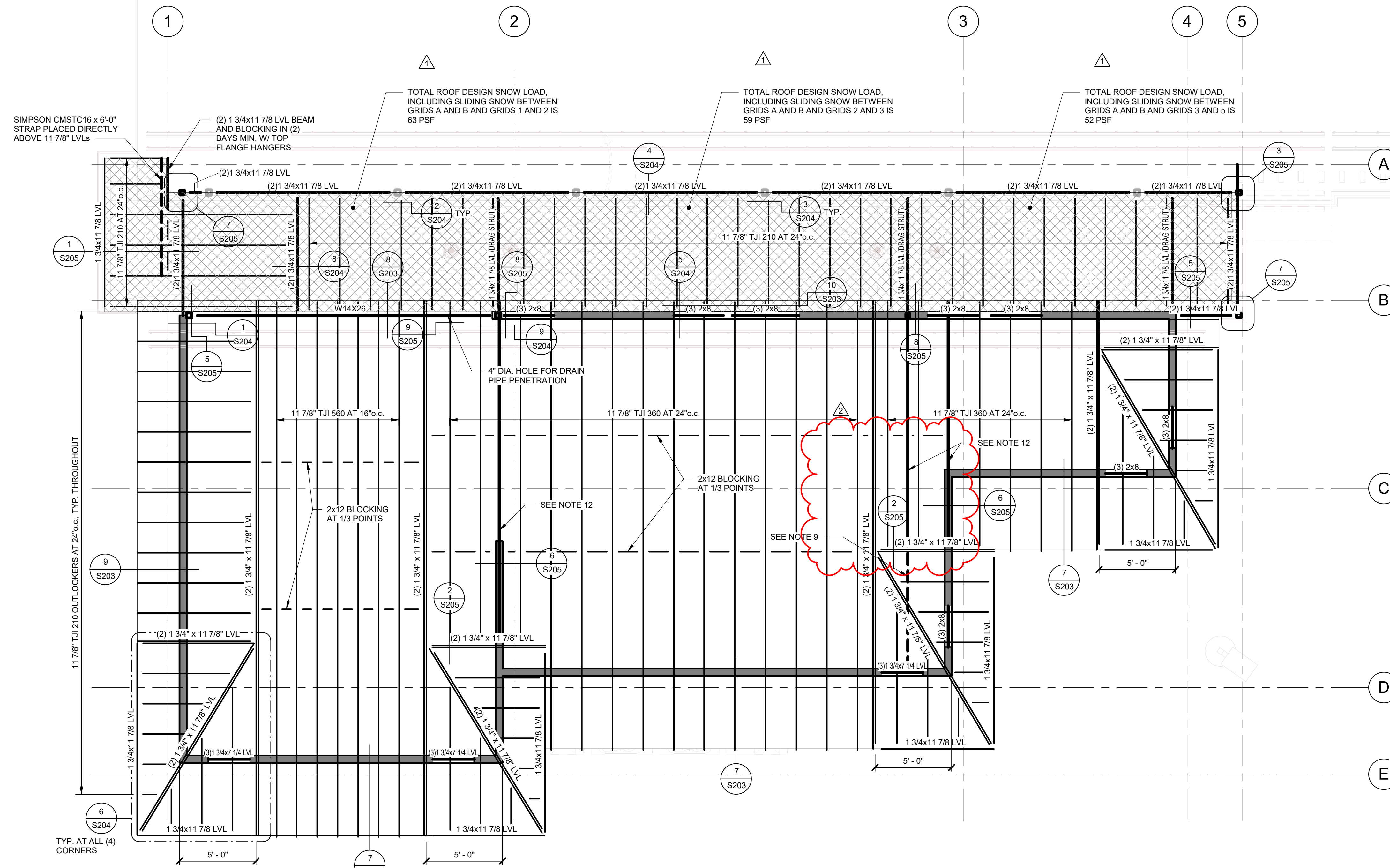
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SHEET TITLE:
FOOTING AND FOUNDATION PLAN

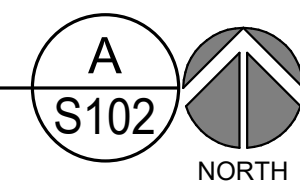
SHEET NUMBER:
S101

WOOD FRAMING NOTES:

- FOR ROOF SHEATHING AND NAILING REQUIREMENTS, SEE STRUCTURAL NOTES ON SHEET S002.
- SHEAR WALLS ARE INDICATED ON SHEET S101. SEE THE SHEAR WALL SCHEDULE ON SHEET S004 FOR SHEAR WALL ATTACHMENTS.
- FOR TOP PLATE SPLICE REQUIREMENTS, SEE STRUCTURAL NOTE K.9.
- SEE DETAIL 10/S204 FOR OPENINGS IN ROOF DIAPHRAGM.
- UNLESS NOTED OTHERWISE BELOW, ALL EXTERIOR WALLS SHALL CONSIST OF 2x6 STUDS AT 16"o.c. AND SHALL BE SHEATHED PER THE SHEARWALL SCHEDULE ON SHEET S004. AT GRIDS 2, D, AND E, USE 1 3/4" x 5 1/2" LSL STUDS AT 16"o.c. ALL OTHER STUDS TO BE AS PER ARCHITECTURAL DRAWINGS.
- FOR TYPICAL TRIMMERS, WHERE NOT OTHERWISE INDICATED, SEE DETAIL 2/S203.
- FOR TYPICAL KING STUDS, WHERE NOT OTHERWISE INDICATED, SEE DETAIL 2/S203.
- CONTRACTOR SHALL ERECT AND MAINTAIN ADEQUATE TEMPORARY BRACING UNTIL ALL ROOF FRAMING AND ROOF DIAPHRAGM ATTACHMENTS ARE COMPLETE.
- SIMPSON CMSTC16 STRAP (ALIGN OVER FLAT BLOCKING), EXTEND BACK ALONG LVL DRAG, BY THE END DISTANCE INDICATED BY THE MANUFACTURER.
- SEE ARCH. DETAILS FOR DRAFTSTOP DETAILS & LOCATIONS.
- INDICATES AREAS WHERE DIAPHRAGM MUST BE BLOCKED AT PANEL EDGES, SEE DETAIL 4/S203 FOR PLYWOOD ROOF SHEATHING LAYOUT.
- 1 3/4" x 11 7/8" LVL DRAG. SEE DETAIL 6/S205. EXTEND OVER TOP OF WALL, WHERE APPLICABLE. LVL TO BE CONTINUOUS. DO NOT SPLICE.



ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



ARCHITECT'S INFORMATION

SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
P.O. Box 517
Kaysville, Utah 84037
T 801.298.1368
info@spe-architect.com
www.spe-architect.com

PROFESSIONAL STAMP

CODE OFFICIAL STAMP

PROJECT NAME:
**OGDEN BAY
WMA OFFICE BUILDING**

4786 S 7500 W, HOOPER, UT 84315

ISSUED:

NO.	DATE	DESCRIPTION
1	08/17/20	CONSTRUCTION BID SET
2	1/22/21	ADD-R1

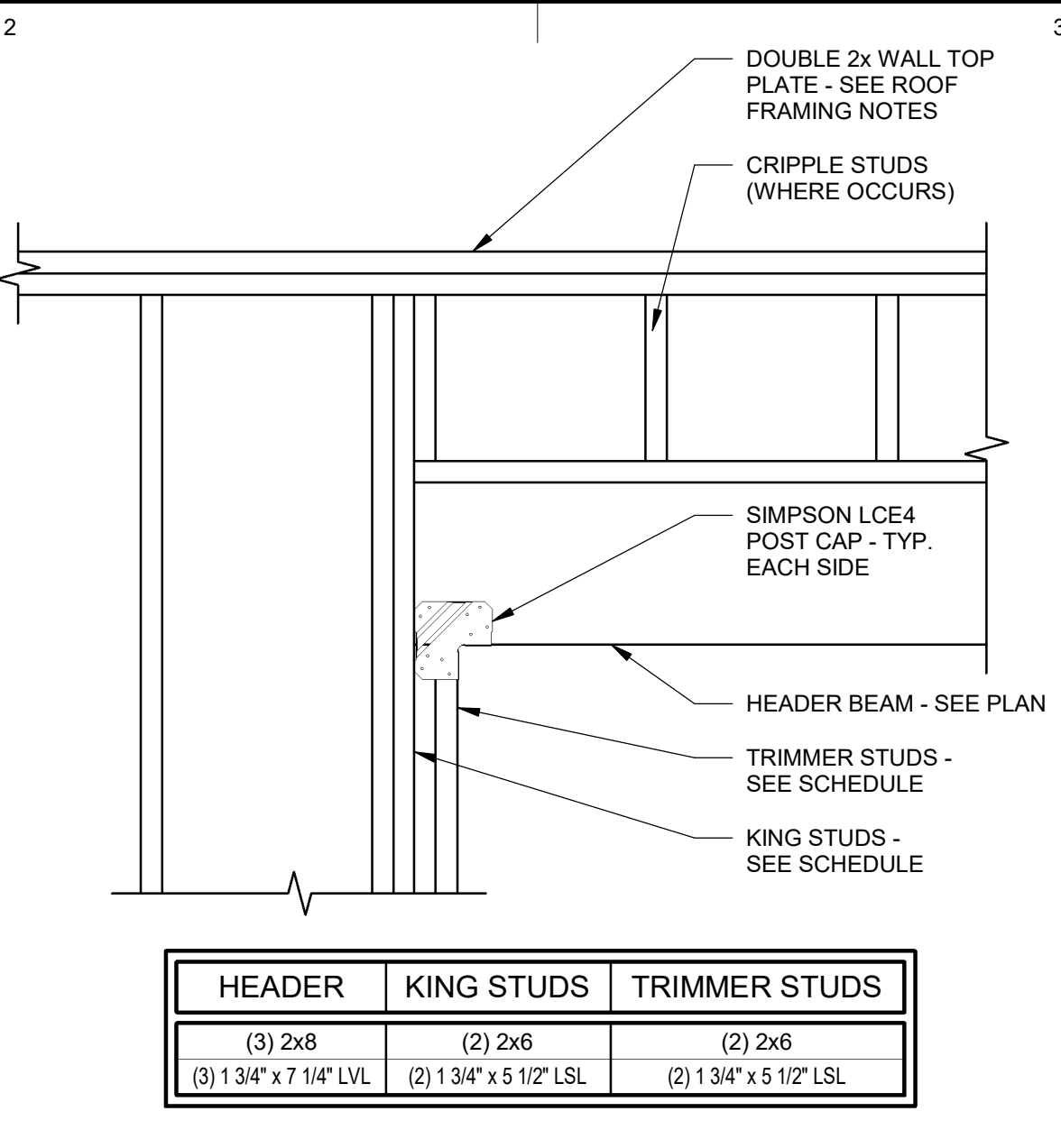
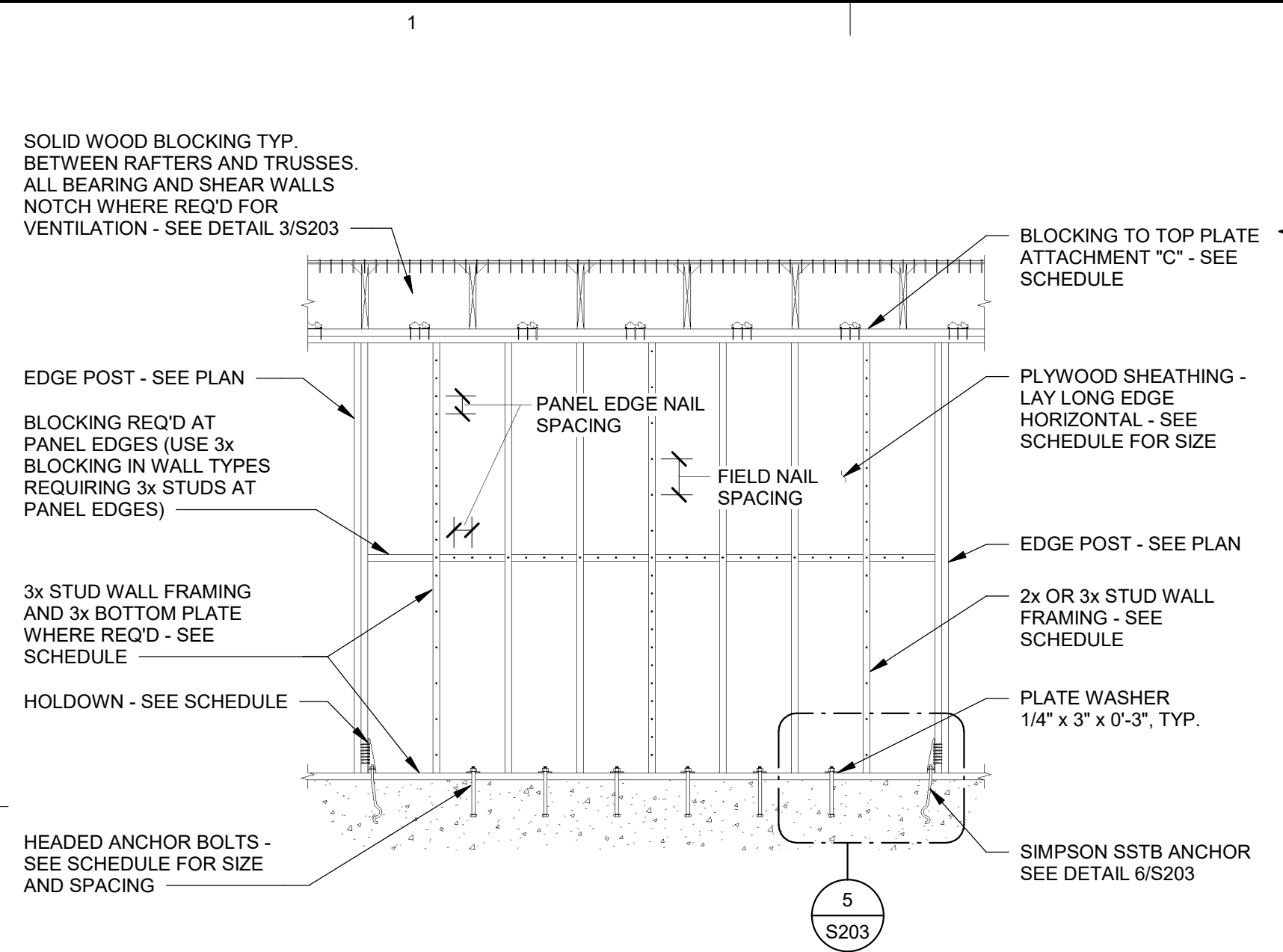
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SPE PROJECT #:	19-55
DRAWN BY:	ZT
CHECKED BY:	JA
DESIGNED BY:	TP
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SHEET TITLE:
ROOF FRAMING PLAN

