

MEMORANDUM OF UNDERSTANDING  
BETWEEN  
DISTRICT OF TOFINO  
(DISTRICT)  
AND  
TOFINO HOUSING CORPORATION INC. (Inc. No. 0715979)  
(THC)  
AND  
CATALYST COMMUNITY DEVELOPMENT SOCIETY (Inc. No. S-0061889)  
(CATALYST)  
(COLLECTIVELY "THE PARTIES")

Whereas the District is owner of the land legally described as:

**PID: 000-182-371**

Remainder Lot A, District Lot 114, Clayoquot District, Plan 32751

From which two new lots, Lot 1 and Lot 2, will be created as per the draft subdivision plan included as Schedule A

(the "Lands");

Whereas the District has identified, through the District of Tofino's *Official Community Plan*, the need for affordable and attainable housing;

Whereas the District has established the Tofino Housing Corporation Inc., ("THC") a private municipal corporation with the sole purpose of building attainable and affordable housing in Tofino and the District has committed to transferring the Lands to THC for this purpose;

Whereas Catalyst Community Developments Society ("Catalyst"), a BC incorporated non-profit organisation, would like to develop 72 units of affordable housing (the "Development") on the Lands in two distinct Phases – 35 units as Phase A on Lot 2 and 37 units as Phase B on Lot 1; and

Whereas the District and THC support Catalyst's vision for the Development.

NOW THEREFORE, the Parties agree as follows:

1. The Purpose of this Memorandum of Understanding (“MOU”) is to set out the intentions and understandings between the Parties under which a lease of the Lands may be granted by the THC to Catalyst for the Development.

2. Land Transfer

The District agrees it will transfer the Lands to the Tofino Housing Corporation once the Lands are subdivided and the District is relieved of its obligation to guarantee the \$336,933 BC Housing loan, unless the District and the THC have agreed to an alternative timing.

3. Land Transfer Costs

The THC will pay the legal costs and Property Transfer Tax (PTT) associated with the land transfer from the District to the THC; these are not Project Costs.

4. Land Lease

The THC and Catalyst agree to the granting of separate land leases for the Lands to Catalyst for Phase A and Phase B of the Development. The Leases for the Lands will be subject to the following conditions being satisfied.

- Building permit designs for the Development are complete and agreed to by the Parties;
- the Lands are rezoned to permit the Development;
- a Housing Agreement has been registered on title to the Lands; and
- a Development Agreement has been established between the THC and Catalyst whereby Catalyst is responsible for the costs of delivering the Development on the Lands.

The Parties will enter into a lease of the Lands with terms similar to that of the Lease between the THC and Catalyst for Sharp Rd (CA119851, PID: 000-251-861, LOT 1 DISTRICT LOT 132 CLAYOQUOT DISTRICT, PLAN 33516) (“Sharp Rd Lease”) with the following adjustments.

- Catalyst will provide \$82,000 in project equity for Phase A and \$98,000 in project equity for Phase B
- For Phase A the THC cash equity contribution will be capped at \$340,000
- For Phase B the THC will provide a \$440,000 equity contribution
- Should Phase B not be funded by the BC CHF then both Catalyst and the THC will consider increasing equity contributions into Phase B.

- For Phase A 48.6 % of the THC's \$336,933 BC Housing PDF loan will be assumed by Catalyst no later than the construction financing stage.
- For Phase B 51.4% of the THC's \$336,933 BC Housing PDF loan will be assumed by Catalyst no later than the construction financing stage or at an alternative time agreed to by the THC and Catalyst.
- The Purchase Price formula specified in clause #2, of Schedule D of the Sharp Rd Lease will be modified by replacing 50% with 75%.

5. No Fettering

Catalyst and THC acknowledge that nothing in this MOU fetters the District of Tofino in making its decision regarding any proposed changes to zoning.

6. Other Costs

Catalyst shall pay property transfer tax and GST, if applicable, associated with the Lease.

7. New Road and Servicing

The Parties acknowledge that the Development will be accessed by a new public road and will connect to District services constructed within the new public road. The Parties also acknowledge that for the Development additional servicing requirements also include reconfiguration of the Leighton Way/Peterson Drive Intersection, adding a painted pedestrian path and speed humps on Leighton Way, reconfiguring the start of the Tonquin Beach trail along the new road and rerouting the trail from the Community Hall to the Tonquin Beach trail to accommodate Phase B.

