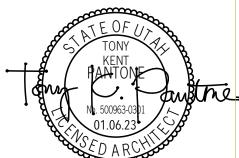
# WEST FIELD SR SEMINARY



**STUDIO 333 ARCHITECTS**333 24TH STREET
OGDEN, UT 84401
801.394.3033



**WEST FIELD SR SEMINARY** 4383 W 2200 S, OGDEN, UT

SCALE: 1:1.57

DATE: 04.27.23 PROJECT NUMBER: 2154

**ABBREVIATIONS:** Expansion Bolt EIFS Exterior Insul Fin System Mechanical Pound or Number Exp Jt **Expansion Joint** Anchor Bolt Manufacturer ACT

Acoustical Tile Adjustable Egual Not In Contract Above Finish Floor NTS Not To Scale Aluminum Elec Water Cooler 0.C. On Center **Property Line** Floor Drain Plas Lam Plastic Laminate **Bottom** Foundation FECB Fire Extinguisher Cab Resilient Base Built Up Roofing Fin Fl Finish(ed) Floor Reference Reinf Reinforce(d) (ing) Foot or Feet

Control Joint Footing Roofing Center Line Solid Core Galvanized Schedule Concrete Masonry Units **General Contractor** Section Similar Concrete Gyp Bd Gypsum Board Spec Specification Construction Construction Joint Hollow Case Hdwd Hardwood Contract(or) Temp Gl Tempered Glass Hardware

Handrail Ceramic Tile Hollow Metal UNO Unless Noted Otherwise VCT Inside Diameter Vinyl Composition Tile Dimension Include(d)(ing) Insulation Wood Interior Wdw Window W/O Joint Without Wsct Wainscot STANDARD MATERIAL LEGEND:

Ceramic Tile (in elevation)

Concrete Concrete & Plaster (in elevation) 

Concrete Masonry Units

BUR

CJT

CMU

Structural Fill

VICINITY MAP:

Metal Studs

PROJECT LOCATION

**2200 SOUTH** 

Building/Wall Section Reference

STANDARD SYMBOL LEGEND:

Sheet Reference Elevation Reference Sheet Reference Detail Reference Sheet Reference

Elevation Marker Room Number

Door Designation

Window Designation Room Title Room Number

Keyed Note

Partition Type

Ceiling Elevation Finish Label

Glazing Label

Equipment/Sign Label

Particle Board, MDF

Spray Foam Insulation

Wood Framing (cont. member) Wood Framing (interrupted

Glass (in elevation)

Gravel/ Rock Fill

Gypsum board

NOTES TO BIDDERS:

1. This sheet contains a list of drawings which comprise a full set of drawings for this project. Any Contractor, Subcontractor, Vendor or any other person participating in or bidding on this project shall be responsible for the information contained on any and all sheets of drawings and specifications. If any person, party or entity elects to submit bids for any portion, or all, of this project, that person, party or entity shall be responsible for any and all information contained in these drawings and specifications, including, but not limited to, any subsequent addendums or clarifications that may be issued.

These documents describe the design intent. It is the Contractor's responsibility to provide everything specified on the drawings

regardless of where it shown on the drawings or in the specifications. Everything specified in these documents shall be "new" and provided by the Contractor, Subcontractor, Vendor or any other person participating in or bidding on this project unless noted otherwise as "existing" (exist), "not in contract" (nic), or for reference only. Furnishings shown dashed shall be for reference only.

**GENERAL NOTES:** 

It is the Contractor's responsibility to review and coordinate the work of all Subcontractors, Trades and Suppliers with the requirements of the Contract Documents before commencing construction, and to assure that all parties are aware of all requirements, regardless of where the requirements occur in the Contract Documents, which might affect the work of that party. As part of the Contractor's responsibility to review and coordinate the work of all Subcontractors, Trades and Suppliers, the Contractor shall endeavor to identify and notify the Architect of any conflicts between the work of different parties at the earliest possible date so as to allow reasonable and adequate time for the conflict to be resolved without delaying the work. All deviations from that which is required by the Contract Documents must be approved in advance by the Architect. The Architectural drawings establish and coordinate the finished appearance and exact location of all exposed elements of the work of all the trades, including that work which is specified primarily on the drawings of other disciplines. Quantities are to be provided as shown on drawings of other disciplines but locations shown on other drawings are schematic. Unless otherwise noted on the architectural drawings, the architectural drawings take precedence for the finished appearance and exact location

of all parts of the work. Except where noted to place items of work at the approximate location shown, do not scale drawings for dimensional information. All elements of the drawings may not be drawn to exact scale. All dimensions required are shown or may be derived from those shown on the floor plans, enlarged plans, elevations, sections, details, schedules and specifications. If dimensions are not present, the Architect is to be notified so that a clarification can be issued.

**DEFERRED SUBMITTALS:** 

Contractor is responsible to submit deferred submittals in accordance with IBC 107.3.4.1 as part of the submittal process. The Contractor shall submit all ICC ERS reports for items noted:

21 1313 Wet-pipe Sprinkler Systems 28 3101 Fire Alarm

> **WEST FIELD SR SEMINARY** 4383 W 2200 S, OGDEN, UT

PROJECT TEAM:

OWNER:

CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS 50 E NORTH TEMPLE COB12 SALT LAKE CITY, UT 84150 PHONE: 801.450.3475

ARCHITECT:

STUDIO 333 ARCHITECTS 333 24TH STREET OGDEN, UT 84401 OFFICE PHONE: 801.394.3033 CONTACT: TONY K. PANTONE , AIA, LEED AP

STRUCTURAL ENGINEER:

ARW ENGINEERS 1594 WEST PARK CIRCLE OGDEN, UT 84404 PHONE: 801.782.6008 CONTACT: MATT MCBRIDE

CONTACT: BRIAN CHILDS

MECHANICAL ENGINEER:

الم 1ST LEVEL F.F.

**ROOM TITLE** 

TA-01

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100

OLSEN & PETERSON ENGINEERS 14 EAST 2700 SOUTH SALT LAKE CITY, UT 84115 PHONE: 801.699.8549 CONTACT: PAUL LAIRD

ELECTRICAL ENGINEER:

SPECTRUM ENGINEERS 324 SOUTH STATE ST SUITE 400 SALT LAKE CITY, UT 84111 PHONE: 800.678.7077 CONTACT: DAVID HINCKLEY

CIVIL ENGINEER:

GARDNER ENGINEERING 5150 SOUTH 375 EAST WASHINGTON TERRACE, UT 84405 PHONE: 801.476.0202 CONTACT: TYLER NIELSON

LANDSCAPE ARCHITECT:

E.A. LYMAN 8188 S HIGHLAND DR. STE D-7 SANDY, UT 84093 PHONE: 801.943.6564 CONTACT: ERIC LYMAN

FIRE DEPARTMENT: 2380 WASHINGTON BLVD SUITE #240

> OGDEN, UT, 84401 PHONE: 801.399.8374

PUBLIC WORKS DEPARTMENT:

WEBER COUNTY ENGINEERING 2380 WASHINGTON BLVD SUITE #240 OGDEN, UT, 84401 PHONE: 801.399.8374

PLANNING DEPARTMENT: WEBER COUNTY PLANNING DIVISION

2380 WASHINGTON BOULEVARD SUITE #240 OGDEN, UT 84401 PHONE: 801.399.8371

BUILDING DEPARTMENT:

WEBER COUNTY BUILDING 2380 WASHINGTON BLVD SUITE #270 OGDEN, UT 84401 PHONE: 801.399.8770

PROJECT DESCRIPTION:

A 14,629 S.F. single-story, wood-framed, 8-classroom custom seminary building.

ZONING INFORMATION:

APN 15:080:0044 ZONING HT. RESTRICTIONS 60 FT. MAX.; 25 FT. ACTUAL **BUILDING FLOOR AREA** 1ST LEVEL 14,629 S.F.

SITE DEVELOPMENT STATISTICS:

TOTAL FLOOR AREA

87,159 S.F. 33,104 S.F. LANDSCAPING AREA

**BUILDING DEVELOPMENT STATISTICS:** 

APPLICABLE CODES

2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL MECHANICAL CODE 2018 INTERNATIONAL PLUMBING CODE 2018 INTERNATIONAL FIRE CODE

15,000 S.F.

2018 INTERNATIONAL FUEL GAS CODE 2020 NATIONAL ELECTRICAL CODE 2018 INTERNATIONAL ENERGY CONSERVATION CODE 2018 INTERNATIONAL EXISTING BUILDING CODE ICC/ANSI A117.1-2009

NO. DATE

DESCRIPTION

OCCUPANCY **BUILDING TYPE** FIRE SPRINKLERS FULLY AUTOMATED FIRE SPRINKLER SYSTEM PROVIDED. SHEET INDEX:

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G1.3 TYPICAL ANSI ACCESSIBILITY STANDARDS G1.4 TYPICAL ANSI ACCESSIBILITY STANDARDS LIFE SAFETY PLANS

G2.1 1ST LEVEL LIFE SAFETY PLAN G2.2 2ND LEVEL LIFE SAFETY PLAN SITE PLANS

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SITE DETAILS SD2.1 SITE DETAILS SD2.2 SITE DETAILS

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CE3.1 UTILITY PLAN CE4.1 SWPPP CE5.1 CIVIL DETAILS CE5.2 CIVIL DETAILS

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A2.6 EXTERIOR DETAILS **BUILDING SECTIONS** BUILDING SECTIONS

A3.2 BUILDING SECTIONS BUILDING SECTIONS A3.4 BUILDING SECTIONS

WALL SECTIONS WALL SECTIONS A4.2 WALL SECTIONS

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A5.12 INTERIOR ELEVATIONS A5.13 INTERIOR ELEVATIONS A5.14 INTERIOR ELEVATIONS A5.15 INTERIOR ELEVATIONS

A5.16 INTERIOR ELEVATIONS

MILLWORK DETAILS A6.1 MILLWORK DETAILS VERTICAL CIRCULATION A7.1 STAIR PLANS & SECTIONS

A8.1 SIGNAGE SCHEDULE & DETAILS DOOR & WINDOW SCHEDULES / DETAILS

MISCELLANEOUS DETAILS

**CONFORMED SET** DATE: 04.27.23 PROJECT NUMBER: 2154 SCALE: 1' = 1'-0"



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A9.51 OPENING DETAILS - INTERIOR GLAZING PARTITIONS A9.52 OPENING DETAILS - INTERIOR GLAZING PARTITIONS RENDERINGS A10.1 RENDERINGS

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P2.1 ENLARGED PLUMBING PLAN WASTE AND VENT P2.2 ENLARGED PLUMBING PLAN WASTE AND GAS P5.1 PLUMBING SCHEDULES P6.1 PLUMBING DETAILS P6.2 PLUMBING DETAILS

P6.3 PLUMBING DETAILS ELECTRICAL EL101 1ST LEVEL LIGHTING PLAN EL102 2ND LEVEL LIGHTING PLAN EP101 1ST LEVEL POWER PLAN EP102 2ND LEVEL POWER PLAN

EP103 ROOF LEVEL POWER PLAN EP401 ENLARGED POWER PLAN FA101 1ST LEVEL FIRE ALARM PLAN FA102 2ND LEVEL FIRE ALARM PLAN ES101 ELECTRICAL SITE PLAN

EE501 SITE ELECTRICAL DETAILS EE601 ONE-LINE DIAGRAM EE602 FIRE ALARM RISER EE603 SCHEDULES EE604 SCHEDULES

ET101 TECHNOLOGY ROUGH-IN PLAN ET102 TECHNOLOGY SYSTEMS PLAN ET501 TECHNOLOGY ROUGH-IN SCHEDULE & DETAILS TA601 AV SYSTEMS SCHEDULE & DETAILS TA602 AV SYSTEMS RISER DIAGRAM & DETAILS TT601 DATA SYSTEM SCHEDULES & NOTES