SHEET NUMBER:
S102

Last Plotted: 1/22/2021 9:35:25 AM

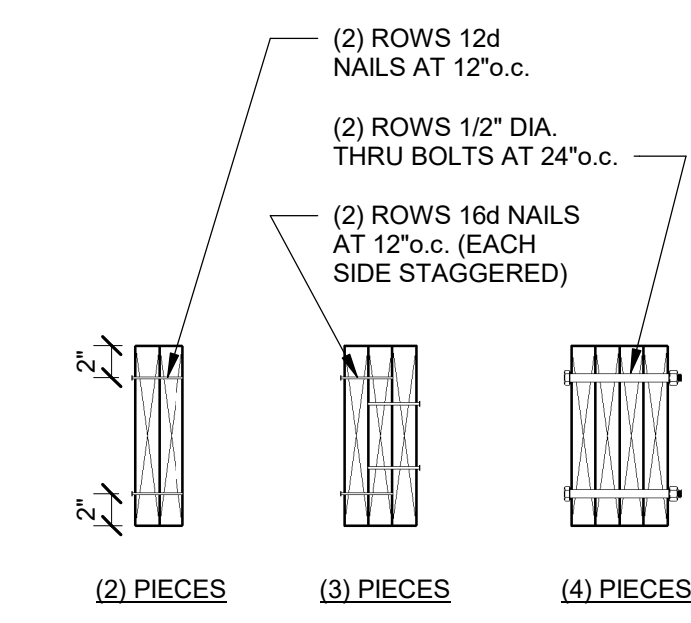
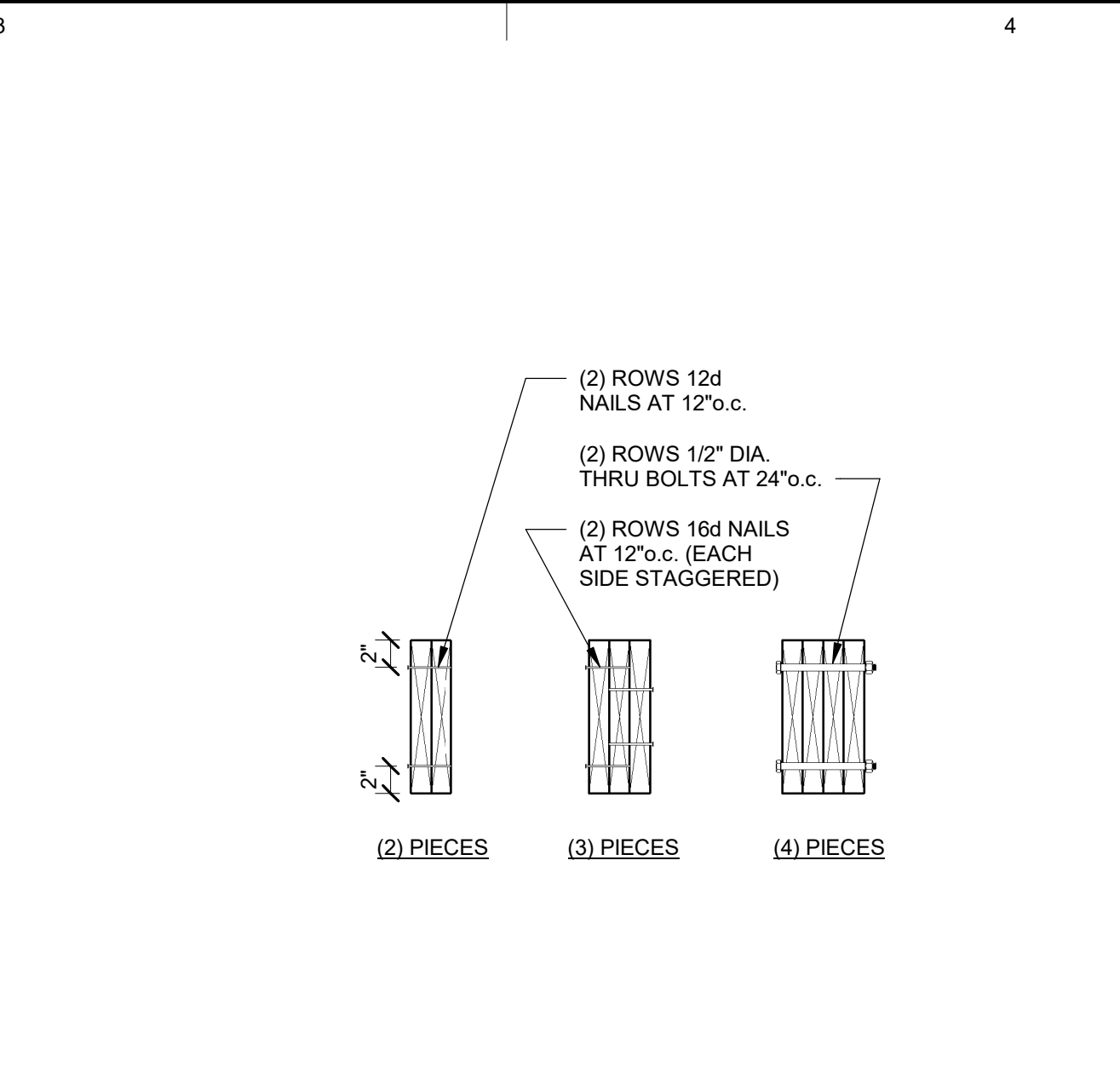
BM 360/19-55 Ogden Bay WMA Office Building/ARW - Ogden Bay WMA Office Building - v20.rvt



