

# LYONS RIDGE

## WEST VALLEY COMMUNITY DESIGN GUIDELINES & PROCESS REVIEW

NOVEMBER 6, 2015



LYONS RIDGE



SAGE DESIGN GROUP

Landscape Architecture  
Site Planning  
Golf Course Architecture

1500 South Pearl Street, Ste. 200  
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# CONTEXT



11/6/2015

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# SITE CHARACTER – WEST VALLEY



## OVERLOOK DEVELOPMENT

- ROCK OUTCROPPINGS
- WEST FOOTHILLS
- COTTONWOODS & DRAINAGES
- WILLOWSCAPES GOLF COURSE



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# ARCHITECTURAL CHARACTER – WEST VALLEY



**ADJACENT TO  
OVERLOOK  
DEVELOPMENT**

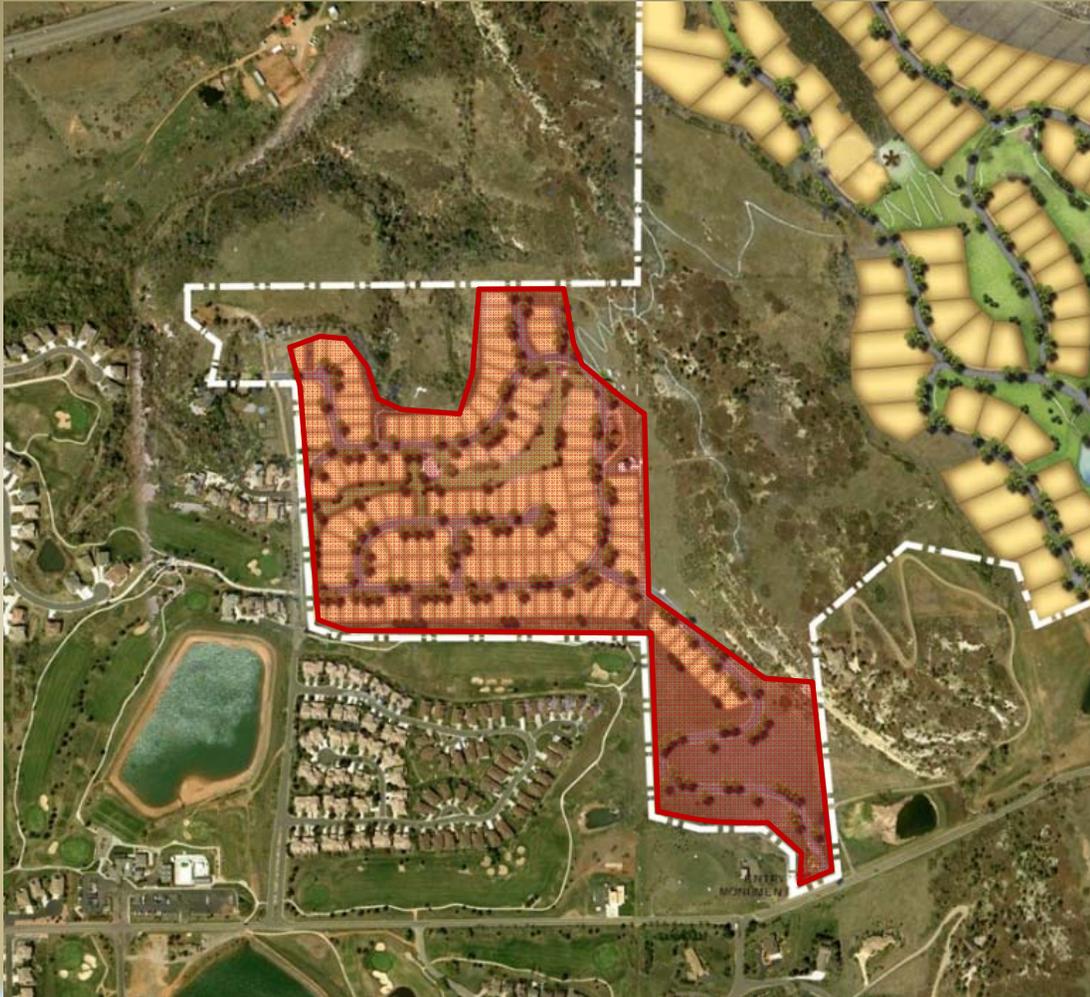
- **DISPARATE STYLES**
- **DISPARATE DENSITIES**
- **VARYING QUALITY**
- **DIFFERENT “EDGES”  
TO THE PROPERTY**



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# DEVELOPMENT FRAMEWORK-WEST VALLEY



- PRODUCTION LOTS
- REPEATING FLOOR PLANS, LIMITED ELEVATIONS
- STREAMLINED PLAN REVIEW & APPROVAL PROCESS
- PRESCRIPTIVE GUIDELINES
- 60'-65' x 100' LOT SIZES, TYPICAL

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# CHARACTER – WEST VALLEY



- BLEND OF NATURAL TERRAIN WITH HIGH QUALITY PRODUCTION HOMES
- ATTENTION TO ARCHITECTURAL ACCENTS
- 60'-65' LOTS, TYP.
- MORE MANICURED LOOK THAN NEARBY DEVELOPMENTS



