

MEMORANDUM OF UNDERSTANDING  
BETWEEN  
DISTRICT OF TOFINO  
(DISTRICT)  
AND  
TOFINO HOUSING CORPORATION INC. (Inc. No. 0715979)  
(THC)  
AND  
CATALYST COMMUNITY DEVELOPMENT SOCIETY (Inc. No. S-0061889)  
(CATALYST)  
(COLLECTIVELY "THE PARTIES")

Whereas the District is owner of the land legally described as:

**PID: 000-182-371**

Remainder Lot A, District Lot 114, Clayoquot District, Plan 32751

From which two new lots, Lot 1 and Lot 2, will be created as per the draft subdivision plan included as Schedule A

(the "Lands");

Whereas the District has identified, through the District of Tofino's *Official Community Plan*, the need for affordable and attainable housing;

Whereas the District has established the Tofino Housing Corporation Inc., ("THC") a private municipal corporation with the sole purpose of building attainable and affordable housing in Tofino and the District has committed to transferring the Lands to THC for this purpose;

Whereas Catalyst Community Developments Society ("Catalyst"), a BC incorporated non-profit organisation, would like to develop 72 units of affordable housing (the "Development") on the Lands in two distinct Phases – 35 units as Phase A on Lot 2 and 37 units as Phase B on Lot 1; and

Whereas the District and THC support Catalyst's vision for the Development.

NOW THEREFORE, the Parties agree as follows:

1. The Purpose of this Memorandum of Understanding (“MOU”) is to set out the intentions and understandings between the Parties under which a lease of the Lands may be granted by the THC to Catalyst for the Development.

2. Land Transfer

The District agrees it will transfer the Lands to the Tofino Housing Corporation once the Lands are subdivided and the District is relieved of its obligation to guarantee the \$336,933 BC Housing loan, unless the District and the THC have agreed to an alternative timing.

3. Land Transfer Costs

The THC will pay the legal costs and Property Transfer Tax (PTT) associated with the land transfer from the District to the THC; these are not Project Costs.

4. Land Lease

The THC and Catalyst agree to the granting of separate land leases for the Lands to Catalyst for Phase A and Phase B of the Development. The Leases for the Lands will be subject to the following conditions being satisfied.

- Building permit designs for the Development are complete and agreed to by the Parties;
- the Lands are rezoned to permit the Development;
- a Housing Agreement has been registered on title to the Lands; and
- a Development Agreement has been established between the THC and Catalyst whereby Catalyst is responsible for the costs of delivering the Development on the Lands.

The Parties will enter into a lease of the Lands with terms similar to that of the Lease between the THC and Catalyst for Sharp Rd (CA119851, PID: 000-251-861, LOT 1 DISTRICT LOT 132 CLAYOQUOT DISTRICT, PLAN 33516) (“Sharp Rd Lease”) with the following adjustments.

- Catalyst will provide \$82,000 in project equity for Phase A and \$98,000 in project equity for Phase B
- For Phase A the THC cash equity contribution will be capped at \$340,000
- For Phase B the THC will provide a \$440,000 equity contribution
- Should Phase B not be funded by the BC CHF then both Catalyst and the THC will consider increasing equity contributions into Phase B.

- For Phase A 48.6 % of the THC's \$336,933 BC Housing PDF loan will be assumed by Catalyst no later than the construction financing stage.
- For Phase B 51.4% of the THC's \$336,933 BC Housing PDF loan will be assumed by Catalyst no later than the construction financing stage or at an alternative time agreed to by the THC and Catalyst.
- The Purchase Price formula specified in clause #2, of Schedule D of the Sharp Rd Lease will be modified by replacing 50% with 75%.

5. No Fettering

Catalyst and THC acknowledge that nothing in this MOU fetters the District of Tofino in making its decision regarding any proposed changes to zoning.

6. Other Costs

Catalyst shall pay property transfer tax and GST, if applicable, associated with the Lease.

7. New Road and Servicing

The Parties acknowledge that the Development will be accessed by a new public road and will connect to District services constructed within the new public road. The Parties also acknowledge that for the Development additional servicing requirements also include reconfiguration of the Leighton Way/Peterson Drive Intersection, adding a painted pedestrian path and speed humps on Leighton Way, reconfiguring the start of the Tonquin Beach trail along the new road and rerouting the trail from the Community Hall to the Tonquin Beach trail to accommodate Phase B.

The costs of the new road and services will be apportioned 40% to Phase A, 44% to Phase B and 16% will be separately funded by the THC related to the development of the three duplex lots.

8. Development Plan

The Development and Building Plans for Phase A and Phase B have been designed to 90% design - see Schedule B – and will not be altered substantially except as required to obtain a Building Permit and approval by BC Housing and CMHC, as applicable.

9. Project Costs

Project Costs are generally summarised in Schedule C and include:

- appraisal fees;

- British Columbia Land Surveyor fees associated with the preparation of legal plans and surveying;
- legal costs associated with the preparation of the Housing Agreement, MOU, Lease, covenants, other Agreements, statutory rights of way, survey plans and associated registration fees of same in the Land Title Office;
- development consultant fees;
- rezoning, development permit, building permit and subdivision costs
- municipal and servicing fees, property taxes, property transfer tax for the Lease, GST self-supply
- construction financing costs and insurance
- all land clearing, soil and rock removal, and new material placement;
- construction of the new road and servicing
- construction of all buildings and related infrastructure (stormwater, sewer, hydro, telephone, cable, lighting) necessary to create the 72 apartment homes; and construction management services.

#### 10. Payment of Project Costs

THC will pay for Project Costs defined above until such time as a Development Agreement is executed by the Parties, as agreed to in advance of any such expenditures. Upon execution of the Development Agreement by the Parties Catalyst will assume responsibility to pay for all Project Costs unless specifically agreed otherwise by the Parties. Catalyst acknowledges that the THC legal fees, except those identified in Section 3, and costs associated with a THC-hired consultant to represent the THC interest through project development and construction will be Project Costs.

#### 11. Project Funding and Financing

Catalyst shall apply for the BC Housing Community Housing Fund and a Canada Mortgage and Housing (CMHC) Co-Investment Fund to secure project capital grants and financing.

The THC has a limited amount of funds available to cover additional pre-development costs, which will be count towards its Phase A \$340,000 and Phase B \$440,000 equity contributions. Should additional pre-development funds be required for Phase B the THC may consider a no-interest loan to the Development.

12. Proceeding without Catalyst

In the event that Catalyst has not commenced construction of Phase A of the Development on or before December 31<sup>st</sup> 2021 and Phase B of the Development by December 31<sup>st</sup>, 2023 then the THC may, at its sole discretion, terminate the Development Agreement and the Lease and proceed on its own or permit any other party or parties it so chooses to proceed with development of the Lands.

13. Catalyst's Right to Terminate

The Parties agree that Catalyst will be entitled to terminate the Lease and Development Agreement within 120 days of receipt of the building permit for the Development if, at its sole discretion, Catalyst does not consider that the construction and operation of the Development will be financially viable over the term of the Lease. In the event that Catalyst elects to terminate the Lease within the above timeframe then there shall be no further obligations between the Parties.

14. Timeliness

The Parties acknowledge that, although the provisions of this MOU are non-binding, time is of the essence and that the Development will only be successful if both Catalyst and THC are diligently working towards being ready to deliver the Development as contemplated in this MOU.

15. Non-Binding

Despite anything else in this MOU, including language that may in the normal course give rise to binding contractual obligations, this MOU is not legally binding and creates no legal obligations between the parties. It does, however, express the good faith intentions of the parties as herein set out. Without limiting the foregoing, the parties acknowledge that any binding agreement will be the subject of further negotiations between the parties and may ultimately differ from the present understandings as set out herein and no party shall have any claim against the other party arising out of a party's change of intention from those intentions set out herein.

16. Legal Requirements

The parties acknowledge that prior to the parties entering into any legally binding agreements, all legal requirements of the District must be satisfied, all necessary authorizations and approvals must be obtained and all procedural requirements must be followed, including as required by the District of Tofino's bylaws, the *Local Government Act*

(British Columbia) and the *Community Charter* (British Columbia) and any other applicable statutes.

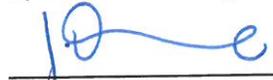
17. Legislative Discretion

Catalyst and THC acknowledge that some of the steps described in this MOU will engage the legislative authority of the District of Tofino. Catalyst and THC acknowledge that fulfillment of some of the steps set out in this MOU may require that the Council of the District of Tofino adopt bylaws or pass resolutions and that the passage of said resolutions or adoption of said bylaws by the Council of the District of Tofino are within its sole absolute discretion which is not in any manner subject to the provisions hereof.

IN WITNESS WHEREOF the parties hereto have executed this Memorandum of Understanding as of the day and year written below.

**DISTRICT OF TOFINO**

by its authorized signatories:

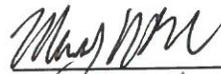
  
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Mayor: Josie Osborne

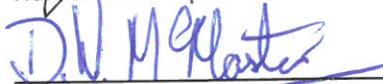
  
\_\_\_\_\_  
Corporate Officer:  
ROBERT MACPHERSON

Date: AUGUST 27, 2020

**TOFINO HOUSING CORPORATION**

by its authorized signatories:

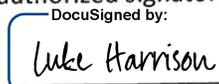
  
\_\_\_\_\_  
Name: Melody McLoie

  
\_\_\_\_\_  
Name: Duncan McMaster

Date: Aug. 27/2020

**CATALYST COMMUNITY DEVELOPMENTS SOCIETY**

by its authorized signatories:

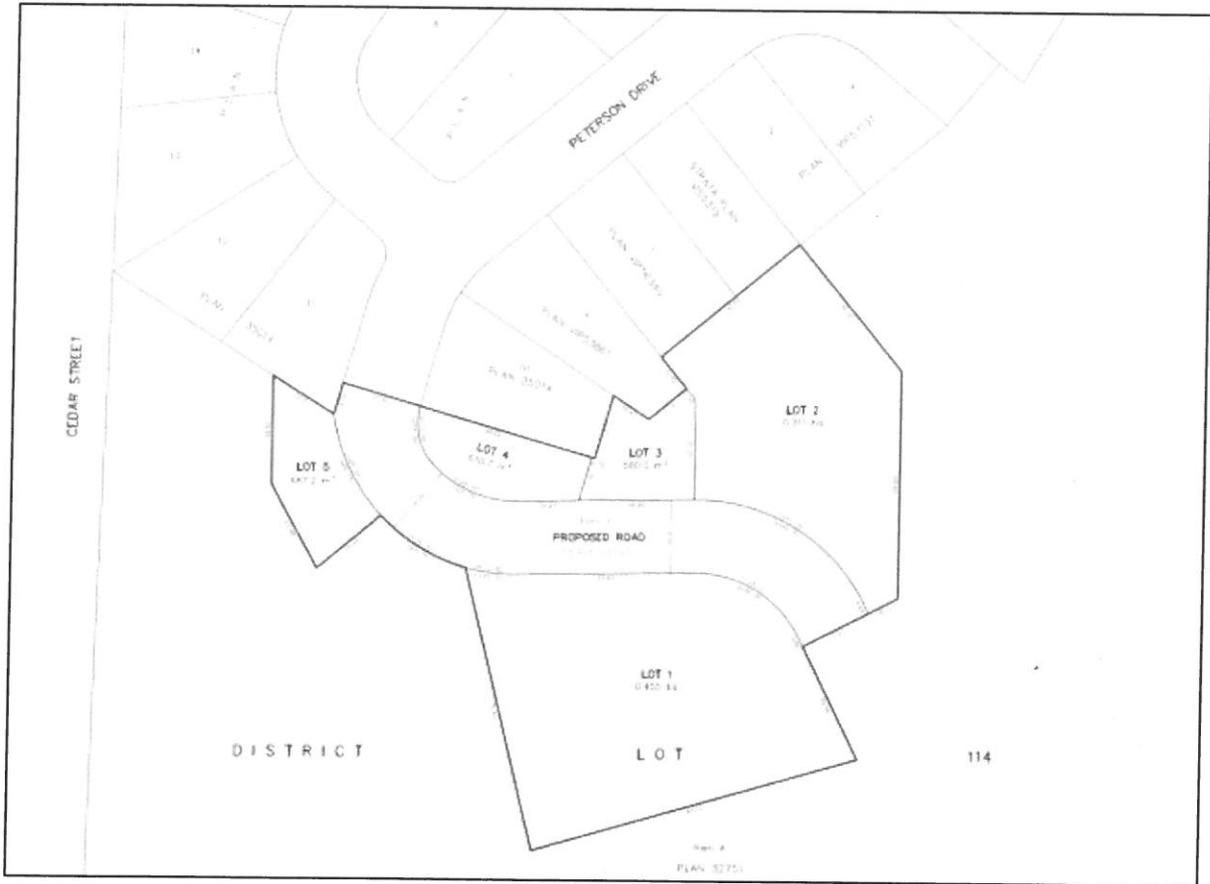
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Name:  
Luke Harrison

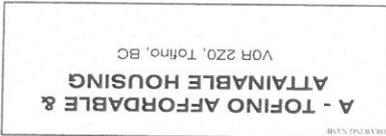
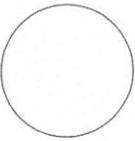
President

Name:  
8/29/2020  
Date: \_\_\_\_\_

### Schedule A – Subdivision Plan



**Schedule B – Lot 1 (Phase B) and Lot 2 (Phase A) Building Plans**



9255 YOUNG ROAD, CHILLIWACK B.C. V2P 4S3 TEL: (604) 793-9445  
 CRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE

# TOFINO AFFORDABLE & ATTAINABLE HOUSING - BUILDING A

DL 114, VOR 220, TOFINO, BC

## OWNER

**CATALYST COMMUNITY DEVELOPMENTS SOCIETY**  
 60 - 425 Central Street  
 Vancouver, B.C. V6B 6E3  
 Tel: (604) 312-5235  
 Contact: Robin Parr

## CONSTRUCTION MANAGER

**SAYWELL CONTRACTING LTD.**  
 2599 McCallough Road  
 Nanaimo, B.C. V8S 4M6  
 Tel: (250) 728-0197  
 Contact: Travis Neveland



