



Addendum #1

This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents and/or prior Addenda as noted below. All conditions, requirements, materials, and workmanship are to be as described in the Contract Documents unless specifically stated otherwise. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of (2) 8 1/2" x 11" sheets, (0) 11" x 17" sheets, and (4) 24" x 36" sheets.

Date	Owner Property Number	BHDA Project Number
Tue, 23 Apr 2024	501-3450	2326

Project Designation	Project Address
Tooele UT Deseret Peak Sr Seminary	Approx. 2234 North Berra Boulevard Tooele, Utah

Copies To

Ryan Haughton.....Church Project Manager
 Jeremy LambertChurch Facilities Manager
 Invited Bidders
 Architect's Consultants

Bid Opening Time	Bid Opening Location
Thu, 25 Apr 2024, at 2:30 pm	On Conslog: https://conslog.daily.co/7885

1. Changes to Prior Addenda

1.01. None.

2. Changes to Procurement and Contracting Requirements

2.01. Bid Date and Time.

A. Please note the new bid date and time, indicated above.

3. Changes to Specifications

3.01. Section 07 2500 Weather Barriers

- A. 2.01 A. 5. c. 1) (a) and (b): change the length of the fasteners to be 1 3/4".
- B. Please note that staples used in the aid of installation would also need to be 1 3/4" long or they would not attach to the sheathing.

3.02. Section 07 5423 Thermoplastic Polyolefin Roofing (TPO)

- A. 2.02: Delete paragraph G.
- B. 3.04 C.: Delete item 1.
- C. No underlayment / temporary roof is required or compatible with an adhered roofing system.

4. Changes to Drawings

4.01. Sheet C111 Site Architectural Plan

- A. Replace this sheet with the attached revised sheet.
 - 1. Added site fence at west and north property lines.

4.02. Sheet A121 Roof Plan

- A. Change Keyed Note 07-18 to read as follows:
"Membrane roofing system with 5/8" cover board. Typical of all roofing on the building."
- B. Change Keyed Note 07-22 to read as follows:
"Prefinished metal wall cap with standing seam joints and 1" drip edge each side. Install membrane roofing beneath wall cap."
- C. Remove all references to the self-sealing underlayment. This underlayment is not compatible with an adhered roofing membrane system.
- D. Add General Note 5 to read as follows:
"Paint all exposed gas lines above the roof with exterior-grade ferrous paint and primer coats as described in the Specifications."

4.03. Sheet A151 Reflected Ceiling Plan

- A. Replace this sheet with the attached revised sheet.
 - 1. Added soffit lights at main entry to match the Lighting Plan (EL151).

4.04. Sheets A521 and A522 Roof Details

- A. Change all references to the membrane roofing to be worded as "membrane roofing system".
- B. Remove all references to the self-sealing underlayment. This underlayment is not compatible with an adhered roofing membrane system.

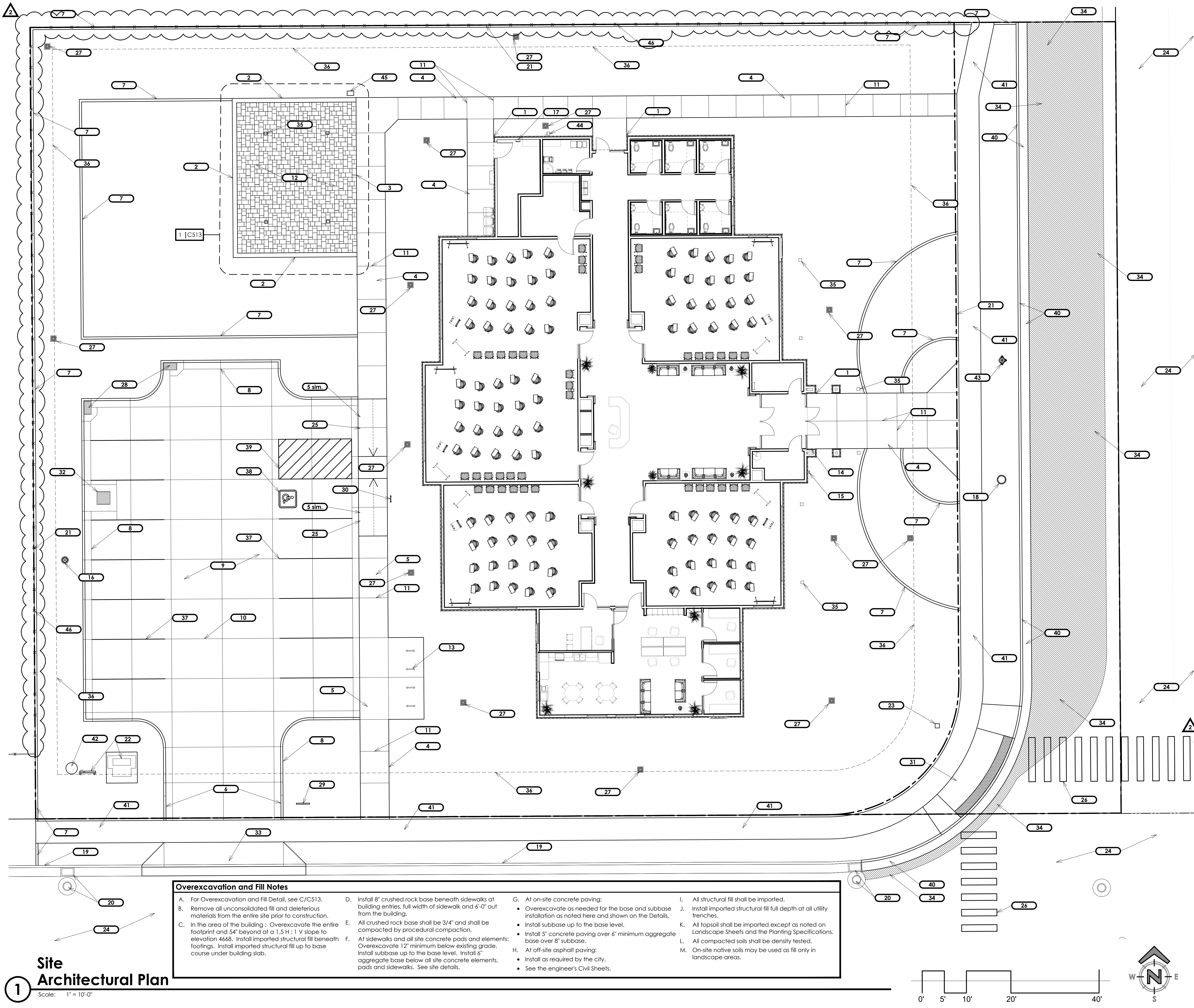
4.05. Sheet A702 Casework Details

- A. Replace this sheet with the attached revised sheet.
 - 1. Modified miscellaneous details and notes.

4.06. Sheet ES101 Electrical Site Plan

- A. Replace this sheet with the attached revised sheet.
 - 1. Added a conduit from the site transformer to a switchgear across the street.