HEADER	KING STUDS	TRIMMER STUDS
(3) 2x8	(2) 2x6	(2) 2x6
(3) 1 3/4\"/>		

DETAIL 1
SCALE: NONE
S203

HEADER / JAMB DETAIL 2
SCALE: NONE
S203



(2) ROWS 12d NAILS AT 12\"/>

(2) ROWS 1/2\"/>

(2) ROWS 16d NAILS AT 12\"/>

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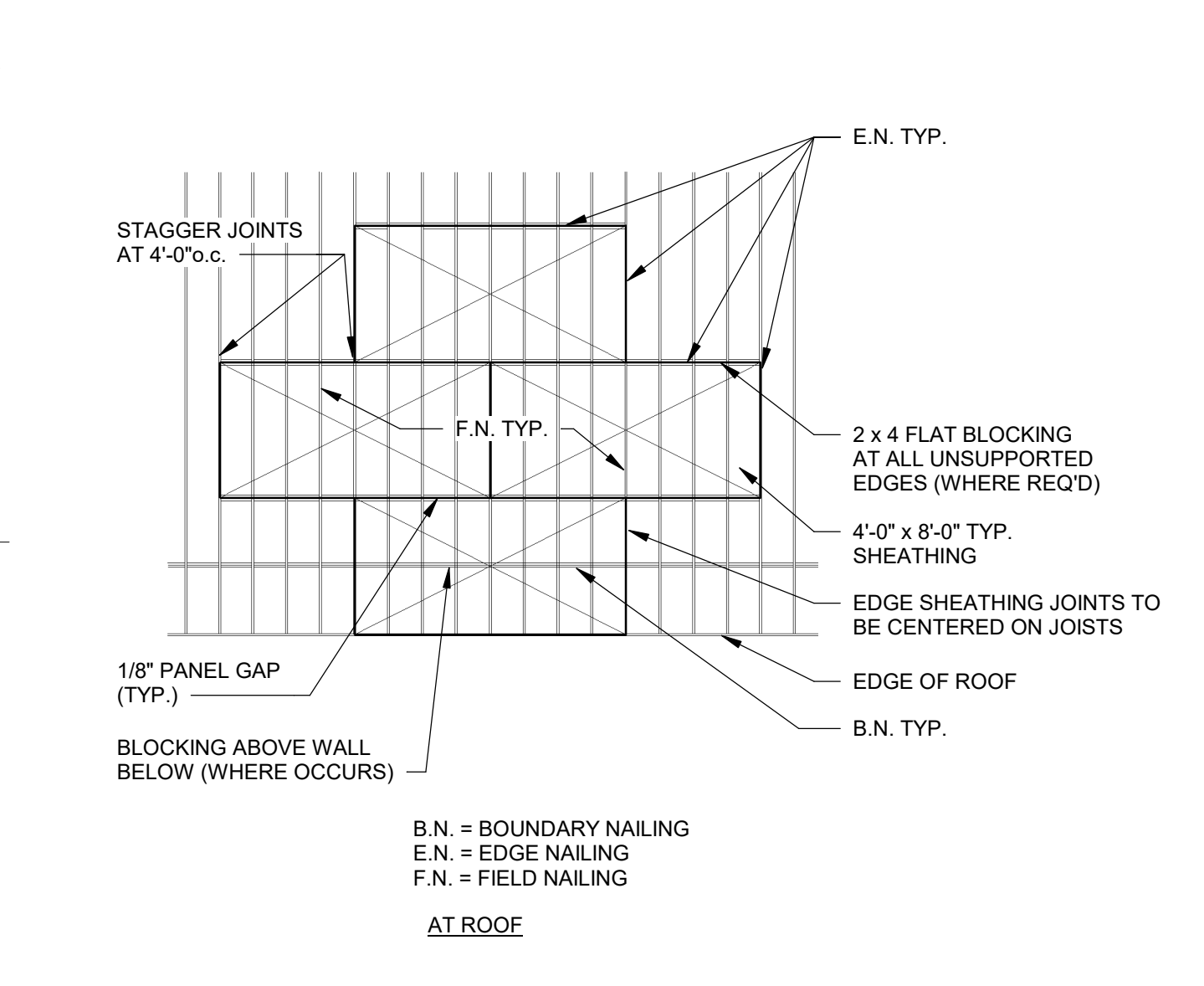
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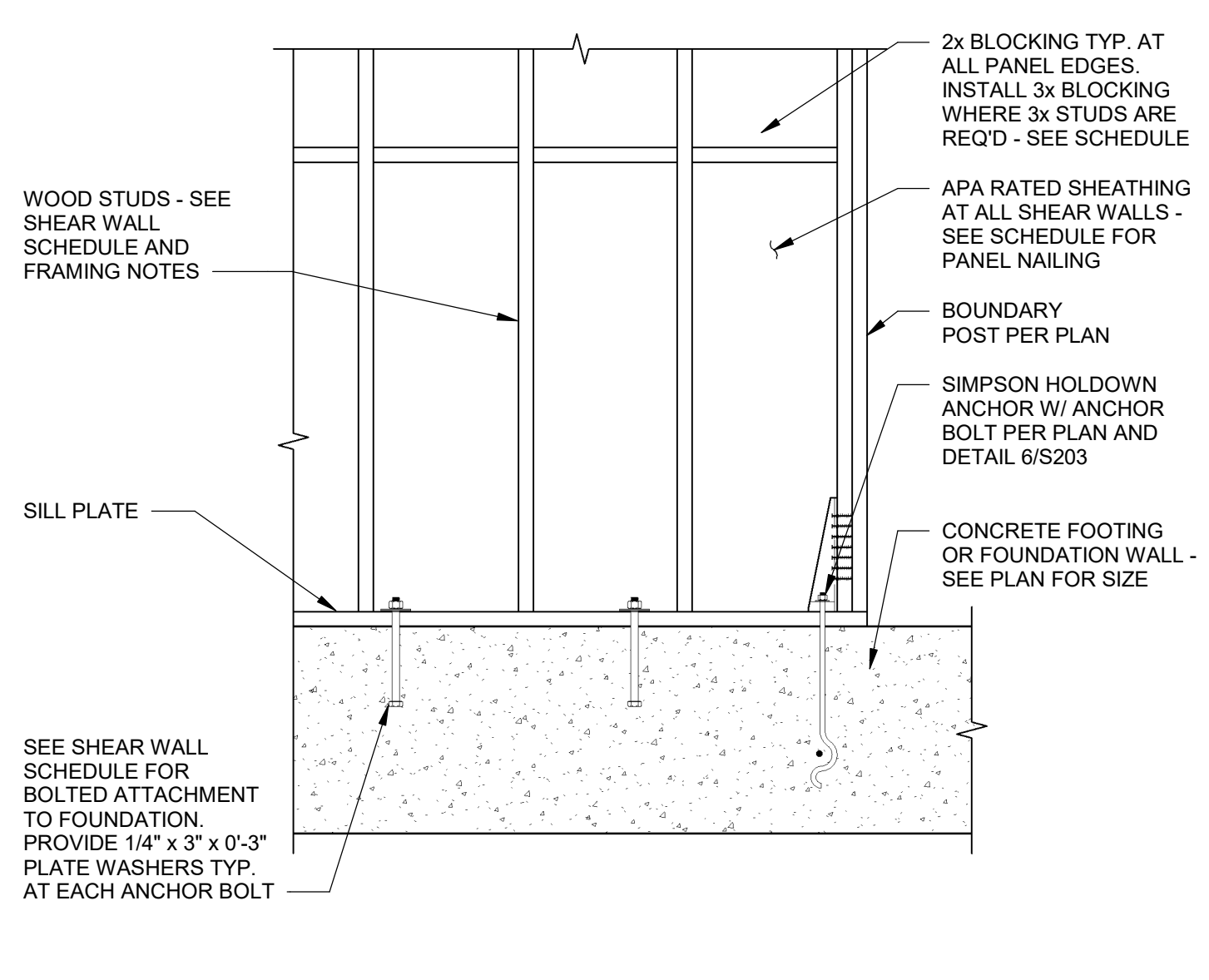
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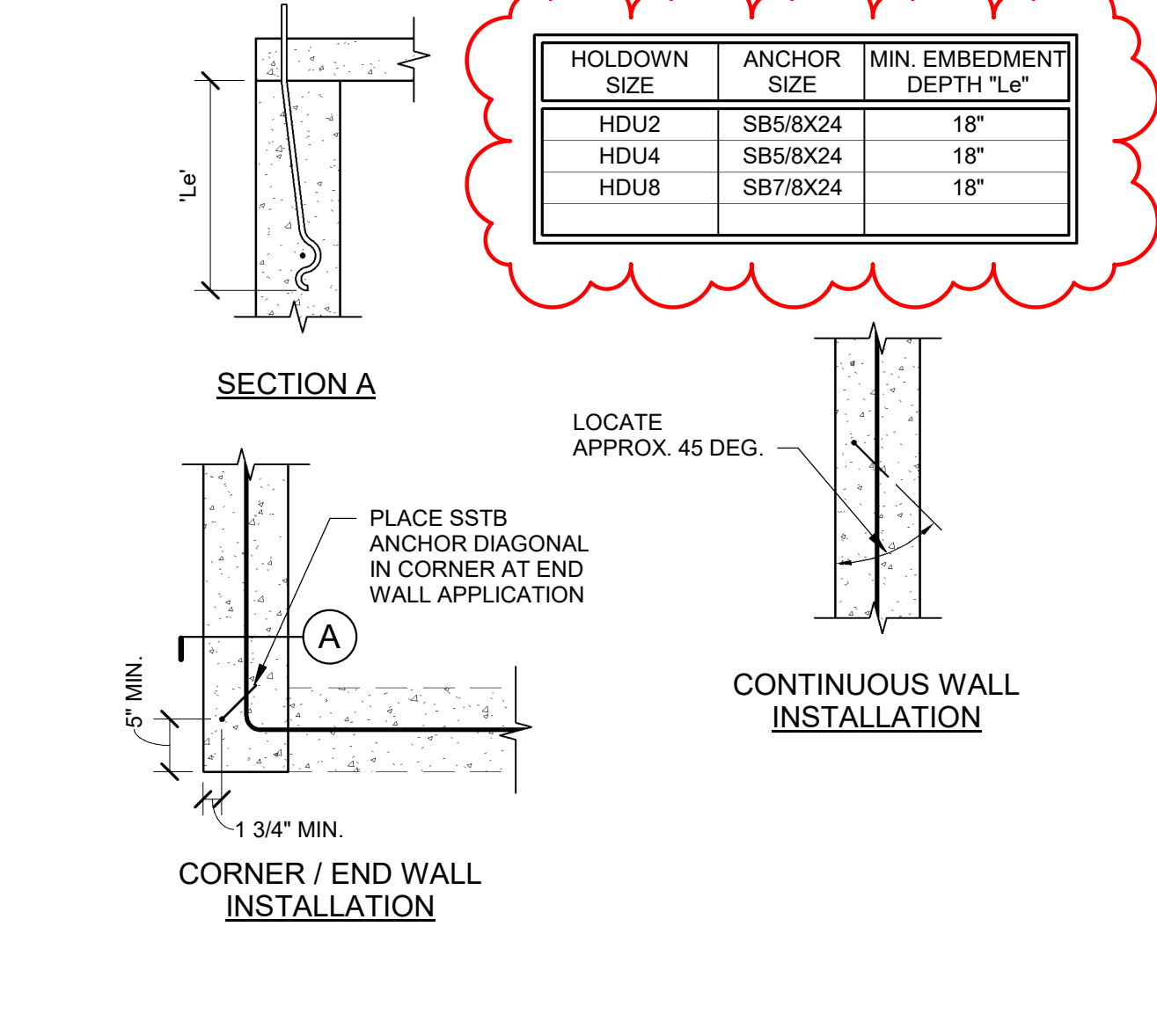
DETAIL 3
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S203



