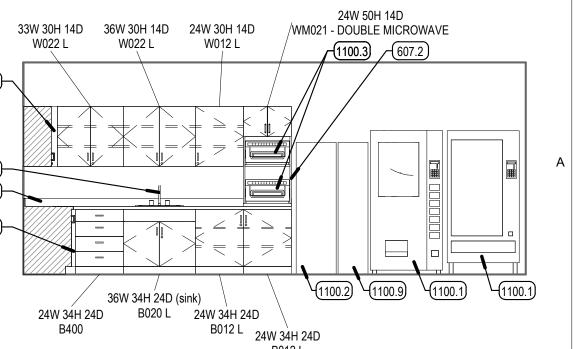


- 1. IT IS THE CONTRACTORS RESPONSIBILITY TO REVIEW AND COORDINATE THE WORK OF ALL SUB-CONTRACTORS. TRADES AND SUPPLIERS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BEFORE COMMENCING CONSTRUCTION, AND TO ASSURE THAT ALL PARTIES ARE AWARE OF ALL REQUIREMENTS, REGARDLESS OF WHERE THE REQUIREMENTS OCCUR IN THE CONTRACT DOCUMENTS, WHICH MIGHT
- WORK OF ALL SUB-CONTRACTORS. TRADES AND SUPPLIERS. THE CONTRACTOR SHALL ENDEAVOR TO IDENTIFY AND NOTIFY THE ARCHITECT OF ANY CONFLICTS BETWEEN THE WORK OF DIFFERENT PARTIES AT THE EARLIEST POSSIBLE DATE SO AS TO ALLOW REASONABLE AND ADEQUATE TIME FOR THE CONFLICT TO BE RESOLVED WITHOUT DELAYING THE WORK. ALL DEVIATIONS FROM THAT WHICH IS REQUIRED BY THE CONTRACT DOCUMENTS MUST BE APPROVED IN
- 3. THE ARCHITECTURAL DRAWINGS ESTABLISH AND COORDINATE THE FINISHED APPEARANCE AND EXACT LOCATION OF ALL EXPOSED ELEMENTS OF THE WORK OF ALL THE TRADES, INCLUDING THAT WORK WHICH IS ILLUSTRATED PRIMARILY ON DRAWINGS OF OTHER DISCIPLINES. QUANTITIES ARE TO BE PROVIDED AS SHOWN ON DRAWINGS OF OTHER DISCIPLINES BUT LOCATIONS SHOWN ON OTHER DRAWINGS ARE SCHEMATIC, UNLESS OTHERWISE NOTED ON THE ARCHITECTURAL DRAWINGS. THE ARCHITECTURAL DRAWINGS TAKE PRECEDENCE FOR THE FINISHED APPEARANCE AND EXACT LOCATION
- 4. EXCEPT WHERE DIRECTED TO PLACE ITEMS OF WORK AT THE APPROXIMATE LOCATION SHOWN; DO NOT SCALE DRAWINGS FOR DIMENSIONAL INFORMATION. ALL ELEMENTS OF THE DRAWINGS MAY NOT BE DRAWN TO EXACT SCALE. ALL DIMENSIONS REQUIRED ARE SHOWN OR MAY BE DERIVED FROM THOSE SHOWN ON THE FLOOR PLANS, DETAIL PLANS, ELEVATIONS, SECTIONS, DETAILS, SCHEDULES AND SPECIFICATIONS, IF DIMENSIONS ARE NOT PRESENT. THE ARCHITECT IS TO BE NOTIFIED SO THAT A CLARIFICATION CAN BE
- REPRESENTED ON SHEET G301, GENERAL ACCESSIBILITY GUIDELINES. NOTIFY ARCHITECT IF THE DESIGN DRAWINGS CONFLICT WITH THIS
- 6. CONTRACTOR MUST COORDINATE WORK HOURS WITH OWNER OR PROJECT REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK. APPROVAL OF PROPOSED SCHEDULE IS REQUIRED PRIOR TO COMMENCING ANY WORK. CONSTRUCTION RELATED ACTIVITIES SHALL NOT OBSTRUCT THE PROCESS OF DAY TO DAY WORK ON SITE UNLESS SPECIFICALLY APPROVED IN ADVANCE BY THE PROJECT REPRESENTATIVE. AFTER HOURS OR WEEKEND WORK SHALL BE EMPLOYED TO AVOID ADVERSE IMPACTS TO TENANT EMPLOYEES.
- 7. USE NORTH ELEVATOR FOR THE DURATION OF THE PROJECT FOR ALL
- 8. PAINT ALL WALLS, HM DOOR FRAMES, ELEVATOR DOORS, AND CEILING SOFFITS OF ALL ROOMS WITHIN SCOPE OF WORK SHOWN ON PLANS.