End of Addendum #1



General Notes

- This and any other demolition drawings are not intended to be all-inclusive, nor to define the scope of all demolition work required for this project. Demolition drawings are shown only to aid the contractor in preparing his bid and performing the work. Contractor shall examine all contract documents and visit the site during bidding as required to determine the total extent and scope of the demolition portion of this work. All items that are not required to remain shall be of the demolition work whether shown specifically or not. Contractor shall be responsible for all demolition work required to carry out the work as shown in the contract documents.
- All noted items are new unless noted otherwise.
- The contractor shall verify all existing site conditions prior to bidding. Coordinate all work affecting adjacent properties with the respective property owners prior to any demolition or construction work. Repair and replace all existing items on adjacent properties damaged or affected during construction to the satisfaction of the property owner.
- Contractor shall enclose the entire area of work with a temporary fence throughout construction - coordinate timing & location with the FM Group.
- Refer to the Specifications for required locations of expansion joints. Submit a proposed expansion joint plan to the Architect for approval prior to installation of site concrete.
- The building and parking lot are parallel or perpendicular to the east property line.

Keyed Notes

- Align sidewalk with building foundation wall.
- 12' x 12" concrete apron at masonry paver perimeter. See M/C511.
- 12" thickened sidewalk face at masonry paver perimeter. See N/C511.
- Concrete sidewalk. See A/C511. Typical.
- Integral sidewalk, curb, and gutter. See B/C511.
- Curb transition. See E/C511.
- Concrete curb. See K/C511.
- Concrete curb and gutter. See C and D/C511.
- Concrete paving. See Site Details and Overexcavation and Fill Notes.
- Control joint in concrete paving. Typical. See G/C511.
- Control joint in concrete flatwork. See H/C511.
- Masonry paver system. See M & N/C511.
- Stainless steel bike rack. See L/C511.
- Fire department 3200 series Knox Box recessed in stone veneer (verify with fire department).
- Fire department connection.
- New pole light and concrete base. See D/C513 and Electrical Sheets.
- Irrigation controller. Refer to landscape sheets.
- New water meter. See Civil Sheets.
- Existing curb and gutter to remain.
- Existing storm drain catch basin or structure to remain.
- Existing property line.
- New electrical transformer. See Electrical Sheets.
- New location of telephone pedestal. Coordinate with utility company.
- Existing asphalt paving to remain.
- New concrete accessible curb ramp. See B/C512.
- New painted crosswalk. Dimensions and paint type per City requirements. Crosswalk shall be installed from curb to curb across the entire road. Coordinate all requirements with the City and the School District.
- New area drain box. See C/C512 and Grading and Drainage Plan.
- New curb inlet box. See Site Details.
- New post-mounted seminary sign.
- New accessible parking sign. See A/C512.
- New concrete corner ramp per city standards.
- New storm drain box. See Civil Sheets.
- New concrete drive approach per city standards.
- New asphalt paving per City requirements. See C121.
- Pergola column. Typical.
- Public utilities easement.
- New painted parking lines. Parking lines shall be 6" wide black paint with 4" wide reflective white paint centered on top. Typical.
- New blue & white painted accessible parking symbol.
- New accessible parking access aisle. Paint lines shall be 6" wide black with 4" wide reflective white, at a 45° angle, and have 2'-0" spacing.
- New concrete curb and gutter per city requirements.
- New concrete sidewalk per city requirements.
- New storm drain manhole. See C121.
- New fire hydrant. See Site Utility Plan.
- Gas meter. See Site Utility Plan.
- Gas connection to barbecue pit. See J/C515.
- New wire fence to match adjacent property fence. Tie into existing fence at adjacent property to fully enclose adjacent property.

Overexcavation and Fill Notes

- For Overexcavation and Fill Detail, see C/C513.
- Remove all unconsolidated fill and deleterious materials from the entire site prior to construction.
- In the area of the building : Overexcavate the entire footprint and 54" beyond at a 1.5 H : 1 V slope to elevation 4668. Install imported structural fill beneath footings. Install imported structural fill up to base course under building slab.
- Install 8" crushed rock base beneath sidewalks at building entries, full width of sidewalk and 6'-0" out from the building.
- All crushed rock base shall be 3/4" and shall be compacted by procedural compaction.
- At sidewalks and all site concrete pads and elements: Overexcavate 12" minimum below existing grade. Install subbase up to the base level. Install 6" aggregate base below all site concrete elements, pads and sidewalks. See site details.
- At on-site concrete paving:
 - Overexcavate as needed for the base and subbase installation as noted here and shown on the Details.
 - Install subbase up to the base level.
 - Install 5" concrete paving over 6" minimum aggregate base over 8" subbase.
- At off-site asphalt paving:
 - Install as required by the city.
 - See the engineer's Civil Sheets.
- All structural fill shall be imported.
- Install imported structural fill full depth at all utility trenches.
- All topsoil shall be imported except as noted on Landscape Sheets and the Planting Specifications.
- All compacted soils shall be density tested.
- On-site native soils may be used as fill only in landscape areas.

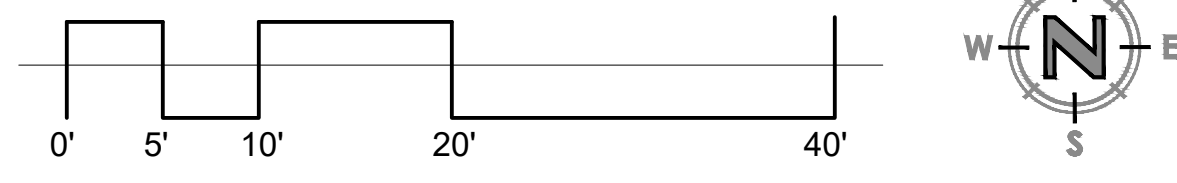
Site Areas

	Square Feet	% of Site
Main building	9,204 sf	24.7%
Concrete Pavement	4,821 sf	13.0%
Concrete	3,620 sf	9.7%
Concrete Pavers	918 sf	2.5%
Turfgrass	3,347 sf	9.0%
Other landscaping	15,313 sf	41.1%
Total site	37,223 sf	.85 acres

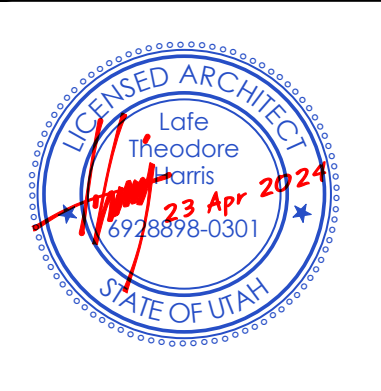
Site Data

	Provided	Required
Regular parking stalls	14	
ADA (van accessible)	1	1
ADA (non-van accessible)	0	0
Total parking stalls	15	1
Ordinance requirement	As determined by the Planning Director.	
Bicycle parking	8	None
Ordinance requirement	No requirements.	
Site landscaping %	50.1%	No reqs.
Turfgrass % of landscaping	21.9%	50% max.

