

Lyons Ridge Design Guidelines

These Guidelines are intended to assist homeowners in Lyons Ridge when making Improvements to the exterior of their property. Following is an alphabetical list of Improvements and some pre-approved items for more common requests. Several other requirements from the CC&Rs are also included as reminders to our community members. This is not intended to be an all-inclusive list of possible submittal items and any item not included must still be submitted for approval. Additionally, please refer to the Lyons Ridge CC&Rs and Official Development Plan (ODP), for more complete and extensive information on all matters related to the District. All relevant documents are available on the District website: lyonsridgemetro.org.

Applications for pre-approved items are still required for our records. Please submit (no fee or waiting period associated) and make the intended improvements to your residence at your leisure!

1. Additions & Remodeling - Approval is required prior to installation.

Applications requesting approval for additions, expansions, or remodeling that will alter the exterior of any residence **MUST** include detailed plans, specifications, dimensions, and location, including setbacks. The owner is responsible for obtaining any Jefferson County approvals and permits necessary. All plans for such improvements must match the overall theme of the residence and conform to the following standards.

- a. No more than 20% of the building may use reflective materials such as glass or metal.
- b. Building materials will include natural, earth-tone features such as brick, stone, masonry, acrylic-based stucco, wood timbers.
- c. Earth-tone colors must include materials composed of greens, browns, tans, and similar natural colors.
- d. Concrete or ceramic roof tiles, as well as high dimensional asphalt shingles are permitted.
- e. These material standards will apply to all sides and faces of the building.
- f. Window trim and details will be consistent on all elevations.
- g. Composite wood products may be used in both horizontal and vertical configurations, as well as for trim, fascia, and soffits.
- h. See **Painting** for color palette requirements.

2. Basketball Hoops

Portable hoops - No approval is required provided the following guidelines are met:

Jefferson County requests keeping basketball hoops off sidewalks to prevent blocking foot traffic and out of gutters to keep from interfering with drainage. Portable hoops are allowed on driveways year-round as long as they are in use and kept in good condition, at the discretion of the LRDRRC. If not being used on a regular basis they are to be stored out of sight.

Non-portable hoops - Approval is required prior to installation. The owner is responsible for obtaining any Jefferson County approvals and permits necessary. Also see **Play Equipment**.

3. Decks & Deck Covers - Approval is required prior to installation.

Decks should be built of materials consistent with the rest of the home, with code-required handrails and stairways, also built of materials consistent with the rest of the home. Unclad 4x4 posts are not acceptable. The owner is responsible for obtaining any Jefferson County approvals and permits necessary.

4. **Drainage** - Approval is required prior to alteration.

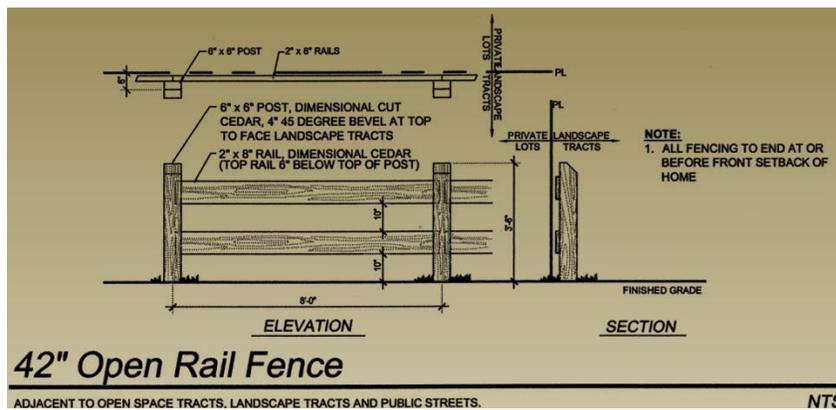
All grades are to conform to the existing grading certificate as provided by the builder, unless the LRDRC deems in its reasonable discretion that the upkeep and maintenance of the proposed Improvement does not affect the drainage plan for the Community Area or any portion thereof. Certified drainage plans are required for any proposed Improvement affecting grade and drainage. See Section 3.14 of the CC&Rs for additional details and requirements.

5. **Exterior Doors** - Approval is required for any changes to color, style, material, or texture.

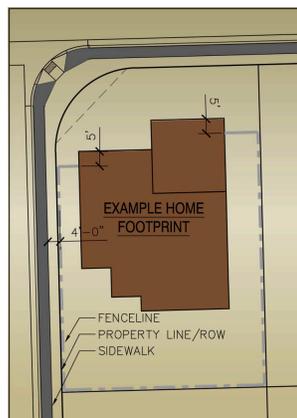
Considered approved if following criteria is met. Exterior doors, including screen and storm doors, front doors, and garage doors should match the style and conform to the architectural character of the home and neighborhood. Also see **Garages & Garage Doors**.