## ARCHITECTURAL

**CRAVEN | HUSTON | POWERS ARCHITECTS**  
 3935 Young Road  
 Vancouver, B.C. V6S 4S3  
 Tel: (604) 793-9445  
 Fax: (604) 793-9446  
 Contact: Justin Dyck, Architect ABC  
**ARCHITECTURAL DRAWING LIST**

- A-A00 TITLE SHEET
- A-A01 BUILDING CODE REVIEW & EXISTING CONDITIONS
- A-A02 CONSTRUCTION ASSEMBLIES
- A-A03 SITE PLAN
- A-A04 FIRST & SECOND FLOOR PLANS
- A-A05 THIRD & FOURTH FLOOR PLANS
- A-A06 BALANCED UNIT PLANS/REF
- A-A07 ENLARGED UNIT PLANS/REF
- A-A08 ENLARGED UNIT PLANS/REF
- A-A09 ENLARGED UNIT PLANS/REF
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## STRUCTURAL

**READ JONES CHRISTOFFERSEN LTD.**  
 300 - 1285 West Broadway  
 Vancouver, B.C. V6H 3X3  
 Tel: (604) 739-0040  
 Contact: Leon Platt, P. Eng, Struct. Eng  
**STRUCTURAL DRAWING LIST**

- AS6.01 Structural
- S0.0 STRUCTURAL COVER

## MECHANICAL

**AME GROUP**  
 200 - 638 Smythe Street  
 Vancouver, B.C. V6B 1E3  
 Tel: (604) 684-5995  
 Contact: Reza Mousakhani, P. Eng, CPD  
**MECHANICAL DRAWING LIST**

- M0.0 MECHANICAL COVER

## ELECTRICAL

**AES ENGINEERING**  
 500 - 3765 Chimo Road  
 Victoria, B.C. V8Z 6T8  
 Tel: (250) 340-3495  
 Contact: Gauri Mehta, B. Eng.  
**ELECTRICAL DRAWING LIST**

- E0.0 ELECTRICAL COVER

## CIVIL

**MCLENNAN**  
 1 - 1351 Estevan Road  
 Nanaimo, B.C. V8S 2V3  
 Tel: (250) 716-3336  
 Contact: Todd S. Wilson, P. Eng.  
**CIVIL DRAWING LIST**

- C0.0 CIVIL COVER

## CODE CONSULTANT

**COMPANY NAME**  
 Street Name  
 City, B.C. V8S 2V9  
 Tel: (604) 793-9445  
 Contact: Contact Name

## BUILDING ENVELOPE + ENERGY

**BC BUILDING SCIENCE LTD.**  
 611 Best Court  
 New Westminster, B.C. V3M 1V3  
 Tel: (604) 526-6456  
 Contact: Chad Crumswick

## FIRE SUPPRESSION

**COMPANY NAME**  
 Street Name  
 City, B.C. V8S 2V9  
 Tel: (604) 793-9445  
 Contact: Contact Name, P. Eng.  
**FIRE SUPPRESSION DRAWING LIST**

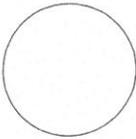
- F0.0 FIRE SUPPRESSION COVER

## LANDSCAPE

**MURDOCH DE GREEFF INC.**  
 200 - 524 Coulthart Road  
 Victoria, B.C. V8Z 1G1  
 Tel: (250) 412-2891  
 Contact: Scott Murdoch  
**LANDSCAPE DRAWING LIST**

- L0.0 LANDSCAPE COVER





# A - TOFINO AFFORDABLE & ATTAINABLE HOUSING

VOR 220, Toronto, BC

**FIRST & SECOND FLOOR PLAN**

DATE: 2020.02.26  
DRAWN BY: [Name]  
CHECKED BY: [Name]

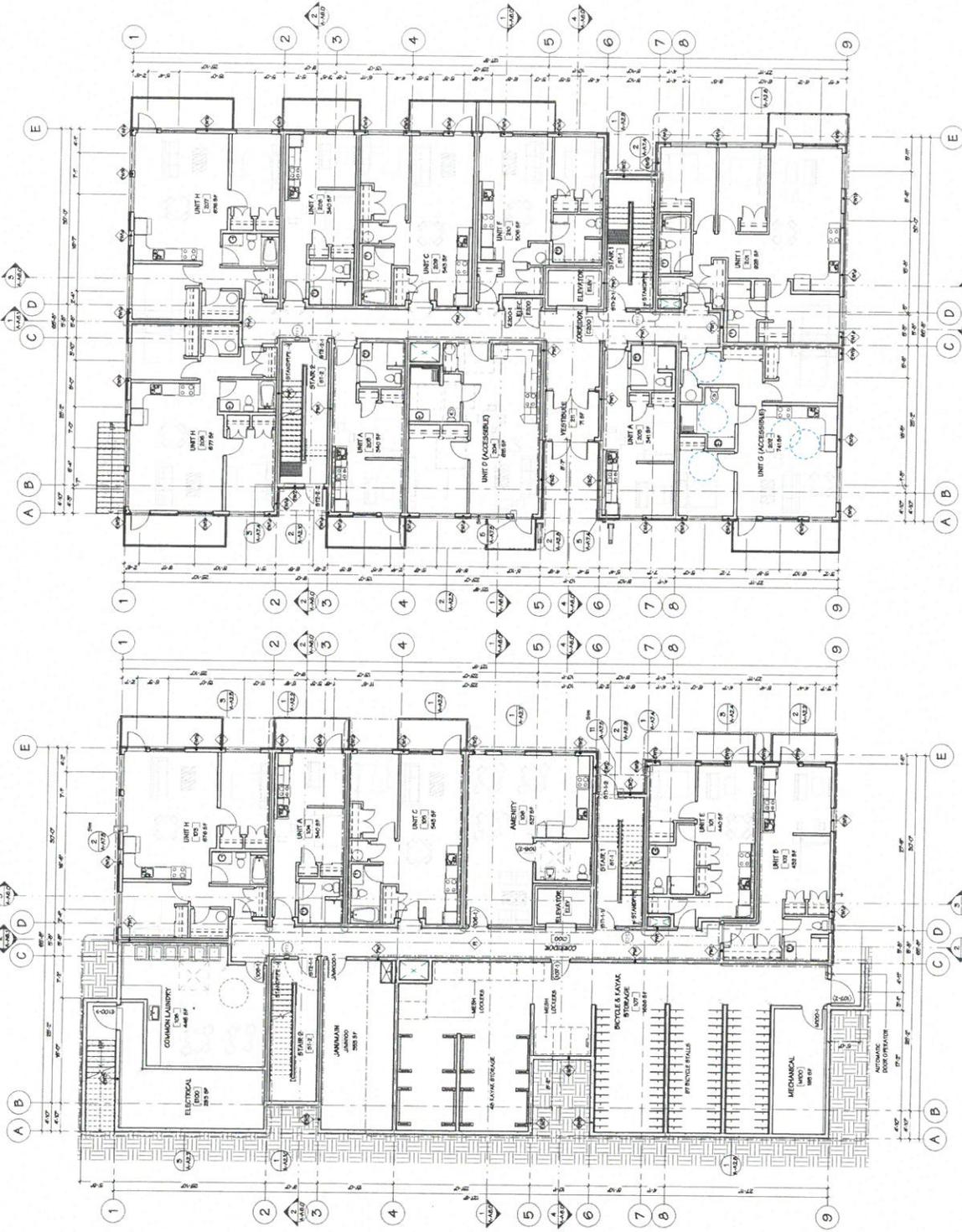
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SCALE	AS SHOWN
PROJECT	TOFINO AFFORDABLE & ATTAINABLE HOUSING
CLIENT	[Name]
LOCATION	[Address]



GRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK B.C., V2P 4S3 TEL: (604) 793-9445

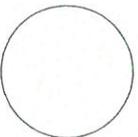
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2 SECOND FLOOR  
1/8" = 1'-0"

1 FIRST FLOOR  
1/8" = 1'-0"



# A - TOFINO AFFORDABLE & ATTAINABLE HOUSING

VOR 220, ToInno, BC

## THIRD & FOURTH FLOOR

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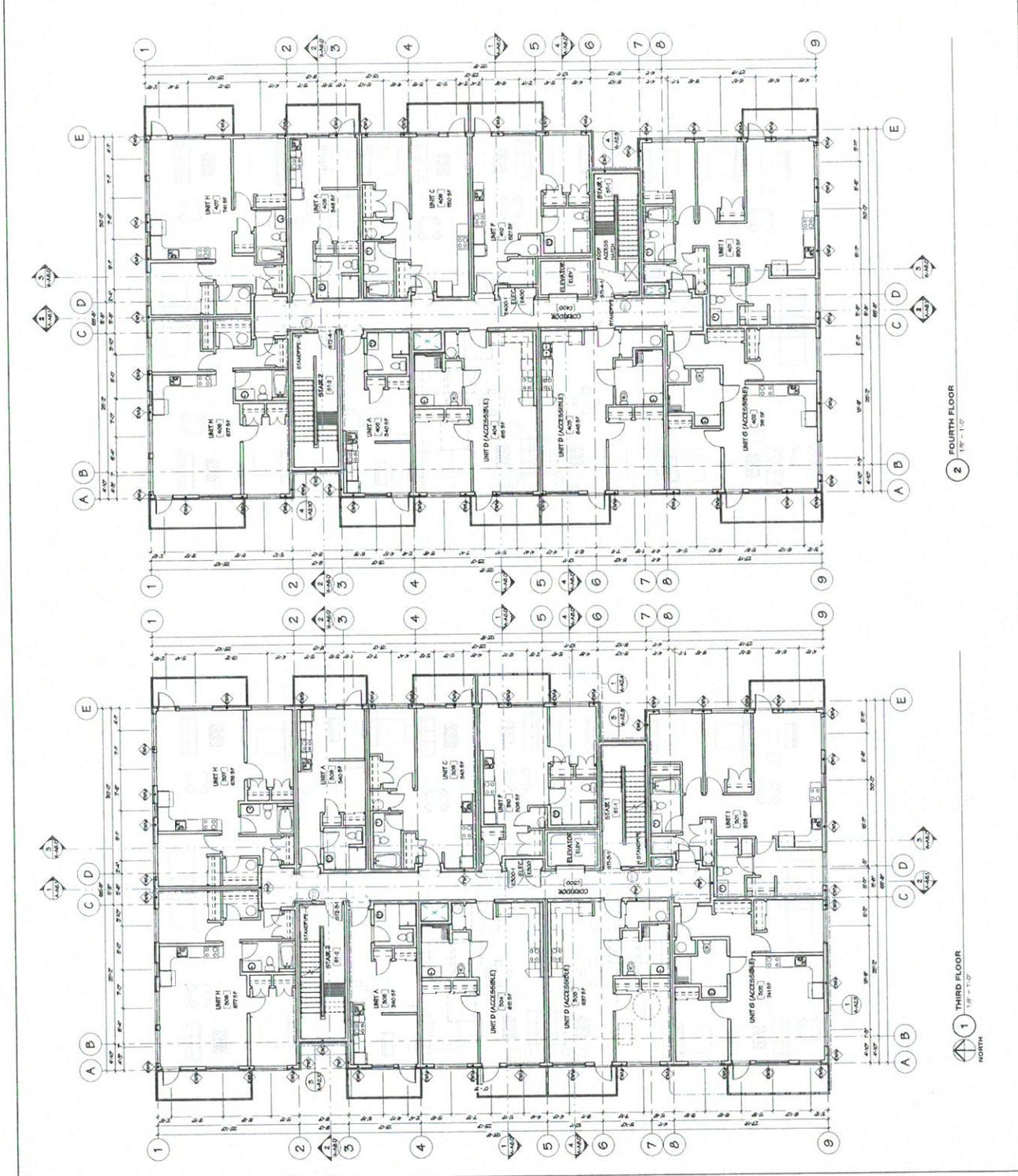
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PROJECT	18044



GRAVEN | HUSTON | POWERS | ARCHITECTS | ARCHITECTURE AND LANDSCAPE ARCHITECTURE  
9355 YOUNG ROAD, CHILLIWACK B.C. V2P 4S3 TEL: (604) 792-9445

### SYMBOL LEGEND

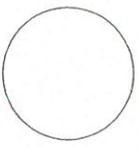
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**A - TOFINO AFFORDABLE & ATTAINABLE HOUSING**  
 VOR 220, Toftino, BC

**ENLARGED UNIT PLANS/RCP**

DATE	2020.02.26		
REVISIONS			
NO.	DATE	BY	DESCRIPTION
1	2020.02.26	TE	ISSUE FOR PERMIT
2	2020.02.26	TE	ISSUE FOR PERMIT
3	2020.02.26	TE	ISSUE FOR PERMIT



GRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK, B.C. V2P 4S3 TEL: (604) 793-9345

**SYMBOL LEGEND**

1 GRID REFERENCE

2 ROOM NUMBER

3 SHEET NUMBER

4 DETAIL MARKER

5 ELEVATION MARKER

6 INTERIOR ELEVATION MARKER

7 DOOR MARKER

8 WINDOW MARKER

9 FLOOR FINISH

**REFLECTED CEILING PLAN LEGEND**

ALUMINUM METAL EXPIT

OPTIMUM RAMP CEILING

OPTIMUM RAMP FLOOR/CEILING

OPTIMUM RAMP FLOOR/CEILING

UNLESS OTHERWISE SPECIFIED, FINISHES SHALL BE TO THE FINISH LINE UNLESS NOTED OTHERWISE.