Site Architectural Plan
 Scale: 1" = 10'-0"



111 ARCHITECTS
 www.bhdarchitects.com
 Phone 801.571.0010
 Fax 801.571.0303
 Toll Free 888.571.0010
 65 East Wadsworth Park Drive
 Suite 205 Draper, Utah 84020



THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Tooele UT Deseret Peak Sr Seminary
 Approximately 2234 North Berna Boulevard, Tooele, Utah 40,569894, -112,303347
 BHD #: 02-143-0015
 Date: 3 Apr 2024
 Plan Series: Custom SCR
 Owner #: 501-3450

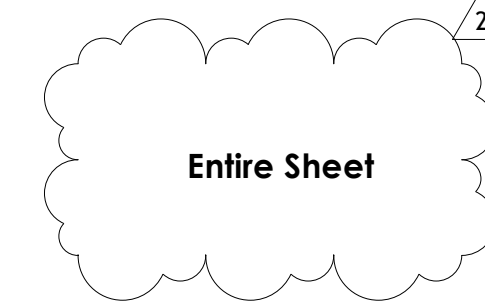
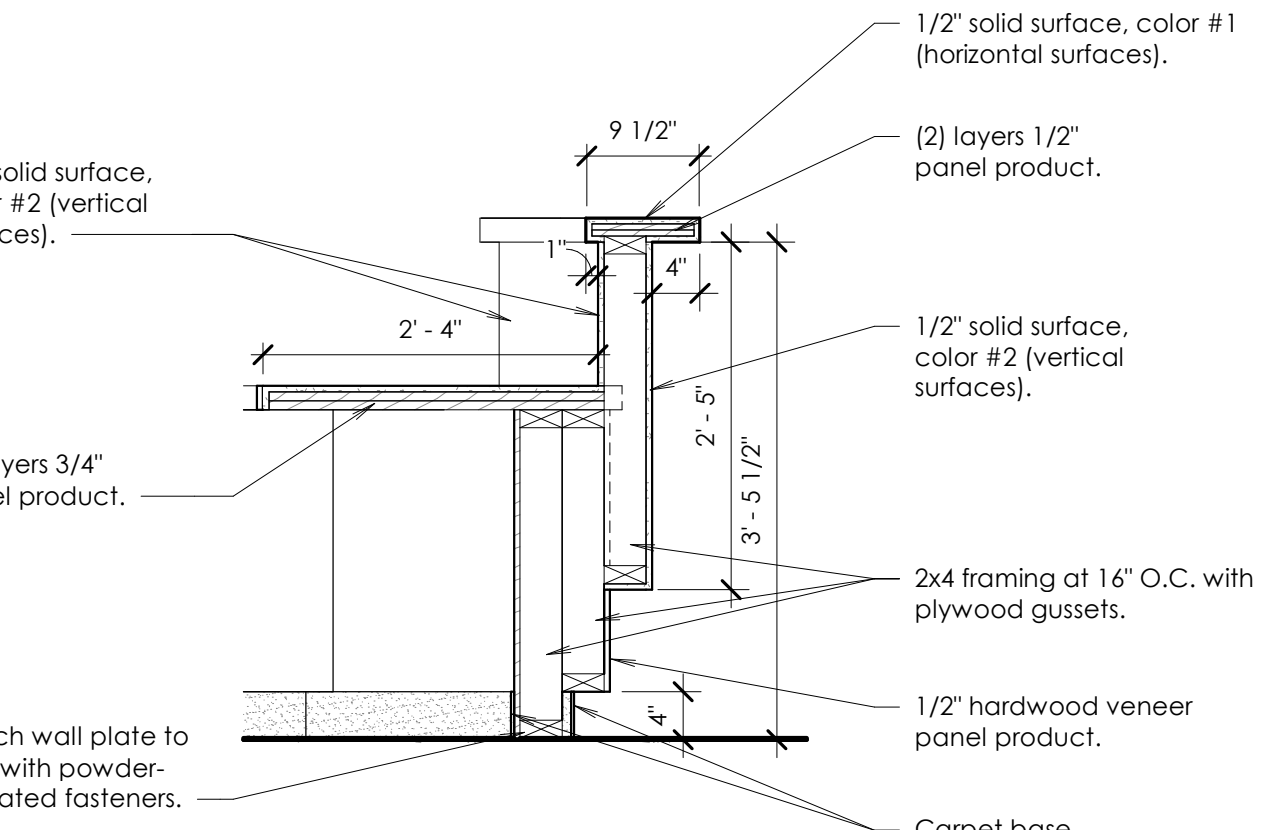
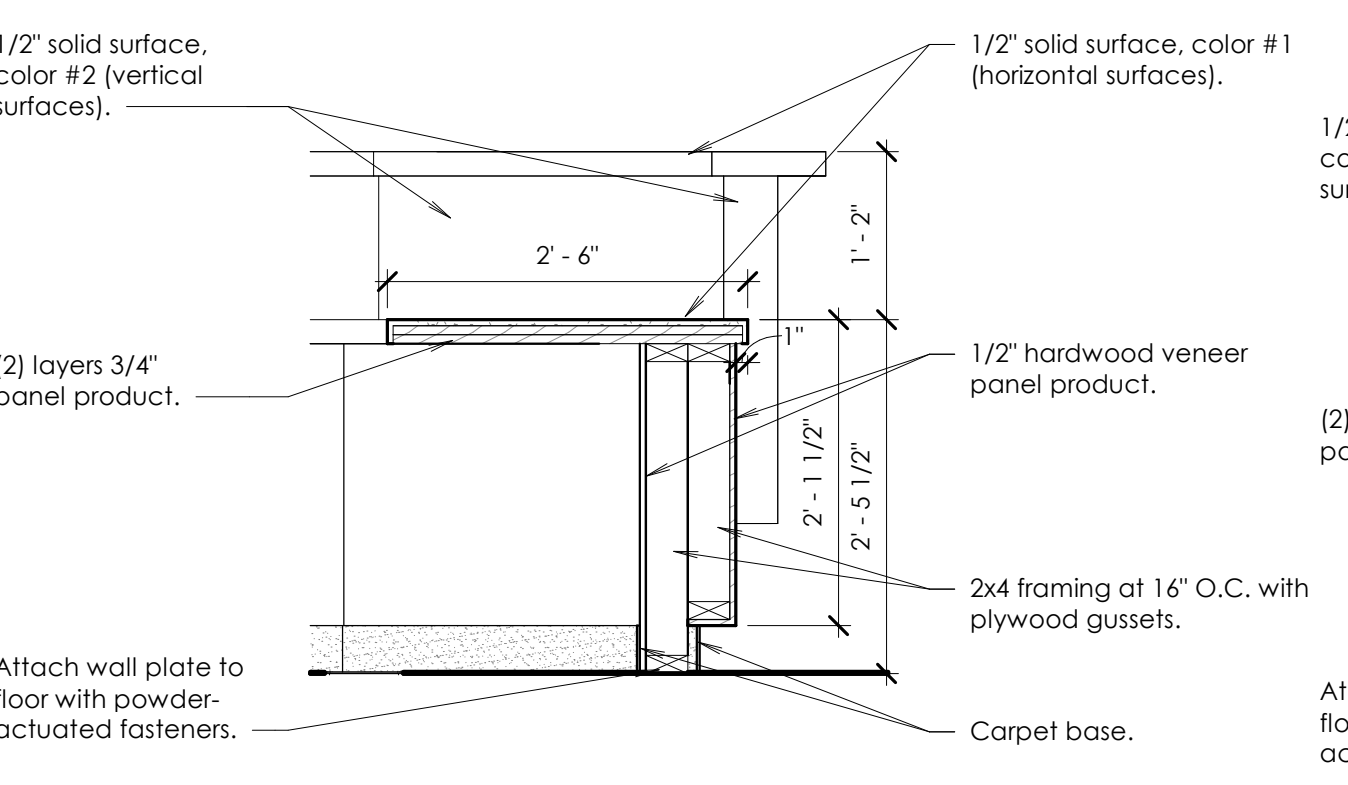
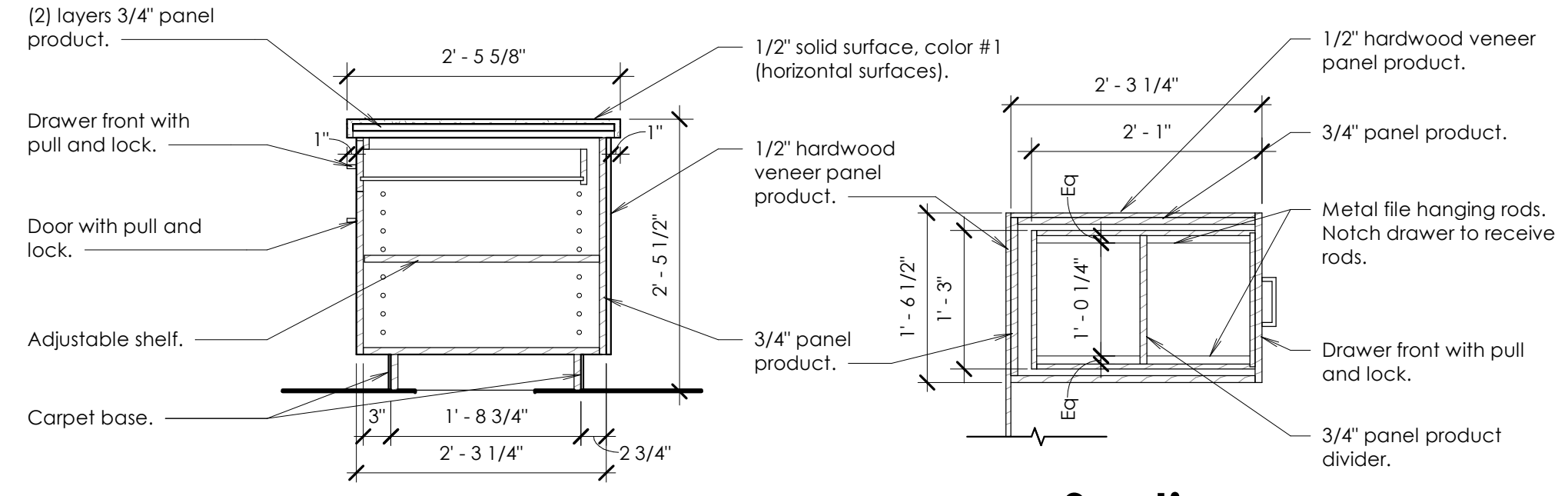
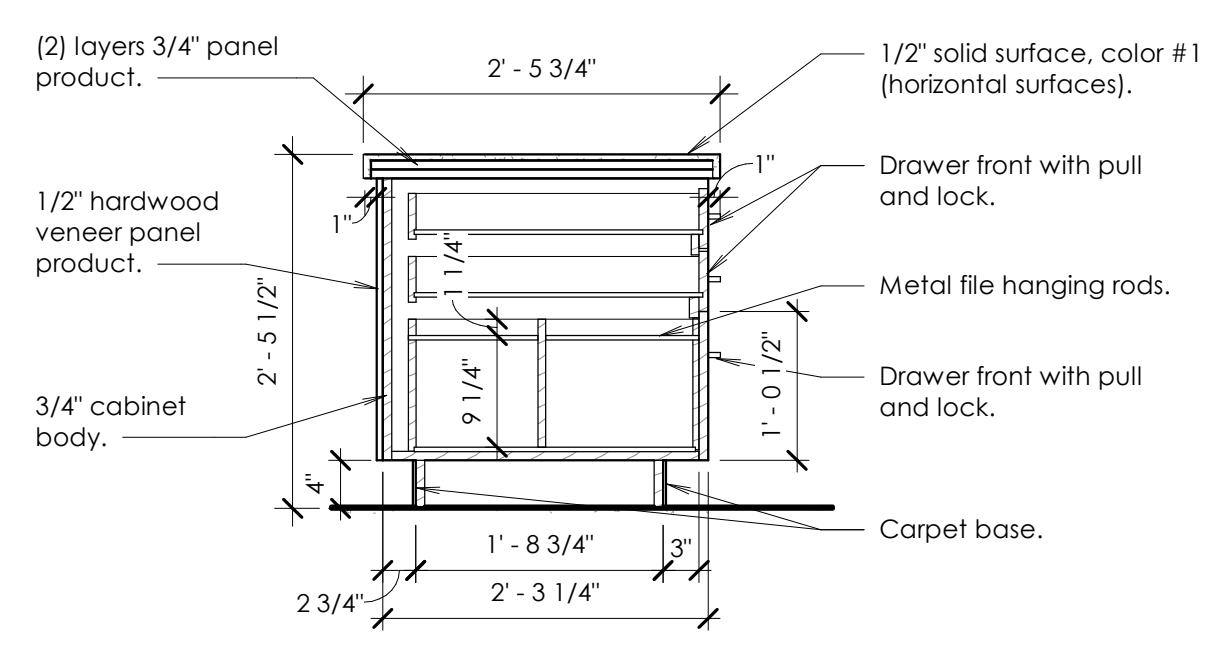
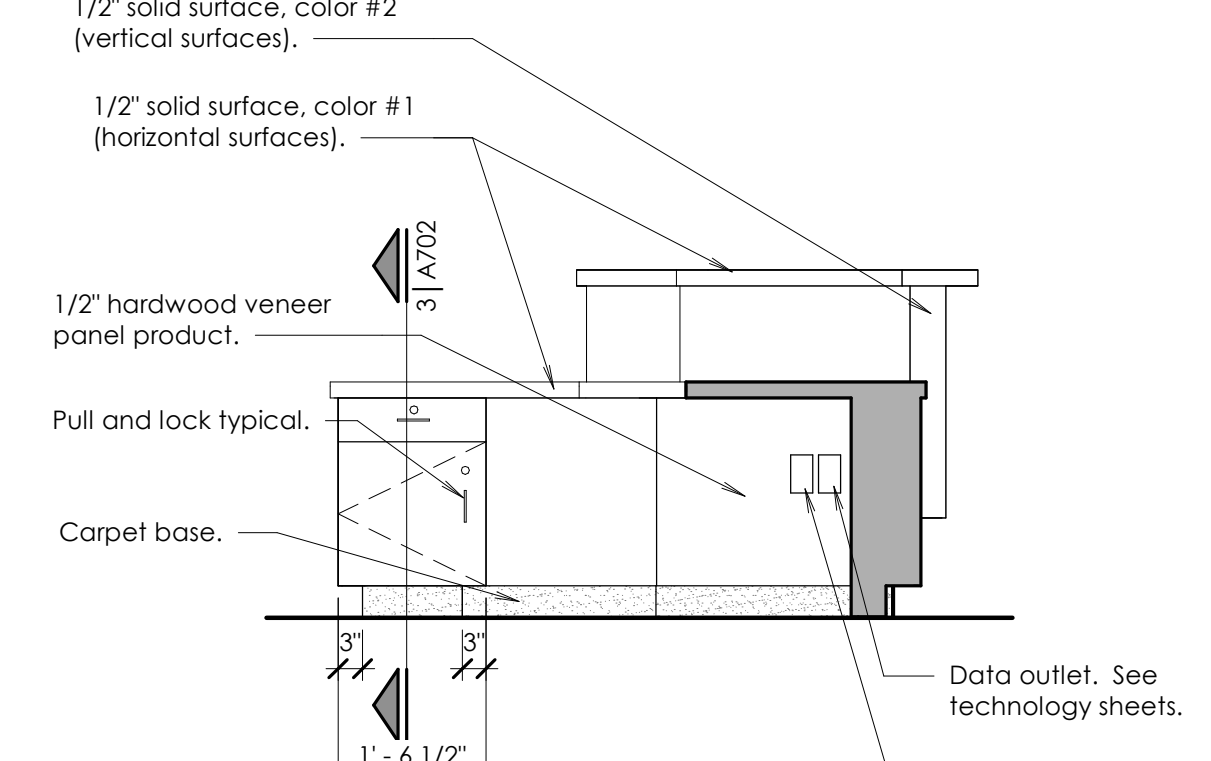
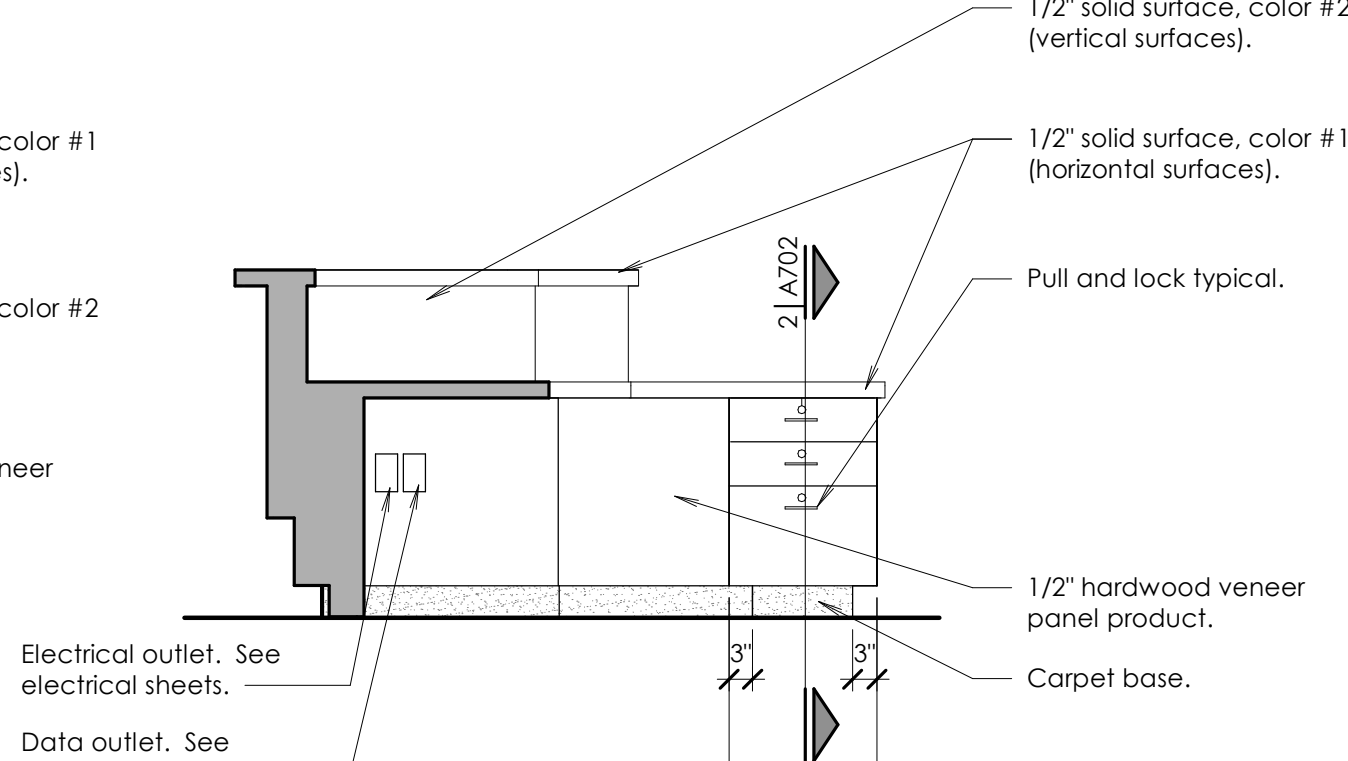