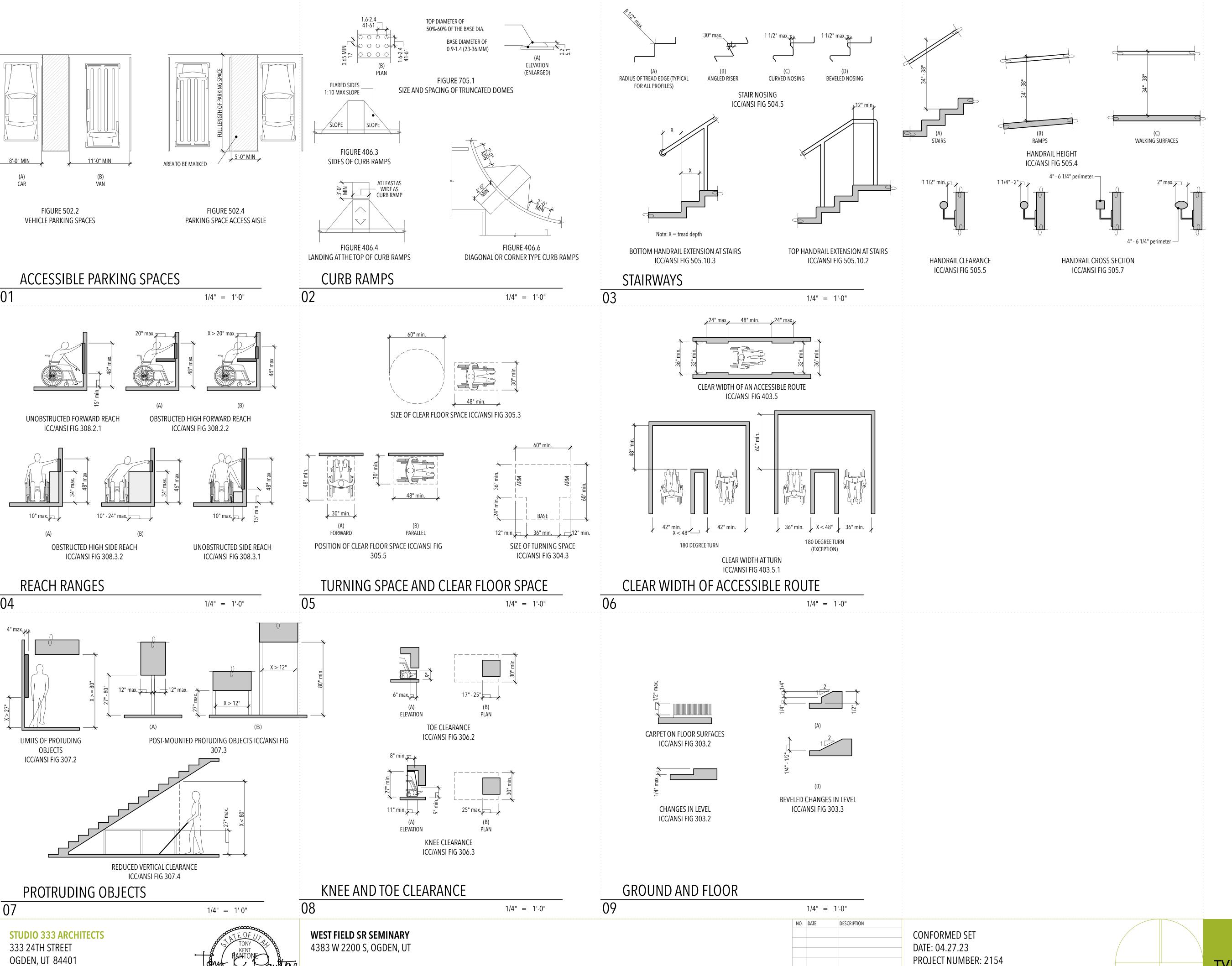
TT602 DATA SYSTEM RISER DIAGRAM AND DETAILS

FIRE PROTECTION FP1.1 FIRST FLOOR FIRE PROTECTION PLAN FP1.2 2ND LEVEL FIRE PROTECTION PLAN FP5.1 FIRE PROTECTION DETAILS

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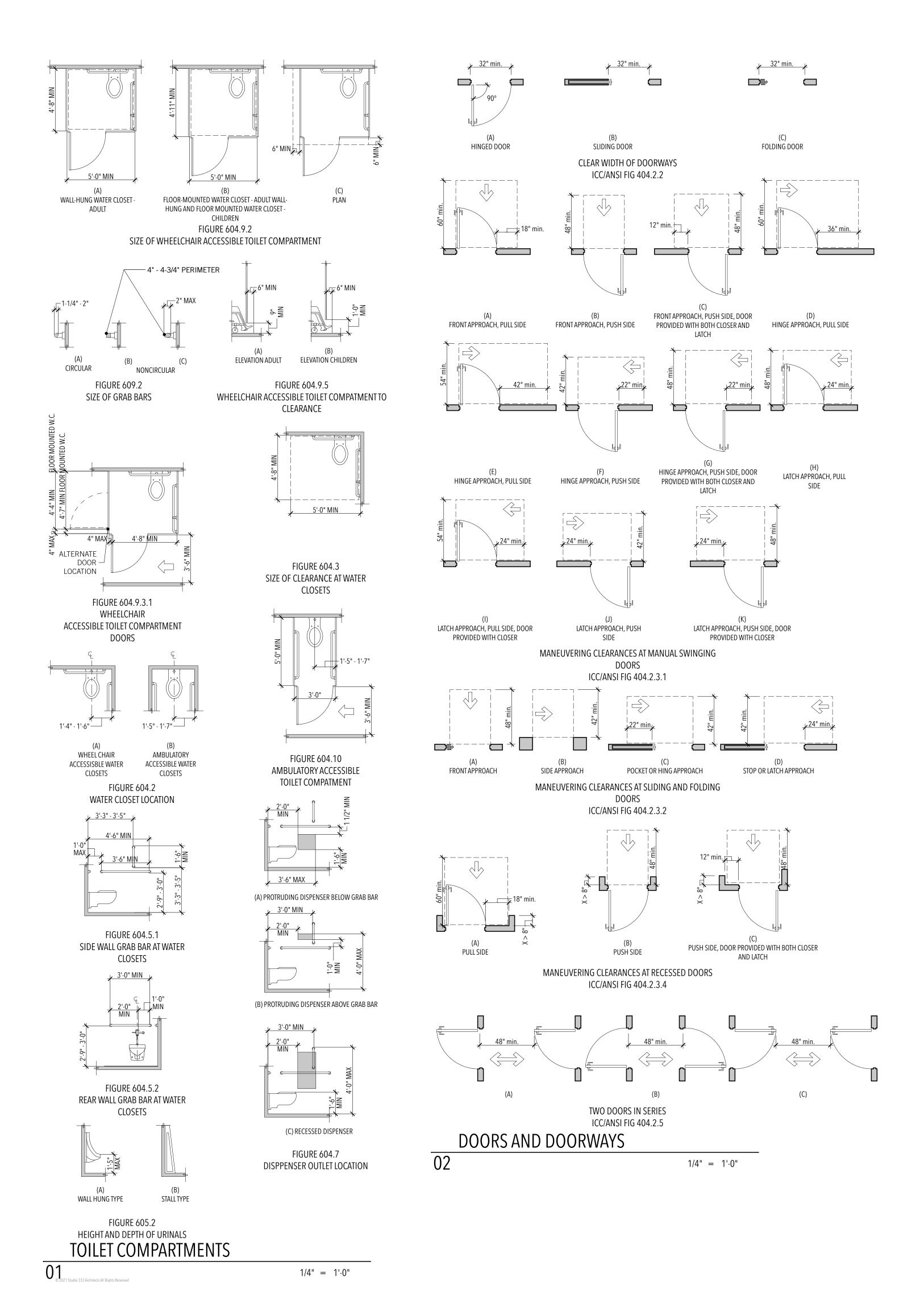