NOTES:

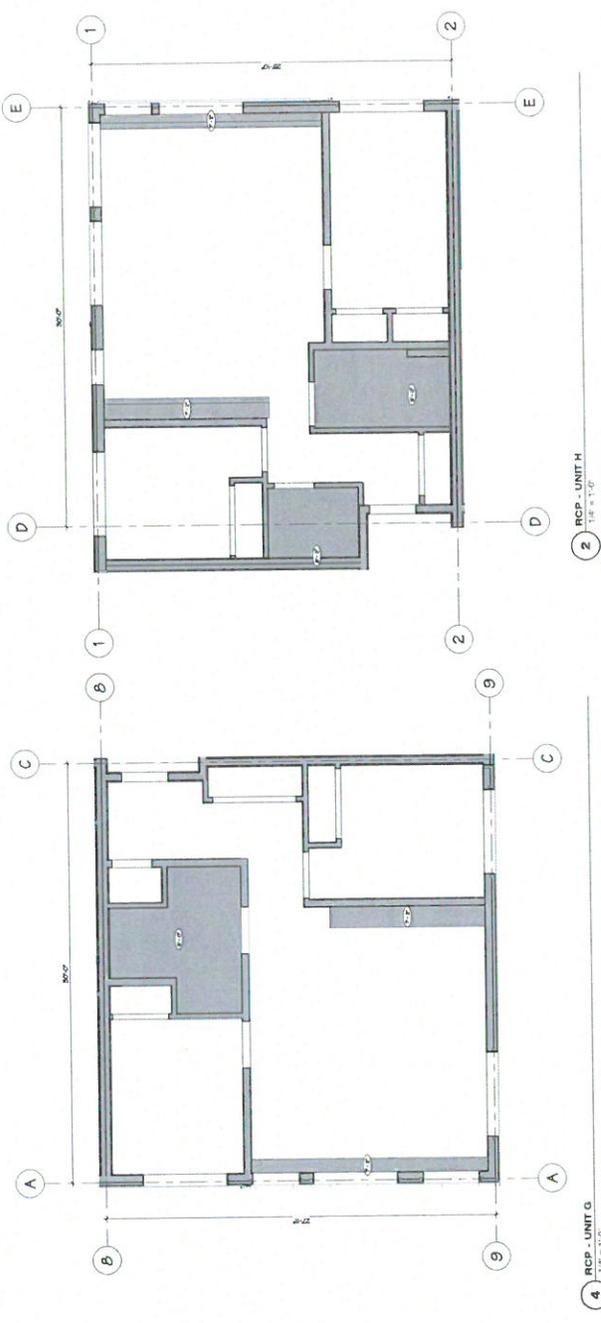
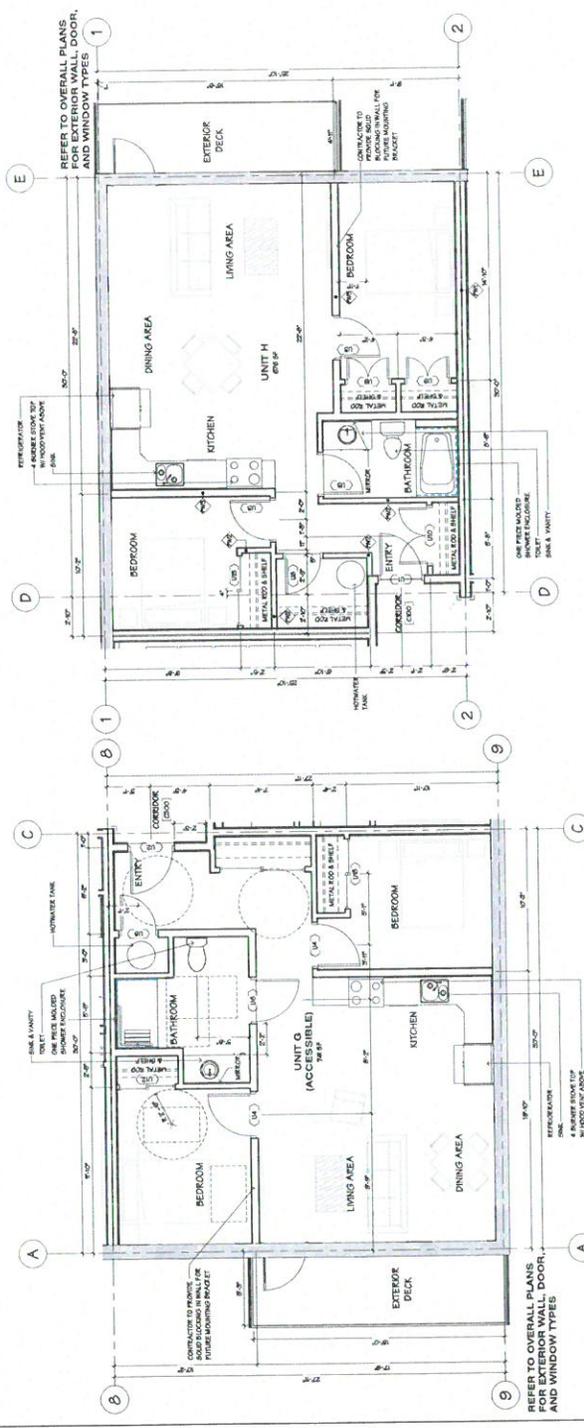
1. ALL FINISHES TO BE SPECIFIED IN THE FINISH SCHEDULE.

2. PROVIDE ACCESS TO ALL FINISHES FROM ALL CEILING WALLS.

3. PROVIDE ACCESS TO ALL FINISHES FROM ALL CEILING WALLS.

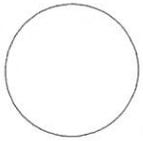
4. PROVIDE ACCESS TO ALL FINISHES FROM ALL CEILING WALLS.

5. PROVIDE ACCESS TO ALL FINISHES FROM ALL CEILING WALLS.









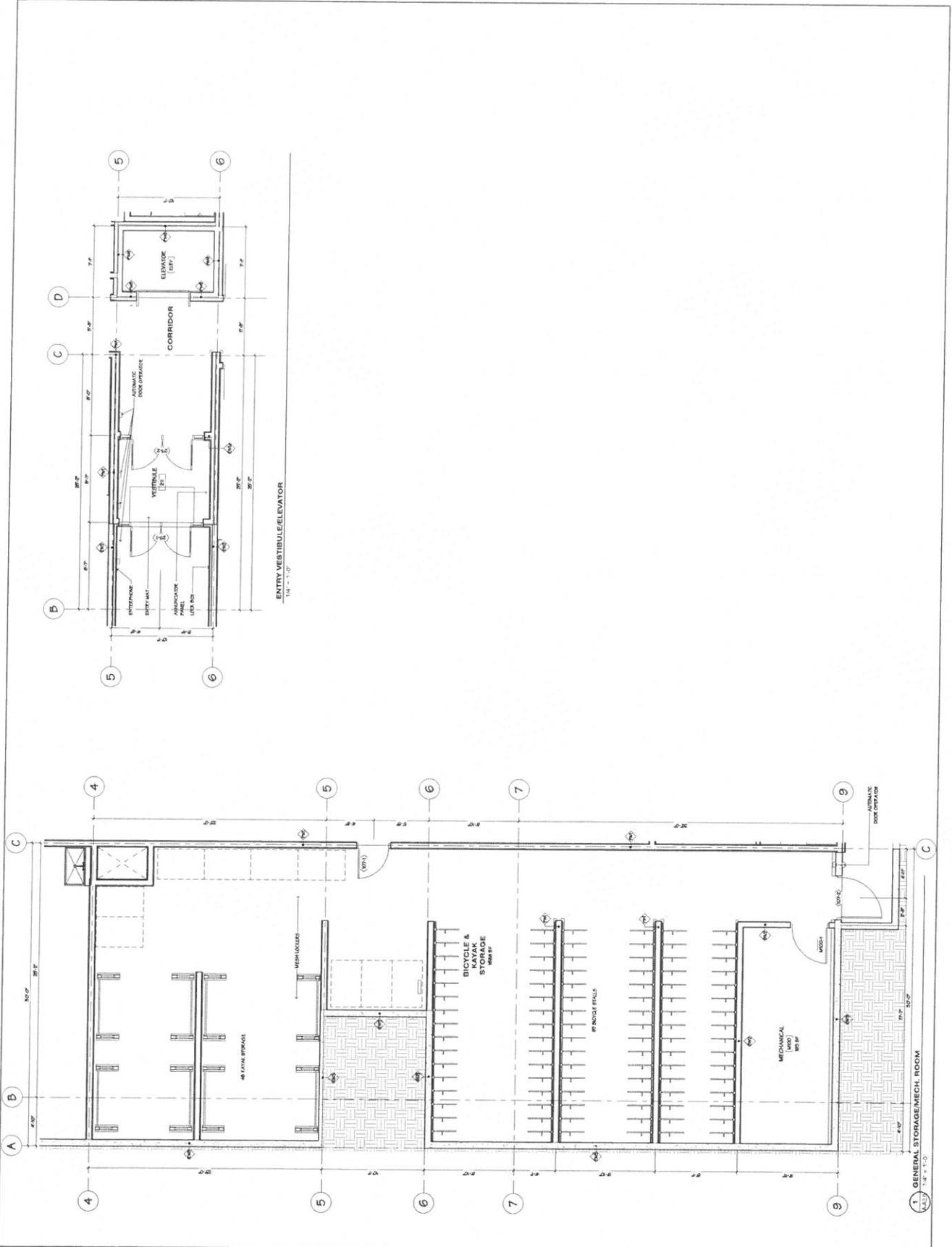
**A - TOFINO AFFORDABLE & ATTAINABLE HOUSING**  
VOR 220, Tofino, BC

**ENLARGED PLANS**  
REVISED: 2020.02.26  
DATE: 2020.02.26  
BY: [Name]  
FOR: [Name]

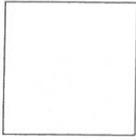
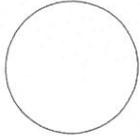
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SCALE	1/4" = 1'-0"
PROJECT NO.	18044
PROJECT NAME	TOFINO AFFORDABLE HOUSING
CLIENT	TOFINO AFFORDABLE HOUSING
ARCHITECT	CRAVEN   HUSTON   POWERS ARCHITECTS
LOCATION	VOR 220, Tofino, BC
DATE	2020.02.26
BY	[Name]
FOR	[Name]



CRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9335 YOUNG ROAD, CHILLIWACK B.C. V2P 4S3 TEL: (604) 793-9445







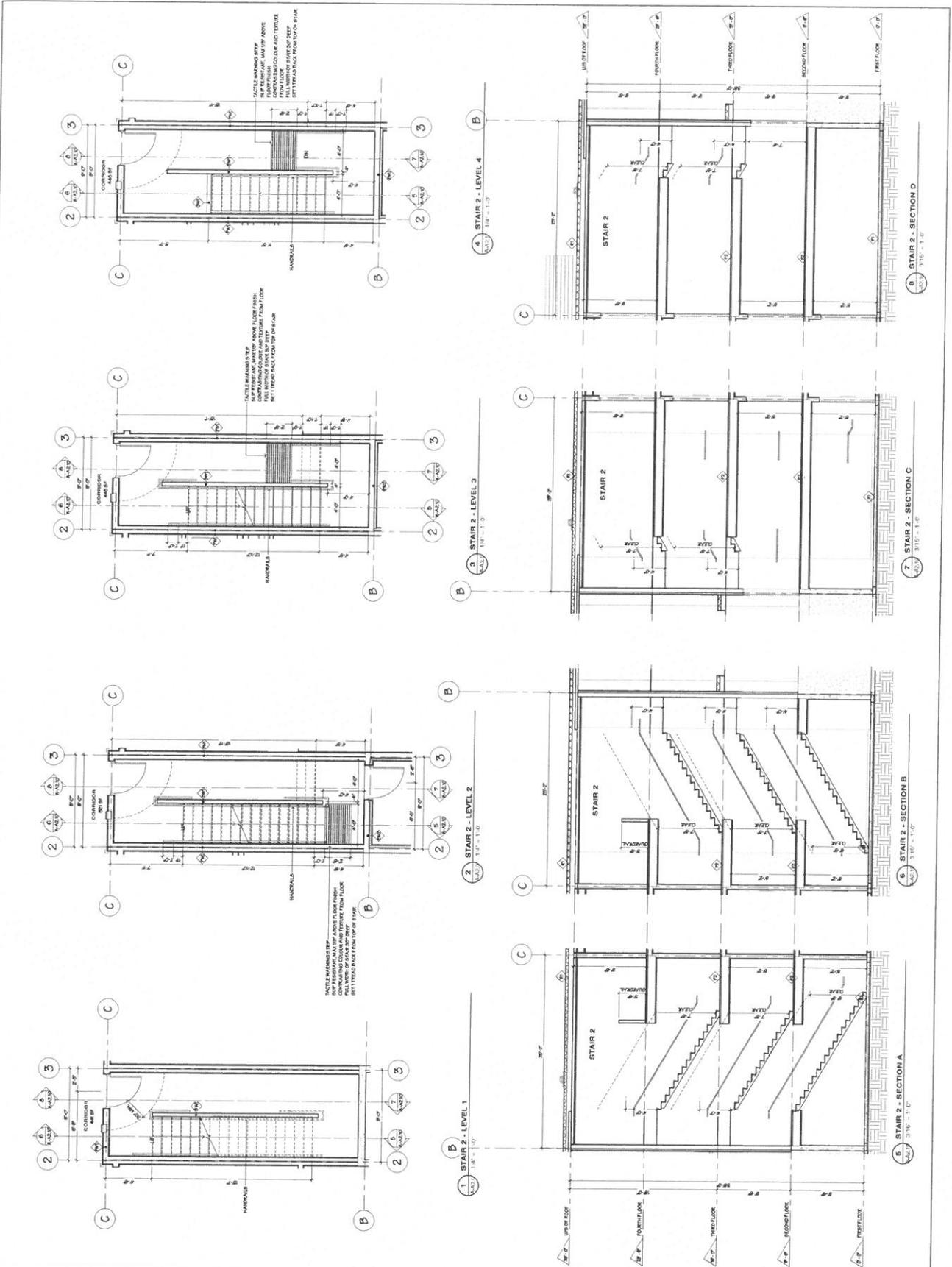
**A - TOFINO AFFORDABLE & ATTAINABLE HOUSING**  
 VOR 220, Tofino, BC

PROJECT NAME	STAIR 2 PLAN/SECTION
NO. DATE	02-10-2020
REV. DATE	02-10-2020
REV. NO.	01
REV. DESCRIPTION	

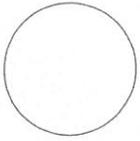
DATE	2020-02-26
SCALE	As indicated
PROJECT NO.	18044
PROJECT NAME	STAIR 2 PLAN/SECTION