The costs of the new road and services will be apportioned 40% to Phase A, 44% to Phase B and 16% will be separately funded by the THC related to the development of the three duplex lots.

8. Development Plan

The Development and Building Plans for Phase A and Phase B have been designed to 90% design - see Schedule B – and will not be altered substantially except as required to obtain a Building Permit and approval by BC Housing and CMHC, as applicable.

9. Project Costs

Project Costs are generally summarised in Schedule C and include:

- appraisal fees;

- British Columbia Land Surveyor fees associated with the preparation of legal plans and surveying;
- legal costs associated with the preparation of the Housing Agreement, MOU, Lease, covenants, other Agreements, statutory rights of way, survey plans and associated registration fees of same in the Land Title Office;
- development consultant fees;
- rezoning, development permit, building permit and subdivision costs
- municipal and servicing fees, property taxes, property transfer tax for the Lease, GST self-supply
- construction financing costs and insurance
- all land clearing, soil and rock removal, and new material placement;
- construction of the new road and servicing
- construction of all buildings and related infrastructure (stormwater, sewer, hydro, telephone, cable, lighting) necessary to create the 72 apartment homes; and construction management services.

#### 10. Payment of Project Costs

THC will pay for Project Costs defined above until such time as a Development Agreement is executed by the Parties, as agreed to in advance of any such expenditures. Upon execution of the Development Agreement by the Parties Catalyst will assume responsibility to pay for all Project Costs unless specifically agreed otherwise by the Parties. Catalyst acknowledges that the THC legal fees, except those identified in Section 3, and costs associated with a THC-hired consultant to represent the THC interest through project development and construction will be Project Costs.

#### 11. Project Funding and Financing

Catalyst shall apply for the BC Housing Community Housing Fund and a Canada Mortgage and Housing (CMHC) Co-Investment Fund to secure project capital grants and financing.

The THC has a limited amount of funds available to cover additional pre-development costs, which will be count towards its Phase A \$340,000 and Phase B \$440,000 equity contributions. Should additional pre-development funds be required for Phase B the THC may consider a no-interest loan to the Development.



## 12. Proceeding without Catalyst

In the event that Catalyst has not commenced construction of Phase A of the Development on or before December 31<sup>st</sup> 2021 and Phase B of the Development by December 31<sup>st</sup>, 2023 then the THC may, at its sole discretion, terminate the Development Agreement and the Lease and proceed on its own or permit any other party or parties it so chooses to proceed with development of the Lands.

## 13. Catalyst's Right to Terminate

The Parties agree that Catalyst will be entitled to terminate the Lease and Development Agreement within 120 days of receipt of the building permit for the Development if, at its sole discretion, Catalyst does not consider that the construction and operation of the Development will be financially viable over the term of the Lease. In the event that Catalyst elects to terminate the Lease within the above timeframe then there shall be no further obligations between the Parties.

## 14. Timeliness

The Parties acknowledge that, although the provisions of this MOU are non-binding, time is of the essence and that the Development will only be successful if both Catalyst and THC are diligently working towards being ready to deliver the Development as contemplated in this MOU.

## 15. Non-Binding

Despite anything else in this MOU, including language that may in the normal course give rise to binding contractual obligations, this MOU is not legally binding and creates no legal obligations between the parties. It does, however, express the good faith intentions of the parties as herein set out. Without limiting the foregoing, the parties acknowledge that any binding agreement will be the subject of further negotiations between the parties and may ultimately differ from the present understandings as set out herein and no party shall have any claim against the other party arising out of a party's change of intention from those intentions set out herein.

## 16. Legal Requirements

The parties acknowledge that prior to the parties entering into any legally binding agreements, all legal requirements of the District must be satisfied, all necessary authorizations and approvals must be obtained and all procedural requirements must be followed, including as required by the District of Tofino's bylaws, the *Local Government Act*

(British Columbia) and the *Community Charter* (British Columbia) and any other applicable statutes.

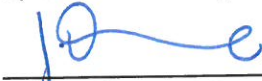
17. Legislative Discretion

Catalyst and THC acknowledge that some of the steps described in this MOU will engage the legislative authority of the District of Tofino. Catalyst and THC acknowledge that fulfillment of some of the steps set out in this MOU may require that the Council of the District of Tofino adopt bylaws or pass resolutions and that the passage of said resolutions or adoption of said bylaws by the Council of the District of Tofino are within its sole absolute discretion which is not in any manner subject to the provisions hereof.