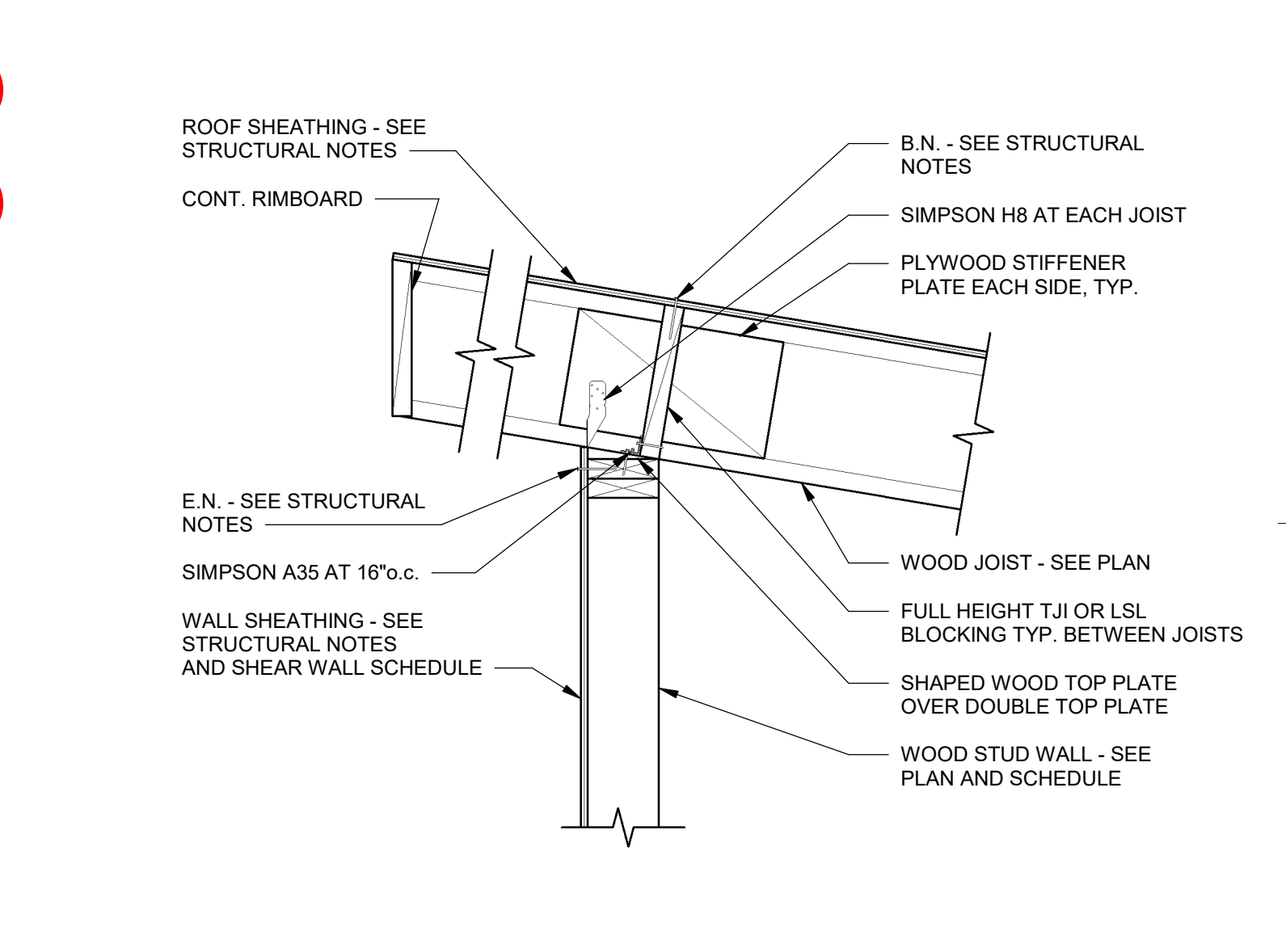
TYP. SHEATHING LAYOUT 4
SCALE: NONE
S203