9355 YOUNG ROAD, CHILLIWACK B.C. V2P 4S3 TEL: (604) 793-9445 CRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE







**A - TOPINO AFFORDABLE & ATTAINABLE HOUSING**  
VOR 220, Torino, BC

**OVERALL REFLECTED CEILING PLAN**  
REVISED: 2020.02.26  
DATE: 2020.02.26  
BY: [Name]  
FOR: [Name]

REVISED	2020.02.26
DATE	2020.02.26
BY	[Name]
FOR	[Name]



9355 YOUNG ROAD, CHILLIWACK B.C. V2P 4S3 TEL: (604) 793-9445  
GRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE

**REFLECTED CEILING PLAN LEGEND**

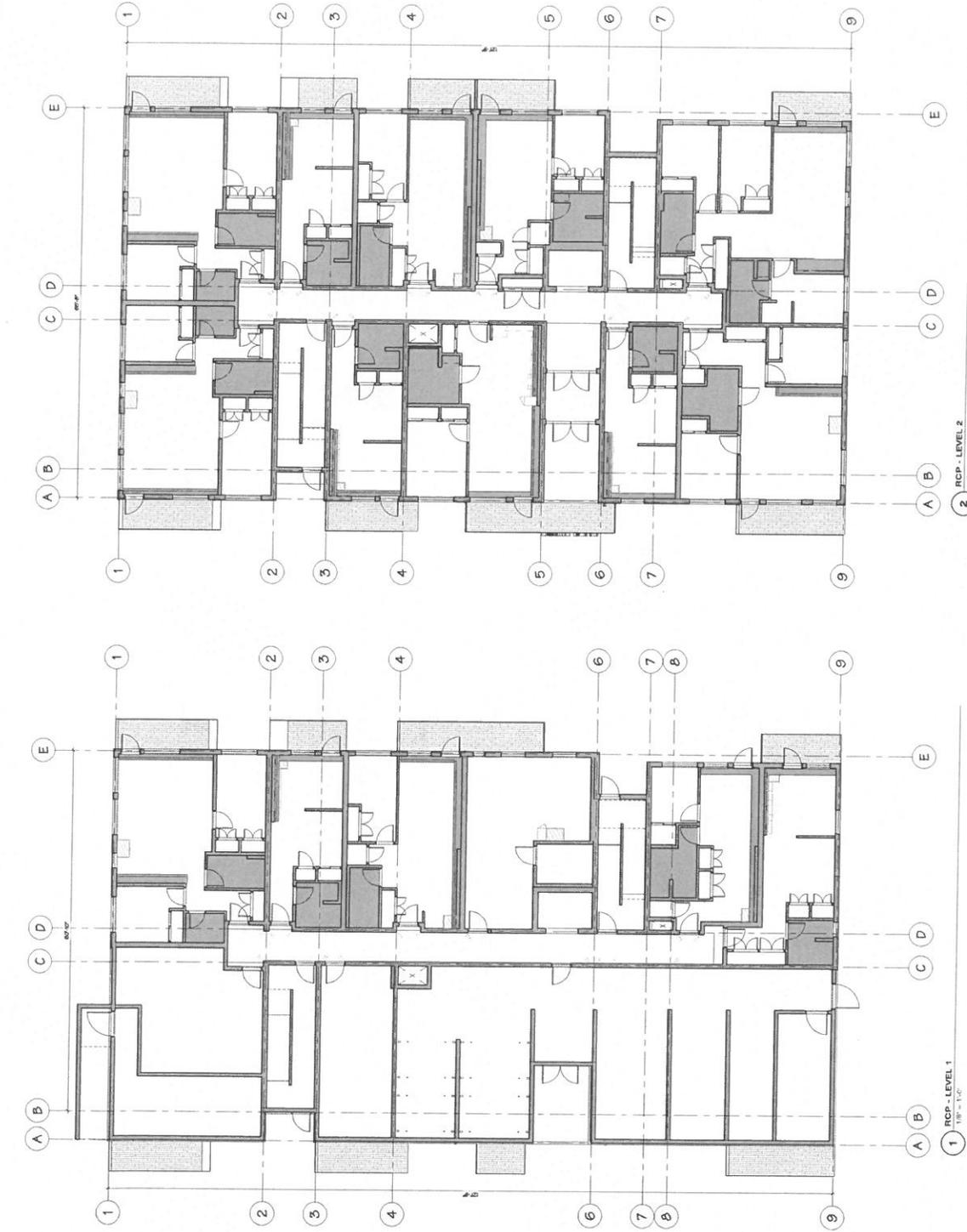
CEILING TYPES

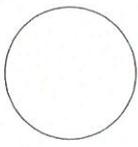
- ALUMINUM METAL BOFFIT
- OPTIMUM INSULATED CEILING
- OPTIMUM BOWED FLEXIBLE AD

UNLESS OTHERWISE NOTED, ALL HEIGHTS ARE TO FINISH FLOOR OR COMMON AREA FLOOR TO BE DETERMINED BY THE ARCHITECT.

NOTES:

- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- ALL FINISHES TO BE DETERMINED BY THE ARCHITECT.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE PRIOR TO COMMENCEMENT OF WORK.
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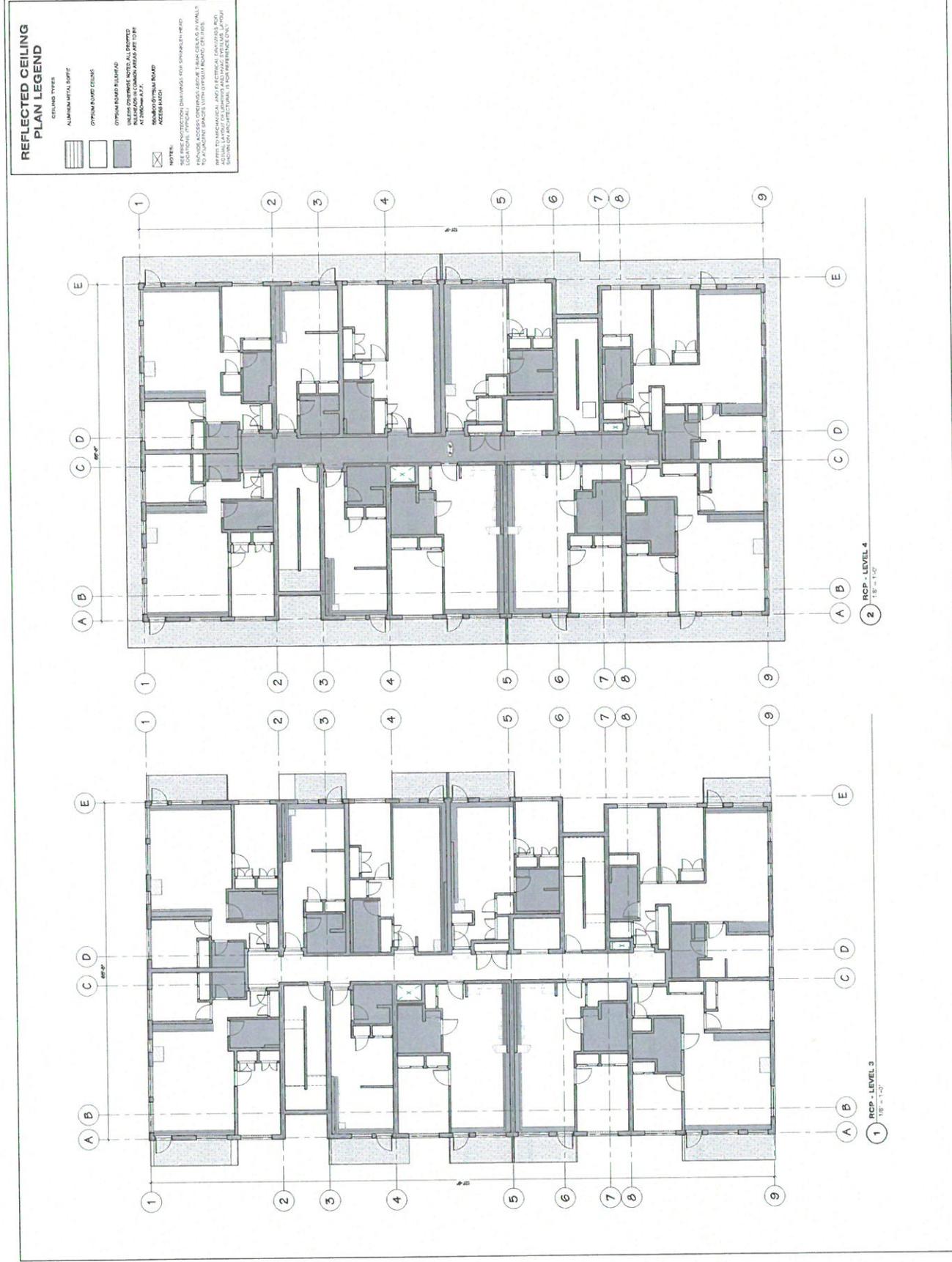
**A - TOFINO AFFORDABLE & ATTAINABLE HOUSING**  
VOR 220, Tofino, BC

**OVERALL REFLECTED CEILING PLAN**  
REVISED  
DATE: 2020.02.26  
BY: [Name]  
PROJECT: [Name]

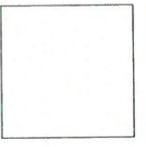
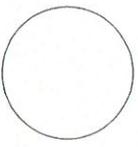
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BY	[Name]
PROJECT	[Name]
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LOCATION	[Name]
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CRAVEN HUSTON POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK B.C. V2P 4S2 TEL: (604) 793-9445







# A - TOFINO AFFORDABLE & ATTAINABLE HOUSING

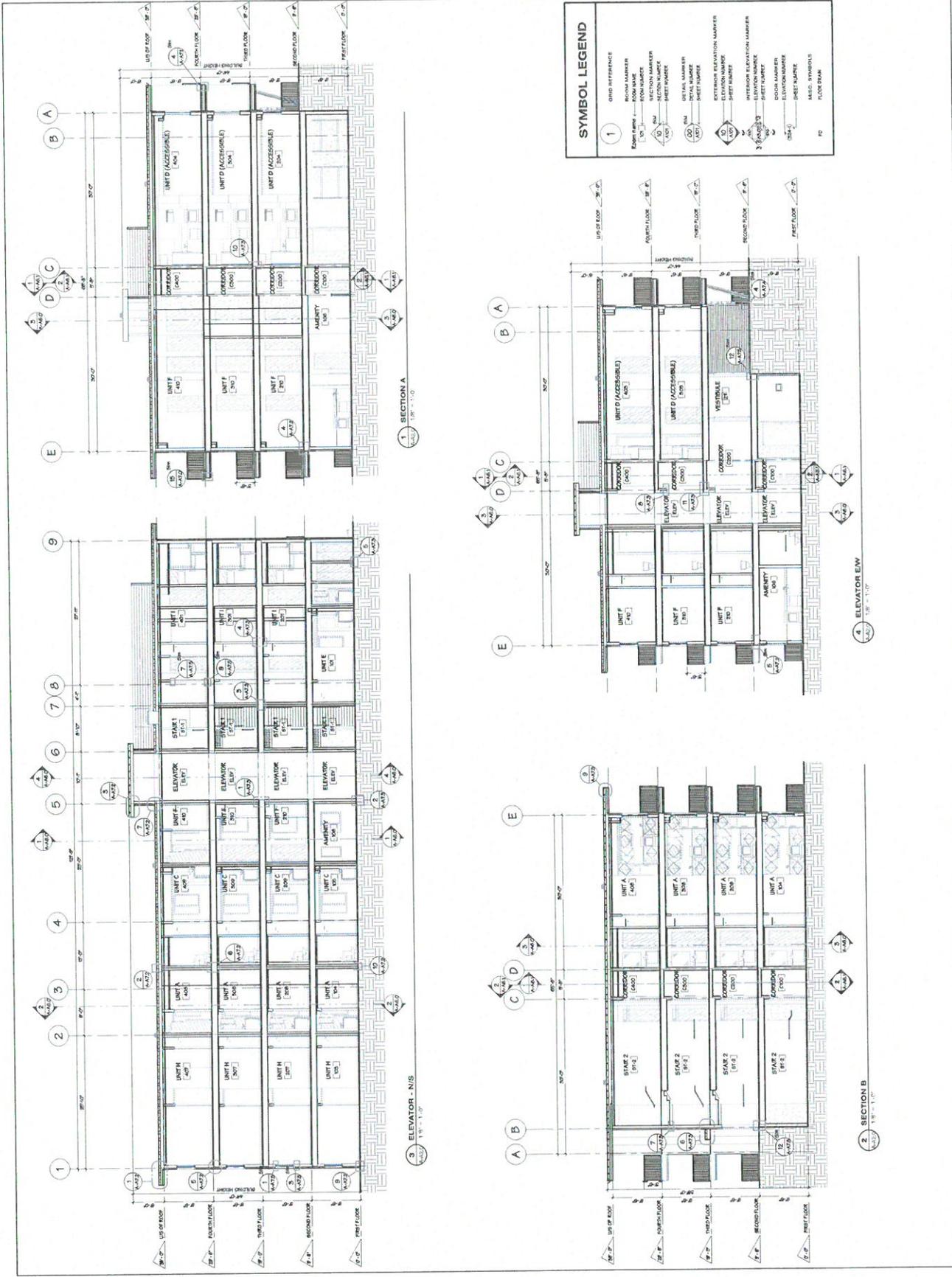
VOR 220, Torino, BC

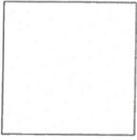
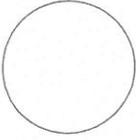
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GRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9555 YOUNG ROAD, CHILLIWACK, B.C. V2P 4S3 TEL: (604) 793-9445