IN WITNESS WHEREOF the parties hereto have executed this Memorandum of Understanding as of the day and year written below.

**DISTRICT OF TOFINO**

by its authorized signatories:

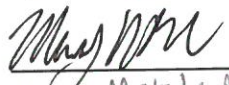
  
\_\_\_\_\_  
Mayor: Josie Osborne

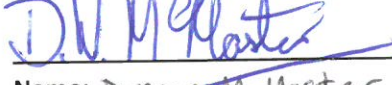
  
\_\_\_\_\_  
Corporate Officer:  
ROBERT MACPHERSON

Date: AUGUST 27, 2020

**TOFINO HOUSING CORPORATION**

by its authorized signatories:

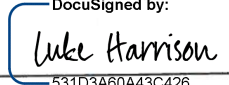
  
\_\_\_\_\_  
Name: Melody McLoie

  
\_\_\_\_\_  
Name: Duncan McMaster

Date: Aug. 27/2020

**CATALYST COMMUNITY DEVELOPMENTS SOCIETY**

by its authorized signatories:

DocuSigned by:  
  
\_\_\_\_\_  
531D3A60A43C426...

Name:

Luke Harrison

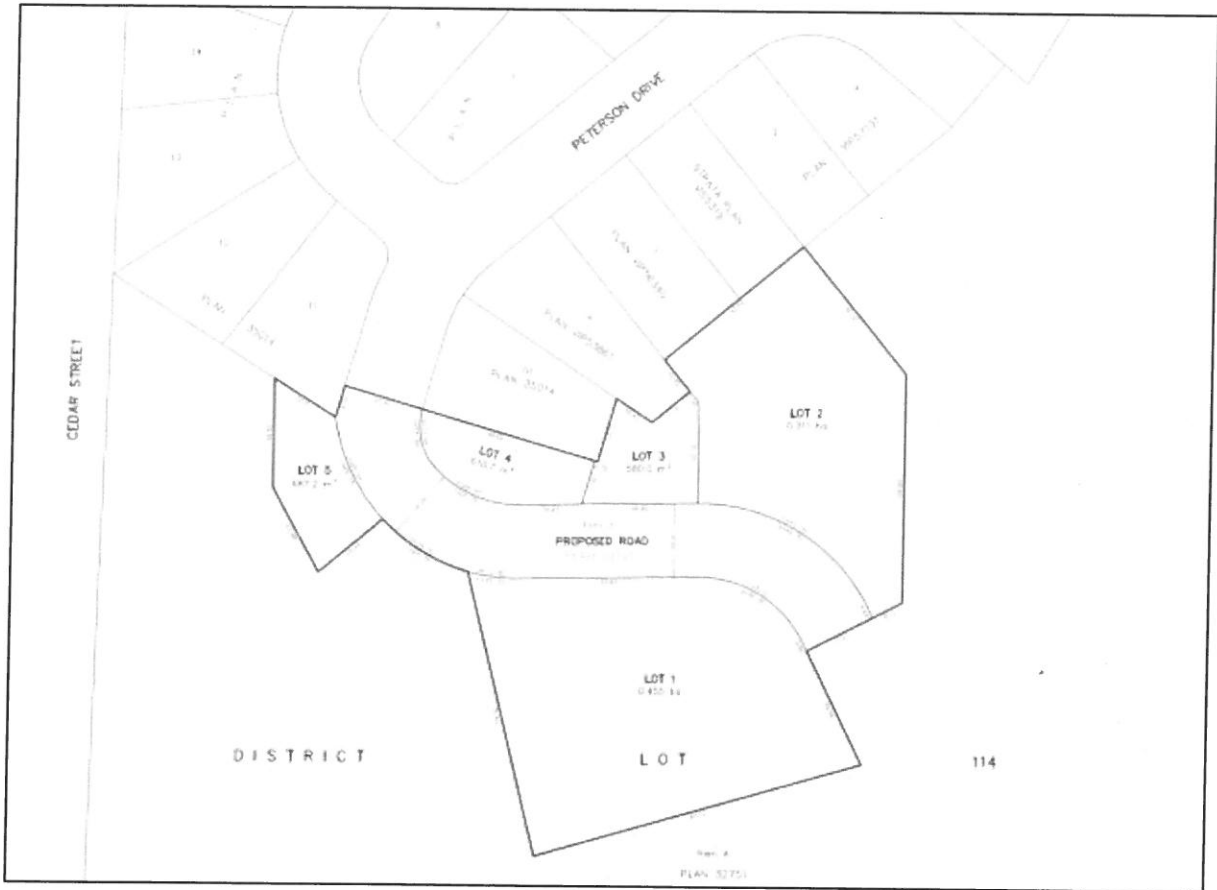
President

Name:

8/29/2020

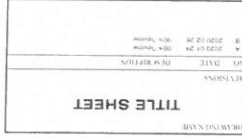
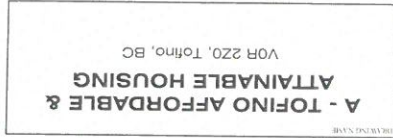
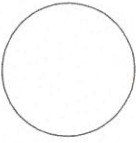
Date: \_\_\_\_\_

Schedule A – Subdivision Plan



Schedule B – Lot 1 (Phase B) and Lot 2 (Phase A) Building Plans





9255 YOUNG ROAD, CHILLIWACK B.C. V2P 4S3 TEL: (604) 793-9445  
 CRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE

# TOFINO AFFORDABLE & ATTAINABLE HOUSING - BUILDING A

DL 114, VOR 220, TOFINO, BC

**CONSTRUCTION MANAGER**  
 SAYWELL CONTRACTING LTD.  
 2599 McCulloch Road  
 Nanaimo, B.C. V8S 4M6  
 Tel: (250) 728-0197  
 Contact: Travis Neveland

**OWNER**  
 CATALYST COMMUNITY DEVELOPMENTS SOCIETY  
 60 - 425 Central Street  
 Vancouver, B.C. V6C 6E3  
 Tel: (604) 312-5235  
 Contact: Robin Parr



## ARCHITECTURAL

CRAVEN | HUSTON | POWERS ARCHITECTS  
 3935 Young Road  
 Vancouver, B.C. V6S 4S3  
 Tel: (604) 793-9445  
 Fax: (604) 793-9446  
 Contact: Justin Dyck, Architect ABC  
 ARCHITECTURAL DRAWING LIST

- A-A00 TITLE SHEET
- A-A01 BUILDING CODE REVIEW & EXISTING CONDITIONS
- A-A02 CONSTRUCTION ASSEMBLIES
- A-A03 SITE PLAN
- A-A04 FIRST & SECOND FLOOR PLANS
- A-A05 THIRD & FOURTH FLOOR PLANS
- A-A06 FIFTH FLOOR PLAN
- A-A07 BALANCED UNIT PLANS/REF
- A-A08 ENLARGED UNIT PLANS/REF
- A-A09 UNLARGED UNIT PLANS/REF
- A-A10 BALANCED PLANS/REF
- A-A11 UNLARGED PLANS/REF
- A-A12 START TRANSECTION
- A-A13 FINISH TRANSECTION
- A-A14 STAIRS TRANSECTION
- A-A15 BOOP PLAN
- A-A16 FLOOR FINISHES
- A-A17 WINDOW FINISHES
- A-A18 DOOR FINISHES
- A-A19 FINISHES TO CEILING PLAN
- A-A20 OVERALL REFLECTED CEILING PLAN
- A-A21 EXTERIOR ELEVATIONS
- A-A22 EXTERIOR ELEVATIONS
- A-A23 SECTIONS
- A-A24 TYP. CONSTRUCTION DETAILS
- A-A25 CONSTRUCTION DETAILS
- A-A26 CONSTRUCTION DETAILS
- A-A27 CONSTRUCTION DETAILS
- A-A28 CONSTRUCTION DETAILS
- A-A29 CONSTRUCTION DETAILS
- A-A30 WINDOW & PARTITION DETAILS
- A-A31 INTERIOR ELEVATIONS

## STRUCTURAL

READ JONES CHRISTOFFERSEN LTD.  
 300 - 1285 West Broadway  
 Vancouver, B.C. V6H 3K3  
 Tel: (604) 739-0048  
 Contact: Leon Platt, P. Eng, Struct. Eng  
 STRUCTURAL DRAWING LIST