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# SITE – WEST VALLEY LOTS

## SITE CONSIDERATIONS

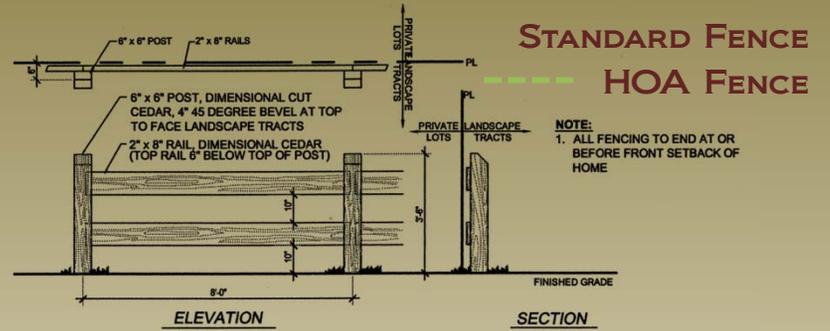
- **RVs SHALL NOT REMAIN PARKED ON SITE FOR MORE THAN 60 DAYS.**
- **FENCE TYPES SHALL BE PER HOA STANDARD**
- **RETAINING WALLS:**
  - **PAVESTONE CAFÉ RUMBLESTONE OR EQUAL**
  - **COLOR: BROWN**
  - **SUBMIT ALTERNATES FOR APPROVAL**
  - **ADHERE TO JEFFERSON COUNTY ENGINEERING CODE AND PERMITTING PROCESS.**
- **DECK EXTENSIONS WILL BE REVIEWED FOR APPROVAL ON LOTS ADJACENT TO AND BACK UP TO OPEN SPACE TRACTS ONLY.**
- **ALL GRADES TO CONFORM TO EXISTING GRADING CERTIFICATE AS PROVIDED BY BUILDER.**

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# SITE - FENCING

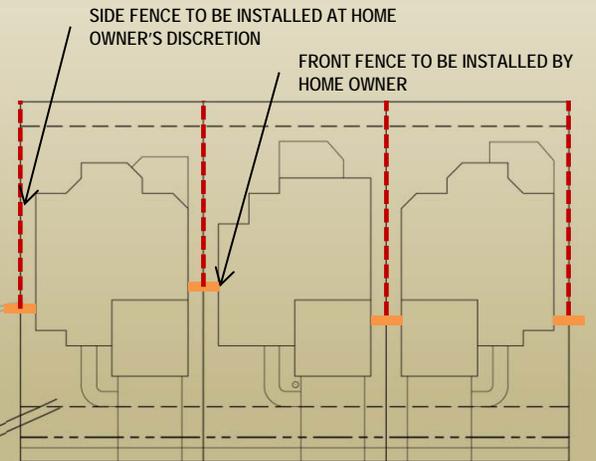


## 42" Open Rail Fence

ADJACENT TO OPEN SPACE TRACTS, LANDSCAPE TRACTS AND PUBLIC STREETS.

NTS

**STAIN COLOR FOR ALL FENCES SHALL BE:  
OLYMPIC ELITE SEMI-TRANSPARENT STAIN,  
COLOR: OLIVEWOOD**

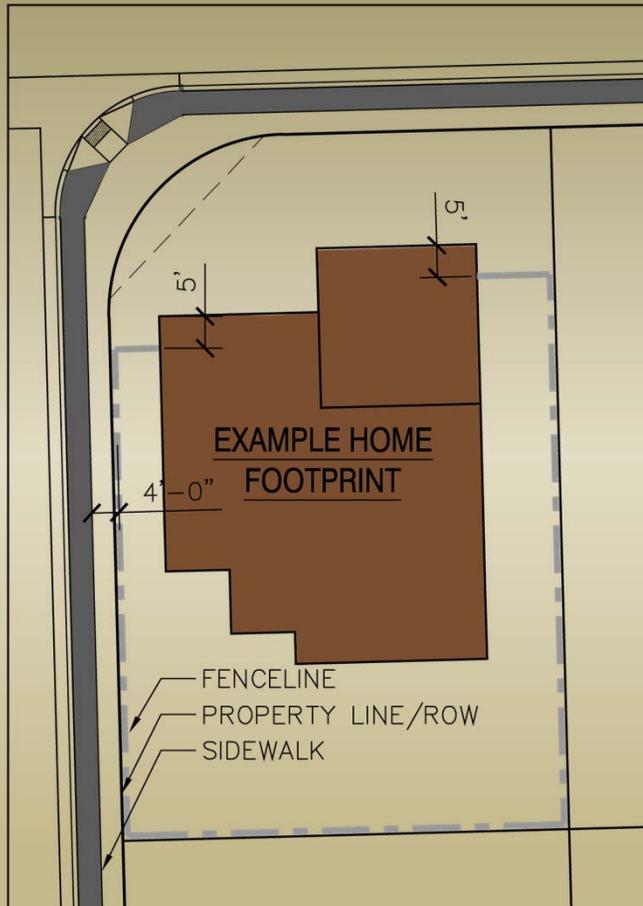


**LOT FENCE TYPICAL**



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# SITE – LOT FENCING



## FENCING LAYOUT

- FENCE LINE SHOULD BE AT PROPERTY LINE OR RIGHT OF WAY(ROW)
- FRONT SETBACK TO BE 5' MIN., 10' MAX. BASED ON ARCHITECTURE
- 4'-0" IS MIN. SETBACK BETWEEN SIDEWALK AND FENCE LINE
- STAIN COLOR FOR ALL FENCES SHALL BE: OLYMPIC ELITE SEMI-TRANSPARENT STAIN, COLOR: OLIVEWOOD

# SITE - PRIVACY SCREEN



THE PURPOSE OF THE PRIVACY SCREEN IS TO SHIELD FROM VIEW ANCILLARY STRUCTURES SUCH AS HOT TUBS, OR TO ALSO PROVIDE SOME PRIVACY FOR HOMEOWNERS WHILE USING THE PATIO AREA TO THE REAR OF THE HOME. IDEALLY PRIVACY WOULD BE GAINED BY USING APPROVED STRATEGICALLY PLACED SHRUBS, HEDGES, BUSHES OR TREES WHERE SPACE ALLOWS, OR A COMBINATION OF A SMALL SCREEN AND PLANTINGS.