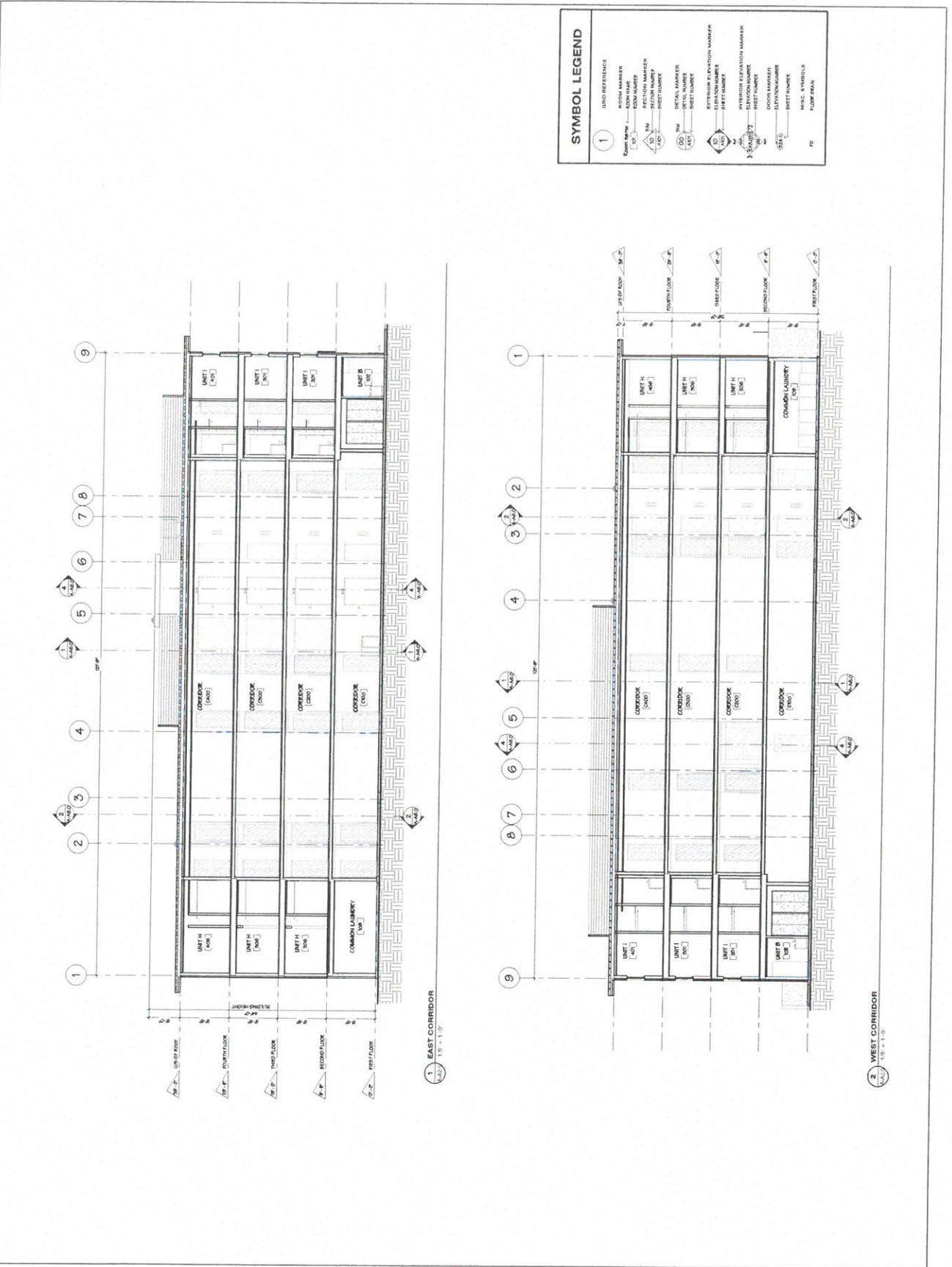
**A - TOFINO AFFORDABLE & ATTAINABLE HOUSING**  
 VOR 220, Toronto, BC

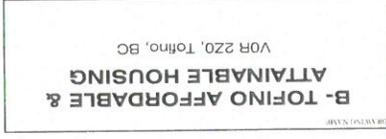
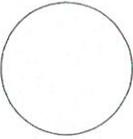
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BY:	ARCHITECTS
FOR:	DEVELOPER
PROJECT:	NO. 220 TORONTO
SCALE:	AS SHOWN

FORMA:	18044
DATE:	2020-02-26
BY:	ARCHITECTS
FOR:	DEVELOPER
PROJECT:	NO. 220 TORONTO
SCALE:	AS SHOWN



GRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK B.C. V2P 4S3 TEL: (604) 793-9445





GRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK, B.C. V2P 4S3 TEL: (604) 793-9445

# TOFINO AFFORDABLE & ATTAINABLE HOUSING - BUILDING B

DL 114, VOR 220, TOFINO, BC

**CONSTRUCTION MANAGER**  
 SAYWELL CONTRACTING LTD.  
 2599 McCullough Road  
 Nanaimo, B.C. V9S 4V9  
 Tel: (250) 725-0157  
 Contact: Travis Newadomy

**OWNER**  
 CATALYST COMMUNITY DEVELOPMENTS SOCIETY  
 60 - 488 Campbell Street  
 Vancouver, B.C. V6B 6E3  
 Tel: (604) 312-5835  
 Contact: Robin Pahn



## ARCHITECTURAL

**GRAVEN | HUSTON | POWERS ARCHITECTS**  
 9355 Young Road  
 Chilliwack, B.C. V2P 4S3  
 Tel: (604) 793-9445  
 Fax: (604) 793-9446  
 Contact: Justin Dyck, Architect AIBC

### ARCHITECTURAL DRAWING LIST

- B-A00 TITLE SHEET
- B-A01 BUILDING EXTERIOR ELEVATIONS
- B-A02 CONSTRUCTION ASSEMBLIES
- B-A03 SITE PLAN
- B-A04 FIRST FLOOR DETAILS
- B-A05 SECOND FLOOR PLAN
- B-A06 THIRD FLOOR PLAN
- B-A07 UNIMAGGED UNIT PLANS/01
- B-A08 UNIMAGGED UNIT PLANS/02
- B-A09 UNIMAGGED UNIT PLANS/03
- B-A10 UNIMAGGED UNIT PLANS/04
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- B-A06 UNIMAGGED UNIT PLANS/100

## MECHANICAL

**AME GROUP**  
 200 - 638 Smithe Street  
 Vancouver, B.C. V6B 1E3  
 Tel: (604) 694-9995  
 Contact: Guru Mahi, B. Eng.

### ELECTRICAL DRAWING LIST

- E00 ELECTRICAL COVER

## ELECTRICAL

**MCELHANNAY**  
 1 - 1351 Estevan Road  
 Nanaimo, B.C. V9S 3Y3  
 Tel: (250) 716-3336  
 Contact: Todd S. Wilson, P. Eng.

### CIVIL DRAWING LIST

- C00 CIVIL COVER

## CIVIL

**MCELHANNAY**  
 1 - 1351 Estevan Road  
 Nanaimo, B.C. V9S 3Y3  
 Tel: (250) 716-3336  
 Contact: Todd S. Wilson, P. Eng.

### CODE CONSULTANT

**BC BUILDING SCIENCE LTD.**  
 611 Best Court  
 New Westminster, B.C. V3M 1V3  
 Tel: (604) 826-6456  
 Contact: Chad Cranewick

## GEOTECH

**MCELHANNAY**  
 1 - 1351 Estevan Road  
 Nanaimo, B.C. V9S 3Y3  
 Tel: (778) 762-0665  
 Contact: Bill Purdy, M. Sc., P. Eng.

### LANDSCAPE DRAWING LIST

- L00 LANDSCAPE COVER

## LANDSCAPE

**MURDOCH DE GREEFF INC.**  
 200 - 506 Douglas Street  
 Vancouver, B.C. V6Z 1C1  
 Tel: (250) 412-2891  
 Contact: Scott Murdoch

### FIRE SUPPRESSION DRAWING LIST

- F00 FIRE SUPPRESSION COVER

## BUILDING ENVELOPE & ENERGY

**BC BUILDING SCIENCE LTD.**  
 611 Best Court  
 New Westminster, B.C. V3M 1V3  
 Tel: (604) 826-6456  
 Contact: Chad Cranewick

### FIRE SUPPRESSION

**MURDOCH DE GREEFF INC.**  
 200 - 506 Douglas Street  
 Vancouver, B.C. V6Z 1C1  
 Tel: (250) 412-2891  
 Contact: Scott Murdoch

### LANDSCAPE DRAWING LIST

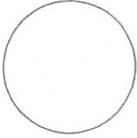
- L00 LANDSCAPE COVER

### FIRE SUPPRESSION DRAWING LIST

- F00 FIRE SUPPRESSION COVER







B-TORINO AFFORDABLE & B-ATTAINABLE HOUSING  
VOR 220, Torino, BC

SECOND FLOOR PLAN  
REVISED DATE: 2020.02.25  
PROJECT: B-TORINO AFFORDABLE & B-ATTAINABLE HOUSING  
DRAWN BY: [Name]

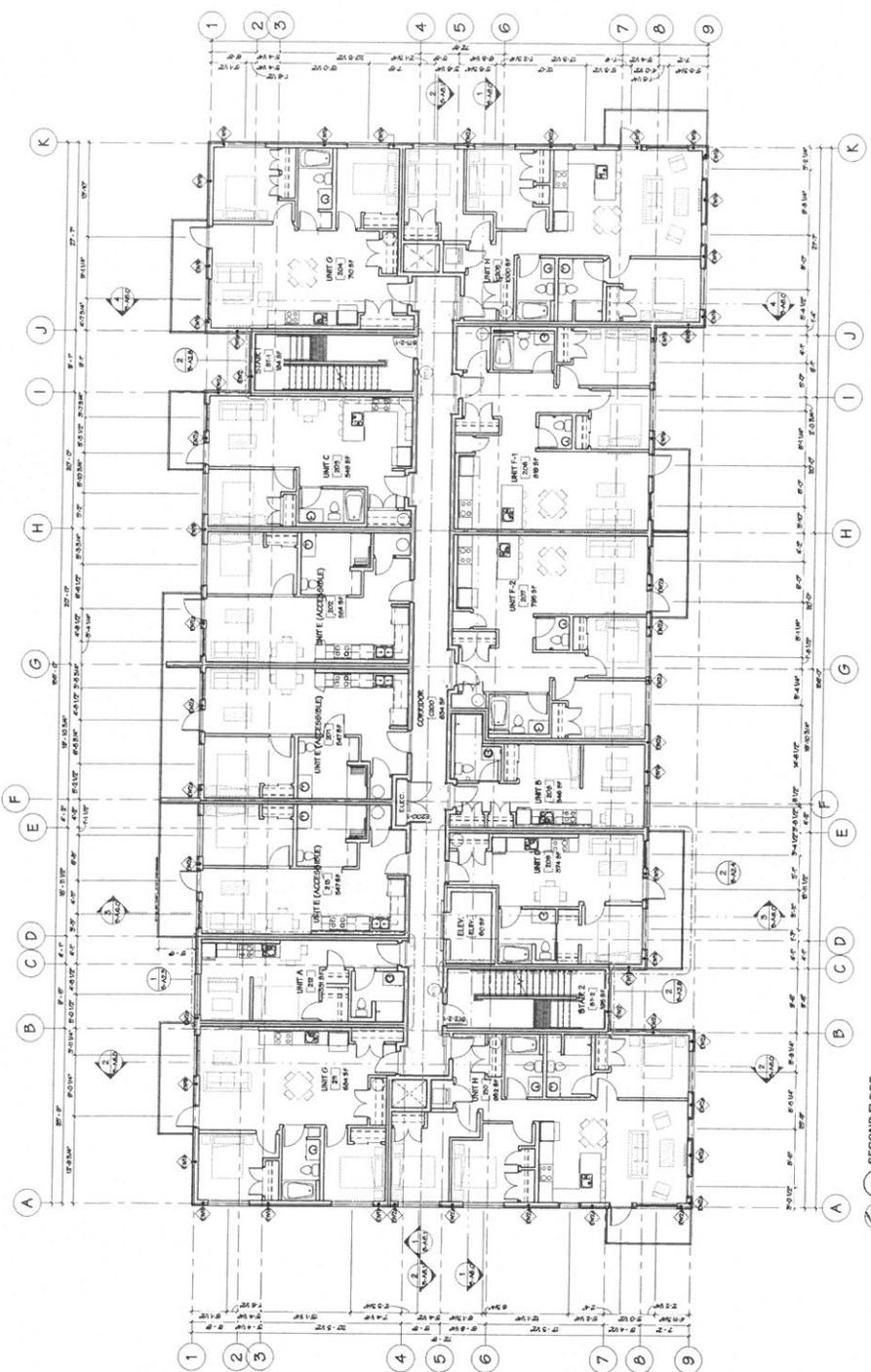
NO. 104	18044
DATE	As indicated
DATE	2020.02.25
REVISIONS	
NO. DATE DESCRIPTION	
1 2020.02.25	REVISED
2 2020.02.25	REVISED



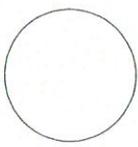
GRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9555 YOUNG ROAD, CHILLIWACK B.C. V2P 4S3 TEL: (604) 793-9445

**SYMBOL LEGEND**

1	GRID REFERENCE
2	ROOM MARKER
3	ROOM NAME
4	DOOR MARKER
5	DOOR NAME
6	SECTION NUMBER
7	SECTION NAME
8	DETAIL MARKER
9	DETAIL NAME
10	EXTERIOR ELEVATION MARKER
11	EXTERIOR ELEVATION NAME
12	INTERIOR ELEVATION MARKER
13	INTERIOR ELEVATION NAME
14	FLOOR MARKER
15	FLOOR NAME
16	ELEVATION NUMBER
17	ELEVATION NAME
18	MISC. SYMBOLS
19	FLOOR PLAN