- A-SK-01 Unmarked
- S-01 STRUCTURAL COVER

## MECHANICAL

AME GROUP  
 200 - 638 Smythe Street  
 Vancouver, B.C. V6B 1E3  
 Tel: (604) 684-5995  
 Contact: Reza Mousakhani, P. Eng, CPMD  
 MECHANICAL DRAWING LIST

- M-01 MECHANICAL COVER

## ELECTRICAL

AES ENGINEERING  
 500 - 3765 Chimo Road  
 Victoria, B.C. V8Z 6T8  
 Tel: (250) 340-3495  
 Contact: Gurr Math, B. Eng.  
 ELECTRICAL DRAWING LIST

- E-01 ELECTRICAL COVER

## CIVIL

MCLENNAN  
 1 - 1351 Estevan Road  
 Nanaimo, B.C. V8S 2V3  
 Tel: (250) 716-3336  
 Contact: Todd S. Wilson, P. Eng.  
 CIVIL DRAWING LIST

- C-01 CIVIL COVER

## CODE CONSULTANT

COMPANY NAME  
 Street Name  
 City, B.C. V8S 2V9  
 Tel: (604) 793-9445  
 Contact: Contact Name

## BUILDING ENVELOPE + ENERGY

BC BUILDING SCIENCE LTD.  
 611 Best Court  
 New Westminster, B.C. V3M 1V3  
 Tel: (604) 520-6456  
 Contact: Chad Crumswick

## FIRE SUPPRESSION

COMPANY NAME  
 Street Name  
 City, B.C. V8S 2V9  
 Tel: (604) 793-9445  
 Contact: Contact Name, P. Eng.  
 FIRE SUPPRESSION DRAWING LIST

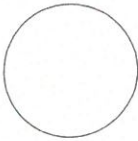
## LANDSCAPE

MURDOCH DE GREEFF INC.  
 200 - 524 Coulthart Road  
 Victoria, B.C. V8Z 1G1  
 Tel: (250) 412-2891  
 Contact: Scott Murdoch  
 LANDSCAPE DRAWING LIST

- L-01 LANDSCAPE COVER







# A - TOPINO AFFORDABLE & ATTAINABLE HOUSING

VOR 220, Torino, BC

**FIRST & SECOND FLOOR PLAN**

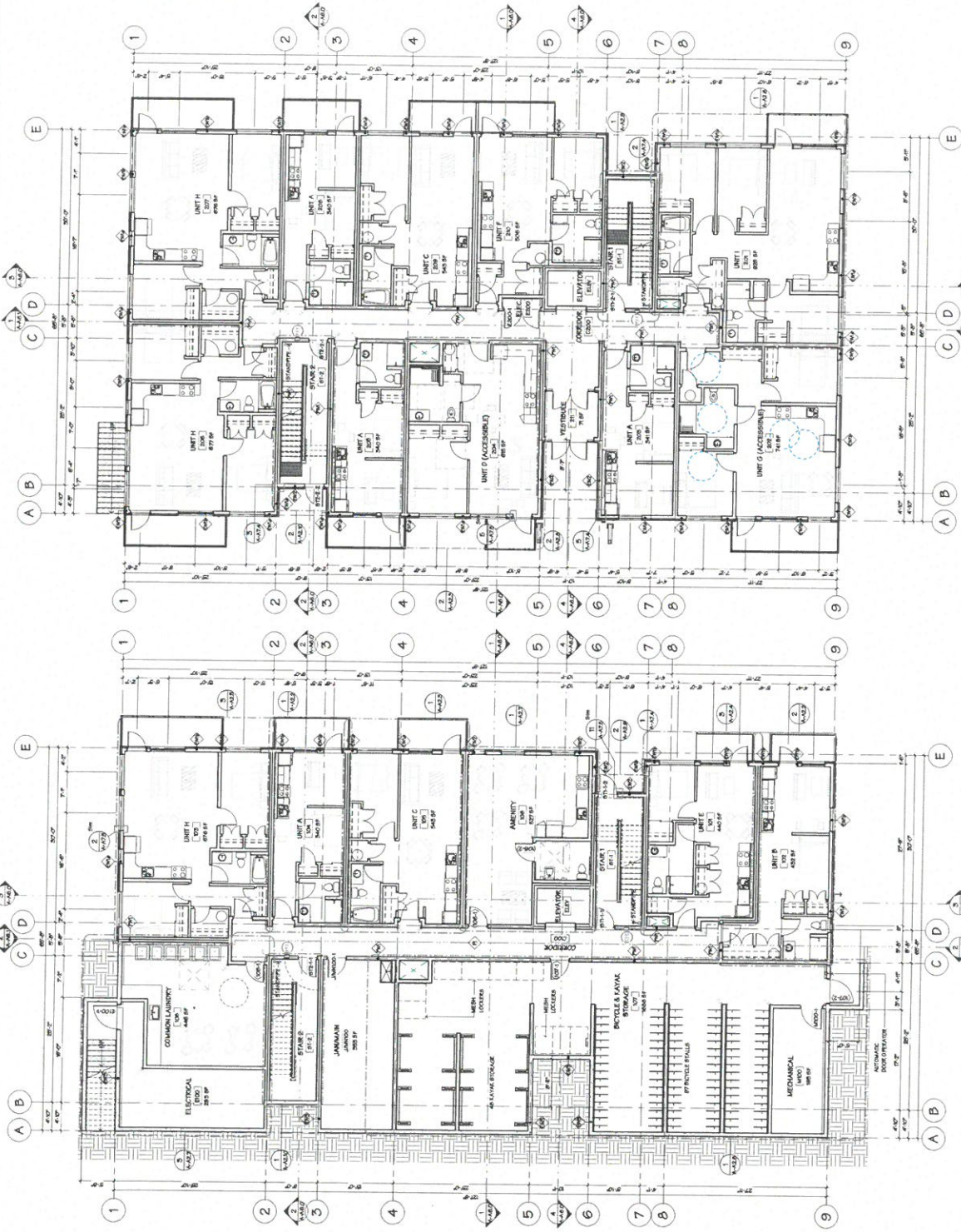
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CRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK B.C. V2P 4S3 TEL: (604) 793-9445