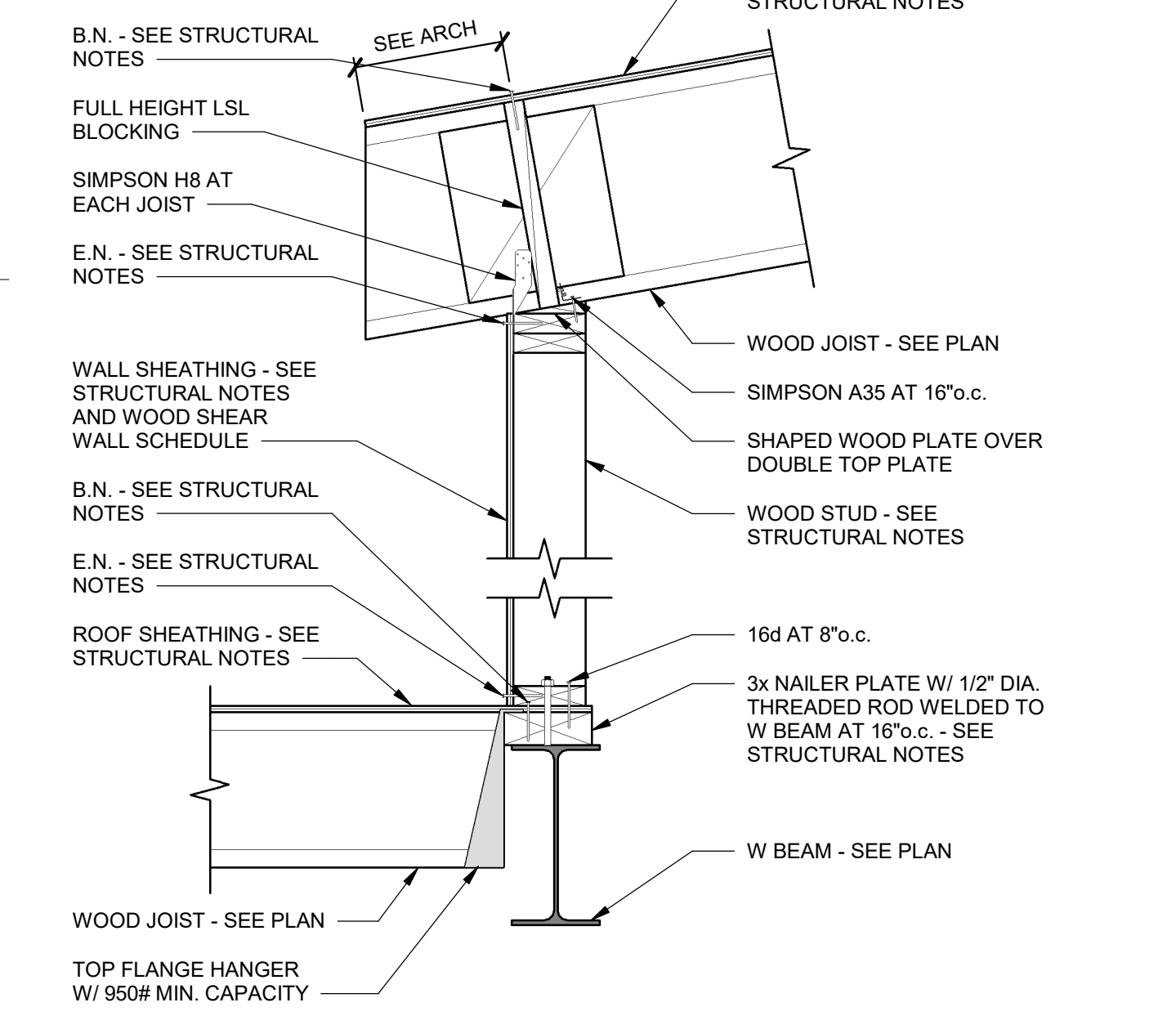
TYP. HOLD DOWN DETAIL 5
SCALE: NONE
S203



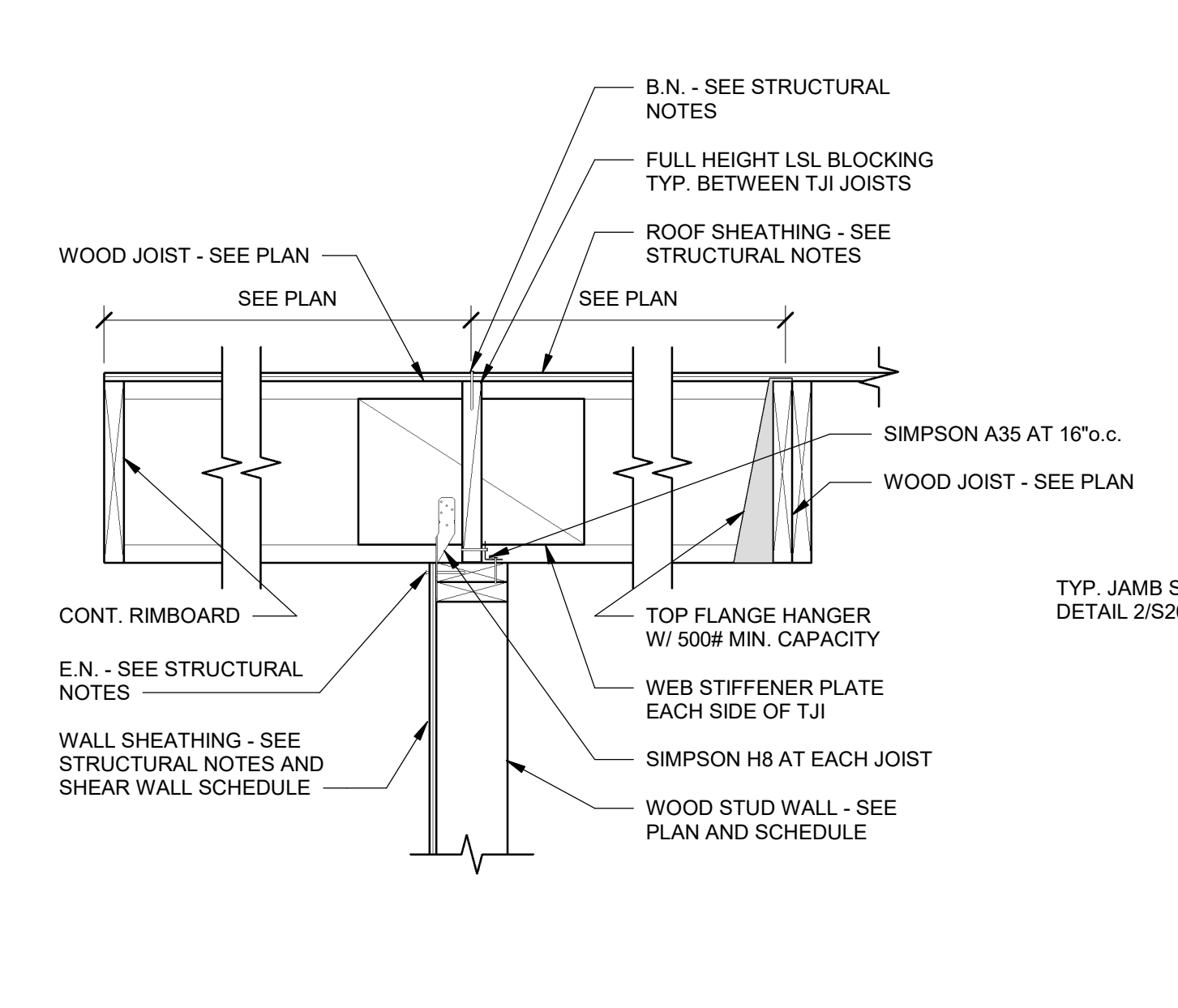
HOLD-DOWN EMBED SCHEDULE 6
SCALE: NONE
S203