6. **Fences** - Considered approved if following criteria is met.

- a. All fencing will be open rail in character and cedar in material, and no more than forty-two (42) inches in height. See diagram.



- b. All side fencing to end 5' to 10' (based on architecture) before the front of the home.
- c. No fences or screening walls will be allowed in the front setback of a lot.
- d. Fence line should be at property line unless adjacent to sidewalk.
- e. If side of lot is adjacent to a sidewalk, a 4' min. setback from the sidewalk is required.



- f. No barbed wire, electric, or chain link fences will be permitted anywhere in the development. Invisible fences for pets are allowed.
- g. Fences may only be finished with clear natural sealant.

7. **Firepits** - Approval is required for permanent units prior to installation.
Fire is an ever-present danger and can be a serious threat to life, safety, and property. Owners are encouraged to become fire safety aware in how to use, maintain and manage their properties. Except as otherwise prohibited by Jefferson County, outdoor natural wood or gas fires are permitted in specifically designed fireplaces for cooking, warmth, and enjoyment for occasional use and during reasonable hours. Gas, charcoal, and wood burning BBQ's, grills and outdoor cookers are permitted. LRDRRC approval is not required for typical commercially available portable units used in rear yards subject to applicable laws and ordinances. The owner is responsible for obtaining any Jefferson County approvals and permits necessary as well as any required inspections by the Fire Department.
8. **Flagpoles** - Approval is required prior to installation.
Height and setback restrictions are outlined in section V of the ODP.
9. **Garages & Garage Doors** - Considered approved if the new garage door is identical in style, pattern, and material to the one being replaced, otherwise LRDRRC application for approval will be required. Additional considerations about garages and garage doors:
 - a. Each residence will have a maximum of four (4) garage doors visible from the entrance to the Lot.
 - b. All homes to feature architecturally detailed garage doors constructed of quality materials such as steel or wood.
 - c. Garage door detailing (color, finish, window style, hardware, etc.) should be consistent with the architectural character of the home and surrounding neighborhood.
 - d. Panelized, insulated garage doors are required. Flat faced doors are not acceptable.
 - e. All garage lighting shall be cast within the lot property lines. Also see **Lights, Exterior Lights**.
10. **Gardens** - Approval is required prior to installation if garden will alter existing landscaping.
Non-permanent gardens do not require approval. Also see **Landscaping**.
11. **Gazebos & Greenhouses** - Approval is required prior to installation.
Gazebos should be built of materials consistent with the rest of the home and meet setback and roofing requirements. The owner is responsible for obtaining any Jefferson County approvals and permits necessary.
12. **Grade Change** - See **Drainage**.
13. **Home Businesses** - Home businesses are permitted but limited pursuant to Section 21 of the Jefferson County Zoning Regulations, amended 7-17-18. Importantly, there can be no offensive noise, vehicular traffic flow may be increased by no more than two additional vehicles, and business must obtain a Jefferson County permit.
14. **Hot tubs** - No approval is required from the LRDRRC.
The owner is responsible for obtaining any Jefferson County approvals and permits necessary.
15. **Landscaping** - Approval is required unless replacing dead trees, shrubs, or any other plant matter.
Any form of landscaping improvements, such as retaining walls, paths, patios, structures, gravel, rock, impervious surface material, grass, trees, shrubbery, etc. requires approval. Considerations should be given to plant materials that do not require substantial watering to avoid excessive moisture around foundations. Any neighbor's view or line of sight should be considered when locating trees and shrubbery.

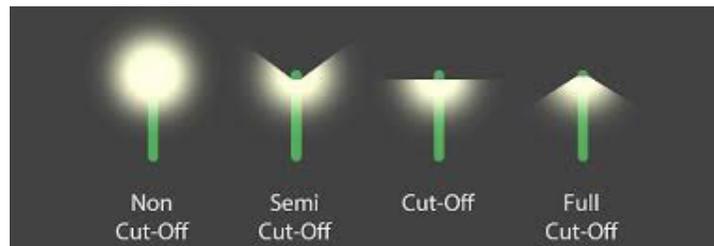
Landscape requirements are as follows:

- a. Combination of turf areas, ornamental grasses, shrubs, and groundcover bed areas.
- b. No large expanses of mulch or bed areas without substantial shrub or groundcover plantings.
- c. Rock mulch to be native colors. 1 1/2" to 2" river rock and 8"-12" cobble are acceptable.
- d. Double shredded redwood fiber mulch (Gorilla Hair) is recommended.
- e. Synthetic turf must be natural in appearance and integrated into the overall landscape design. Turf should be comprised of two yarn type colors (green and tans) for a natural appearance. Putting greens may only be placed in backyards and have single yarn type – green. The general appearance of the synthetic turf must be designed and installed in such a manner as to effectively simulate the appearance of a well-maintained lawn. Pile height must be at least 1.75" inches and no more than 3 inches. If using synthetic turf in yards containing pets, provisions should be taken to avoid nuisances associated with pet waste.

16. **Lights, Exterior Lights** - Considered approved if lighting follows guidelines as described below.

One of the main purposes of these lighting guidelines is to prevent light spillage into neighboring homes. The proximity of homes in our neighborhood contributes greatly to potential nuisance due to lighting. The guidelines also adhere to the Jefferson County Dark Sky initiative, which is intended to reduce human impact on wildlife.

- a. Site lighting will be low level and accent only. Light sources must be LED and full cutoff. "Full cut off" simply means every portion of a light source meets a target or end – no light spills on indefinitely, as illustrated:



<https://cityofmhk.com/DocumentCenter/View/49650/UCR-User-Guide-2-12-18?bidId=>

- b. All lights must have shields or hoods to prevent visibility of the light source to the street or neighboring homes. Up-lights and/or wash lights are not permitted.
- c. Holiday lighting will be permitted 30 days prior to and 15 days after a holiday. Holiday lighting with excessive brightness or blinking/strobing patterns will only be allowed at the discretion of the LRDRC - the purpose for the discretion being to avoid creating a nuisance for neighboring homes.
- d. Previously approved up-lights (including for American flags, trees, boulders, ponds, address #, and other landscape fixtures) must not exceed 900 Lumens in brightness, 3000 Kelvin of color temperature, and **all light cast must fall within the lot property lines.**
- e. Exterior façade, patio, and pathway lighting must have shields/hoods added or be dimmed to prevent negative spillage of the light source to the street or neighboring homes.
- f. If lit, landscapes may be downlit, but should be shielded and positioned so as not to cast glare on any adjacent properties, access easements, right-of-way, no-build areas, or the night sky.
- g. Lighting fixtures must be designed to not be visually obtrusive, and they must consist of materials that blend with the natural/rural character of the landscape.
- h. Permanent under roof lighting is allowed as long as it adheres to the aforementioned bullet points as well as brightness and color temperature requirements described below.

19. Patios & Patio Covers - See Additions & Remodeling and Decks & Deck Covers.

20. Play Equipment - Considered approved if below criteria is met.

Play equipment, including playhouses, must be made of wood or natural-toned metal or plastic. Bold, contrasting colors are not permitted. Trampolines to be natural colors. If play structure exceeds 8' in height it is considered an accessory structure and will need to conform to the setback requirements for such – See ODP.

21. Privacy Screens - Approval is required prior to installation.

Privacy screens can be used to provide privacy for homeowners and shield ancillary structures such as hot tubs from view. Please note that a Privacy Screen is not meant to be a supplementary fence. Privacy Screens shall meet the following specifications:

- a. Be made of cedar and stained a natural wood color or match the home's paint scheme. Screen must contain lattice or be slotted, no solid fence allowed. Sample Images:



- b. Be at least 6 feet but not exceed 8 feet tall from the base/ground level and not exceed 16 feet in length.
- c. Any neighbor's view or line of sight should be considered when locating a privacy screen.
- d. Plantings or shrubs must be placed around the screen.
- e. The screen will not be within 5 feet of the property line.
- f. Be located exclusively to the rear of the home and not in the side setback areas.

22. Radon Mitigation - No approval is required.

Conduits/pipes should be shielded from the street if possible and painted to match the house within 90 days of installation.

23. Retaining Walls - Approval is required prior to installation.

All grading and drainage must conform to existing grading certificate and drainage plan as provided by the builder. Also see **Drainage**.

Additionally, retaining walls must meet the following standards:

- a. Maximum height of walls to be 4'-0" high. Where additional height is needed, terracing will be used. Provide planting area between terraces. Terrace layout will require LRDRRC approval. Any wall over 48" tall will be structurally engineered by a licensed engineer.
- b. Be complementary to the visual character of the development and nearby buildings.
- c. Be designed and constructed in accordance with the Land Disturbance Section of the Zoning Resolution and adhere to Jefferson County Engineering Code and Permitting process.
- d. Utilize native, comparable rock and other compatible masonry material in areas visible from adjacent properties or rights of way. No shotcrete, cast-in-place concrete, and concrete masonry units allowed.