### SYMBOL LEGEND

1	GRID REFERENCE
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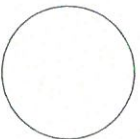


**1 FIRST FLOOR**  
1/8" = 1'-0"

**2 SECOND FLOOR**  
1/8" = 1'-0"







**A - TOFINO AFFORDABLE & ATTAINABLE HOUSING**  
 VOR 220, Toronto, BC

**THIRD & FOURTH FLOOR**  
 REVISIONS  
 NO. DATE BY  
 1 2020 02 26 ASH/CRD  
 2 2020 02 26 ASH/CRD  
 3 2020 02 26 ASH/CRD  
 4 2020 02 26 ASH/CRD

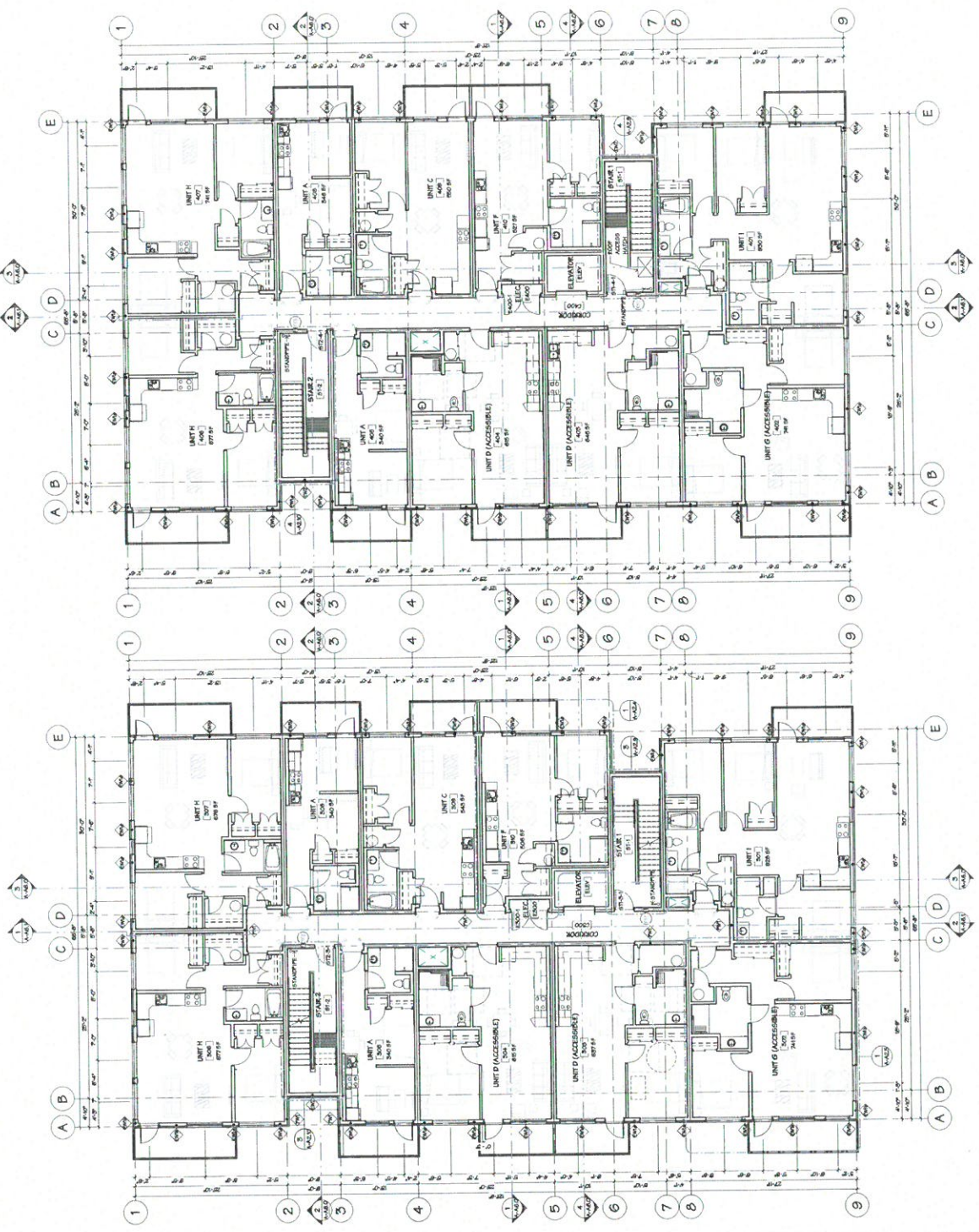
DATE	2020 02 26
SCALE	AS SHOWN
PROJECT	18044
DRAWN BY	
CHECKED BY	
DATE	
BY	
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BY	
DATE	
BY	



GRAVEN | HUSTON | POWERS | ARCHITECTS | ARCHITECTURE AND LANDSCAPE ARCHITECTURE  
 9355 YOUNG ROAD, CHILLIWACK, B.C. V2P 4S3 TEL: (604) 792-9445

**SYMBOL LEGEND**

1	GRID REFERENCE
2	ROOM NUMBER
3	ROOM NAME
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400	ROOM NUMBER