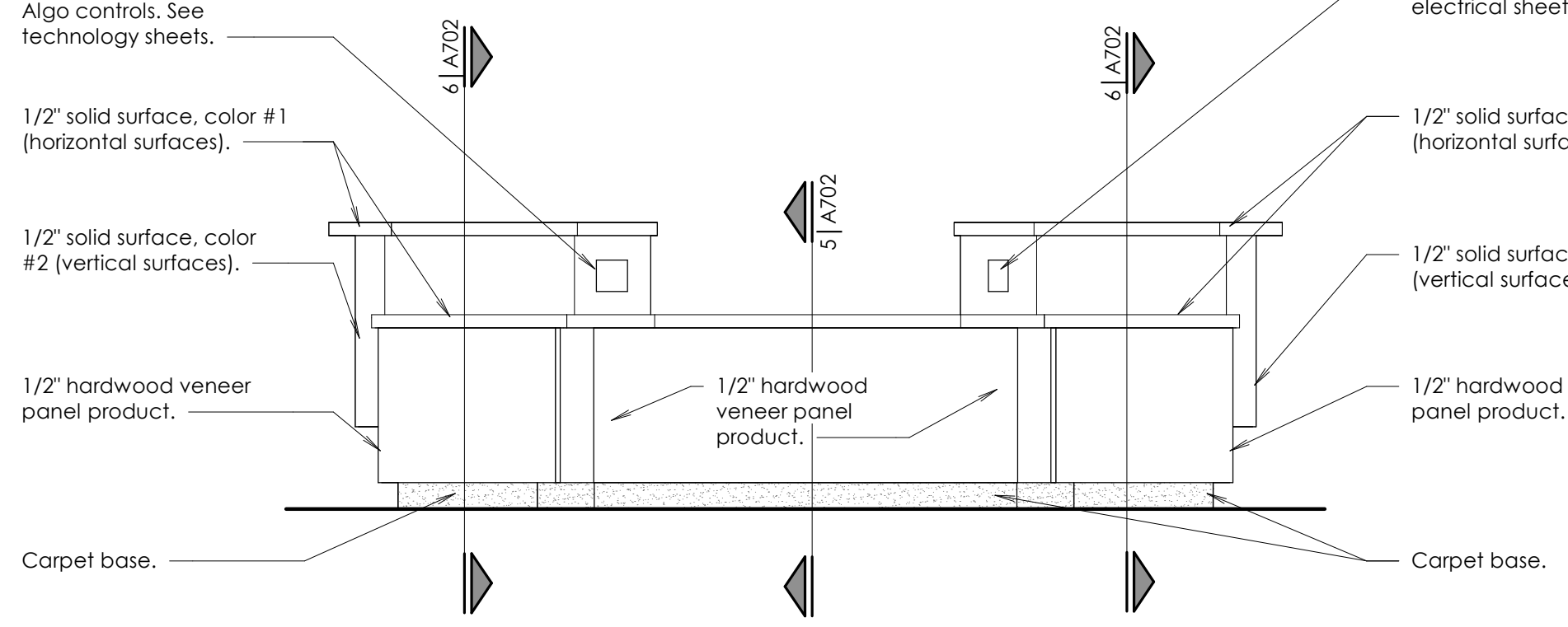
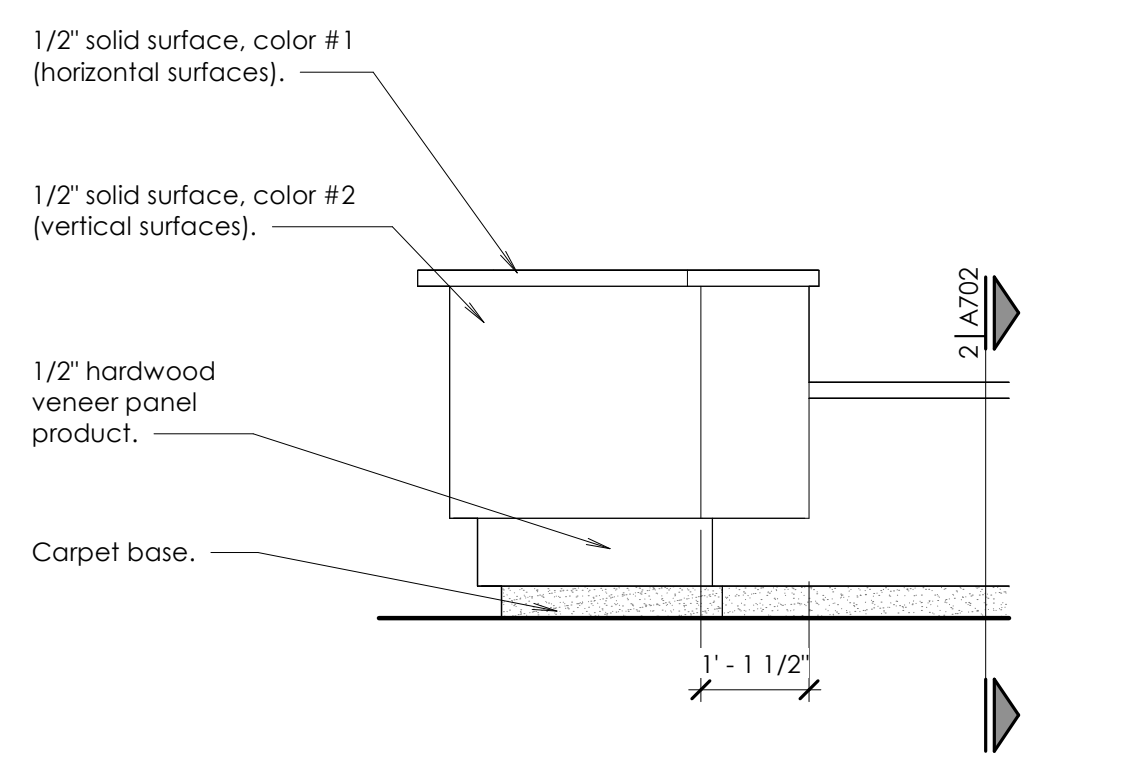
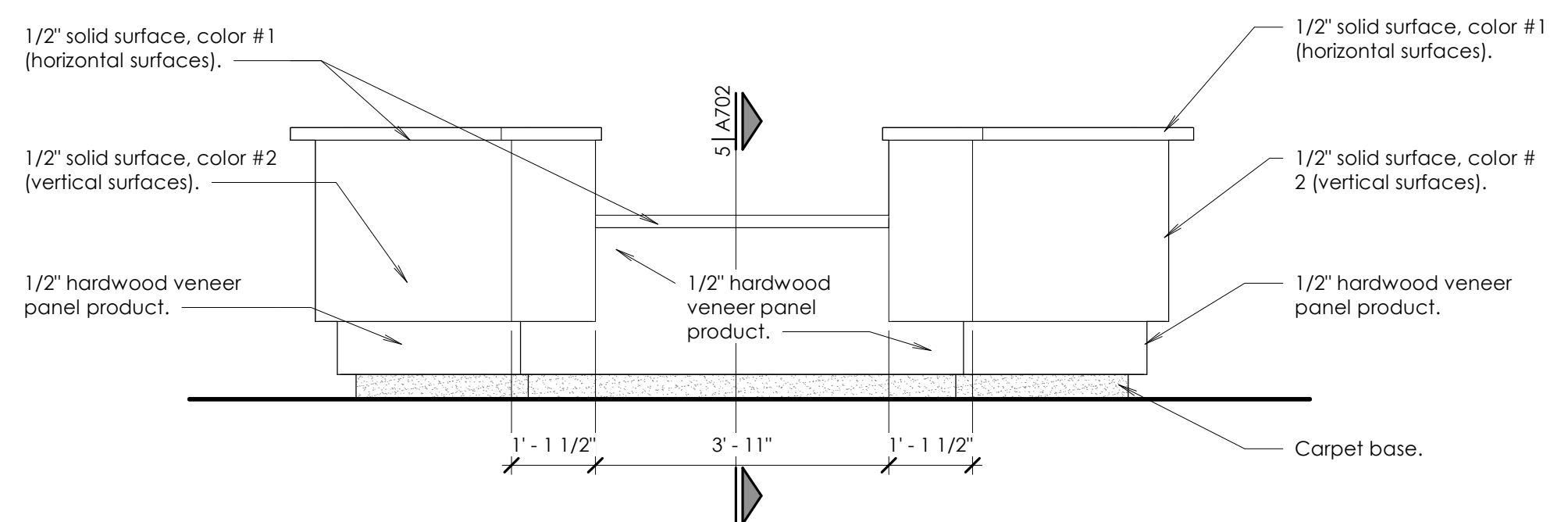
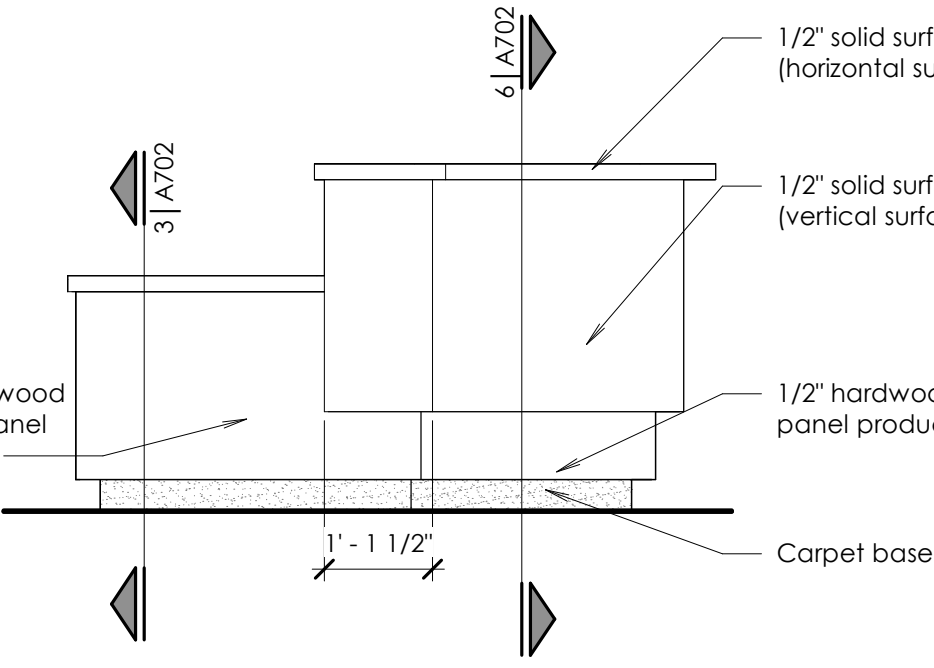
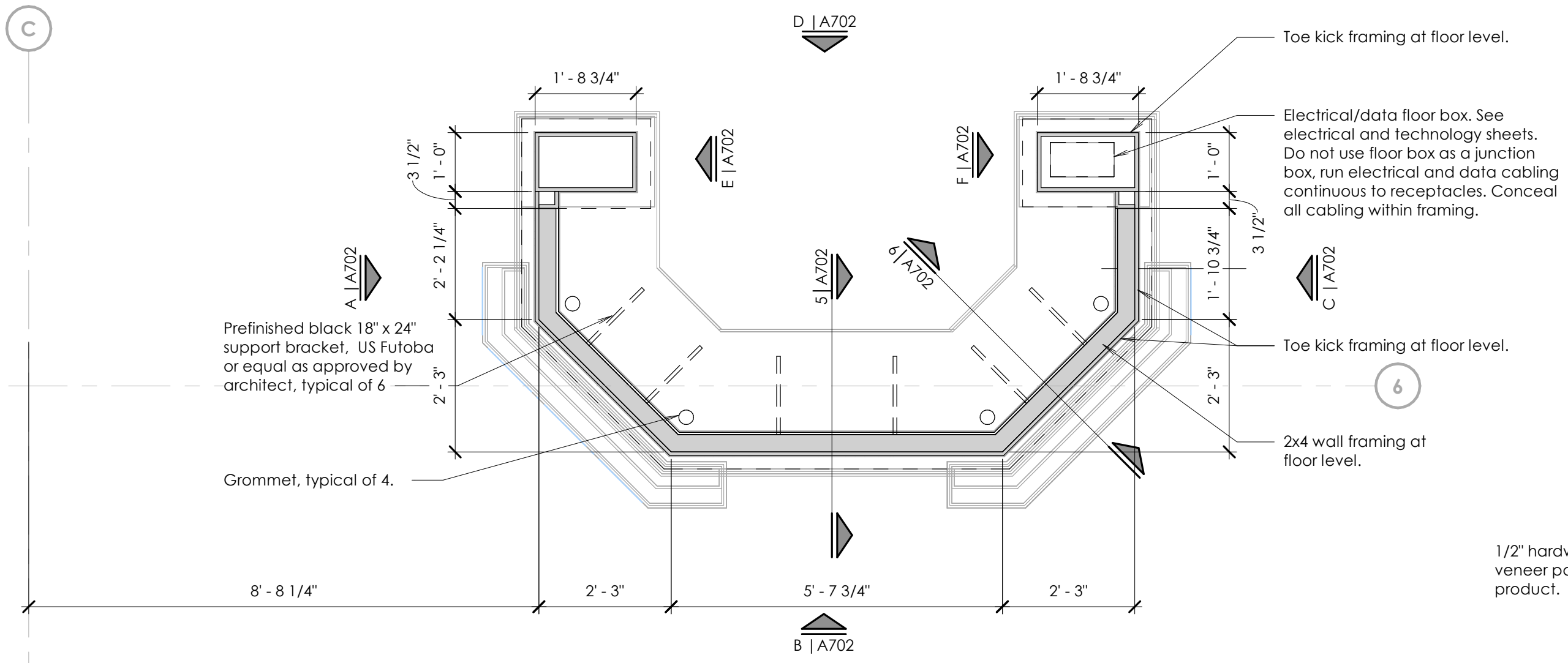
Drawing Issue and Revision Schedule