THE GOAL IS TO PROVIDE THE HOMEOWNER DESIRED PRIVACY WITHOUT UPSETTING THE NATURAL BEAUTY OF THE LYONS RIDGE COMMUNITY. PLEASE NOTE THAT A PRIVACY SCREEN IS NOT MEANT TO BE A SUPPLEMENTARY FENCE.

(THESE ARE GUIDELINES ONLY AND THE LYONS RIDGE COMMUNITY COMMITTEE AND THE LRMD RESERVE THE RIGHT TO APPROVE OR DENY EACH REQUEST BASED SOLELY ON WHAT IS DEEMED BEST FOR THE ENTIRE COMMUNITY.)

\*A DETAILED DESCRIPTION WITH DIMENSIONS AND DRAWING OR PICTURES, WITH DESIRED PLACEMENT MUST BE SUBMITTED WITH THE LANDSCAPE APPROVAL REQUEST.



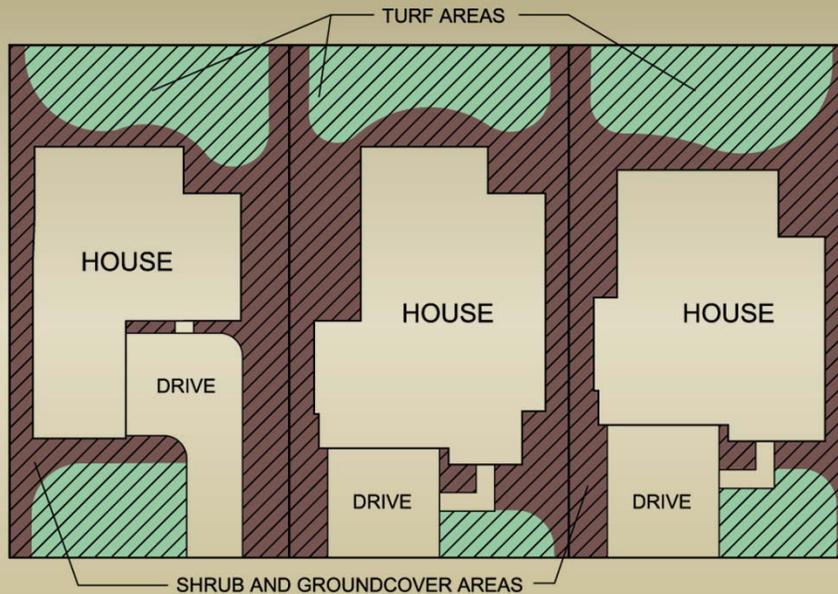
## SITE - PRIVACY SCREEN, CONT.



### PRIVACY SCREENS SHALL:

- BE MADE OF CEDAR, AND STAINED A NATURAL WOOD COLOR OR TO MATCH THE HOME'S PAINT SCHEME. ALTERNATIVELY, SCREENS CAN BE MADE OF MATERIALS CONSISTENT WITH THE HOME CONSTRUCTION TO MATCH THE LOOK AND COLOR OF THE HOME. A PRIVACY SCREEN MUST ALSO NOT BE A SOLID FENCE AND MUST CONTAIN SOME TYPE OF LATTICE, SLOTTED OR SIMILAR CONSTRUCTION.
- \*BE AT LEAST 6 FEET TALL, BUT NOT EXCEED 8 FEET TALL FROM THE BASE/GROUND LEVEL. NOR SHALL IT EXCEED 16 FEET IN LENGTH. DIMENSIONS OF THE PRIVACY SCREEN SHOULD BE SUFFICIENT TO SCREEN THE HOMEOWNER'S VIEW OF ADJOINING PROPERTY STRUCTURES OR NEIGHBOR'S VIEW OF ANCILLARY STRUCTURES. (ANY SCREEN ABOVE 6' TALL MUST MAKE SENSE BASED UPON PLACEMENT AND DISTANCE FROM HOME AND SLOPE OF THE GRADE. EXAMPLE - BUILDING AN 8' TALL SCREEN WHEN A 6' TALL SCREEN WOULD GIVE THE DESIRED PRIVACY WILL NOT BE ALLOWED IN ORDER NOT TO OBSTRUCT NEIGHBORHOOD VIEWS OF THE MOUNTAIN SURROUNDINGS.)
- PLANTINGS OR SHRUBS ETC. PLACED AROUND THE SCREEN FOR SOFTENING PURPOSES FOR NEIGHBORS ARE SUGGESTED.
- NOT BE WITHIN 5 FEET OF THE PROPERTY LINE AND BE LOCATED PARALLEL TO AND IN INSIDE OF OR IN LINE WITH THE SIDE WALL OF THE HOME WHERE PRACTICAL TO FULFILL THE DESIRED EFFECT. (DIRECTIONALLY FRONT TO BACK.) A PRIVACY SCREEN MUST ALSO NOT OBSTRUCT THE VIEW OF THE SURROUNDING MOUNTAINOUS LANDSCAPE.
- BE LOCATED EXCLUSIVELY TO THE REAR OF THE HOME AND NOT IN THE SIDE SETBACK AREAS.