1 SECOND FLOOR  
1/8" = 1'-0"



**B-TOPINO AFFORDABLE & ATTAINABLE HOUSING**  
 VOR 220, Torino, BC

**THIRD FLOOR PLAN**

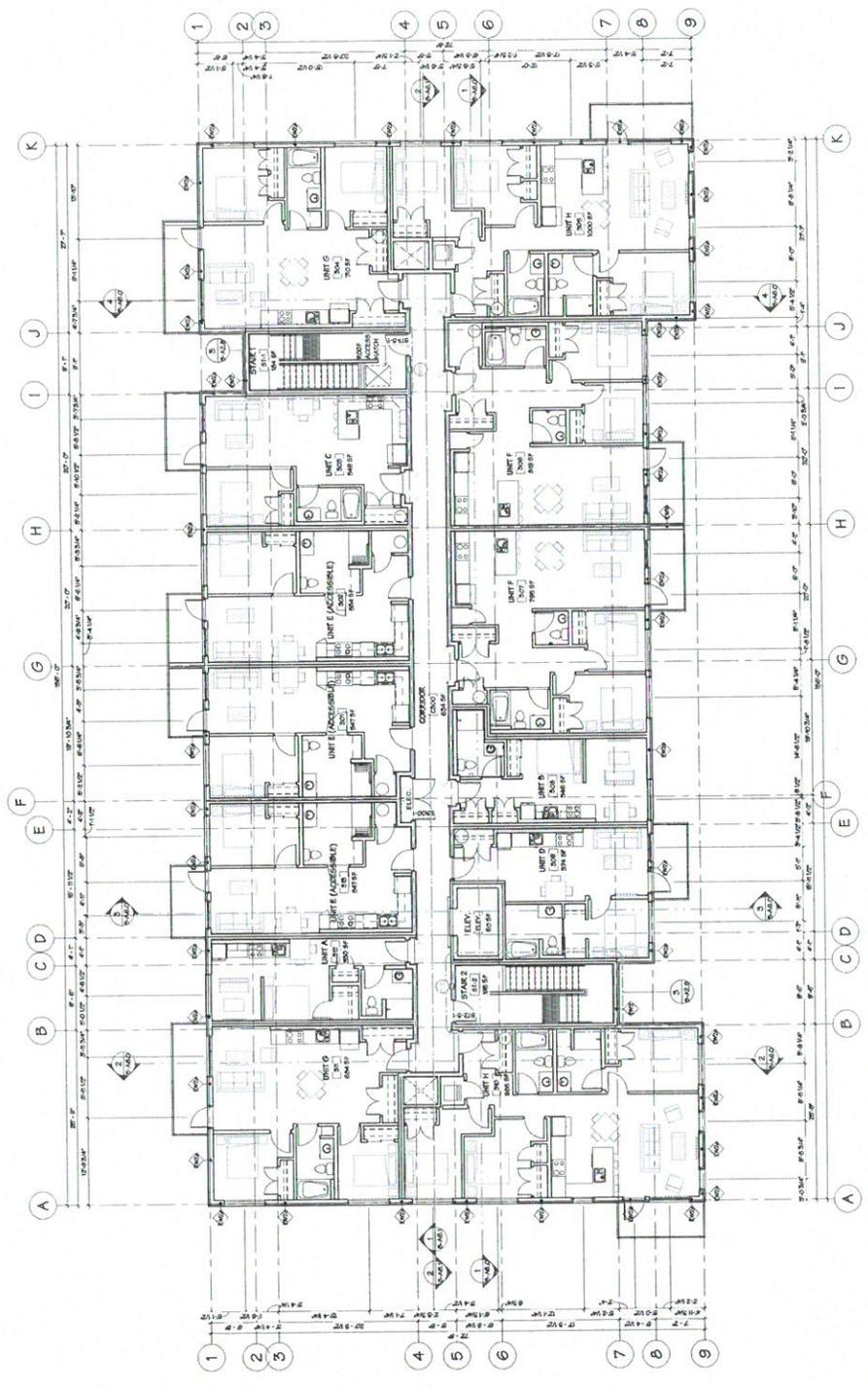
DATE	2020 02 25
BY	ARCHITECT
NO.	18044



GRAVEN HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK, B.C. V2P 4S3 TEL: (604) 793-9445

**SYMBOL LEGEND**

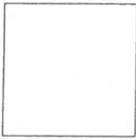
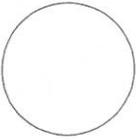
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2	ROOM NUMBER
3	ROOM NUMBER
4	ELEVATION MARKER
5	ELEVATION MARKER
6	CEILING MARKER
7	CEILING MARKER
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99	CEILING MARKER
100	CEILING MARKER



**1 THIRD FLOOR**  
 1/8" = 1'-0"  
 NORTH







**B- AFFORDABLE & B- TOFINO AFFORDABLE**  
 VOR 220, ToIno, BC

**ENLARGED UNIT PLANS/RCP**

DATE	18044
REVISED	2020 02 26
NO. DATE	DRS/BERTIN
BY	2020 02 26
NO.	18044



9355 YOUNG ROAD, CHILLIWACK B.C. V2P 4S3 TEL: (604) 793-9445  
 CRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE

**SYMBOL LEGEND**

1 GRID REFERENCE

ROOM MARKER  
 ROOM NUMBER  
 ROOM NAME

SECTION MARKER  
 SECTION NUMBER  
 SHEET NUMBER

DETAIL MARKER  
 DETAIL NUMBER  
 SHEET NUMBER

ELEVATION MARKER  
 ELEVATION NUMBER  
 SHEET NUMBER

DOOR MARKER  
 DOOR NUMBER  
 SHEET NUMBER

WINDOW MARKER  
 WINDOW NUMBER  
 SHEET NUMBER

NOTE: SEE PROJECT FOR DIMENSIONS FOR SPRINKLER HEADS TO MECHANICAL AND ELECTRICAL UNITS. UNITS SHALL BE PLACED IN UNITS TO MAINTAIN CLEARANCE WITH OTHER UNITS. UNITS SHALL BE PLACED IN UNITS TO MAINTAIN CLEARANCE WITH OTHER UNITS. UNITS SHALL BE PLACED IN UNITS TO MAINTAIN CLEARANCE WITH OTHER UNITS.

**REFLECTED CEILING PLAN LEGEND**

CEILING TYPES

ALUMINUM METAL DECK

GYPSUM BOARD CEILING

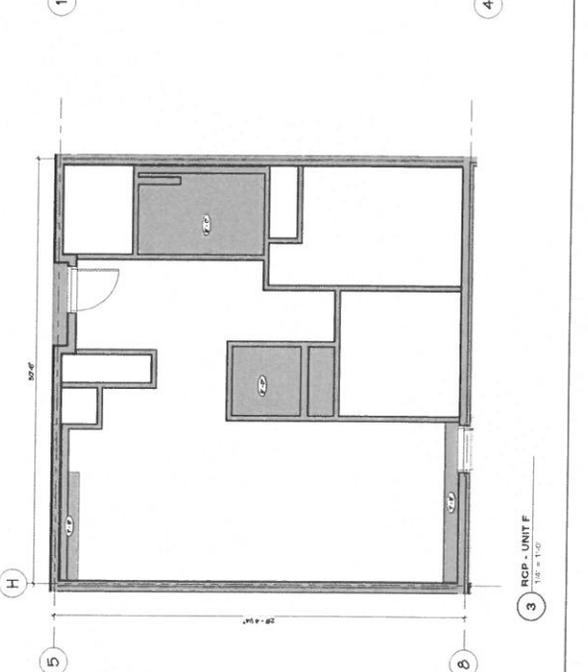
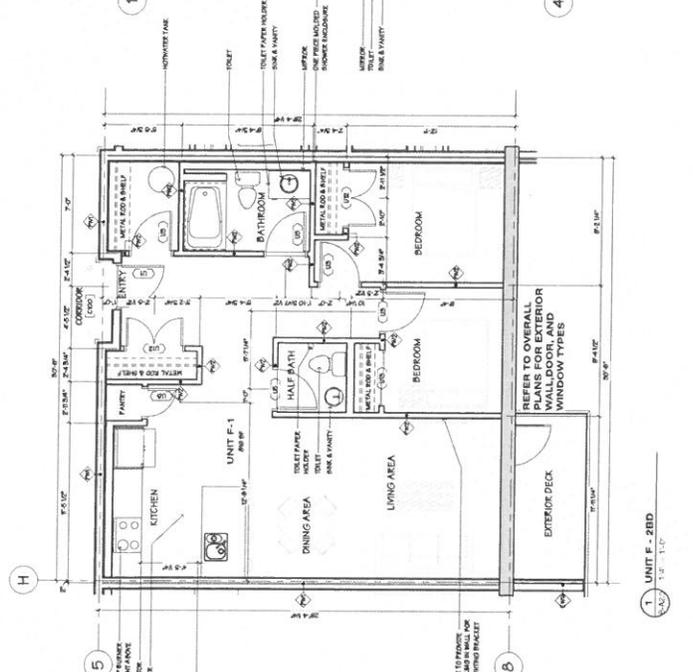
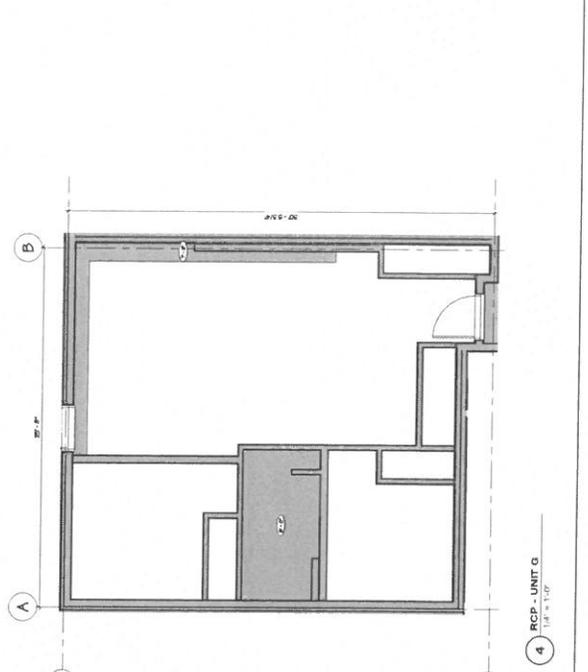
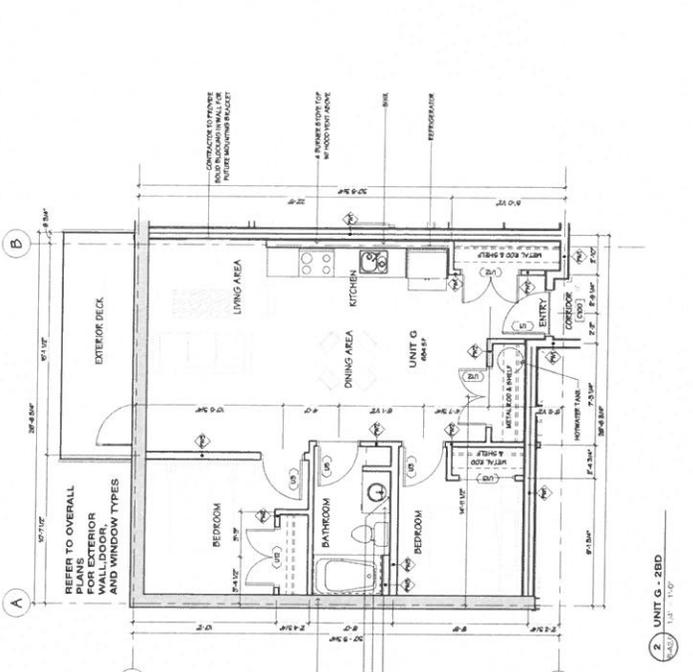
GYPSUM BOARD CEILING

WALLS (OPENING NOTED, ALL EXPOSED WALLS SHALL BE FINISHED TO MATCH ADJACENT WALLS)

ROUNDED GYPSONUM BOARD

ACCESSION

NOTES:  
 SEE THE PROJECT FOR DIMENSIONS FOR SPRINKLER HEADS TO MECHANICAL AND ELECTRICAL UNITS. UNITS SHALL BE PLACED IN UNITS TO MAINTAIN CLEARANCE WITH OTHER UNITS. UNITS SHALL BE PLACED IN UNITS TO MAINTAIN CLEARANCE WITH OTHER UNITS. UNITS SHALL BE PLACED IN UNITS TO MAINTAIN CLEARANCE WITH OTHER UNITS.



REFER TO OVERALL PLANS FOR EXTERIOR WALL, DOOR, AND WINDOW TYPES

REFER TO OVERALL PLANS FOR EXTERIOR WALL, DOOR, AND WINDOW TYPES

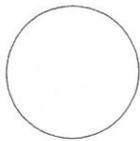












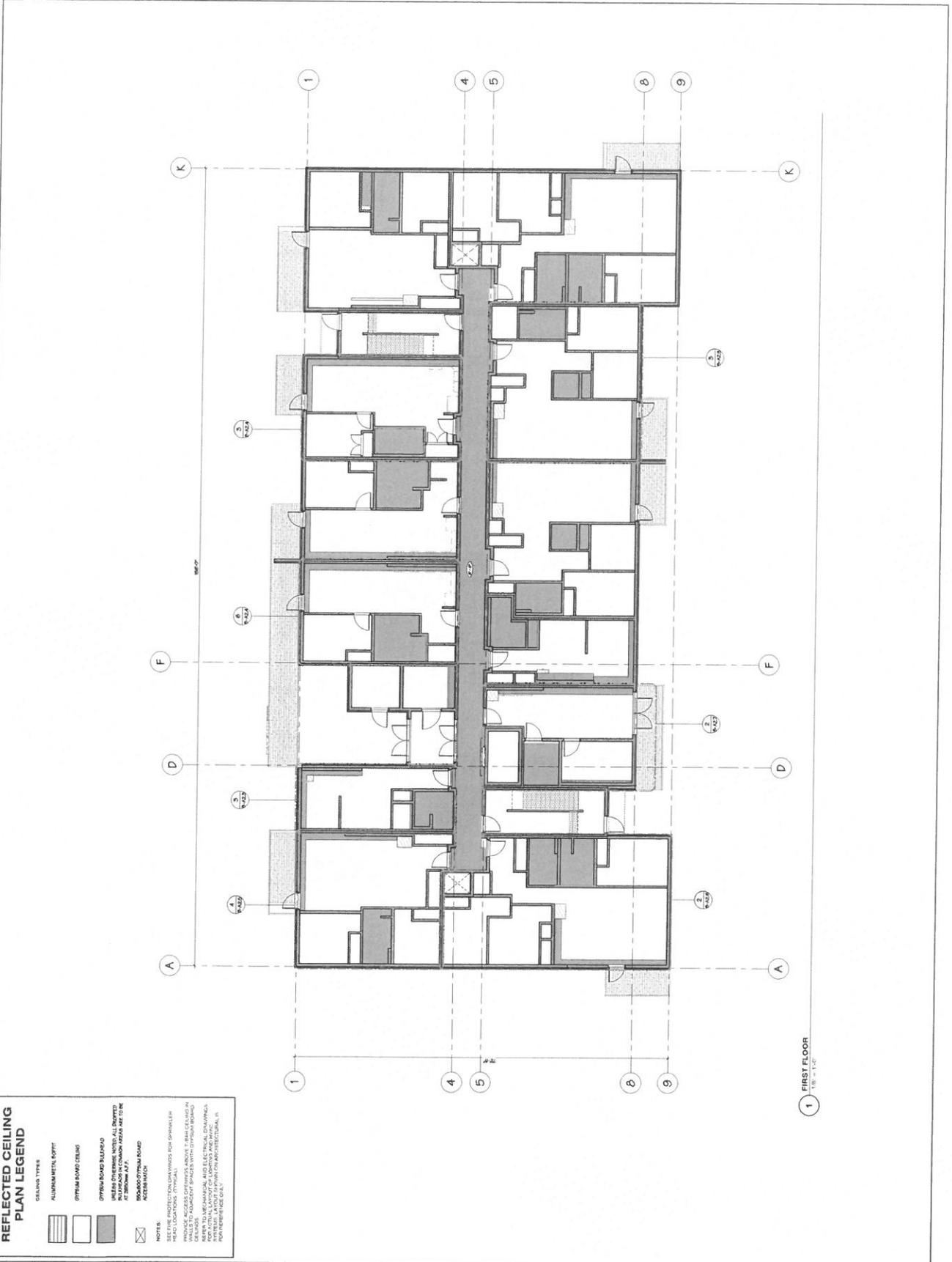
**B-TOPINO AFFORDABLE & ATTAINABLE HOUSING**  
 VOR 220, Tolino, BC