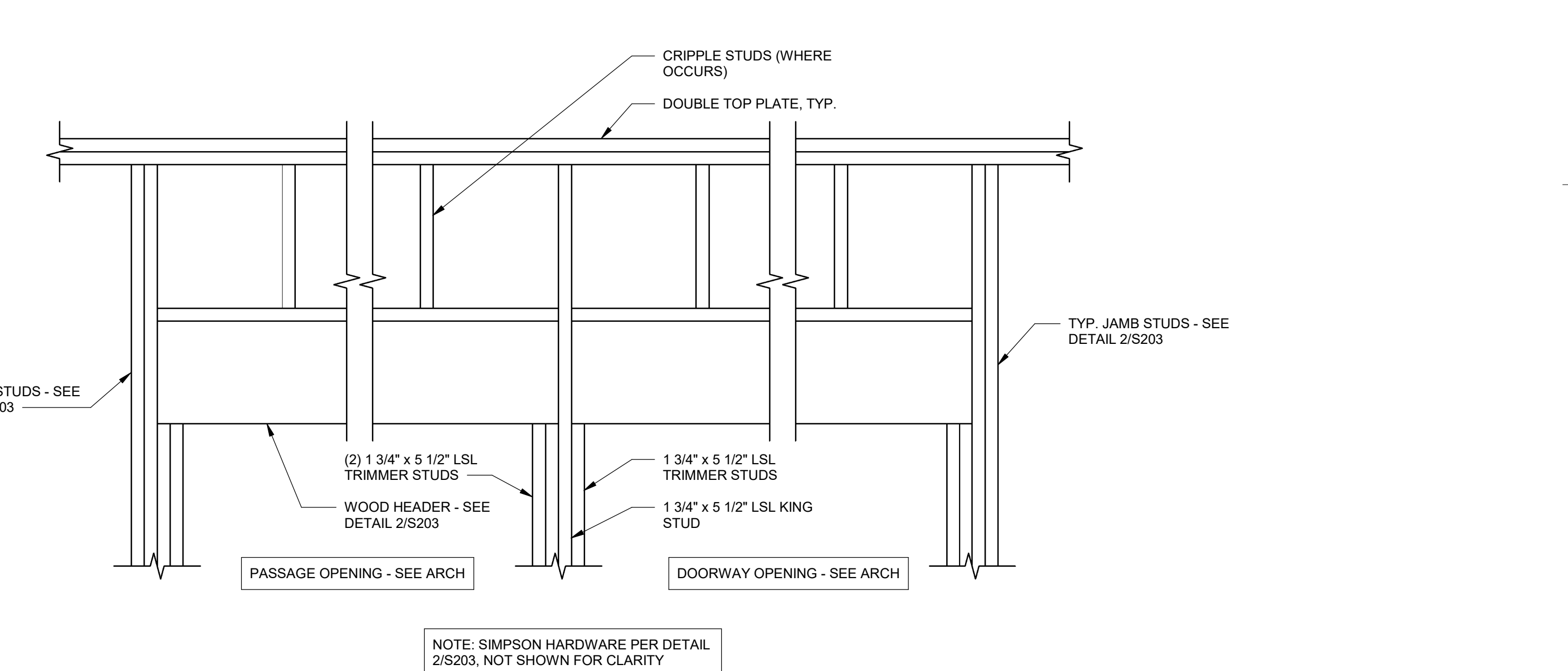
DETAIL 7
SCALE: NONE
S203



DETAIL 8
SCALE: NONE
S203



DETAIL 9
SCALE: NONE
S203



DETAIL 10
SCALE: NONE
S203

ARCHITECT'S INFORMATION

SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
P.O. Box 517
Kaysville, Utah 84037
T 801.298.1368
info@spe-architect.com
www.spe-architect.com

PROFESSIONAL STAMP

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PROJECT NAME

OGDEN BAY WMA OFFICE BUILDING

4786 S 7500 W, HOOPER, UT 84315

REVISIONS:

NO.	DATE	DESCRIPTION
1	08/17/20	CONSTRUCTION BID SET
2	11/22/21	ADD R01

ISSUED:

NO.	DATE	DESCRIPTION
1	08/17/20	CONSTRUCTION BID SET

OWNER PROJECT #: 20419520
SPE PROJECT #: 19-55
DRAWN BY: ZT
CHECKED BY: JA
DESIGNED BY: TP
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SHEET TITLE

DETAILS

SHEET NUMBER

S203

Last Plotted: 1/22/2021 9:35:27 AM

V. MECHANICAL

See attached

ADDENDUM

Project Name: Ogden Bay WMA Office Bldg.

Addendum No.: 1

WHW Project # 20025

Date: 01.14.21

From: WHW Engineering Inc
8619 S Sandy Parkway Suite 101
Sandy, Utah 84070
Phone (801) 466-4021 Fax (801) 466-8536

To: All Bidders

This Addendum forms and becomes a part of the Contract Documents and modifies the original Bidding Documents dated 8/17/20 as noted below. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of pages.

I - CHANGES TO PRIOR ADDENDA:

II – QUESTIONS AND ANSWERS:

Question: In the specifications we have section "21 13 13 Fire Sprinkler Performance Specification" that gives us a performance based spec for a fire sprinkler system. on page GI-003 it indicates that there are no fire sprinklers in the building. Please clarify if fire sprinklers are required in the building.

Answer: Please omit the 'Performance Section' of the specifications as well as the General Note on MG001 that references fire sprinklers. There will be no fire suppression as part of this project.

PRIOR APPROVALS

THE FOLLOWING ITEMS, AS SUBMITTED, ARE CONSIDERED, IN GENERAL AND IN NAME ONLY, AS EQUAL TO THOSE ITEMS SPECIFIED. THIS REVIEW DOES NOT RELIEVE THE CONTRACTOR OR SUPPLIER OF THE RESPONSIBILITY OF CONFORMING TO THE DRAWINGS AND SPECIFICATIONS, NOR DOES IT RELIEVE THE CONTRACTOR OF THE REQUIREMENTS OF THE SPECIFICATIONS FOR COORDINATION WITH OTHER TRADES. ALL DIMENSIONS SHALL BE CONFIRMED AND CORRELATED AT THE JOBSITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND THE SUITABILITY OF "EQUAL" PRODUCTS FOR THE SPECIFIED APPLICATION.

Description

Manufacturer

Louvers
Exhaust Fans

Nailor
ACME

VI. ELECTRICAL

See attached



ELECTRICAL ADDENDUM – 01

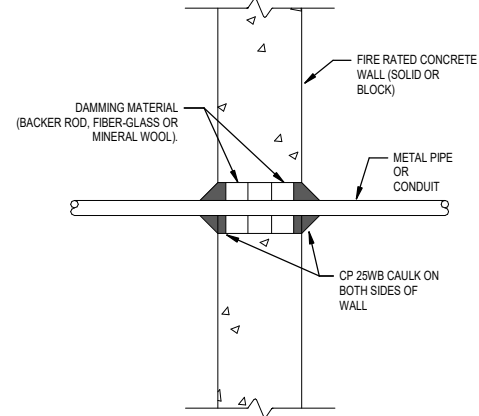
To:	Jason Evans	From:	Envision Engineering
Company:	SPE Architect & Associates	Phone:	801-449-1543
Address:	108 W Center St, Bountiful, UT 84010		
Date:	01/21/2021		
Project	Ogden Bay WMA Office Building	Project #:	20419520

QUESTION: On page EY501 of the System Details portion of the plans under Note 1. It states, “Provide Analog/Addressable Fire Alarm System compatible with existing Honeywell Notifier Fire Alarm System”. Typically, since this looks like an “add to existing” we would keep the existing panel and add to as necessary, but to be honest, we really never add a new system to another system in the same building. I was wondering if you could get clarification that they are wanting to add devices to the existing system and not to add another complete system to this existing system as that is how I am interpreting the Note 1 of ET501.