# LANDSCAPE – WEST VALLEY LOTS



## PLANTING CONSIDERATIONS

- **SITE PLANTING SHALL BE CONCENTRATED ON EACH LOT.**
- **PLANT MATERIAL SHALL BE SELECTED TO CREATE A COHESIVE STREETScape.**
- **EACH LOT SHALL BE PLANTED IN COLLABORATION WITH THE ADJACENT LOT(S).**
- **CONSTRUCTION DOCUMENTS FOR PLANTING SHALL BE SUBMITTED WITHIN 60 DAYS OF CLOSING.**
- **ALL PLANTING SHALL BE INSTALLED WITHIN 90 DAYS OF CONSTRUCTION DOCUMENT APPROVAL. EXCEPT WHEN APPROVED BETWEEN OCT. 15-MARCH 15. UPON BUILDING COMPLETION DURING THIS TIME PLANTINGS SHALL BE INSTALLED BY MAY 15.**

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# LANDSCAPE – WEST VALLEY LOTS

## PLANTING CONSIDERATIONS

- FRONT YARD

- MINIMUM TWO (2)\* OF THE FOLLOWING:

- DECIDUOUS SHADE TREE (3" CALIPER MINIMUM)
    - ORNAMENTAL TREE (2" CALIPER MINIMUM)
    - EVERGREEN TREE (8'-10' HT. MINIMUM)

- \*AT LEAST ONE REQUIRED TO BE EVERGREEN.

- COMBINATION OF TURF AREAS AND SHRUB AND GROUNDCOVER BED AREAS.
  - SHRUB AND GROUNDCOVER BEDS MUST COVER NO LESS THAN 30%, AND NO MORE THAN 75% OF THE TOTAL FRONT YARD AREA.
  - ROCK MULCH TO BE NATIVE COLORS. 1 ½" TO 2" RIVER ROCK AND 8"-12" COBBLE ARE ACCEPTABLE. SUBMIT SAMPLE WITH DRAWINGS FOR APPROVAL.
  - DOUBLE SHREDDED REDWOOD FIBER MULCH (GORILLA HAIR)

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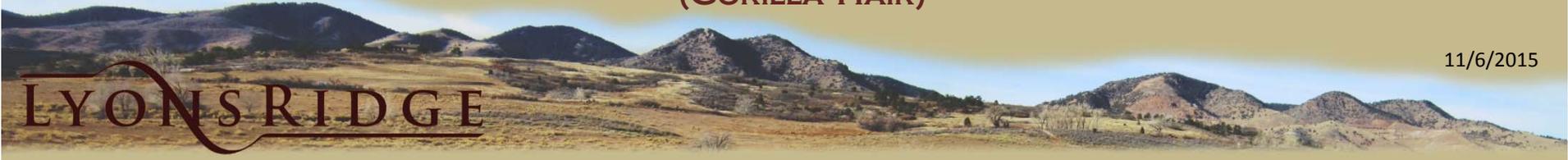


# LANDSCAPE – WEST VALLEY LOTS

## PLANTING CONSIDERATIONS

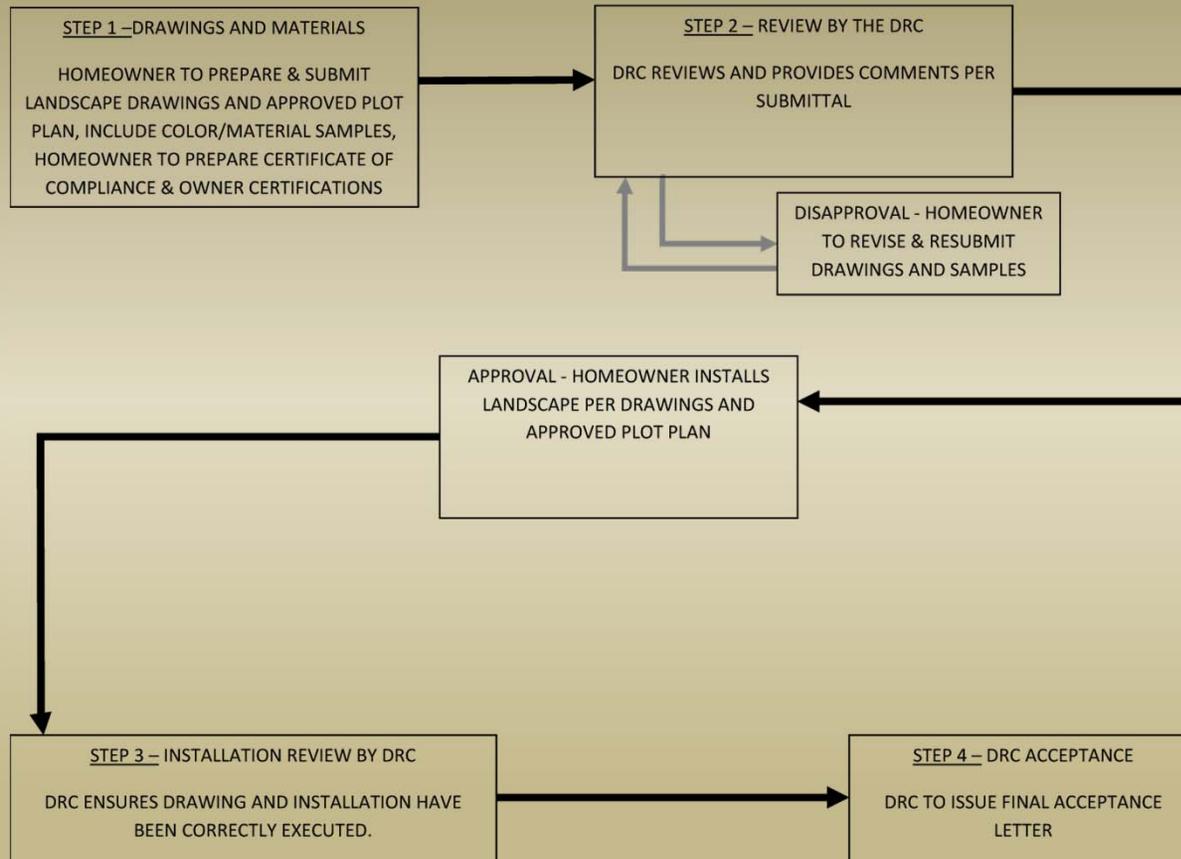
- **SIDE & REAR YARDS**
  - **AT LEAST ONE\* EACH OF THE FOLLOWING:**
    - **DECIDUOUS SHADE TREE (2-1/2" CALIPER MINIMUM)**
    - **EVERGREEN TREE (8'-10' HT. MINIMUM)**
  - \*ADDITIONAL TREES ENCOURAGED**
  - **COMBINATION OF TURF AREAS, ORNAMENTAL GRASSES, SHRUB AND GROUNDCOVER BED AREAS.**
  - **LARGE EXPANSES OF MULCH OR BED AREAS WITHOUT SUBSTANTIAL SHRUB OR GROUNDCOVER PLANTINGS ARE UNACCEPTABLE**
  - **APPROVAL OF NATIVE GRASS SEED AND WILDFLOWER PLANTINGS WILL BE BASED UPON PROXIMITY TO OPEN SPACE AREAS AND VISIBILITY WITHIN THE COMMUNITY**
  - **ROCK MULCH TO BE NATIVE COLORS. 1 1/2" TO 2" RIVER ROCK AND 8"-12" COBBLE ARE ACCEPTABLE. SUBMIT SAMPLE WITH DRAWINGS FOR APPROVAL.**
  - **DOUBLE SHREDDED REDWOOD FIBER MULCH (GORILLA HAIR)**