OGDEN, UT



801.394.3033

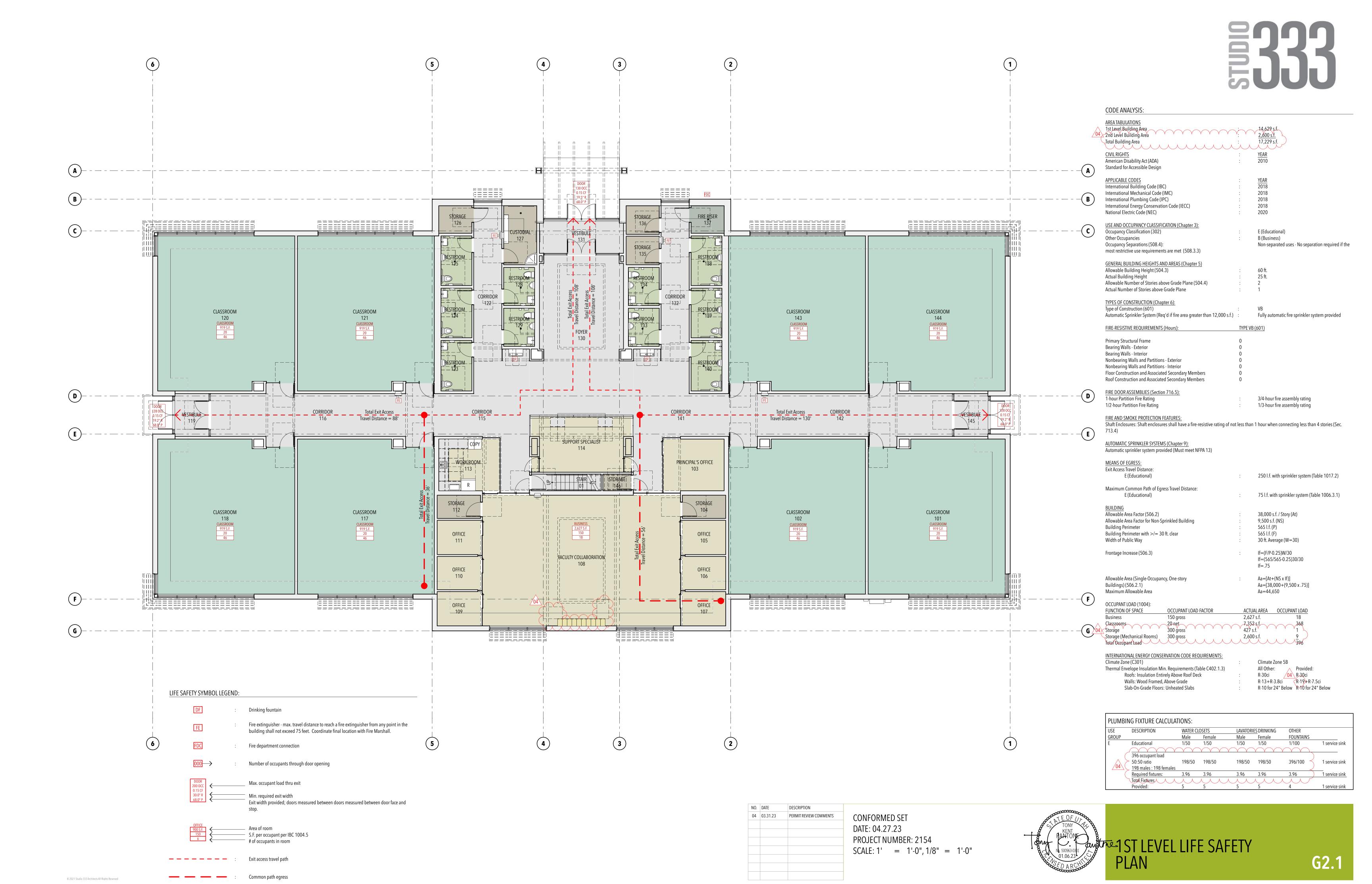
TYPICAL ANSI ACCESSIBILITY STANDARDS



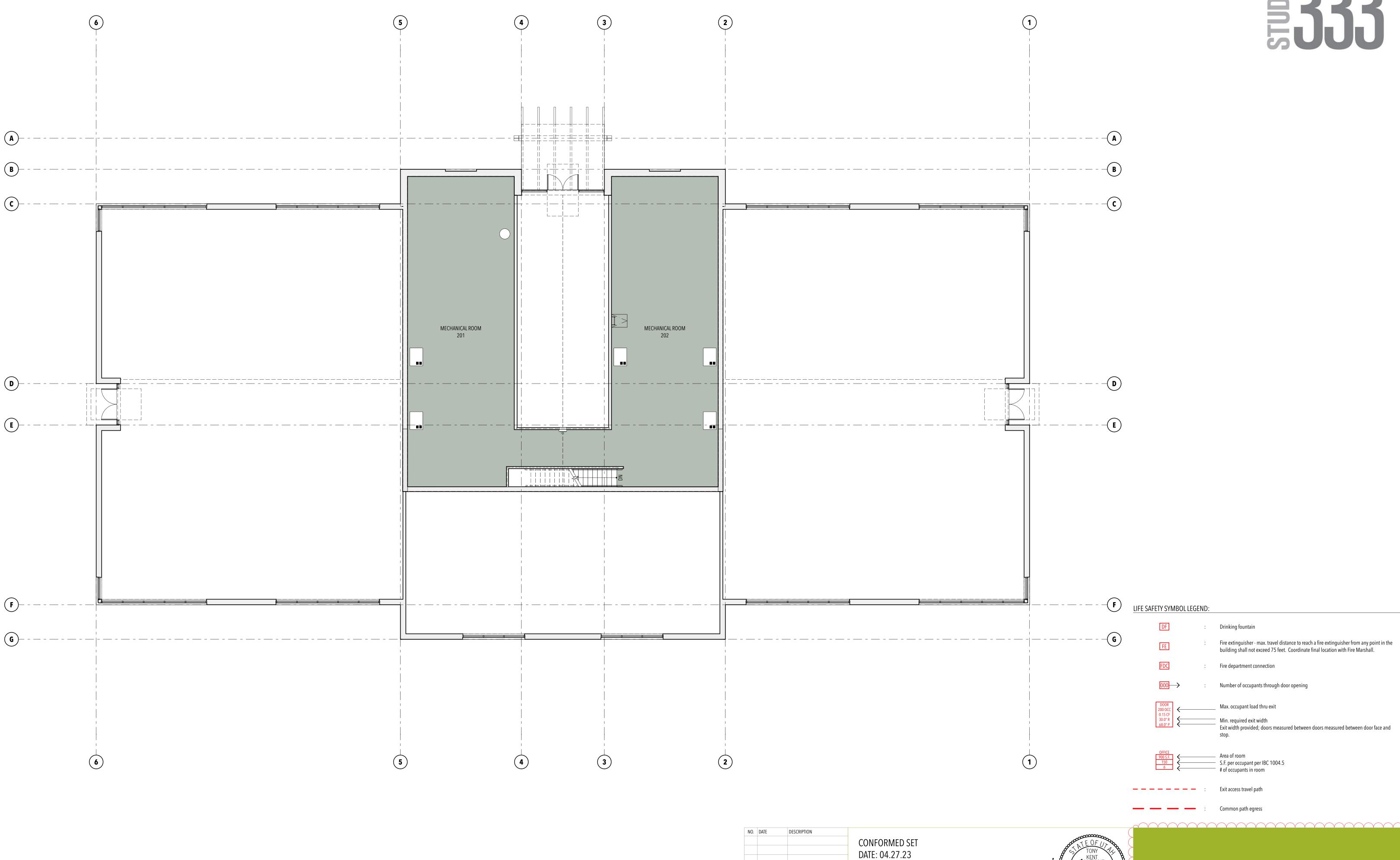


CONFORMED SET
DATE: 04.27.23
PROJECT NUMBER: 2154
SCALE: 1/4" = 1'-0"



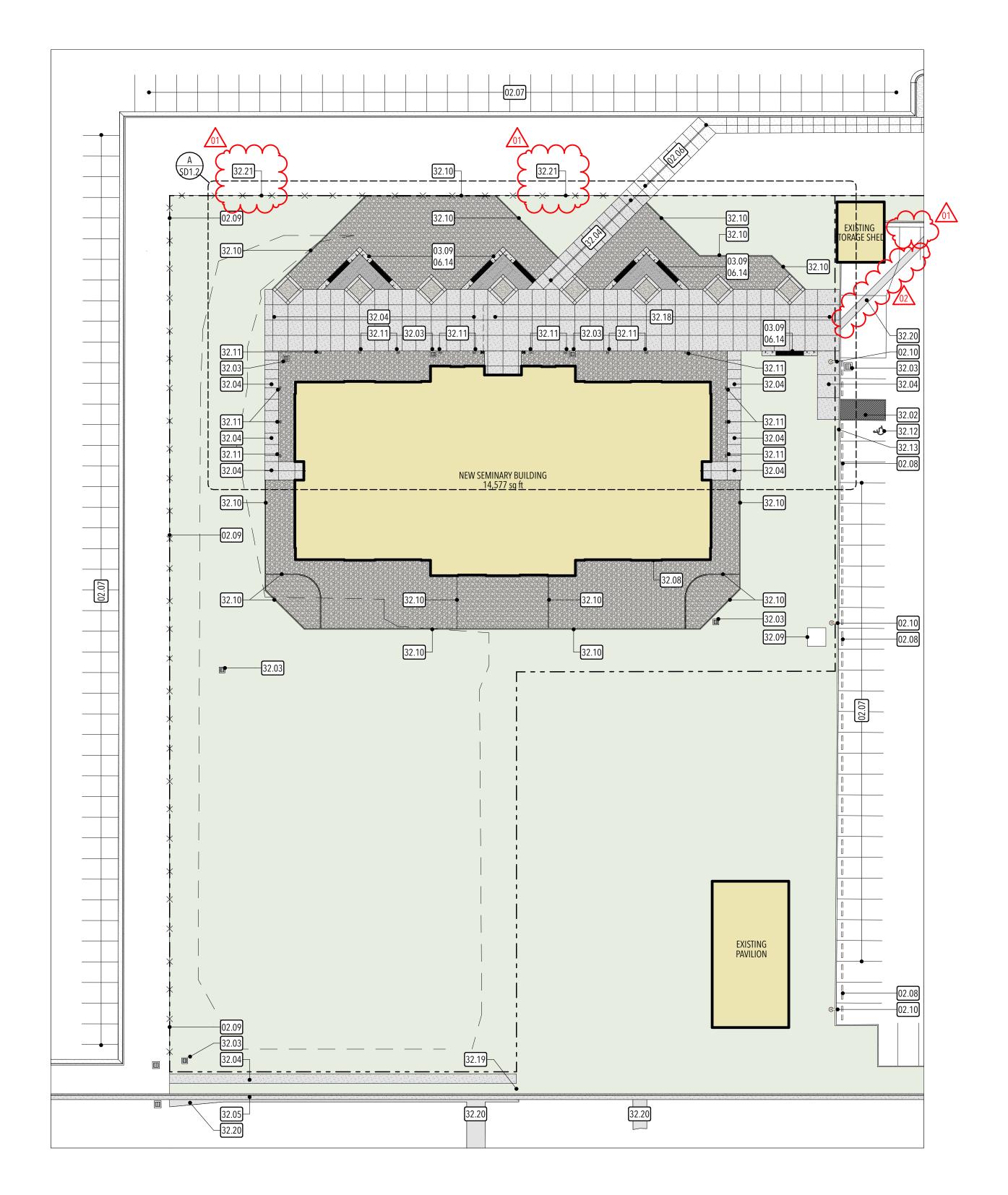






PROJECT NUMBER: 2154

SCALE: 1' = 1'-0", 1/8" = 1'-0"





#### GENERAL SITE PLAN NOTES:

- Field verify all dimensions, utilities, improvements, etc. Re: civil drawings for demolition, grading, utilities, erosion control, etc.
- Re: sheet ES1.1 for site lighting and electrical.
- Provide construction / expansion joints as shown re: civil drawings for details.

  Provide underground PVC sleeves below concrete site elements as required for irrigation system re: civil & landscape.

  Grading at the building shall have a 5% minimum slope away from the building for a minimum of 10'-0", uno. Concrete shall be sloped 2% away from building.
- Top of foundation shall be 8" above finished grade uno see IBC 1808.7.4.

  All utility connections from city streets to the building are to be provided under this contract. Contractor shall verify city standards for road, curb, utility and signage requirements.
- All exterior sidewalks, stairs and landings shall have positive drainage, but no more than a maximum of 1/4" slope per foot. All stairs and ramps shall have a landing of 48 inches long at the top and bottom with a maximum slope of 1/4" per foot. All rebar in exterior applications shall be epoxy coated.
- All hardscape shall be a minimum of 4" thick concrete over 4" free-draining gravel base.

  Finish grade of softscape shall be 2" uniformly below paving surfaces uno.

  Coordinate location and orientation of fire hydrant outlets with the Fire Marshall's office prior to the final installation of the
- Contractor shall abide to the Utah Division of Air Quality requirements and call (801).536.4400 prior to beginning construction on
- Contractor shall notify Blue Stakes at (800).662.4111 or http://.www.bluestakes.org prior to beginning construction on site.

#### **KEYED NOTES:**

- 02.06 Existing concrete walk
- 02.07 Existing parking striping 02.08 Existing precast concrete wheel stop
- 02.09 Existing 5' high chain link fence system to remain
- 02.10 Existing light pole and base to remain
- 03.09 Architectural concrete bench re: details and specifications. Coordinate form tie layout with Architect.
- 06.14 Steel/composite bench system re: details
- 32.02 Parking striping re: civil
- 32.03 Catch basin re: civil
- 32.04 Concrete walk re: civil
- 32.05 Concrete curb and gutter re: civil
- 32.08 Electrical equipment re: electrical and civil 32.09 Electrical transformer on pad - re: electrical and civil
- 32.10 Concrete mow strip re: landscape/civil
- 32.11 Light bollard installed on 12"x12"x12" thick concrete pad, or as recommended by manufacturer re: electrical
- 32.12 ADA parking symbol re: civil
- 32.13 ADA parking sign re: civil
  32.18 Heavy duty concrete sidewalk/drive access re: civil

- 32.19 Mail box re-civil
  32.20 Asphalt sawcut & pavement patch re: civil
  32.21 Fence at this property line, by others

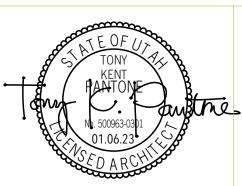
### SITE PLAN LEGEND:

Area of building construction Landscaping. Existing landscaping to remain - protect from damage. Asphalt paving. Existing asphalt paving to remain - protect from damage.

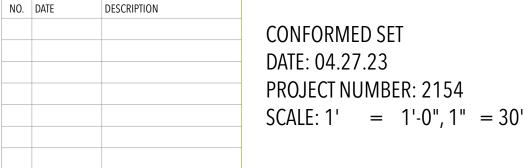
Concrete paving.

Existing concrete paving to remain - protect from damage.

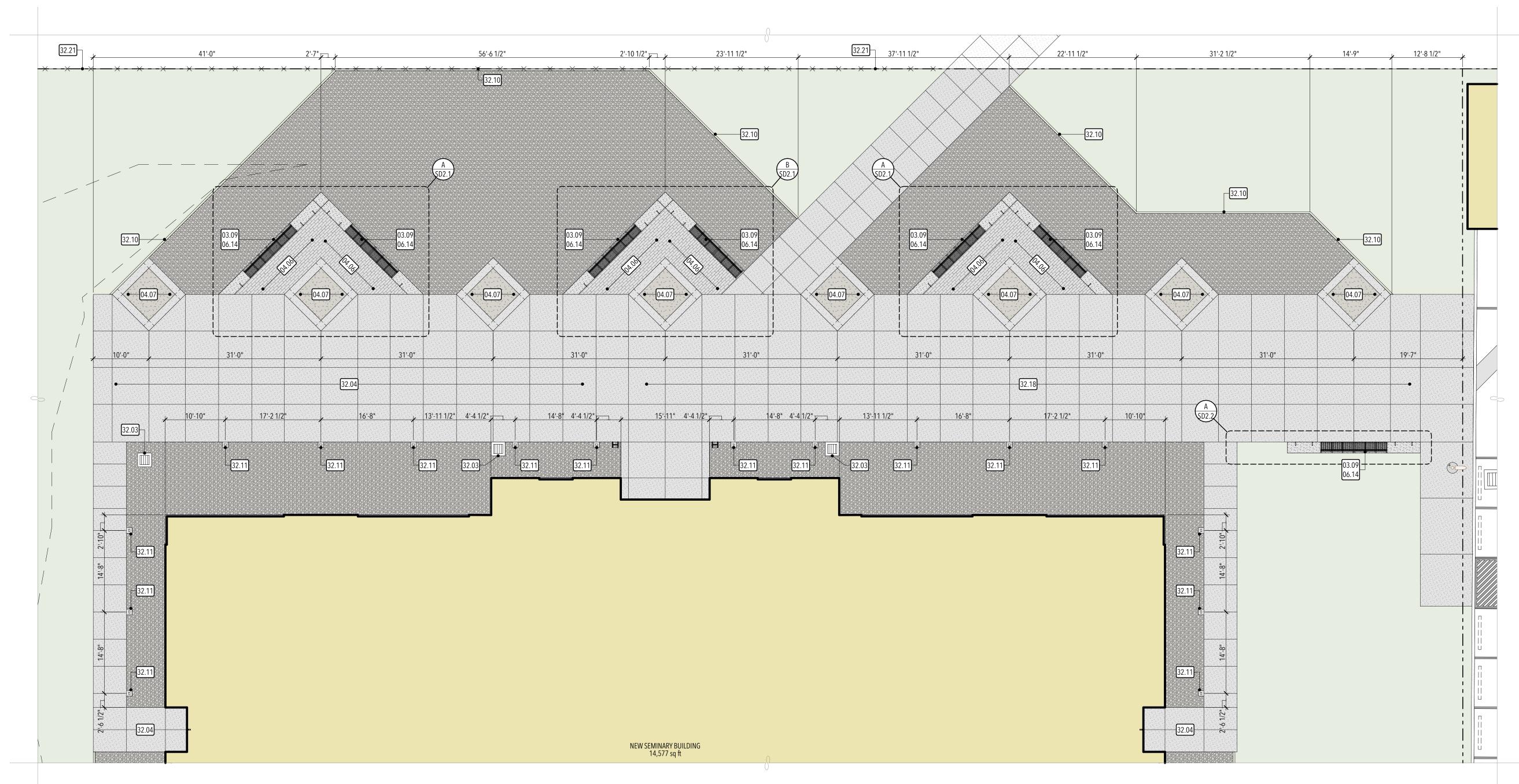
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WEST FIELD SR SEMINARY 4383 W 2200 S, OGDEN, UT