**OVERALL REFLECTED CEILING PLAN - LEVEL 1**

NO. 18048	DATE: 2020.02.26
PROJECT: Affordable Housing	DESIGNER: GRAVEN   HUSTON   POWERS ARCHITECTS
CLIENT: BC Housing	NO. 18048



9355 YOUNG ROAD, CHILLIWACK B.C. V2P 4S3 TEL: (604) 793-9445  
 GRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE



**REFLECTED CEILING PLAN LEGEND**

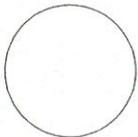
CEILING TYPES

- ALUMINUM METAL BOFFET
- OPTIMAL BOUND CEILING
- OPTIMAL BOUND BALCONY
- OPTIMAL BOUND

NOTES:

- 1. PROVIDE ACCESS DIFFERENCES ABOVE 1.8M CEILING IN EXTENDED CHANGEOFF SPACES WITH OPTIMAL BOUND CEILING.
- 2. PROVIDE ACCESS DIFFERENCES ABOVE 1.8M CEILING IN OPTIMAL LAYOUT OF LANDINGS AND STAIRWAYS.
- 3. PROVIDE ACCESS DIFFERENCES ABOVE 1.8M CEILING IN OPTIMAL LAYOUT OF LANDINGS AND STAIRWAYS.

**1 FIRST FLOOR**  
1/8" = 1'-0"



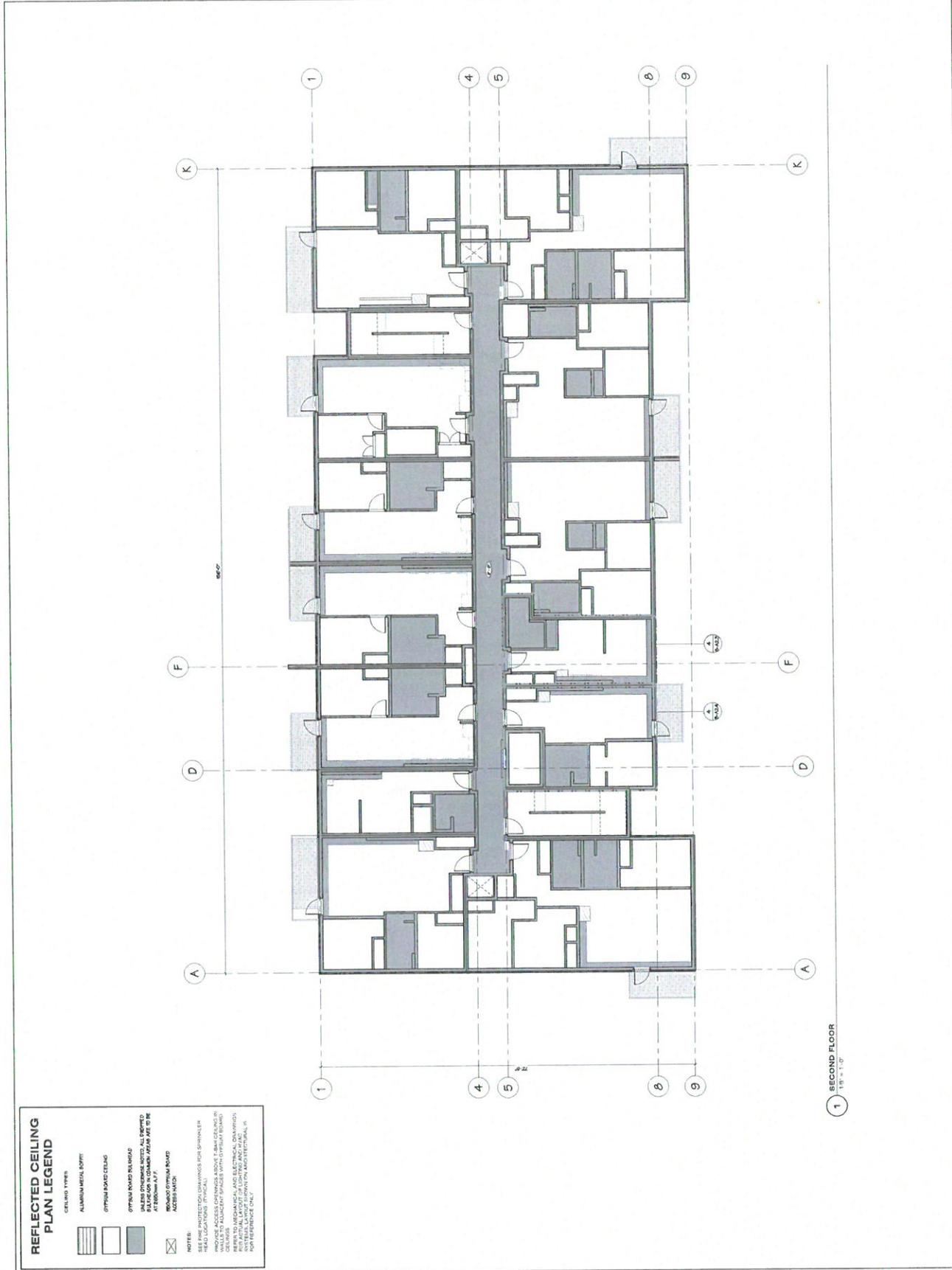
**B-TORINO AFFORDABLE & ATTAINABLE HOUSING**  
 VOR 220, Torino, BC

**OVERALL REFLECTED CEILING PLAN - LEVEL 2**

DATE	2020 02 26
SCALE	As indicated
PROJECT NO.	19044



GRAVEN HUSTON POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK B.C. V2P 4S3 TEL: (604) 793-9445



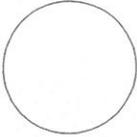
**REFLECTED CEILING PLAN LEGEND**

CEILING TYPES

- ALUMINUM METAL GRID
- OPTIMUM BOARD CEILING
- OPTIMUM BOARD BULKHEAD
- BRONZE OPTIMUM BOARD ACCESS PANEL

NOTE: ALL ACCESS PANELS SHALL BE FOR SPINNER HEAD INDICATIONS (TYPICAL). PROVIDE ACCESS OPENINGS ABOVE 2' BAWL CEILING IN ALL ACCESSIBLE SPACES WITH OPTIMUM BOARD CEILING. ALL ACCESSIBLE SPACES SHALL BE IDENTIFIED WITH A RED ACCESS PANEL SYMBOL AND IDENTIFIED WITH A RED ACCESS PANEL SYMBOL AND IDENTIFIED WITH A RED ACCESS PANEL SYMBOL AND IDENTIFIED WITH A RED ACCESS PANEL SYMBOL.

1 SECOND FLOOR  
 1/8" = 1'-0"



**B-TOWNHO AFFORDABLE & ATTAINABLE HOUSING**  
 VOR 220, Toronto, BC

**OVERALL REFLECTED CEILING PLAN - LEVEL 3**

PROJECT NO: 19044  
 DATE: As indicated  
 2020.02.26



GRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK B.C. V2P 4S3 TEL: (604) 793-9445



**REFLECTED CEILING PLAN LEGEND**

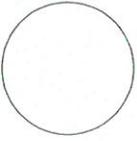
**CEILING TYPES**

- ALUMINUM METAL SOFFIT
- GYPSUM BOARD CEILING
- GYPSUM BOARD BULKHEAD
- ACOUSTIC CEILING

**NOTES:**

- SEE FIRE PROTECTION DRAWINGS FOR SPRINKLER HEAD LOCATIONS (SYMBOL)
- SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR WALL TO WALL SPACES WITH OPTIMUM READING HEIGHTS
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR SYSTEM LAYOUT (ELECTRICAL, MECHANICAL, AND PLUMBING)
- FOR REFERENCE ONLY

**1 THIRD FLOOR**  
 1/8" = 1'-0"



**B-TORINO AFFORDABLE & ATTAINABLE HOUSING**  
VOR 220, Torino, BC

**EXTERIOR ELEVATIONS**

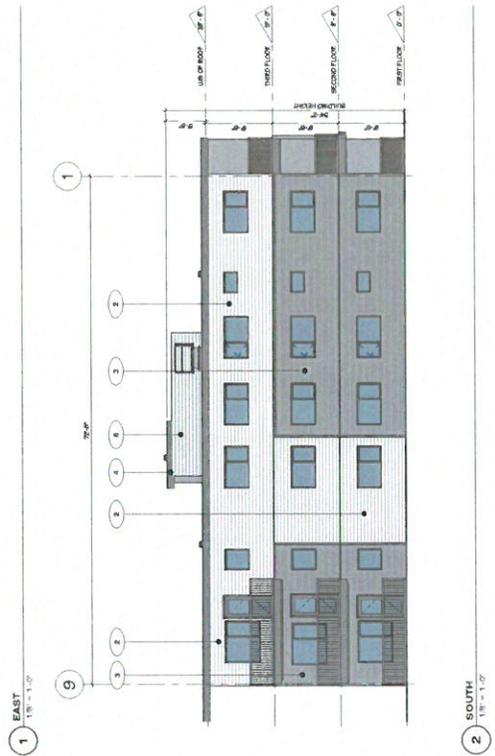
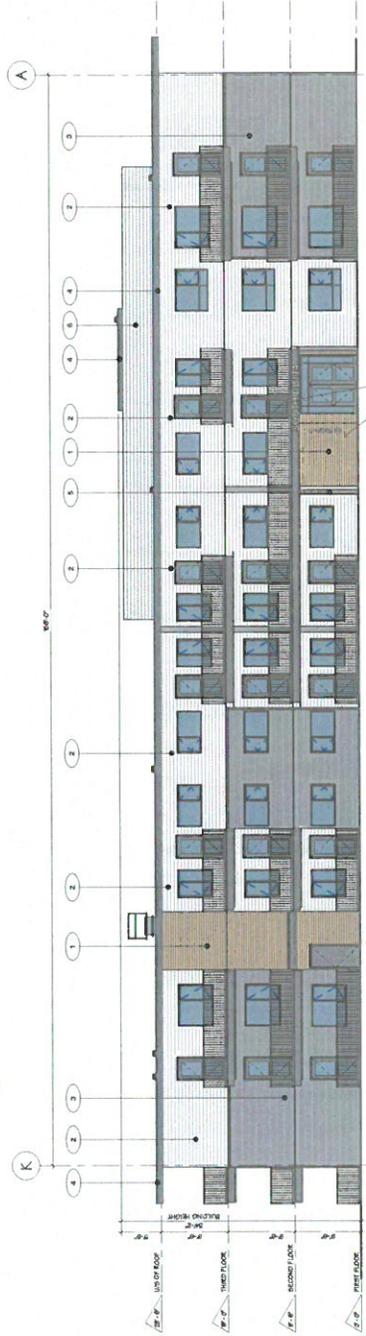
DATE: 2020.02.26  
SCALE: 1/8" = 1'-0"  
PROJECT: 18044

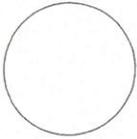


CRAVEN | HUSTON | POWERS | ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK B.C. V2P 4A3 TEL: (604) 793-9445

**FINISH SCHEDULE**

1	FIRE CLAMPER BOARD	LAP SIDING	WOOD SHOE
2	FIRE CLAMPER BOARD	EXTERIOR BOARD	SMITH
3	FIRE CLAMPER BOARD	EXTERIOR BOARD	SMOKE GREY
4	ROOF FINISH		
5	GLASS COLUMN		
6	ROOF TOP FINISH		
7	FIRE CLAMPER BOARD	LAP SIDING	LIGHT GREY





**B-TORINO AFFORDABLE & ATTAINABLE HOUSING**  
 VOR 220, Torino, BC

**EXTERIOR ELEVATIONS**

DATE	2020.02.28
BY	J.M.
SCALE	1/8" = 1'-0"
PROJECT NO.	19044

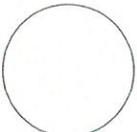


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**FINISH SCHEDULE**

1	FINE CLAUDE BOARD	LVP FINISH	WOOD TONE
2	FINE CLAUDE BOARD	SATIN BOARD	WHITE
3	FINE CLAUDE BOARD	SATIN BOARD	SMOKE GREY
4	ROFFLE PLACT		
5	OUTRAN COLUMN		
6	ROOF TOP FENCE		
7	FINE CLAUDE BOARD	LVP FINISH	LIGHT GREY