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# LANDSCAPE APPROVAL PROCESS—WEST VALLEY



## STANDARDS

- **ENSURE DEVELOPMENT SCALE AS WELL AS LOT SCALE DESIGN INTEGRITY**
- **DRC INVOLVEMENT FROM SCHEMATIC TO COMPLETION**
- **ENFORCE CARE & ATTENTION TO DETAIL FOR EACH HOME**
- **A \$200 PER LOT REVIEW FEE WILL BE CHARGED BY THE DRC.**

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# DESIGN GUIDELINES - ARCHITECTURAL

## CHARACTER

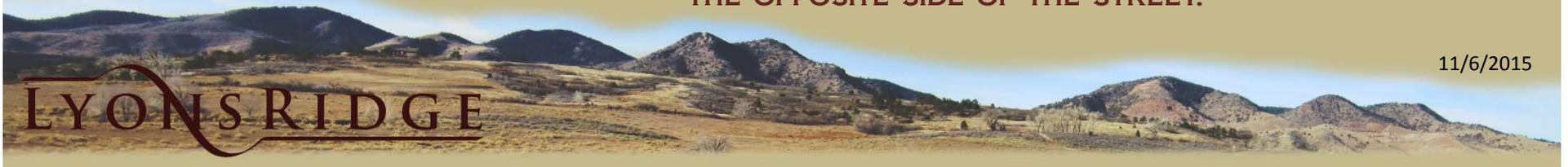
- THE TOPOGRAPHY AND STREET LAYOUT FOR THE WEST VALLEY LOTS HAVE BEEN DESIGNED TO ACCENTUATE THE HILLSIDE AND WESTERN VIEWS.
- VERTICAL VARIATION OF LOTS WILL CREATE VISUAL INTEREST ALONG STREETSAPES AND ACROSS THE INTERIOR OPEN SPACE.
- HOME DESIGNS THAT TAKE ADVANTAGE OF THE VERTICAL ASPECT OF THE SITE ARE ENCOURAGED.
- DESIGN THAT INCORPORATE MASSING THAT RESPECTS (RATHER THAN IGNORES) THE TOPOGRAPHY WILL BE FAVORED.
- WINDOW GROUPINGS AND ORIENTATIONS SHOULD BE CONSCIOUSLY EMPHASIZED IN THE DIRECTION OF EACH LOT'S VIEWS.
- ROOFING MATERIALS AND DETAILING SHOULD BE USED TO HELP ENRICH THE VISUAL APPEARANCE OF EACH HOME, AS ALONG THE STREETS AND ACROSS LOT GROUPINGS.



# DESIGN GUIDELINES - ARCHITECTURAL

## MASSING/PROPORTION/SCALE

- HOME DESIGNS DEVELOPED AROUND MORE THAN ONE VERTICAL AXIS SHOULD PRODUCE MORE INTERESTING ROOF LINES AND OPPORTUNITIES FOR ROOF FORM EXPRESSION
- LARGE, UNBROKEN WALLS ARE NOT CONSIDERED IN KEEPING WITH THE DESIRED CHARACTER OF THE DEVELOPMENT. THEREFORE, VARYING VERTICAL PLANES WITHIN EACH ELEVATION, STEPPED WALLS, COVERED ENTRIES AND INTEGRATED DECKS ARE ENCOURAGED. No "BIG BOX" DESIGN.
- UPPER LEVELS SHOULD BE SMALLER THAN THE BUILDING FOOTPRINT IN ORDER TO REDUCE THE OVERALL SCALE OF EACH HOME AND TO PROVIDE ADDITIONAL OPPORTUNITIES TO INTRODUCE VARYING ROOF ELEMENTS.
- PLAN TYPE AND ELEVATION OPTIONS WITHIN A PLAN TYPE NEED TO BE SUFFICIENTLY VARIED TO AVOID STREET SCENE MONOTONY.
- IDENTICAL PLAN/ELEVATION TYPES MUST BE SEPARATE BY A MINIMUM OF TWO INTERVENING LOTS ON THE SAME SIDE OF THE STREET AND AT LEAST ONE LOT ON THE OPPOSITE SIDE OF THE STREET.