GENERAL SITE PLAN NOTES:

Field verify all dimensions, utilities, improvements, etc. Re: civil drawings for demolition, grading, utilities, erosion control, etc.

Re: sheet ES1.1 for site lighting and electrical.

Provide construction / expansion joints as shown - re: civil drawings for details. Provide underground PVC sleeves below concrete site elements as required for irrigation system - re: civil & landscape.

Grading at the building shall have a 5% minimum slope away from the building for a minimum of 10'-0", uno. Concrete shall be

sloped 2% away from building.

Top of foundation shall be 8" above finished grade uno - see IBC 1808.7.4.

All utility connections from city streets to the building are to be provided under this contract. Contractor shall verify city standards for road, curb, utility and signage requirements. All exterior sidewalks, stairs and landings shall have positive drainage, but no more than a maximum of 1/4" slope per foot. All

stairs and ramps shall have a landing of 48 inches long at the top and bottom with a maximum slope of 1/4" per foot. All rebar in exterior applications shall be epoxy coated.

All hardscape shall be a minimum of 4" thick concrete over 4" free-draining gravel base.

Finish grade of softscape shall be 2" uniformly below paving surfaces uno.

Coordinate location and orientation of fire hydrant outlets with the Fire Marshall's office prior to the final installation of the

Contractor shall abide to the Utah Division of Air Quality requirements and call (801).536.4400 prior to beginning construction on

N. Contractor shall notify Blue Stakes at (800).662.4111 or http://.www.bluestakes.org prior to beginning construction on site.

**KEYED NOTES:** 

03.09 Architectural concrete bench - re: details and specifications. Coordinate form tie layout with Architect.

04.06 Concrete paver system (Belgard; Melville Plank or equivalent; Size: Slim Pavers in 5"x11 13/16"x2 3/8" and 5"x15 3/4"x2 3/8"; Colors: 40%/60% mix of Rio and Scandia Gray) installed over 1" bedding layer over 6" compacted aggregate base over filtration fabric - re: detail 03/SD2.1. Install with tight-fitted joints in Slim Linear Pattern as shown

04.07 4" thick x 16" wide concrete border installed over 6" minimum compacted gravel base. Provide control joints as shown

on plan.
06.14 Steel/composite bench system - re: details

32.03 Catch basin - re: civil

32.04 Concrete walk - re: civil

32.10 Concrete mow strip - re: landscape/civil

32.11 Light bollard installed on 12"x12"x12" thick concrete pad, or as recommended by manufacturer - re: electrical 32.18 Heavy duty concrete sidewalk/drive access - re: civil

32.21 Fence at this property line - by others

SITE PLAN LEGEND:

Area of building construction Landscaping.

Existing landscaping to remain - protect from damage.

Asphalt paving.

Existing asphalt paving to remain - protect from damage.

Existing concrete paving to remain - protect from damage.

STUDIO 333 ARCHITECTS 333 24TH STREET OGDEN, UT 84401

ENLARGED ARCHITECTURAL SITE PLAN



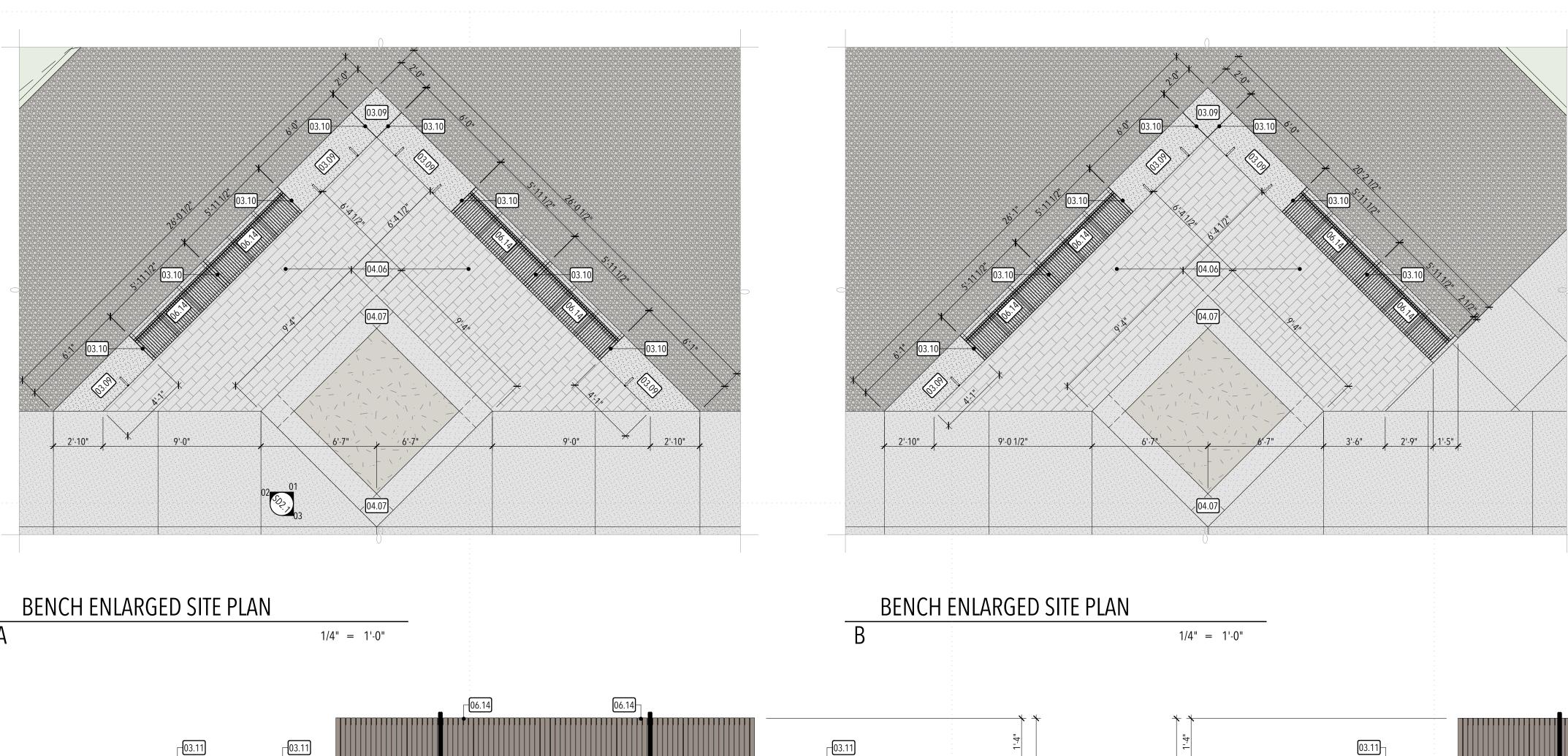
1" = 10'

WEST FIELD SR SEMINARY 4383 W 2200 S, OGDEN, UT NO. DATE DESCRIPTION CONFORMED SET DATE: 04.27.23 PROJECT NUMBER: 2154 SCALE: 1' = 1'-0", 1" = 10'

ENLARGED ARCHITECTURAL SITE PLAN

Concrete paving.

801.394.3033



#### **KEYED NOTES:**

- 03.09 Architectural concrete bench re: details and specifications. Coordinate form tie layout with Architect.
- 03.10 3/4" x 3/4" concrete control joint typ.
- 1 1/8" wide x 8 deep extruded aluminum skateboard deterrent (Gorilla 135 or equivalent). Install on (2) concealed G PIN anchors set into concrete foundation as per manufacturer's recommendations. Install in locations noted on concrete bench elevations.
- O4.06 Concrete paver system (Belgard; Melville Plank or equivalent; Size: Slim Pavers in 5"x11 13/16"x2 3/8" and 5"x15 3/4"x2 3/8"; Colors: 40%/60% mix of Rio and Scandia Gray) installed over 1" bedding layer over 6" compacted aggregate base over filtration fabric re: detail 03/SD2.1. Install with tight-fitted joints in Slim Linear Pattern as shown on drawings
- 04.07 4" thick x 16" wide concrete border installed over 6" minimum compacted gravel base. Provide control joints as shown

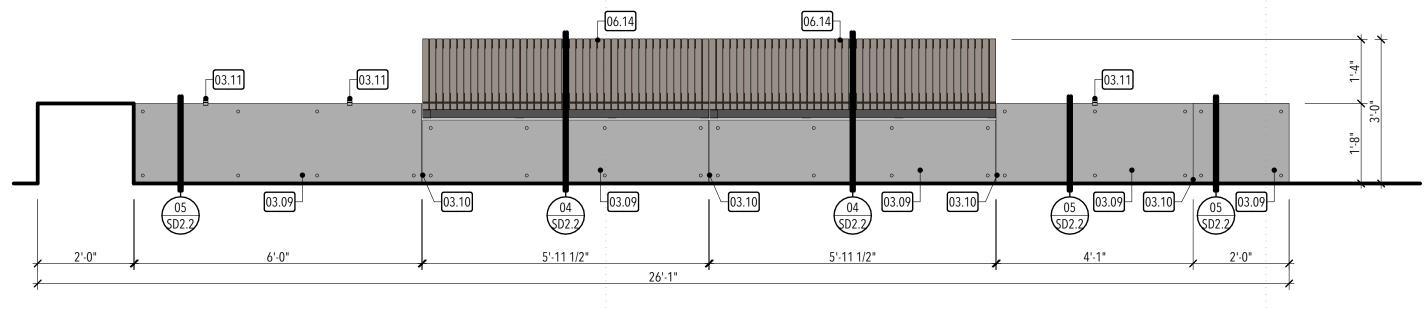
2'-0"

on plan.