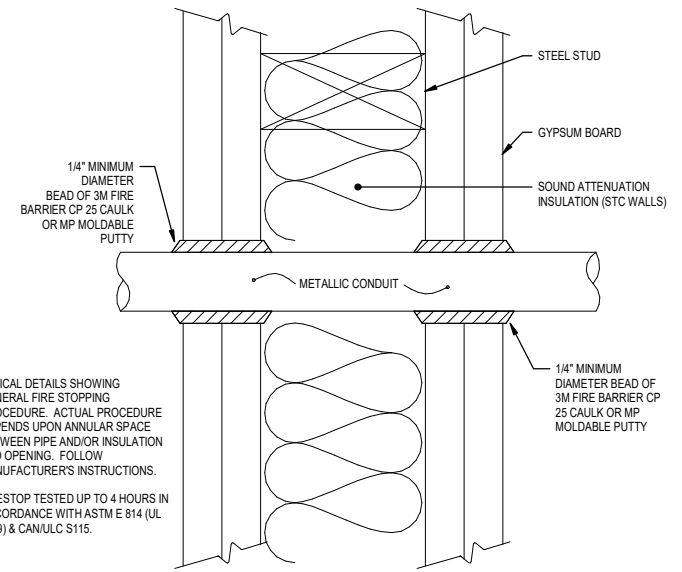
ANSWER: The plan is to add new devices to the existing Honeywell system. An entirely new system will not be added to the building.

EY501: Updated note 1 of detail 3/EY501 to clarify that an entirely new system will not be added to the new addition. The new devices are to be added and integrated into the existing Honeywell Fire Alarm System.

End of Electrical Addendum 01

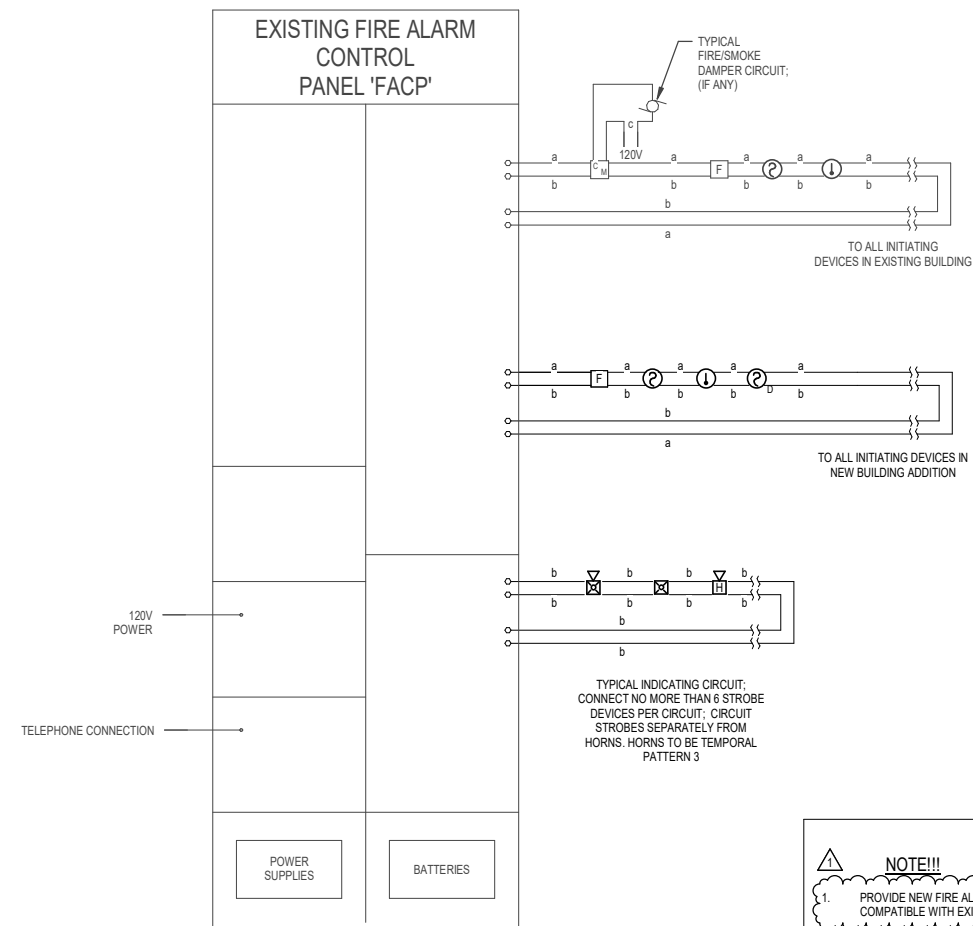


2 TYPICAL CONCRETE WALL PENETRATION DETAIL
SCALE: NTS



NOTE:
1. TYPICAL DETAILS SHOWING GENERAL FIRE STOPPING PROCEDURE. ACTUAL PROCEDURE DEPENDS UPON ANNULAR SPACE BETWEEN PIPE AND/OR INSULATION AND OPENING. FOLLOW MANUFACTURER'S INSTRUCTIONS.
2. FIRESTOP TESTED UP TO 4 HOURS IN ACCORDANCE WITH ASTM E 814 (UL 1479) & CANULC S115.

1 TYPICAL GYPBOARD WALL PENETRATION DETAIL
SCALE: NTS



3 FIRE ALARM ONE-LINE DIAGRAM
SCALE: NTS

NOTE!!!

1. PROVIDE NEW FIRE ALARM DEVICES, IN NEW BUILDING ADDITION, COMPATIBLE WITH EXISTING HONEYWELL NOTIFIER FIRE ALARM SYSTEM.
2. REFER TO SYSTEM PLANS FOR EXACT LOCATION & QUANTITY OF ALL FIRE ALARM DEVICES.
3. CONFIRM ALL WIRING REQUIREMENTS WITH FIRE ALARM SYSTEM SUPPLIER AND PROVIDE IN ACCORDANCE THERE WITH.
4. THE SUCCESSFUL FIRE ALARM SYSTEM SUPPLIER SHALL PROVIDE A COMPUTER DRAFTED PLAN OF THE FIRE ALARM SYSTEM USING FLOOR PLANS PROVIDED BY THE ARCHITECT. COMPLETE RISER & WIRING DIAGRAMS SHALL BE INCLUDED.
5. THE SYSTEM SHALL BE PROGRAMMED SO THAT IF ANY INITIATION DEVICE IS ACTUATED, AN ALARM SIGNAL WHICH IS AUDIBLE THROUGHOUT THE BUILDING WILL BE ACTIVATED.

ARCHITECT'S INFORMATION
SCOTT P. EVANS ARCHITECT & ASSOCIATES P.C.
P.O. Box 517
Kaysville, Utah 84037
T 801.298.1368
info@spe-architect.com
www.spe-architect.com



CODE OFFICIAL STAMP:

PROJECT NAME:

**OGDEN BAY
WMA OFFICE BUILDING**

4786 S 7500 W, HOOPER, UT 84315

NO.	DATE	DESCRIPTION
1	8/12/2021	ADDENDUM 01

ENVISION
ENGINEERING
240 E. MORRIS AVE. SUITE 200
SALT LAKE CITY, UT 84115
P (801) 534-1130
F (801) 534-1080
www.envisioneng.com

NO.	DATE	DESCRIPTION
01	8/17/20	CONSTRUCTION BID SET

OWNER PROJECT #: 20419520
SPE PROJECT #: 19-55
DRAWN BY: TCH
CHECKED BY: SH
DESIGNED BY: TCH

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SHEET TITLE:
**SYSTEMS
DETAILS**

SHEET NUMBER:
EY501

VII. LANDSCAPE

None

VIII. FOOD SERVICE

None