# DESIGN GUIDELINES - ARCHITECTURAL



## ELEVATIONS AND EXTERIOR MATERIALS

- ALL HOMES TO HAVE PLANE BREAKS ON AT LEAST THREE ELEVATIONS. AN OFFSET OF AT LEAST 24" IS REQUIRED TO QUALIFY AS A PLANE BREAK.
- ALL HOMES MUST HAVE AT LEAST TWO PLATE HEIGHTS, WITH TWO-STORY HOMES HAVING A MINIMUM OF THREE PLATE HEIGHTS.
- MATERIAL CHANGES SHALL START AND STOP AT INSIDE CORNERS.
- WINDOW TRIM AND DETAILS SHALL BE CONSISTENT ON ALL ELEVATIONS.
- QUALITY MATERIAL SUCH AS NATURAL STONE, ACRYLIC-BASED STUCCO AND WOOD ENHANCEMENTS SHOULD BE USED WHEREVER POSSIBLE. BRICK IS NOT A PREFERRED MATERIAL.
- COMPOSITE WOOD PRODUCTS MAY BE USED IN BOTH HORIZONTAL, VERTICAL AND SHINGLE CONFIGURATIONS, AS WELL AS FOR TRIM, FASCIA AND SOFFITS.
- ROOFING SHALL BE CONCRETE TILE.
- PLAY EQUIPMENT, including playhouses, SHALL BE WOOD OR NATURAL TONED METAL OR PLASTIC EQUIPMENT. BOLD, CONTRASTING COLORS ARE NOT permitted.
- TRAMPOLINES TO BE NATURAL COLORS.

# DESIGN GUIDELINES - ARCHITECTURAL

## ENHANCED ELEVATIONS

### MUST INCLUDE TWO OF THE FOLLOWING:

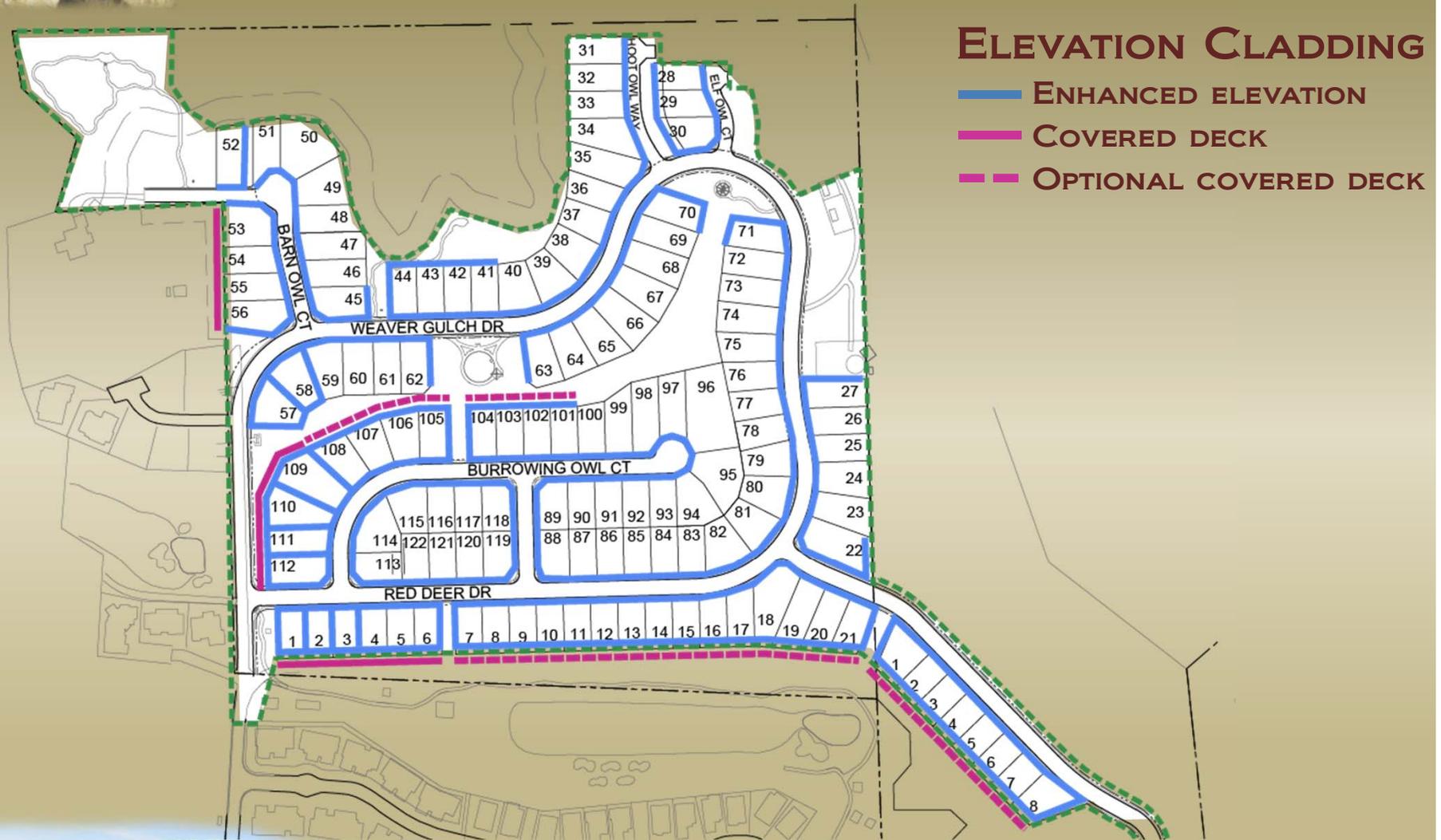
- ADDITIONAL DETAILING OR ARTICULATION IS ADDED (E.G. ADDED TRIM AROUND OPENINGS; BAY WINDOWS, PLANTER BOXES OR EYEBROW ROOFS; MULTIPLE SIDING TYPES/SIZES) TO THE VERTICAL WALL SURFACE.
- VARYING PAINT COLORS OF DIFFERENT ELEMENTS CAN BE USED TO ACCENTUATE INDIVIDUAL ELEMENTS, AS LONG AS THE COLOR PALETTE IS COORDINATED AND REINFORCES THE ARCHITECTURE. COLOR PALETTE SHALL BE MUTED, NATURAL TONES TAKING CUES FROM THE NATIVE SITE CHARACTER.
- HIGHER QUALITY MATERIALS ARE 35% OR MORE OF THE VERTICAL WALL SURFACE (E.G. ACRYLIC BASED STUCCO OR STONE)
- DECKS, BUILT OF MATERIALS CONSISTENT WITH THE REST OF THE HOME, AND EXTENDING 1/2 OR MORE OF THE LENGTH OF AN ELEVATION, WITH CODE REQUIRED HANDRAILS AND STAIRWAYS, ALSO BUILT OF MATERIALS CONSISTENT WITH THE REST OF THE HOME. UNCLAD 4x4 POSTS ARE NOT ACCEPTABLE.