**B-TORINO AFFORDABLE & B-TORINO AFFORDABLE**  
 VOR 220, Torino, BC

**SECTIONS**

DATE: 2020.02.26  
 PROJECT: AFFORDABLE HOUSING  
 19044



GRAVE | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 955 YOUNG ROAD, CHILLIWACK B.C. V2P 4S3 TEL: (604) 793-9445

**SYMBOL LEGEND**

- GRID REFERENCE

ROOM NUMBER

ROOM NUMBER

SECTION NUMBER

SHEET NUMBER

DETAIL NUMBER

SHEET NUMBER

EXTENSION ELEVATION MARKER

ELEVATION NAME

SHEET NUMBER

INTERIOR ELEVATION MARKER

ELEVATION NAME

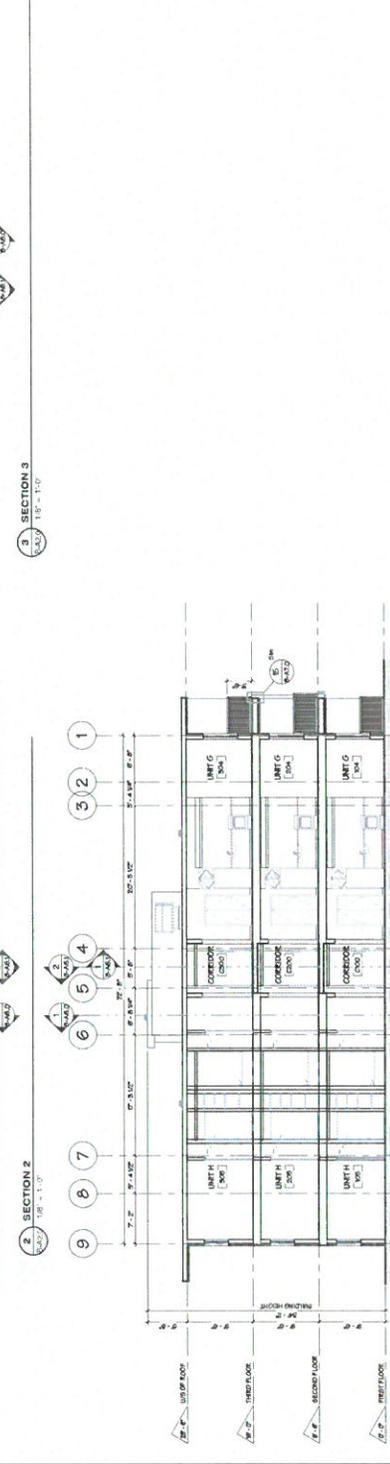
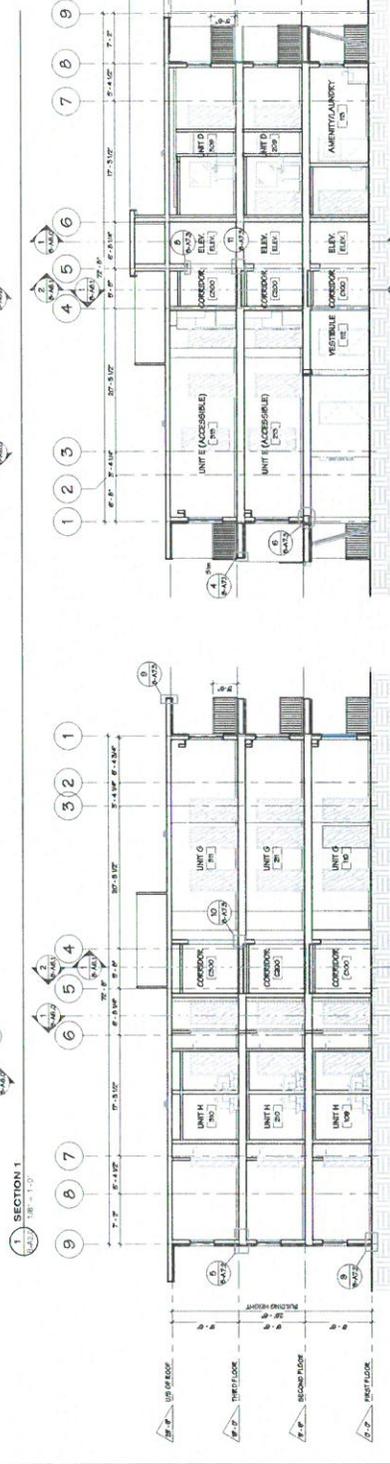
SHEET NUMBER

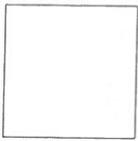
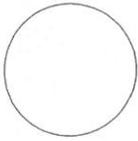
ELEVATION NAME

SHEET NUMBER

WALL FINISH

FLOOR FINISH





**B-TOPINO AFFORDABLE &  
ATTAINABLE HOUSING**  
VOR 220, Toftno, BC

<b>SECTIONS</b>	
NO. 1	DATE
NO. 2	DATE
NO. 3	DATE
NO. 4	DATE
NO. 5	DATE
NO. 6	DATE
NO. 7	DATE
NO. 8	DATE
NO. 9	DATE
NO. 10	DATE

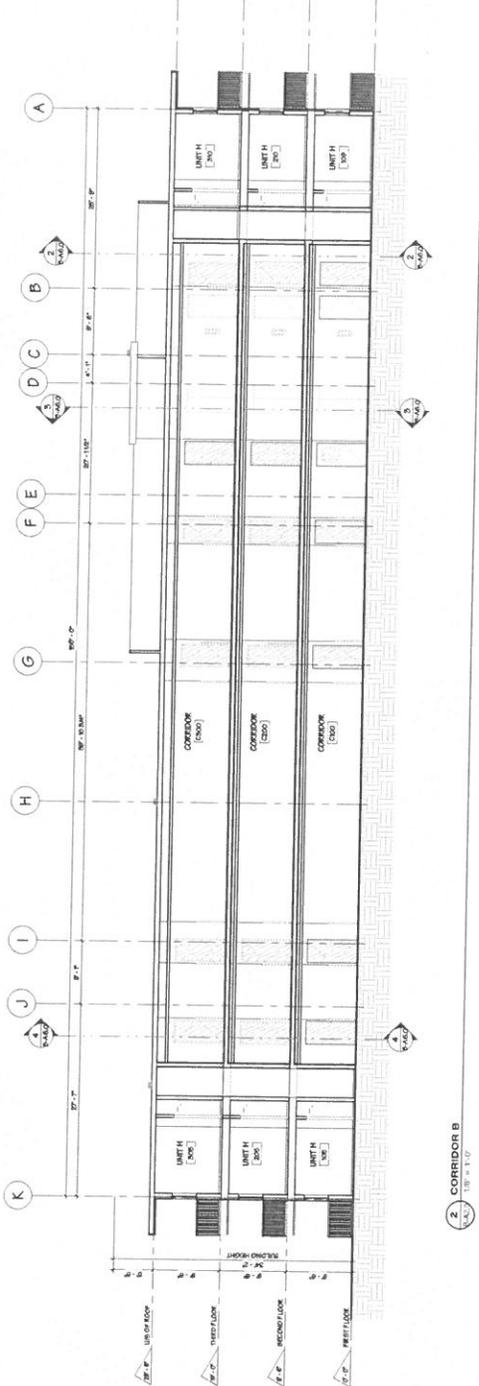
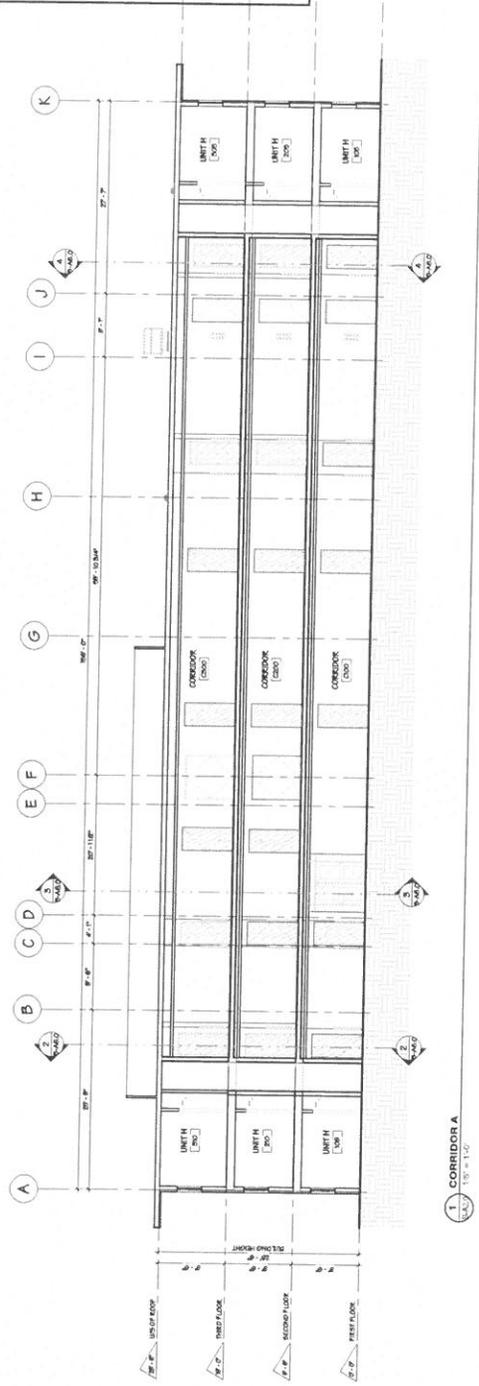
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NO. 18	DATE
NO. 19	DATE
NO. 20	DATE



9355 YOUNG ROAD, CHILLIWACK B.C. V2P 4S3 TEL: (604) 793-9445  
 CRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE

**SYMBOL LEGEND**

1	GRID REFERENCE
2	ROOM MARKER
3	SECTION MARKER
4	SECTION NUMBER
5	SHEET NUMBER
6	DETAIL MARKER
7	DETAIL NUMBER
8	EXTENSION ELEVATION MARKER
9	EXTENSION ELEVATION NUMBER
10	EXTENSION ELEVATION SHEET NUMBER
11	EXTENSION ELEVATION MARKER
12	EXTENSION ELEVATION NUMBER
13	EXTENSION ELEVATION SHEET NUMBER
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70	ELEVATION NUMBER



## Schedule C – Capital Budget

<b>Development Proforma</b>			
<b>Development Characteristics</b>	<b>Lot Two (A)</b>	<b>Lot One (B)</b>	<b>Sub Totals</b>
	<b>47.56%</b>	<b>52.44%</b>	
Gross Site Area			
FSR	860970	949410	
Gross Buildable Area (GBA)	28,699.00	31,647.00	
Units	35	37	72.00
Buildable / Unit	819.9714286	855.3243243	1,675.30
Efficiency	74%	80%	
Net Area	21,333.00	25,265.00	46,598.00
Net Buildable / Unit	609.5142857	682.8378378	
<b>2.0 Land</b>			
Land Purchase Price			
Property Transfer Tax			\$ 34,307
Legal (Purchase & Sale)	0%		\$ -
<b>Total Land Costs</b>			<b>\$ 34,307</b>
<b>2.0 Construction (Hard Costs)</b>			
	<b>Lot Two (A)</b>	<b>Lot One (B)</b>	
Road Cost			\$ 892,900
Building Hard Costs	\$ 6,703,481	\$ 6,707,650	\$ 13,411,131
Construction Insurance			\$ 268,223
Contingency			\$ 1,341,113.10
Escalation Contingency			\$ 201,166.97
Construction Bonding			\$ -
			\$ -
<b>Total Hard Costs</b>			<b>\$ 16,114,533.69</b>
<b>3.0 Construction (Soft Costs)</b>			
Acoustics			\$ 10,000
Arborist			\$ -
Architect	4%		\$ 567,329
BC Hydro Design			\$ 50,000
Building Envelope			\$ 70,100
Civil			\$ 150,000
Pre-Construction Costing			\$ 20,000
Cp Code Consultant			\$ -
Electrical			\$ 38,000
Energy Modeling			\$ 23,300
Environmental			\$ 30,000
Geotechnical Engineer			\$ 70,000
Interior Design			\$ 40,000
Landscape Architect			\$ 50,000
LEED Green Building Sustainability			\$ -
Mechanical Engineer			\$ 60,000
Model Maker			\$ -
Planner			\$ 115,000
Quantity Surveyor			\$ 30,000
Sprinkler Engineers			\$ -
Structural Engineer			\$ 67,500

Surveyor Subdivision Topographic Strata			\$	24,000
Traffic Consultant			\$	20,000
Security Consultant			\$	-
Unit Surveys			\$	30,000
Disbursements			\$	100,000
Total Consultants Cost			\$	1,565,229.00
<b>4.0 Municipal Costs</b>				
Building Permit Fee	1000	\$ 7,872	\$	70,967
Development Permit Fee			\$	300
DCC (Residential)	per m2	\$ 8.61	\$	519,875
Property Taxes			\$	50,000
Rezoning Fee			\$	2,000
Total Municipal			\$	643,142.28
<b>5.0 Legal Costs</b>				
General			\$	100,000
Total Legal Costs			\$	100,000.00
<b>6.0 Marketing Costs</b>				
General Marketing Costs			\$	25,000
Total Marketing and Commission			\$	25,000.00
<b>7.0 Financing Costs</b>				
Draw Inspections (including BCH QS)			\$	40,000
Appraisal			\$	20,000
Insurance Review Fee			\$	2,000
Lender Fee			\$	107,731
Lenders Legal			\$	15,000
Discharge Fee			\$	500
Construction Loan Interest			\$	242,395
Mortgage insurance Fee (BCH)			\$	5,000
Total Financing			\$	432,625.42
<b>8.0 Additional Costs</b>				
Accounting Costs			\$	10,000
Catalyst Development Management Fee			\$	537,130
Income Stabilization Period			\$	73,885
Residential Lease-Up Fee			\$	36,000
GST Residential		3.20%	\$	251,901
Total Soft Cost Contingency		10%	\$	329,229
BCH Inspection Fees			\$	-
BCH Mechanical Peer Review			\$	10,000
BCH Maintenance and Renewal Plan			\$	15,000
Common Area Furnishings			\$	35,000
Total Other Costs			\$	1,298,144.50
<b>9.0 Total Cost</b>				<b>\$20,212,981.49</b>