#	Date	Description
1	3/28/2024	AS - Schematic #1
2	3/28/2024	AS - Schematic #2
3	3/28/2024	AS - Bid Documents

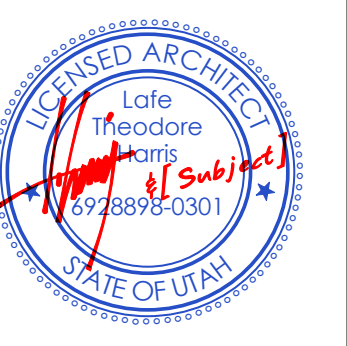
Site Architectural Plan
C111

©2024 BHD Architects. This document and the ideas and designs incorporated herein, as an instrument of professional service, are the property of BHD Architects, and may not be used or duplicated in whole or in part for any other project without written authorization of BHD Architects.

4/22/2024 10:21:37 AM



www.bhdarchitects.com
Phone 801.571.0010
Fax 801.571.0303
Toll Free 888.571.0010
45 East Wadsworth Park Drive
Suite 205 Draper, Utah 84020



THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

Tooele UT Deseret Peak Sr Seminary
Approximately 2234 North Berna Boulevard, Tooele, Utah 40,569,694, -112,303,347
Date: 3 Apr 2024
BHD #: 2326
Plan Series: 02-145-0-0115
Owner #: 501-3450
Custom 5 CR