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# DESIGN GUIDELINES - ELEVATIONS



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# DESIGN GUIDELINES - ARCHITECTURAL



## GARAGE VARIETY

- A VARIETY OF GARAGE CONFIGURATIONS, INCLUDING SIDE LOADED, ARE ENCOURAGED. THE GOAL IS A DIVERSE STREET SCAPE.

## GARAGE DOORS

- ALL HOMES TO FEATURE ARCHITECTURALLY DETAILED GARAGE DOORS CONSTRUCTED OF QUALITY MATERIALS SUCH AS STEEL OR WOOD. FLAT FACED DOORS ARE NOT ACCEPTABLE.
- GARAGE DOOR DETAILING (COLOR, FINISH, WINDOW STYLE, HARDWARE, ETC.) SHOULD BE CONSISTENT WITH THE ARCHITECTURAL CHARACTER OF THE HOME AND SURROUNDING NEIGHBORHOOD.
- PANELIZED, INSULATED GARAGE DOORS ARE REQUIRED.

## LIGHTING

- GARAGE LIGHTING SHALL BE ON MOTION DETECTOR CONTROL ONLY. ALL LIGHT SHALL BE CAST WITHIN THE LOT PROPERTY LINES.

# DESIGN GUIDELINES - ARCHITECTURAL

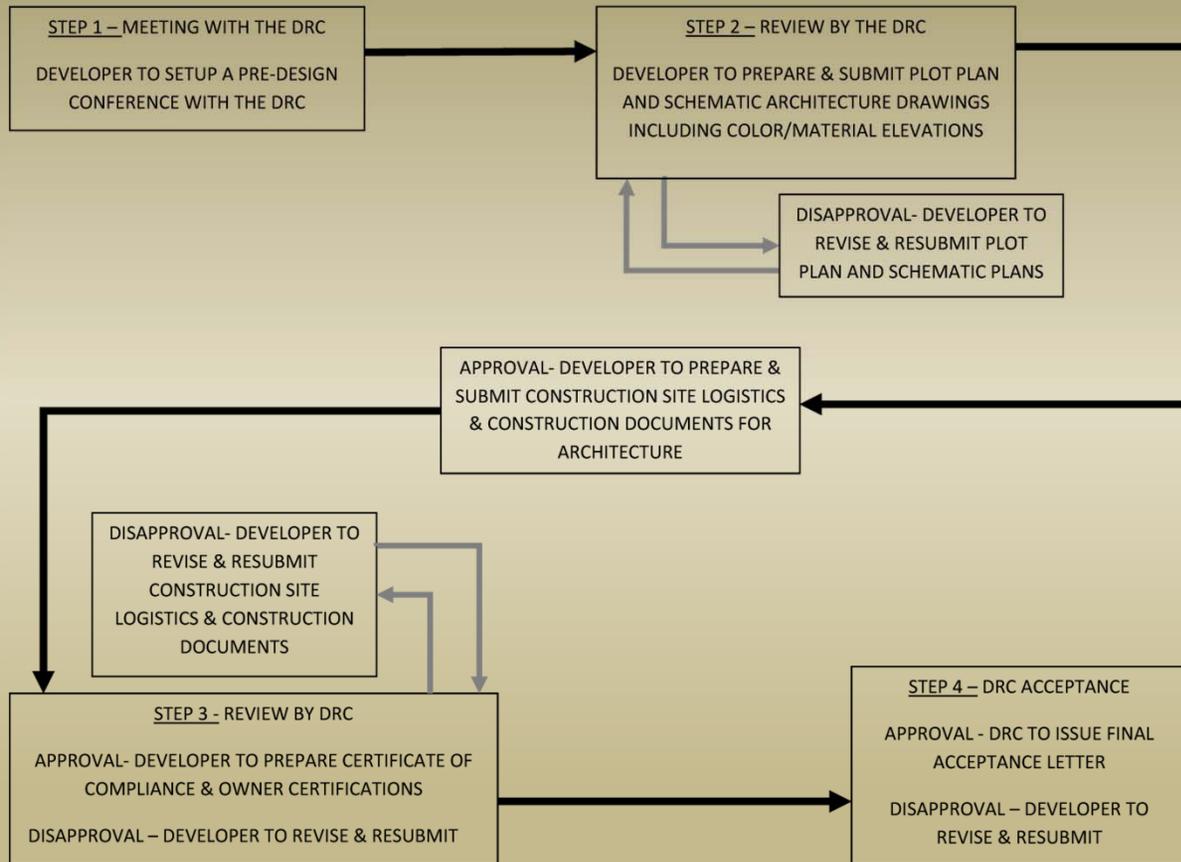
## ANCILLARY STRUCTURES



- The following Storage sheds are permitted:
  - Custom structures constructed in the same style and with the same materials as the home.
  - Pre-fabricated custom or semi-custom sheds (such as Tuff Shed products) that are detailed to coordinate with the home.
  - Large plastic sheds are not permitted.
- Other Considerations:
  - Asphalt shingles are permitted in lieu of tile but must coordinate with the house roof color. Fiberglass, metal, or plastic roofs are not permitted.
  - Total size is limited to 150 sq. ft. and 18' maximum height.
  - Sheds must be setback an additional 10' from the side or rear setback.
  - Sheds must be incorporated into the landscape and have surrounding plant material to screen from rear and side neighbors. Lots adjacent to the golf course must have dense landscaping screening.
  - Sheds may not be visible from the front view of the home.
  - Conform to County site standards
- Small Storage:
  - Small storage sheds / containers are permitted without a permit, but must be placed adjacent to the house in the rear or side yard, not visible to the front view of the home.
  - Small storage sheds may not exceed 4' in width and/ or 7' in height.
- Trashcan Screening:
  - Screening for trash cans will be reviewed on a case-by-case basis.

July 2017 update

# ARCHITECTURE APPROVAL PROCESS—WEST VALLEY



## STANDARDS

- **DEVELOPER LED COMMUNITY DEVELOPMENT REVIEW PROCESS**
- **ENSURE DEVELOPMENT SCALE AS WELL AS LOT SCALE DESIGN INTEGRITY**
- **DRC INVOLVEMENT FROM SCHEMATIC TO COMPLETION**