QUARTZ COUNTERTOP AND BACK SPLASH NEW VINYL PRIVACY FILM, FULL HEIGHT & WIDTH OF GLASS NEW RESILIENT FLOORING, MATCH EXISTING WALL MOUNTED DRY ERASE BOARD, 48"H X 48"W WALL MOUNTED DRY ERASE BOARD, 48"H X 72"W WALL MOUNTED DRY ERASE BOARD, 48"H X 96"W VENDING MACHINE, OWNER PROVIDED CONTRACTOR ICE MACHINE, OWNER PROVIDED CONTRACTOR INSTALLED MICROWAVE, OWNER PROVIDED CONTRACTOR INSTALLED REFRIGERATOR, OWNER PROVIDED CONTRACTOR INSTALLED COFFEE/WATER DISPENSER, OWNER PROVIDED CONTRACTOR

30W 30H 14D 15W 30H 14D

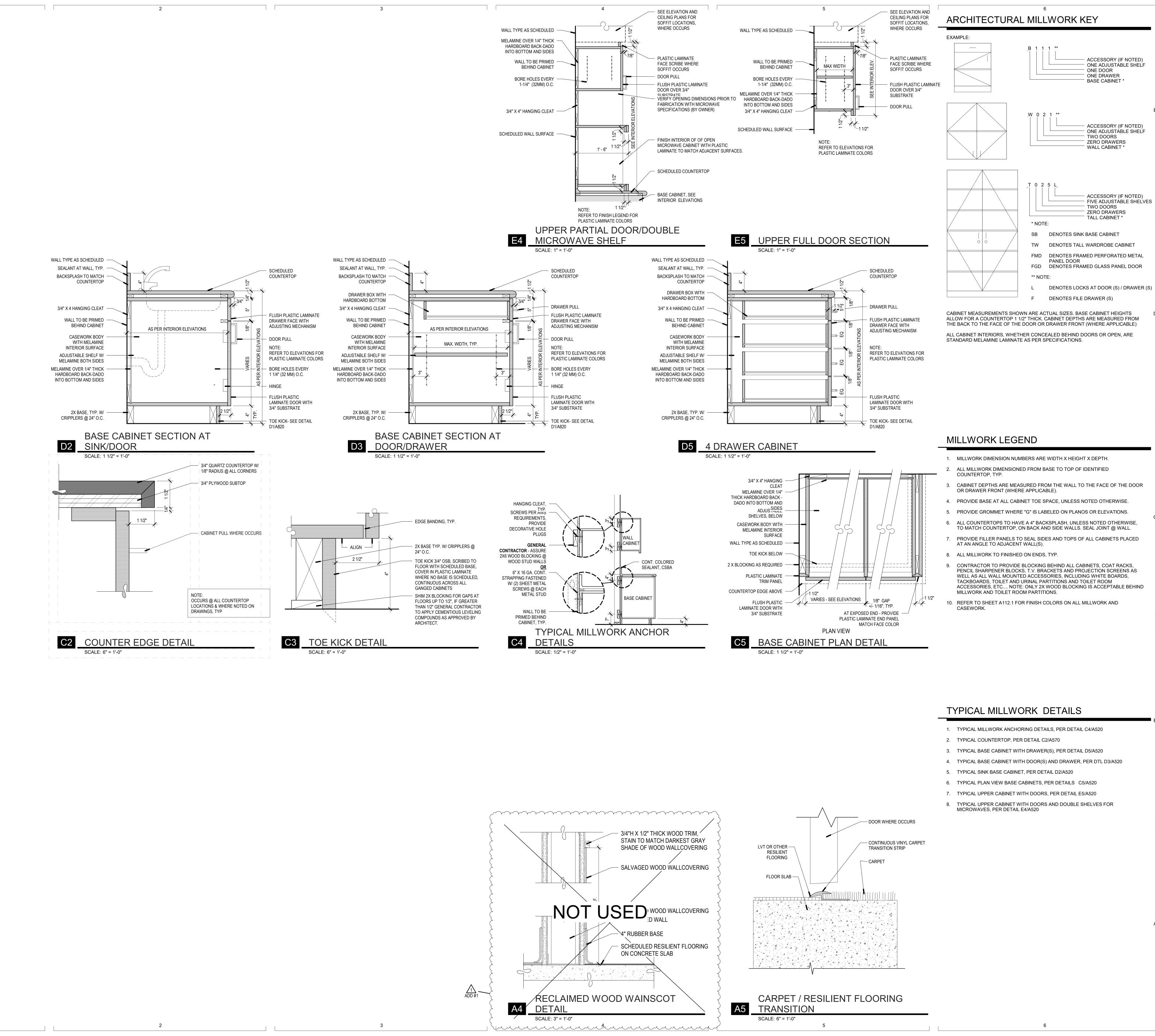


SEL ANNOTATED & FINISH PLAN - LEVEL 02 A120.1

01.26.2022

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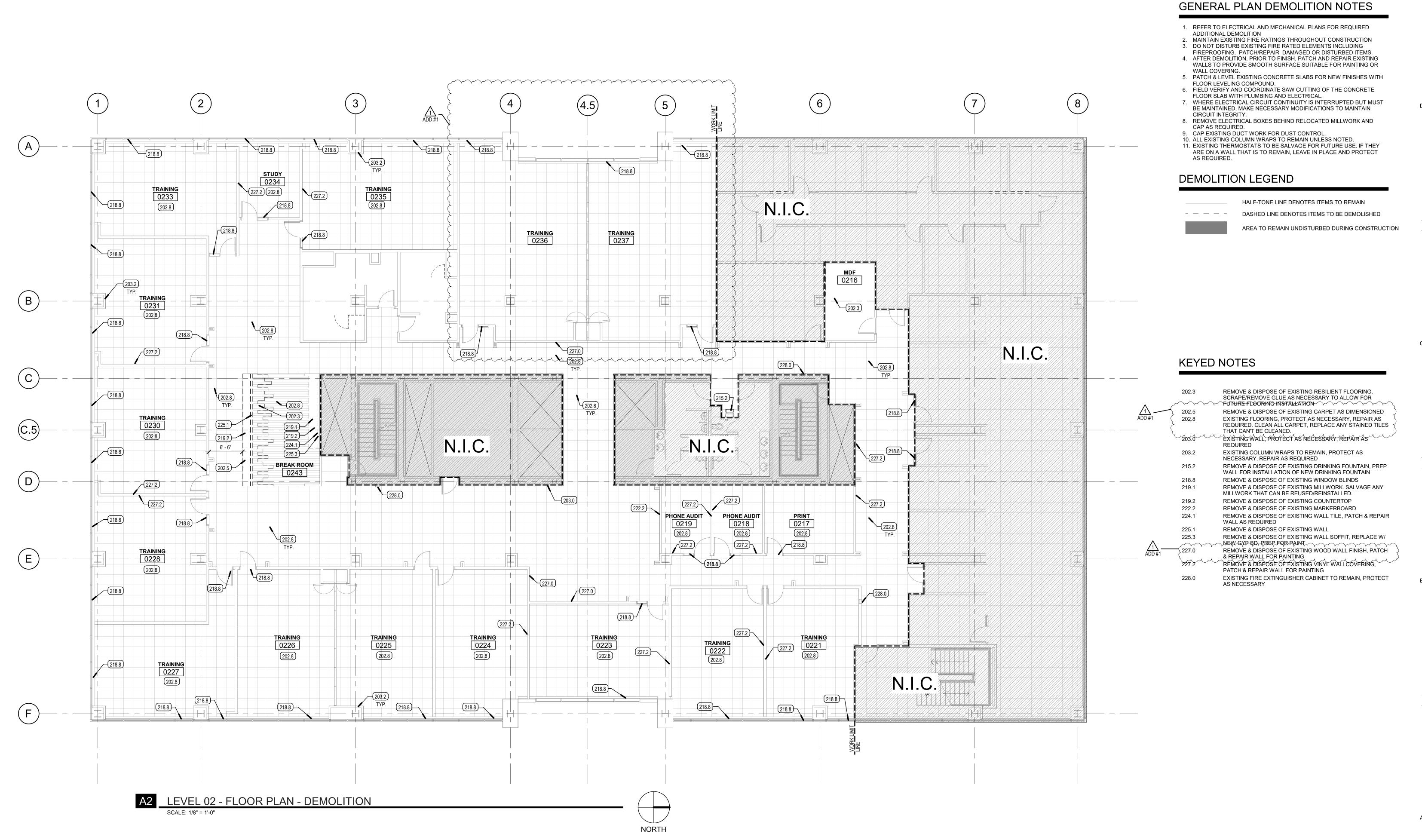
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CASEWORK DETAILS