06.14 Steel/composite bench system - re: details

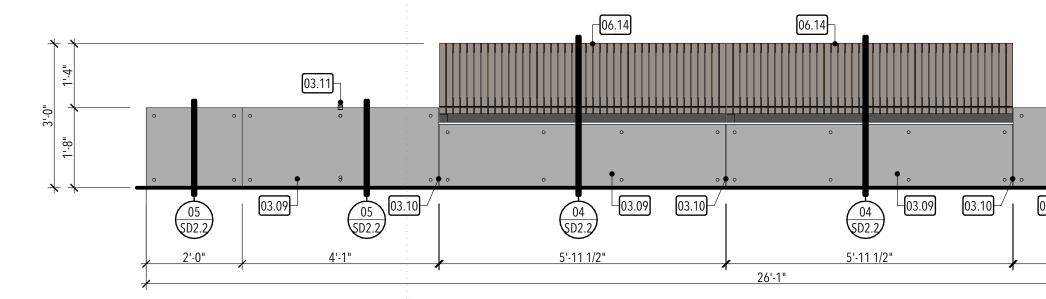
QU2.2

6'-0"

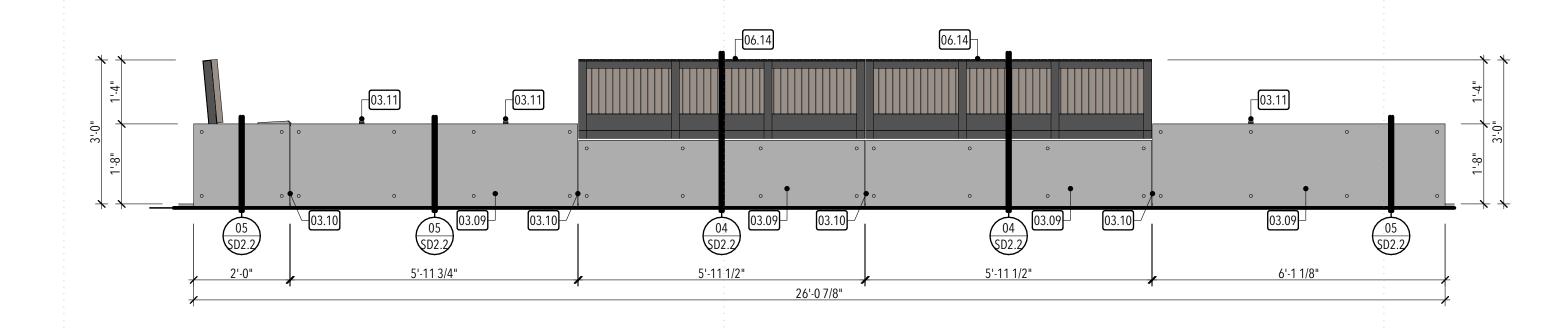


BENCH ELEVATION Northeast

1/2" = 1'-0"



 $\frac{\text{BENCH ELEVATION Northwest}}{02}$ 



BENCH ELEVATION Southeast

STUDIO 333 ARCHITECTS 333 24TH STREET OGDEN, UT 84401

801.394.3033



1/2" = 1'-0"

**WEST FIELD SR SEMINARY** 4383 W 2200 S, OGDEN, UT

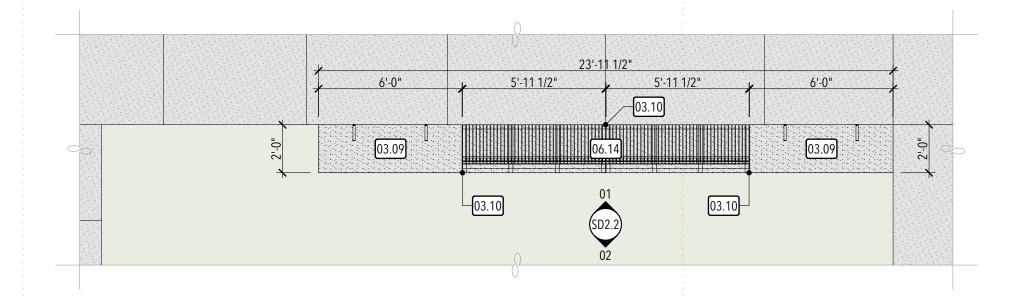
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JECT NUMBER: 2154



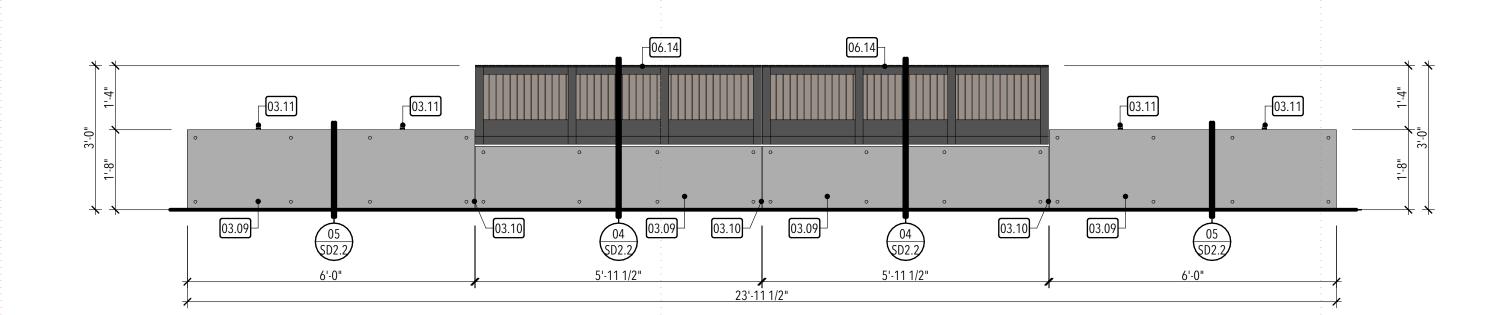


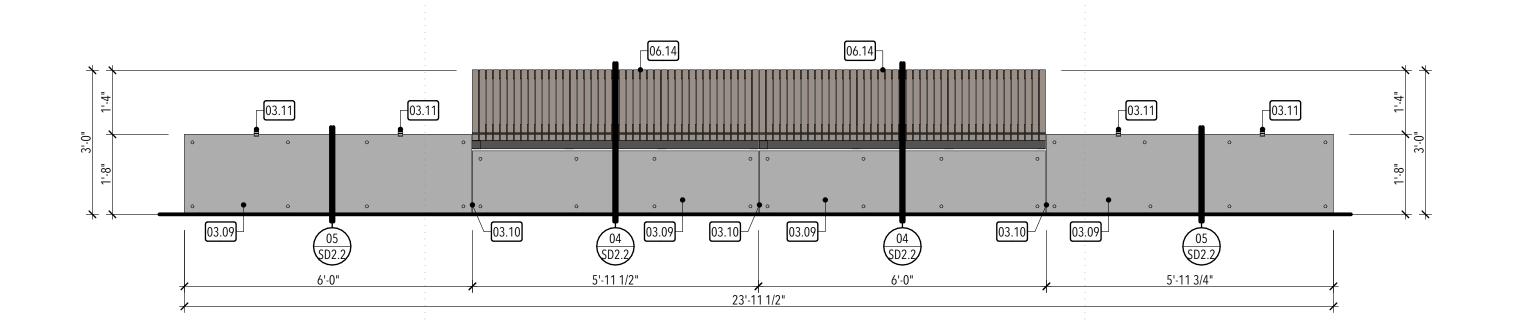
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- 06.14 Steel/composite bench system re: details



# BENCH ENLARGED SITE PLAN

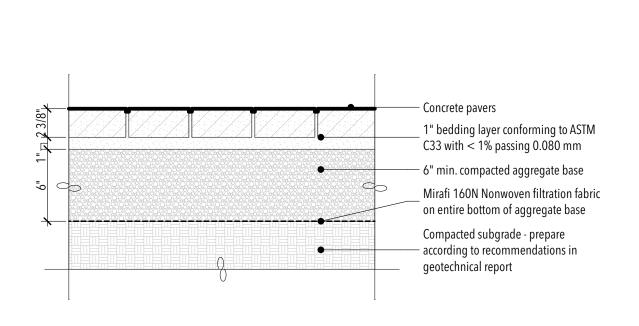
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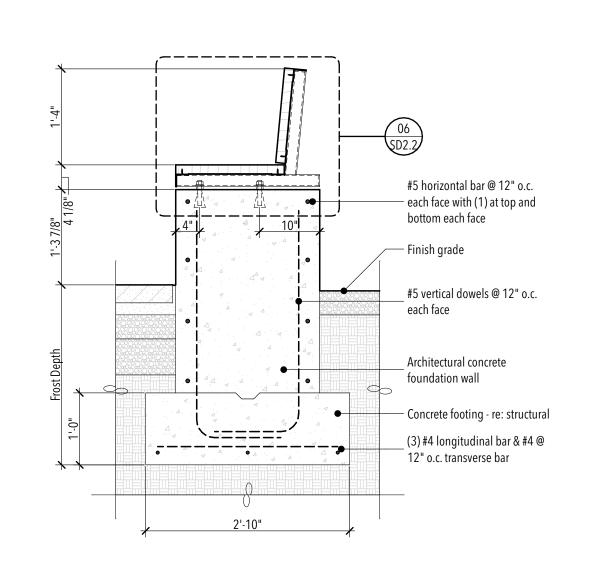




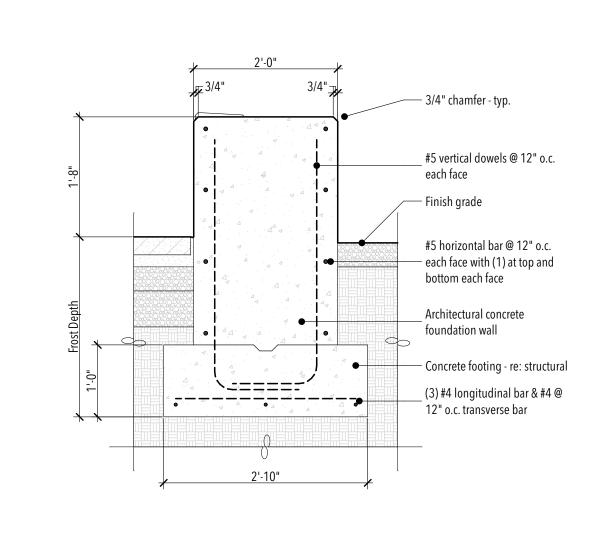


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3/4" = 1'-0"



1/2" = 1'-0"

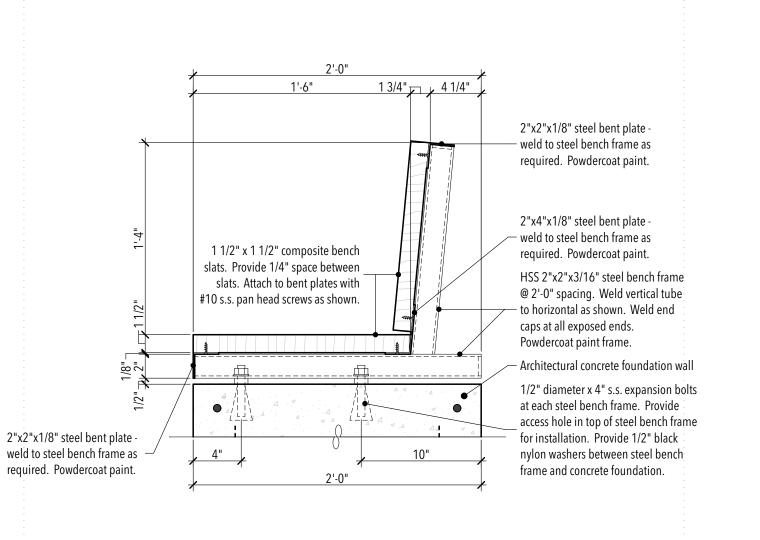
3/4" = 1'-0"

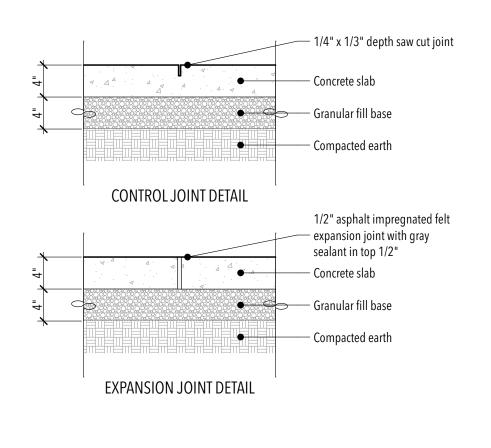
01 02.06.23 Addendum 01

DESCRIPTION

NO. DATE

BENCH ELEVATION South





# PAVER DETAIL

3 1 1/2"= 1'-0"

WOOD BENCH DETAIL

BENCH DETAIL 05

WOOD BENCH DETAIL 06

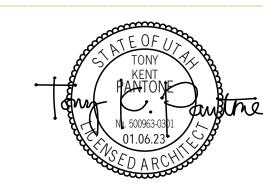
11/2"= 1'-0"

CONCRETE JOINT DETAIL

STUDIO 333 ARCHITECTS 333 24TH STREET

OGDEN, UT 84401 801.394.3033

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WEST FIELD SR SEMINARY 4383 W 2200 S, OGDEN, UT

CONFORMED SET
DATE: 04.27.23
PROJECT NUMBER: 2154

SITE DETAILS

**SD2.2** 

1" = 1'-0"

### TRAFFIC CONTROL & SAFETY NOTES

1. BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT STATE OF UTAH DEPARTMENT OF TRANSPORTATION MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES, AND THE CURRENT WEBER COUNTY STANDARD DRAWING, AND SHALL BE APPROVED BY THE WEBER COUNTY ENGINEER PRIOR TO ANY WORK.

2. NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE WEBER COUNTY TRAFFIC ENGINEER, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.

3. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.

4. DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE WEBER COUNTY TRAFFIC ENGINEER FOR REVIEW AND APPROVAL.

5. ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE WEBER COUNTY TRAFFIC ENGINEER

6. TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.

## UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.

### NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS: OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS". THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

# SANITARY SEWER GENERAL NOTES

- 1. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN CONFORMANCE WITH WEBER COUNTY STANDARDS AND SPECIFICATIONS
- 2. ALL GRAVITY SANITARY SEWER LINES SHALL BE SDR-35 PVC MATERIAL. SEWER LINE CONSTRUCTION AND MATERIALS SHALL CONFORM TO ASTM STANDARDS AND SPECIFICATIONS.
- 3. DISTANCES SHOWN ON PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT.
- 4. RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATION. PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS. GROUT AND STEEL SHIMS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE IN CONFORMANCE WITH THE STANDARD SPECIFICATIONS. ALL FRAMES SHALL BE ADJUSTED TO FINAL GRADE.
- 5. ALL SANITARY SEWER MAIN TESTING SHALL BE IN ACCORDANCE WITH WEBER COUNTY STANDARDS AND SPECIFICATIONS. COPIES OF ALL TEST RESULTS SHALL BE PROVIDED TO THE PUBLIC WORKS SANITARY SEWER DEPARTMENT HEAD PRIOR TO FINAL ACCEPTANCE.
- 6. COMPACTION TESTING OF ALL TRENCHES WITH THE PROJECT SITE MUST BE ATTAINED AND RESULTS SUBMITTED TO THE WEBER COUNTY ENGINEER PRIOR TO FINAL ACCEPTANCE
- 7. CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING STRUCTURES AND IMPROVEMENTS DURING INSTALLATION OF SANITARY
- 8. WHERE CONNECTION TO EXISTING UTILITY IS PROPOSED, CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION AND NOTIFY OWNER/ENGINEER IF LOCATION AND ELEVATION OF EXISTING UTILITY VARIES FROM THE DESIGN.
- 9. CAMERA TESTING AND PRESSURE TESTING PER WEBER COUNTY STANDARD.

### SWPPP GENERAL NOTES

- 1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AS REQUIRED BY WEBER COUNTY AND STATE.
- 2. ALL STRUCTURAL EROSION MEASURES SHALL BE INSTALLED AS SHOWN ON THE SWPP PLAN, PRIOR TO ANY OTHER GROUND-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR, UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS ARE STABILIZED WITH HARD SURFACE OR LANDSCAPING.

# STORM SEWER GENERAL NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING:
- A)OBTAIN ALL REQUIRED PERMITS FROM WEBER COUNTY OR REGULATORY AGENCIES, INCLUDING PERMITS TO WORK IN THE
- B)RESTORATION OF EXISTING IMPROVEMENTS INCLUDING BUT NOT LIMITED TO FENCES, SOD, LANDSCAPING, PAVEMENT, SPRINKLER
- C) VERIFICATION AND PROTECTION OF ALL EXISTING IMPROVEMENTS WITHIN THE LIMITS OF CONSTRUCTION.
- D)PROVIDING AS-BUILT DRAWINGS TO WEBER COUNTY AND THE ENGINEER. E) ALL PERMITTING, DEVELOPMENT, LOCATION, CONNECTION AND INSPECTION AND SCHEDULING FOR SUCH.
- 2. ALL STORM SEWER CONNECTIONS SHALL BE IN CONFORMANCE WITH WEBER COUNTY STANDARDS AND SPECIFICATIONS.
- 3. RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATION. PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS, GROUT, AND STEEL SHIMS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE IN CONFORMANCE WITH WEBER COUNTY STANDARDS AND SPECIFICATIONS AND PLANS. ALL FRAMES SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO PLACEMENT OF ASPHALT PAVING.
- 4. COMPACTION OF ALL TRENCHES WITHIN THE PROJECT SITE MUST BE ATTAINED AND COMPACTION RESULTS SUBMITTED TO THE ENGINEER AND WEBER COUNTY PRIOR TO FINAL ACCEPTANCE.
- 5. ALL STORM DRAIN PIPES IN THE WEBER COUNTY RIGHT-OF-WAY SHALL BE RCP CL III.
- 6. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE PAVEMENT AND SHALL HAVE TRAFFIC BEARING LIDS. ALL STORM SEWER LIDS SHALL BE LABELED "STORM DRAIN".
- 7. WHERE CONNECTION TO EXISTING UTILITY IS PROPOSED, CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION AND NOTIFY OWNER/ENGINEER IF LOCATION AND ELEVATION OF EXISTING UTILITY VARIES FROM THE DESIGN.

#### **GENERAL NOTES**

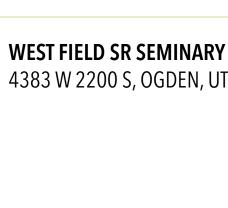
- 1. ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION OF SITE IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH BY THE WEBER COUNTY ENGINEER, PLANNING, CODES AND SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY.
- 2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT THE CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE DESIGNATED PUBLIC WORKS INSPECTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY, OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS.
- 4. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH WEBER COUNTY AND ALL UTILITY COMPANIES INVOLVED WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE.
- 5. THE CONTRACTOR SHALL HAVE ONE (1) COPY OF APPROVED PLANS, AND ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON SITE AT ALL TIMES.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
- 7. IF DURING THE CONSTRUCTION PROCESS CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES. WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS. THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
- 8. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED AND RELOCATED UNLESS SPECIFICALLY NOTED OTHERWISE.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT DRAWINGS ON A SET OF RECORD DRAWINGS KEPT AT THE CONSTRUCTION SITE. AND AVAILABLE TO THE WEBER COUNTY INSPECTOR AT ALL TIMES.
- 11. THE CONTRACTOR SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF WATER LINES AND DRY UTILITIES.
- 12. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS CONSISTENT WITH THE CONTRACTORS SCHEDULE FOR THIS PROJECT, WHETHER SHOWN OR NOT SHOWN AS IT RELATES TO THE CONSTRUCTION ACTIVITIES CONTEMPLATED IN THESE PLANS.

### GENERAL GRADING NOTES

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST APWA STANDARDS AND SPECIFICATION FOR PUBLIC WORKS AND WEBER COUNTY STANDARDS, CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS AND ENTRIES. FINISHED GRADE AT FOUNDATION FOR WOOD FRAMED STRUCTURES SHALL BE 8 INCHES BELOW TOP OF FOUNDATION AND DRAINAGE SHALL BE A MINIMUM OF 5% WITHIN 10 FEET FROM THE BUILDING.
- 2. MAXIMUM SLOPES SHALL BE 3:1 FOR CUT AND FILL UNLESS OTHERWISE NOTED.
- 3. COMPACTION REQUIREMENTS AND TESTING SHALL BE PERFORMED TO MEET WEBER COUNTY STANDARDS.
- 4. NO FILL SHALL BE PLACED UNTIL VEGETATION HAS BEEN REMOVED AND SUB-GRADE PREPARED PER THE SOILS REPORT.
- 5. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS.
- 6. CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN BY INSTALLING BMP'S PRIOR TO COMMENCEMENT OF EXCAVATION ACTIVITIES. CONTACT THE WEBER COUNTY INSPECTOR FOR INSPECTION.
- 7. ALL RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ALL SUBSEQUENT REPORTS, ADDENDUM ETC. SHALL BE CONSIDERED A PART OF THIS GRADING PLAN AND SHALL BE COMPLIED WITH.
- 8. THE CONTRACTOR SHALL CONTACT BLUE STAKES FOR LOCATION MARKING PRIOR TO COMMENCING EXCAVATION ACTIVITIES.
- 9. WEBER COUNTY MAY REQUIRE A PRE-CONSTRUCTION MEETING BEFORE A PERMIT IS ISSUED.
- 10. STREETS ADJACENT TO THE PROJECT SHALL BE CLEAN AT ALL TIMES.
- 11. CONTRACTOR IS RESPONSIBLE FOR ARRANGING FOR ALL REQUIRED INSPECTIONS.
- 12. PRIOR TO TAKING WATER FROM A WEBER COUNTY FIRE HYDRANT, THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE WATER UTILITY TO OBTAIN A WATER METER.

# CULINARY WATER GENERAL NOTES

- 1. ALL INSTALLATION AND MATERIALS SHALL CONFORM TO TAYLOR WEST WEBER WATER IMPROVEMENT DISTRICT (WATER UTILITY) STANDARDS, SPECIFICATIONS AND PLANS.
- 2. THRUST BLOCKING IS REQUIRED AT ALL BENDS AND FITTINGS. TIE RODS SHALL BE USED AT ALL BENDS AND FITTINGS WHERE THRUST BLOCKS DO NOT BEAR AGAINST UNDISTURBED SOIL
- 3. THE NEW WATER LINES SHALL BE DISINFECTED BY CHLORINATION. DISINFECTION TESTS SHALL BE PERFORMED BY THE WATER UTILITY WITH COOPERATION FROM THE CONTRACTOR IN PERFORMING ANY NECESSARY EXCAVATION AND SUBSEQUENT BACKFILLING AT NO COST TO WEBER COUNTY OR TO THE WATER DISTRICT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL COSTS AND FEES RELATED TO THE CHLORINATION OF THE COMPLETED WATER LINE. THIS TEST SHALL BE PERFORMED PRIOR TO CONNECTION OF THE NEW WATER LINES TO THE EXISTING WATER SYSTEM. THE CONTRACTOR SHALL NOTIFY THE WATER UTILITY AT LEAST 24 HOURS BEFORE THE TEST IS DESIRED.
- 4. A MINIMUM HORIZONTAL CLEARANCE OF 10 FEET SHALL BE MAINTAINED FROM SANITARY SEWER MAINS.
- 5. UNLESS OTHERWISE SPECIFIED, ALL WATERLINES SHALL BE AWWA C900 PVC DR18.
- 6. CONTRACTOR SHALL LOCATE VALVES PRIOR TO CONNECTION WITH EXISTING SYSTEM, BUT SHALL NOT OPERATE ANY VALVE WITHOUT PERMISSION FROM THE WATER UTILITY
- 7. ALL WATER MAINS, VALVES, FIRE HYDRANTS, SERVICES AND APPURTENANCES SHALL BE INSTALLED, TESTED, AND APPROVED PRIOR TO
- 8. THERE SHALL BE A WATER SUPPLY TO THE DEVELOPMENT BEFORE ANY WOOD CONSTRUCTION STARTS.
- 9. THE WATER UTILITY REQUIRES THE USE OF CORROSION RESISTANT MATERIALS FOR ALL CULINARY WATER IMPROVEMENTS. SPECIFICALLY, ROMAC BLUE BOLTS OR STAINLESS STEEL BOLTS MUST BE USED ON ALL FITTINGS. FURTHER, ALL METAL FITTINGS SHALL BE POLY