24. **Sheds - See Storage Structures.**

25. **Short-Term Rentals -** Short-term rentals or vacation rentals (under 30 days) are **NOT** allowed. In Jefferson County homes requesting Short-Term Rental permits must have properties that are a minimum of one (1) acre in size, therefore West Valley Lyons Ridge homes do not qualify.

26. **Sidewalks -** All sidewalks attached to the roadway belong to Jefferson County. As a rule, Jefferson County does not allow anyone to make alterations to their sidewalks. If you need your sidewalk fixed, would like to request a "chase", or require any other changes to the sidewalk adjacent to your property, you will need to contact Jefferson County. Homeowners are also encouraged to shovel sidewalks adjacent to their homes as a courtesy to neighbors and for the safety of pedestrians, as well as keeping drainage easements clear of obstructions in accordance with Jefferson County storm drainage requirements.

27. **Siding, Exterior Material -** Considered approved unless replacing with different materials as originally installed. Also see **Additions & Remodeling**.

28. **Signs -** No approval required to place signs on your own property. If you would like to advocate a cause on District land you will need board approval. Unauthorized signs will be removed.

29. **Solar Panels -** Considered approved if following criteria is met. Panels must meet all governmental guidelines for residential use and may only be located on the roof and be built into and made an integral part of the roof flashing. Please consider adjacent properties when installing to prevent glare. The owner is responsible for obtaining any Jefferson County approvals and permits necessary.

30. **Storage Structures -** Approval is required prior to installation. The following Storage Structures are permitted:

- a. Custom structures constructed in the same style and with the same materials as the home.
- b. Prefabricated custom or semi-custom sheds (such as Tuff Shed products) that are detailed to coordinate with the home.



Additional Considerations for Storage Structures:

- a. Fiberglass, metal, and plastic sheds are NOT permitted.
- b. Asphalt or high dimensional shingles are permitted in lieu of tile but must coordinate with the house roof color. Fiberglass, metal, or plastic roofs are NOT permitted.
- c. Total size is limited to 150 sq. ft. and no more than 10' tall.
- d. Structures must be set back 10' from the side and/or rear setback.
- e. Sheds must be incorporated into the landscape. Plantings or shrubs must be placed around the shed. Lots adjacent to the golf course must have dense landscaping screening.
- f. Sheds must not be visible from the front view of the home.
- g. Conform to County site standards – See ODP.

Small Storage:

- a. Small storage sheds/containers are permitted **without approval** but must be placed adjacent to the house in the rear or side yard, **NOT** visible to the front view of the home.
- b. Small storage sheds may not exceed 4' in width, 8' in length, and 5' in height.

31. Sunrooms - Approval is required prior to installation.

The owner is responsible for obtaining any Jefferson County approvals and permits necessary. Also see **Additions & Remodeling**.

32. Sunshades - Approval is only required prior to installation if awnings, shade sails, or other shade structures are permanently affixed to the lot or home. All non-permanent shade equipment does not require approval.

33. Swimming Pools - Approval is required prior to installation.

The owner is responsible for obtaining any Jefferson County approvals and permits necessary.

34. Swing Sets & Trampolines - See Play Equipment.

35. Trash Enclosure Structures - Approval is required prior to installation.

Due to wildlife activity in the area, trash containers need to be kept in a fully enclosed structure, rather than simply screened from view, when not placed at the curbside for pickup or stored in one's garage. Also see **Storage Structures**.

******Trash containers should only be placed at curbside for pickup after 6:00 a.m. on the day of pick-up and should be returned to a proper storage location by the end of day of pick-up to avoid issues with bear and other wildlife.

36. Waterfalls & Water Features - Approval is required prior to installation. Also see **Landscaping**.

37. Windows - Approval is required prior to installation when adding or moving windows.

Considered approved if replacing windows with identical style and pattern. The owner is responsible for obtaining any Jefferson County approvals and permits necessary. Also see **Additions & Remodeling**.

If you have any questions, please email the LRDRRC at LRDRRC@lyonsridgemetro.org.

You may also email us to have your email address added to our distribution list, which we will use from time to time, to keep residents informed of latest changes or additions to guidelines or process, as well as any noteworthy news for your safety and awareness.