A520



GENERAL DEMOLITION NOTES

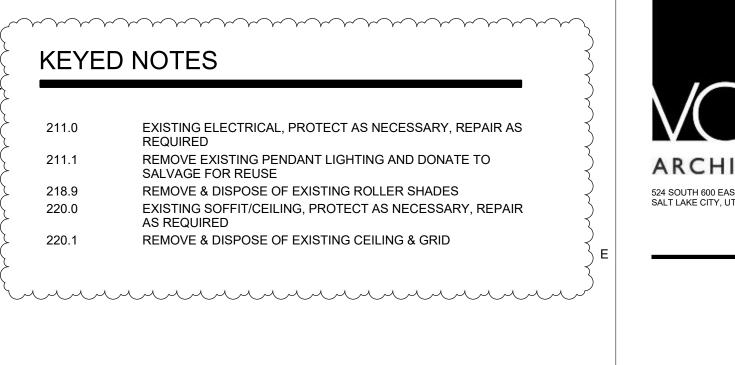
- 1. FIELD VERIFY DIMENSIONS AND CONDITIONS INCLUDING EXISTING UTILITIES PRIOR TO BIDDING. BRING DIFFERING DIMENSIONS AND
- CONDITIONS TO ARCHITECT'S ATTENTION PRIOR TO BIDDING. 2. PROVIDE DUSTPROOF ENCLOSURES AT PERIMETER OF CONSTRUCTION & DEMOLITION FOR PROTECTION OF ADJACENT
- 3. COORDINATE MAINTENANCE OF FIRE EGRESS FOR OCCUPANTS IN EXISTING BUILDING WITH THE OWNER AND FIRE MARSHAL.
- PROVIDE NECESSARY TEMPORARY WALLS OR ENCLOSURES, EMERGENCY LIGHTS, ETC., FOR THE DURATION OF CONSTRUCTION.
- 4. BRING TO ARCHITECT'S ATTENTION EXISTING CONDITIONS THAT PRESENT ANY CODE VIOLATIONS, INCORRECT CONSTRUCTION OR SAFETY PROBLEMS. 5. MAINTAIN EXISTING FIRE RATINGS AND ASSOCIATED FIRE
- PROTECTION SYSTEMS (I.E. FIRE SPRINKLERS AND FIRE ALARM SYSTEMS) THROUGHOUT CONSTRUCTION. COORDINATE ANY INTERRUPTION TO THESE SYSTEMS WITH THE OWNER AND FIRE MARSHAL. PROVIDE FIRE WATCH REQUIREMENTS ASSOCIATED WITH INTERRUPTIONS TO THESE SYSTEMS.
- 6. PROTECT EXISTING STRUCTURE, FINISHES, AND SITE ELEMENTS NOT SCHEDULED FOR DEMOLITION. RESTORE DAMAGED ITEMS TO THEIR ORIGINAL CONDITION OR REPLACE AT CONTRACTOR'S
- EXPENSE. 7. REMOVE AND DISPOSE OF SELECTIVE DEMOLITION MATERIAL PER CITY REQUIREMENTS.
- 8. SALVAGE MATERIAL WHERE INDICATED. REMOVE ITEMS FROM CURRENT LOCATIONS & PREPARE FOR TRANSPORT BY THE
- 9. AS SOME DEMOLITION WORK WILL BE SPECIFIC TO DIVISION 22, 23, 26, THE CONTRACTOR SHALL CROSS REFERENCE WITH ELECTRICAL AND MECHANICAL PLANS FOR ADDITIONAL DEMOLITION WHICH IS REQUIRED, BUT NOT REFLECTED ON ARCHITECTURAL DRAWINGS.