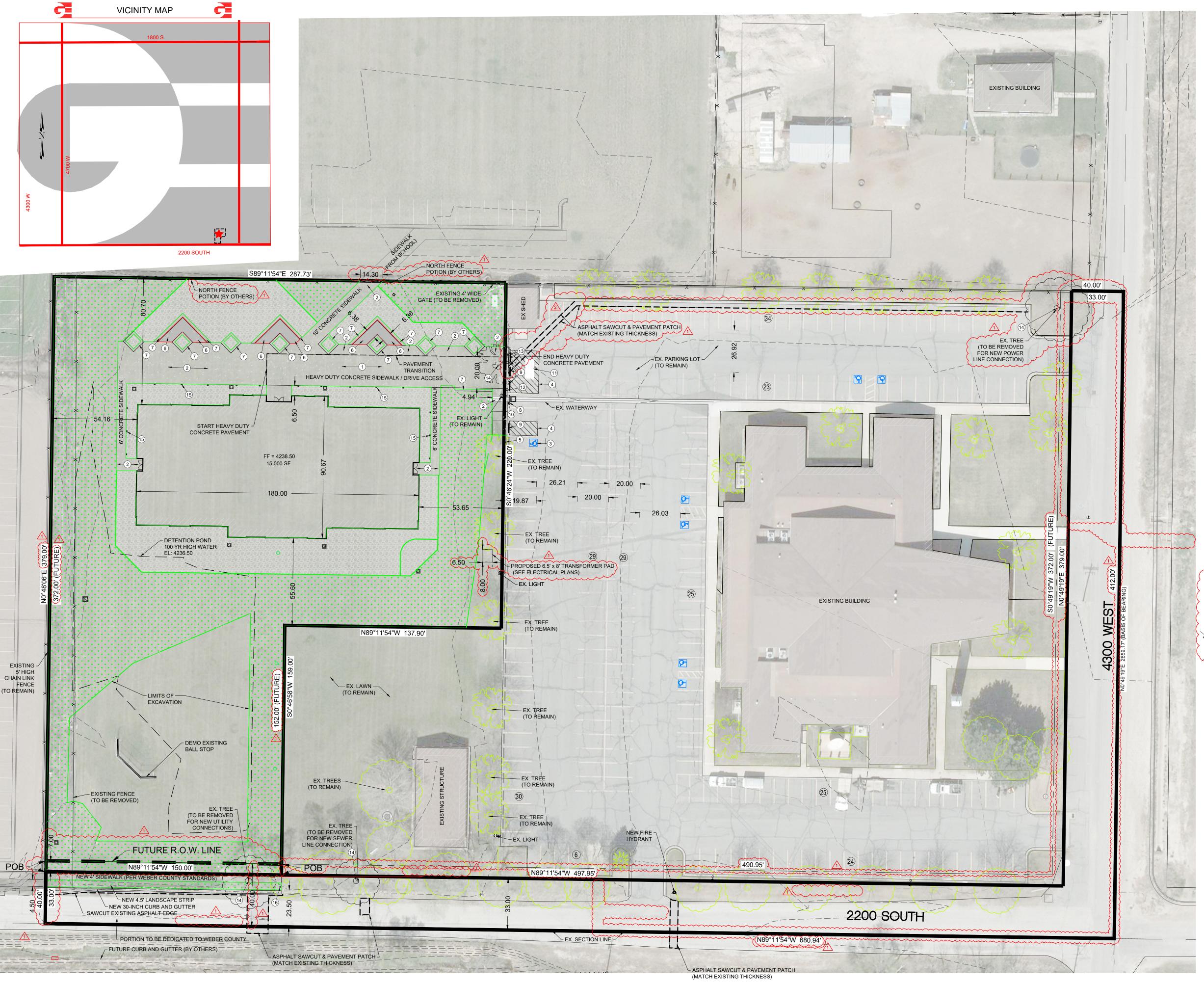


CONFORMED SET DATE: 04.27.23 PROJECT NUMBER: 2154



333 24TH STREET OGDEN, UT 84401 801.394.3033

**CIVIL NOTES** 





SITE PLAN KEY NOTES

1) HEAVY DUTY CONCRETE PAVEMENT. (SEE DETAIL 1 ON SHEET CE5.1)

(2) CONCRETE SIDEWALK. (SEE DETAIL 2 ON SHEET CE5.1)

(3) ADA PARKING SYMBOL. (SEE DETAIL 3 ON SHEET CE5.1)

(4) NO PARKING STRIPING. (SEE DETAIL 4 ON SHEET CE5.1) (5) VAN ACCESSIBLE ADA PARKING SIGN. (SEE DETAIL 5 ON SHEET CE5.1)

(6) SEE ARCHITECT PLAN FOR CONCRETE PAVERS.

7 SEE ARCHITECT PLAN FOR BENCHES.

(8) REMOVE AND REINSTALL EXISTING WHEEL STOP.

(9) REMOVE EXISTING WHEEL STOP.

(10) DEMO AND REPLACE 4" THICK CONCRETE FOR STORM DRAIN CONNECTION

(11) REMOVE EXISTING PAINT MARKING AND PROVIDE FIRE LANE PAINT MARKING. (SEE DETAIL 6 ON SHEET CE5.1)

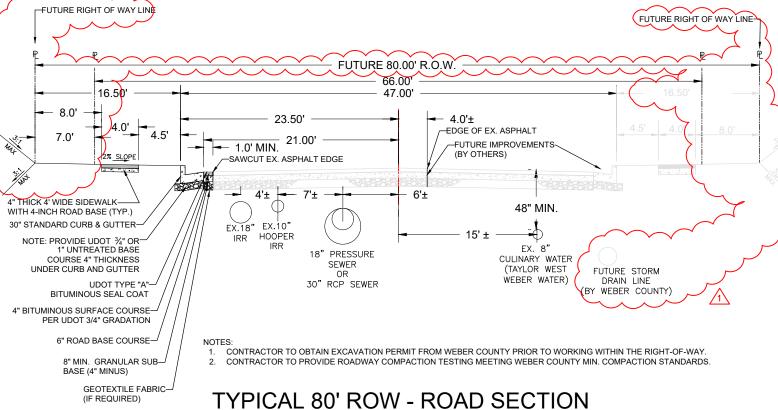
(12) NO PARKING FIRE LANE W/ ARROW RIGHT SIGN. (SEE DETAIL 7 ON SHEET CE5.1)

(13) NO PARKING FIRE LANE W/ ARROW LEFT SIGN. (SEE DETAIL 8 ON SHEET CE5.1)

(14) DEMO EXISTING TREE

(15) SEE ELECTRICAL PLANS FOR SIDEWALK EDGE LIGHTING

(16) PROPOSED NEW MAIL BOX LOCATION



TYPICAL 80' ROW - ROAD SECTION N.T.S.

#### DEVELOPER:

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS UTAH NORTH PM OFFICE ATTN: BRIAN CHILDS 435 NORTH WALL AVE, STE D OGDEN, UT 84404

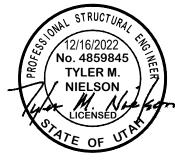
224 AVAILABLE PARKING STALLS (INCLUDES 4 EXISTING ADA STALLS AND 1 NEW ADA STALL FOR SEMINARY)

CURRENT SITE AREA =2.00 ACRE NEW LANDSCAPE AREA = 1.22 ACRE

FUTURE (WITH 80' R.O.W.) SITE AREA =1.98 ACRE NEW LANDSCAPE AREA = 1.20 ACRE

STUDIO 333 ARCHITECTS

333 24TH STREET OGDEN, UT 84401 801.394.3033



WEST FIELD SR SEMINARY 4383 W 2200 S, OGDEN, UT



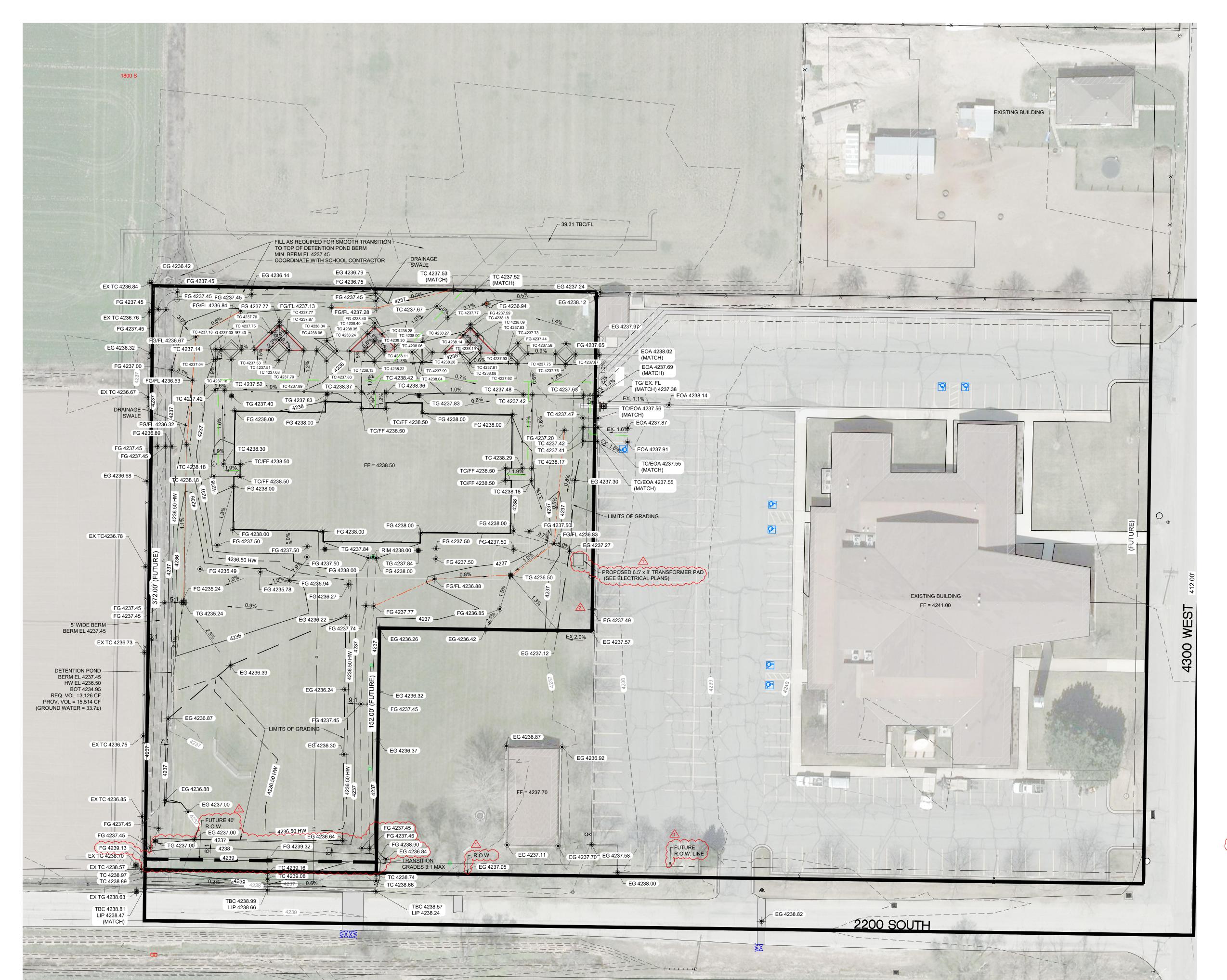
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		02	02.10.23	Addendum 02	

DESCRIPTION

NO. DATE

**CONFORMED SET** DATE: 04.27.23 PROJECT NUMBER: 2154







— ADA ACCESSIBLE ROUTE

- ABBREVIATIONS:

  EG EXISTING GROUND

  FG FINISH GRADE

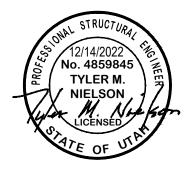
  TA TOP OF ASPHALT

  TBC TOP BACK OF CURB

  LIP LIP OF GUTTER

STUDIO 333 ARCHITECTS 333 24TH STREET

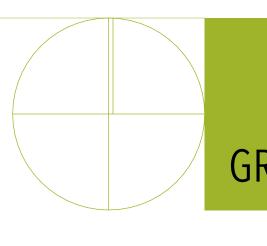
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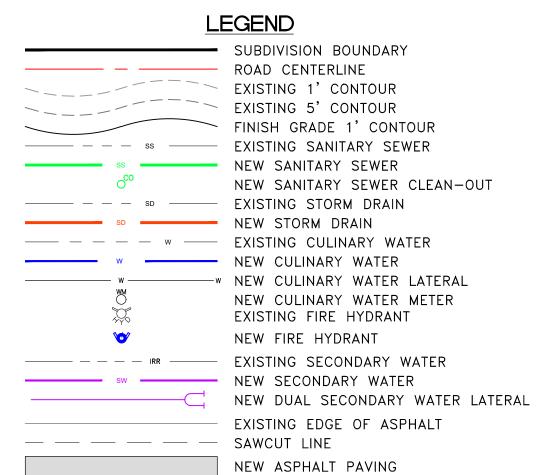


**WEST FIELD SR SEMINARY** 4383 W 2200 S, OGDEN, UT



NO.	DATE	DESCRIPTION	
04	03.31.23	PERMIT REVIEW COMMENTS	CONFORMED SET
			DATE: 04.27.23
			PROJECT NUMBER: 2154





#### General Utility Notes:

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EXISTING PH 3 GROUND SLEE $orall \mathrm{e}$ 

EXISTING IRR MH — RIM 4239.20

INV. 4235.62

EXISTING COMMUNICATION LINE

EXISTING POWER -

(APPROXIMATE LOCATION

FIELD VERIFY AS NEEDED)

10' RMP EASEMENT

LEXISTING POWER

(APPROXIMATE LOCATION

EX. CLEANOUT RIM 4241.52

EXISTING IRR BOX

RIM 4239.01

INV. 4235.86

FIELD VERIFY AS NEEDED) / 2

 $\sim\sim\sim\sim$ 

- SAWCUT AND PATCH

(SEE ELECTRICAL PLANS)

24" X 24" CATCH BASIN

RIM:4237.38

PROPOSED TRANSFORMER PAD

(SEE ELECTRICAL PLANS)

┌ EX. LIGHT

– EX. LIGHT

(TO REMAIN)

- R.O.W.