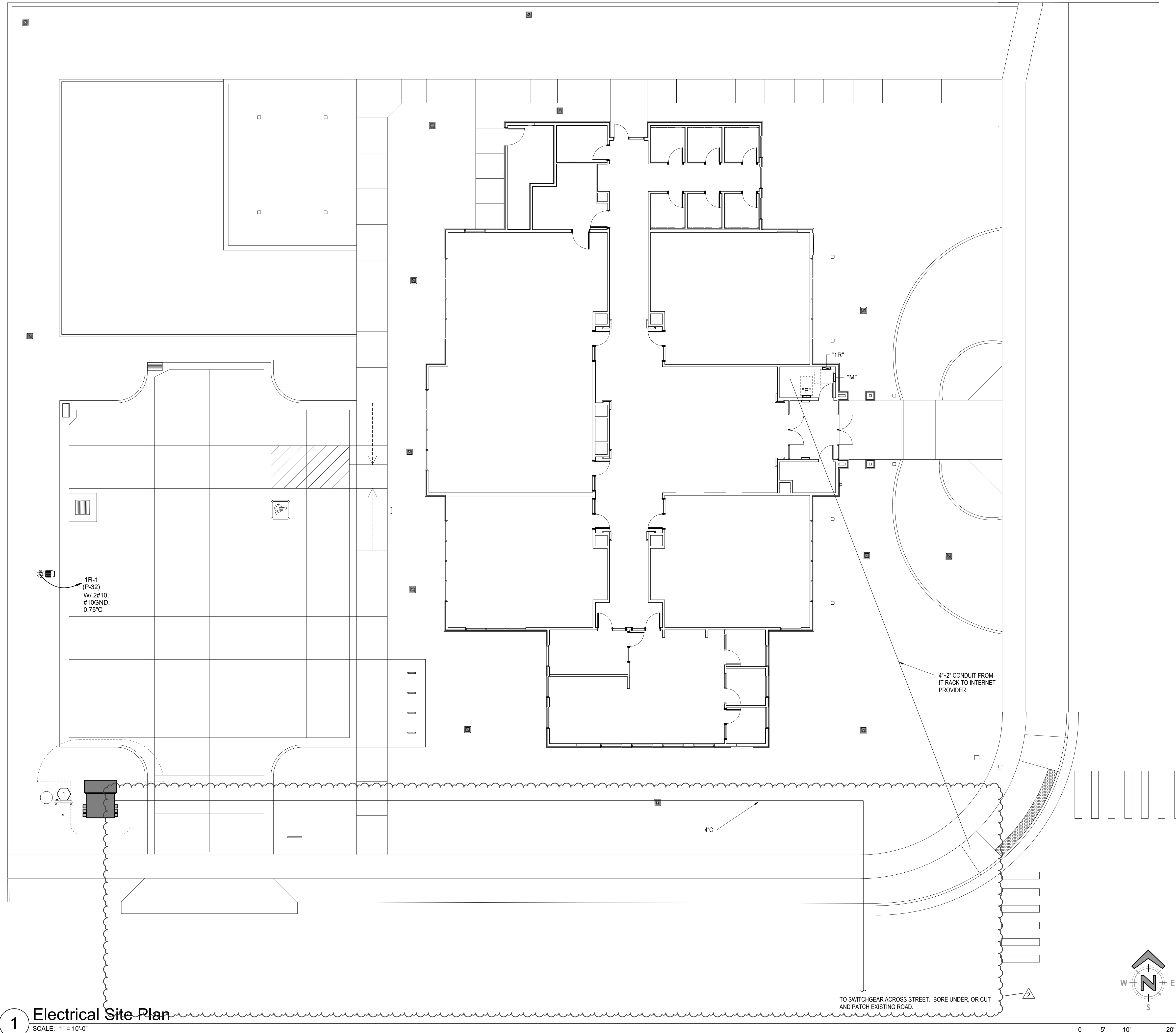
Sheet Issue and Revision Schedule	
#	Description
2	23 Apr 2024 Addendum #1
1	3 Apr 2024 Bid Documents

Casework Details

A702

©2024 BHD Architects. This document and the ideas and designs incorporated herein, as an instrument of professional service, are the property of BHD Architects, and may not be used or duplicated in whole or in part for any other project without written authorization of BHD Architects.

4/22/2024 9:14:24 PM



1 Electrical Site Plan
SCALE: 1" = 10'-0"

GENERAL SHEET NOTES

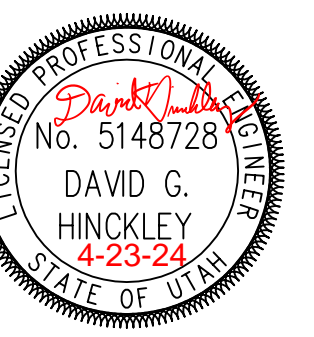
- 1 CONTRACTOR IS RESPONSIBLE FOR ALL TRENCHING, BACKFILL, AND COMPACTION ASSOCIATED TO ALL ELECTRICAL UNDERGROUND RACEWAYS AND CABLES. COORDINATE WITH ARCHITECTURAL AND CIVIL DRAWINGS. SEE UNDERGROUND RACEWAY DETAILS FOR REQUIREMENTS FOR EACH TRENCH.
- 2 CONTRACTOR SHALL INSTALL POLE MOUNTED LIGHTS IN STRAIGHT LINES, SQUARE, AND PLUMB. COORDINATE WITH ARCHITECT AND CIVIL DRAWINGS.
- 3 THE ELECTRICAL CONTRACTOR SHALL HAVE ANY AND ALL CONCRETE POLE BASES AND SLABS REVIEWED BY A STRUCTURAL ENGINEER AND SHALL MODIFY DESIGN PER STRUCTURAL ENGINEER'S AND OR AHJ'S RECOMMENDATIONS.
- 4 PROVIDE BATTERY PACKS IN ALL EXTERIOR FIXTURES ADJACENT TO EGRESS DOORS.
- 5 ALL EXTERIOR RECEPTACLES SHOWN SHALL BE NEMA 5-20R GFCI "WEATHER RESISTANT" RECEPTACLE WITH "WEATHER PROOF IN-USE COVER."
- 6 THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL CONCRETE/ASPHALT CUTTING AND REPLACEMENT OF CONCRETE/ASPHALT TO MATCH EXISTING ASSOCIATED WITH UNDERGROUND RACEWAYS PROVIDED AS PART OF THIS PROJECT.
- 7 REFER TO PLANS FOR CONSTRAINTS ON PHYSICAL DIMENSIONS AND CLEARANCE REQUIREMENTS OF EQUIPMENT. PROVIDE EQUIPMENT DIMENSIONS THAT FALL WITHIN THE CONSTRAINTS OF EACH SPECIFIC LOCATION.
- 8 PROVIDE SERVICE RATED EQUIPMENT AT EACH SERVICE ENTRANCE.
- 9 SERVICE EQUIPMENT SHALL BE LEGIBLY MARKED IN THE FIELD WITH THE MAXIMUM AVAILABLE FAULT CURRENT. VERIFY OR RE-CALCULATE THE AVAILABLE FAULT CURRENT AT THE SERVICE WHERE MODIFICATIONS TO THE ELECTRICAL INSTALLATION OCCUR. PLEASE INCLUDE NOTES IN THE ELECTRICAL DRAWINGS OR SUPPLY CALCULATIONS WHERE APPLICABLE. SEE NEC 110.24. (B)

SHEET KEYNOTES

- 1 MAIN ELECTRICAL PANEL AND METER.



www.bhdarchitects.com
Phone 801.571.0010
Fax 801.571.0303
Toll Free 888.571.0010
45 East Wadsworth Park Drive
Suite 205 Draper, Utah 84020



SPECTRUM ENGINEERS
324 S. State St., Suite 400
Salt Lake City, UT 84111
800-578-7077
801-328-5151
fax: 801-328-5155
www.spectrum-engineers.com

THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

Tooele UT Deseret Peak Sr Seminary

Approximately 2234 North Berna Boulevard, Tooele, Utah
40,569,684, -112,303,347

Date: 3 Apr 2024
BHD #: 2326
County Parcel: 02-145-0-0115
Plan Series: Custom SCR
Owner #: 501-3450

Sheet Issue and Revision Schedule

#	Date	Description
2	23 Apr 2024	Issued for #1
1	3 Apr 2024	Bld Documents

Electrical Site Plan

ES101