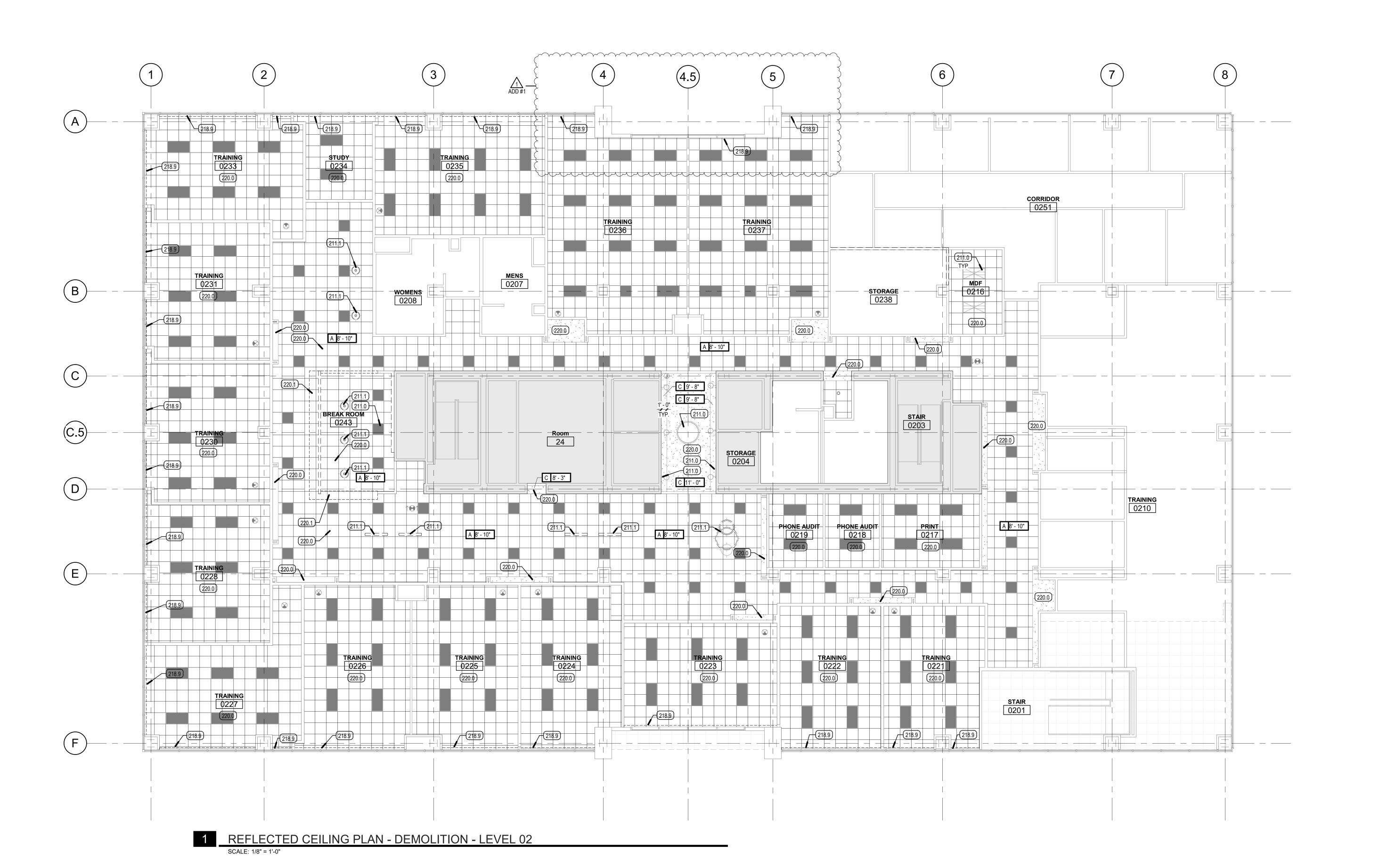
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