EX 18" IRR INV. 4235.56 -

EX. TA 4238.82

BOT PIPE 4233.21 \_\_\_\_\_\_

TOP 30" RCP PIPE 4236.21 EX. 30" INV. 4233.46

18" X 18" CATCH BASIN

RIM:4236.51

INV IN:4235.34

INV OUT:4235.34

- 10' RMP EASEMENT

(TO REMAIN)

INV IN:4234.76

INV OUT:4234.76

(TO REMAIN)

PAVEMENT FOR UTILITY

SERVICE LATERAL CONNECTIONS

- CONTRACTOR TO PROVIDE CONDUIT AT 3' MIN. BURY DEPTH

FOR SLEEVING OF ELECTRICAL WIRE TO BE PULLED BY RMP

CONTRACTOR TO PROVIDE ASPHALT PATCH AFTER WIRE HAS BEEN PULLED.

- COORDINATE ALL UTILITY CONNECTIONS TO BUILDING WITH PLUMBING PLANS AND BUILDING CONTRACTOR.
   VERIFY DEPTH AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTING ANY NEW UTILITY LINES. NOTIFY CIVIL ENCINEER OF ANY DISCREPANCIES OF CONFLICTS PRIOR TO ANY CONNECTIONS BEING MADE.
- ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO ANY CONNECTIONS BEING MADE.

  3. ALL CATCH BASIN AND INLET BOX GRATES ARE TO HAVE BICYCLE SAFE GRATES.
- FIELD VERIFY ALL PROPOSED ROOF DRAINS AND OTHER UTILITY CONNECTIONS WITH MECHANICAL AND ARCHITECTURAL PLANS. NOTIFY ENGINEER OF ANY DISCREPANCIES.
   REFER TO THE SITE ELECTRICAL PLAN FOR DETAILS AND LOCATIONS OF ELECTRICAL LINES, TRANSFORMERS AND LIGHT POLES.
- GAS LINES, TELEPHONE LINES, AND CABLE TV LINES ARE NOT A PART OF THESE PLANS.
   ALL CULINARY WATER FACILITIES SHALL BE INSTALLED PER TAYLOR WATER DISTRICT STANDARDS AND SPECIFICATIONS. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL ALL ITEMS REQUIRED.
- . WATER LINES, VALVES, FIRE HYDRANTS, FITTINGS ETC. ARE TO BE CONSTRUCTED AS SHOWN. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ANY VERTICAL ADJUSTMENTS NECESSARY TO CLEAR SEWER, STORM DRAIN OR OTHER UTILITIES AS NECESSARY INCLUDING VALVE BOXES AND HYDRANT SPOOLS TO PROPER GRADE.
- WHERE WATERLINE MUST CROSS SANITARY SEWER, REFER TO DETAIL 3 ON SHEET CE5.5. WHERE WATERLINE MUST CROSS STORM DRAIN, ADJUST WATER LINE TO MAINTAIN 18" SEPARATION.
   SEE SHEETS CE5.2 THRU CE5.5 FOR STANDARD UTILITY DETAILS.
- LOOP EXISTING SERVICE LATERALS SUCH AS GAS, WATER, OTHER UTILITIES (AS REQUIRED) AND FIRE LINE CONNECTION TO FIRE HYDRANT (AS REQUIRED) FOR STORM DRAIN INSTALLATION. PROVIDE 4" MINIMUM CLEARANCE.
   SITE UTILITIES AND IRRIGATION CONDUITS SLEEVING AT ROADWAY CROSSINGS AND WIRING TO BE INSTALLED PRIOR TO PAVING.
- ALL PIPING TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
   LOCATION AND SIZE OF GAS SERVICE LINE TO BE COORDINATED WITH DOMINION ENERGY.
- Culinary Service Laterals
  a. 1.5" diameter pipe copper tube ASTM B, Type K, Soft Temper
- Water main Lines and Fire Lines:

  a. Water mains and fire lines shall be PVC C900 DR-18, as approx
- a. Water mains and fire lines shall be PVC C900 DR-18, as appropriate for diameter. All waterlines within city roadway shall be PVC C900 DR-18 meeting the standards of Taylor West Weber Water.

  Sanitary Sewer Lines:

  All All Annual Times to be Relatived Chlorida (RVC) assures sine ACTM R 2004 Times RSM, CRR 25
- a. All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D 3034, Type PSM, SDR 35. Storm Drain Lines:
- a. 12" pipes or smaller Polyvinyl Chloride (PVC) C900 SDR-35 or ADS (N-12), with perforated pipes (where specified), otherwise called out as solid pipes.

#### UTILITY PLAN KEY NOTES

- 1) INSTALL 18" CATCH BASIN BOX (SEE DETAIL 1 ON SHEET CE5.2)
- 2 INSTALL 24" CATCH BASIN BOX (SEE DETAIL 2 ON SHEET CE5.2)
- 3 INSTALL OUTLET CONTROL STRUCTURE (SEE DETAIL 3 ON SHEET CE5.2)
- 4 SEE MECHANICAL PLUMBING PLANS FOR CONTINUATION.
- 5 INSTALL INLINE DRAIN (SEE DETAIL 1 ON SHEET CE5.3)
- 6 INSTALL ROOF DRAIN CLEANOUT (SEE DETAIL 2 ON SHEET CE5.3)
   7 INSTALL SANITARY SEWER CLEANOUT (SEE DETAIL 2 ON SHEET CE5.3)
- 8 INSTALL WATER VALVE (SEE DETAIL 3 ON SHEET CE5.3)
- 9 INSTALL FIRE HYDRANT (SEE DETAIL 4 ON SHEET CE5.3)
- 9 INSTALL FIRE HYDRANT (SEE DETAIL 4 ON SHEET CE5.3)

  10 CONNECT TO EXISTING 8" WATERLINE (SEE DETAIL 1 ON SHEET CE5.5)
- (11) CONNECT TO EXISTING 8" WATERLINE WITH TAPPING TEE AND TAPPING VALVE
- AS PER TAYLOR WEST WEBER WATER STANDARDS
- 12 REFER TO DETAIL 3 ON SHEET CE5.5 FOR WATER LINE UNDER SEWER LINE DETAIL
- (13) COORDINATE LOCATION OF CABLE LINE LOCATION WITH COMCAST

EX. 16" HOOPER IRRIGATION SECONDARY WATER

EXISTING SEWER MANHOLE RIM 4240.03 EX. INV. (W) 4232.63 EX. INV. (N, E) 4231.88

# STUDIO 333 ARCHITECTS 333 24TH STREET

24" X 24" CATCH BASIN

CONTROL STRUCTURE

HEADWALL 4236.50-

RIM:4237.00

INV IN:4231.03

INV OUT:4231.03

 $\sim\sim\sim\sim$ 

EXISTING IRR BOX

INV. 18" (E): 4234.13

IRR

- G - - L- - Z

(PTR PLASTIC)

 $\overline{\phantom{a}}$  EXISTING 4" GAS  $\overline{z}$ 

GRATE: 4238.63

VERIFY CLEARANCE FOR -

SECONDARY WATER LINE

WATERLINE AS REQUIRED

PER HOOPER IRRIGATION

(PER AS-BUILT PLANS, BY OTHERS)

(LOOP SECONDARY

STANDARDS) - -

7 INV:4230.88 →

EX. TOP 18" HDPE 4235.02 -

EX. 18" HDPE INV. 4233.52

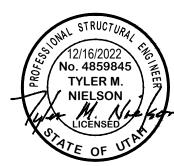
RIM:4235.24

NV IN:4232.12

NV IN:4232.12

INV OUT:4232.12

333 24TH STREET OGDEN, UT 84401 801.394.3033



WEST FIELD SR SEMINARY 4383 W 2200 S, OGDEN, UT YARD BOX

-RIM:4236.94

118.22' of 10" PVC SDR-35 @ 0.70%)

18" X 18" CATCH BASIN

61.88' of 6" PVC @ 1.07%

18" X 18" CATCH BASIN

– TOP 18" RCP 4236.57

INV 18" RCP 4234.86

BOT PIPE 4234.65

- TOP 6" PVC 4234.61

INV 6" PVC 4234.09

EXISTING SEWER MANHOLE

EX. INV. 18" MP (W) 4233.14

<sup>•</sup>CEX. INV. 30" (E) 4233.04

NEW INV. 6" (N) 4234.04

RIM 4238.69

CONNECT TO EX. SEWER MANHOLE

HOOPER IRRIGATION STANDARDS)

PER CENTRAL WEBER SEWER DISTRICT STANDARDS

VERIFY CLEARANCE OVER SECONDARY WATER LINE

(LOOP SECONDARY WATERLINE AS REQUIRED PER

EX. 30" RCP SS (@ S=0.14%)

EX. 12" CMP INV. 4236.10 ~

ss ss ss ss

-RIM:4237.84

~ 254 LF 6" PVC

S=0.50%

INV OUT:4236.00

RIM:4237.83

-(INV IN:4233.93)

{INV IN:4233.93 (INV OUT:4233.93)/1

18" X 18" CATCH BASIN

RIM:4237.83

61.93' of 10" PVC @(0.70%) \( \sum\_59.64' \) of 10" PVC @(0.70%)

/ 1.5" SERVICE LATERAL

18" X 18" CATCH BASIN

RIM:4237.40

18" X 18" CATCH BASIN

RIM:4237.84

INV OUT:4234.50

DETENTION POND

BERM EL 4237.45

HW EL 4236.50

BOT 4235.24

REQ. VOL = 3,752 CF PROV. VOL = 5,269 CF

(GROUND WATER = 33.7±)

PROPOSED GAS SERVICE ¬

(BY DOMINION ENERGY)

EX 18" CENTRAL WEBER PRESSURIZED SEWER

(AS REQUIRED UNDER EX.

LOOP WATERLINES -

8 10 11

SERVICE LATERAL CONNECTIONS

SAWCUT AND PATCH \(^2\)

PAVEMENT FOR UTILITY

GRAVITY UTILITIES)

FUTURE 40'

EX 18" IRR INV. 4234.17 NEW 1.5-INCH WATER METE

R.O.W.

'. 15" SD 4230.96-

- LOOP WATERLINE

(IF REQUIRED FOR

MIN. STORM DRAIN

CLEARANCES)

-73.75' of 15"

(BY WEBER COUNTY)

INV 15" IN (N) 4230.88

- INLET BOX

RCP @ 0.20%

 $\sim\sim\sim\sim\sim$ 

CONNECTION

HIGH WATER -

EL. 4236.50

INV IN:4233.08

INV OUT:4233.08

(INV IN:4233.51)

INV OUT:4233.51

FF = 4238.50

SS CLEANOUT

RIM 4237.94

INV 4235.03

INV OUT:4235.44



┌ FUTURE

R.O.W. LINE

FIELD VERIFY EX 10" IRR INV.

\_ EX. 10" HOOPER IRRIGATION

SECONDARY WATER

IRR STRUCTURE -

INV 4235.86 (N 18")

RIM 4238.96

NO. DATE

DESCRIPTION

(PER PLANS BY OTHERS)

SS SS SS SS

CONFORMED SET
DATE: 04.27.23
PROJECT NUMBER: 2154

EXISTING GAS SERVICE LINE

EXISTING IRR MH -

RIM 4239.20

INV. 4235.89

FG 4240.14

EX. PUMP ———

EXISTING IRR MH

RIM 4239.20

INV. 4235.91