- **ENFORCE CARE & ATTENTION TO DETAIL FOR EACH HOME**
- **A \$200 PER LOT REVIEW FEE WILL BE CHARGED BY THE DRC.**

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# PLAN APPROVAL FORMS—WEST VALLEY

**LYONS RIDGE**  
Lyons Ridge Design Review Committee  
APPLICATION FOR PROJECT REVIEW  
Page 2 of 3

**OWNER/BUILDER:**  
Address: \_\_\_\_\_  
Contact: \_\_\_\_\_  
Phone/Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

**ARCHITECT:**  
Address: \_\_\_\_\_  
Contact: \_\_\_\_\_  
Phone/Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

**LANDSCAPE ARCHITECT:**  
Address: \_\_\_\_\_  
Contact: \_\_\_\_\_  
Phone/Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

**CIVIL ENGINEER:**  
Address: \_\_\_\_\_  
Contact: \_\_\_\_\_  
Phone/Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

**CONTRACTOR:**  
Address: \_\_\_\_\_  
Contact: \_\_\_\_\_  
Phone/Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

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**LYONS RIDGE**  
Lyons Ridge Design Review Commit  
APPLICATION FOR REVIEW

Project Name: \_\_\_\_\_  
Address: \_\_\_\_\_

Type of Application: \_\_\_\_\_ Submittal Phase: \_\_\_\_\_ Attach: \_\_\_\_\_

Building  Model Plan Review Date: \_\_\_\_\_  
 Landscape  Builder Plan Review Proj: \_\_\_\_\_  
 Signage  Design Development No: \_\_\_\_\_  
 Lighting  Construction Documents Pr: \_\_\_\_\_  
 Minor Appearance  Site Plan R: \_\_\_\_\_  
 Permit Authorization

Please fill out applicable section

LANDSCAPE:	Deciduous Trees (50%)	Ornamental Trees (25%)	Evergreen Trees (25%)	Shrub Area
Number:	_____	_____	_____	_____
Percentage:	_____	_____	_____	_____
Size:	_____	_____	_____	_____

**SIGNAGE:**

Temporary Type:  Announcement  Lease

Number: \_\_\_\_\_  
Size: \_\_\_\_\_

Permanent Type:  Monument

Number: \_\_\_\_\_  
Size: \_\_\_\_\_

**APPLICANT CERTIFICATION:**  
I hereby attest that I am either an owner or a legally-designated agent or correct, and further acknowledge that any approval action by the DRC of said approval.  
Name: \_\_\_\_\_

6380 S. Redders Green Cir.  
Phone: 303

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6380 S. Redders Green Cir. • Suite: 400 • Greenwood Village, CO 80111  
Phone: 303-753-7500 Fax: 303-748-6000

## REVIEW FORMS

- REVIEW APPLICATION
- FEE SCHEDULE
- REVIEW TYPE
- FORMS WILL BE PROVIDED UPON REQUEST OR AVAILABLE ONLINE AT:

[LYONSRIDGEMETRO.ORG/LYONS-RIDGE](http://LYONSRIDGEMETRO.ORG/LYONS-RIDGE)

**LYONS RIDGE**

Pg Revised 6/5/2020