**2 FOURTH FLOOR**  
 1/8" = 1'-0"

**1 THIRD FLOOR**  
 1/8" = 1'-0"



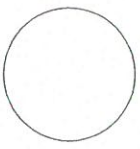












**A - TOFINO AFFORDABLE & ATTAINABLE HOUSING**  
 VOR 220, Toftino, BC

**ENLARGED UNIT PLANS/RCP**

DATE	2020.02.26
BY	AS ARCHITECT
PROJECT NO.	18044
SCALE	1/8" = 1'-0"
DESCRIPTION	ENLARGED UNIT PLANS/RCP
DATE	2020.02.26
BY	AS ARCHITECT
PROJECT NO.	18044
SCALE	1/8" = 1'-0"
DESCRIPTION	ENLARGED UNIT PLANS/RCP



GRAVEN HUSTON POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK, B.C. V2P 4S3 TEL: (604) 793-9345

**SYMBOL LEGEND**

1 GRID REFERENCE

2 ROOM NUMBER

3 SHEET NUMBER

4 DETAIL MARKER

5 ELEVATION MARKER

6 INTERIOR ELEVATION MARKER

7 DOOR MARKER

8 WINDOW MARKER

9 FLOOR FINISH

**REFLECTED CEILING PLAN LEGEND**

ALUMINUM METAL EXPIT

OPTIMUM RAMP CEILING

OPTIMUM RAMP FLOOR/CEILING

OPTIMUM RAMP FLOOR/CEILING

UNLESS OTHERWISE SPECIFIED, FINISHES SHALL BE TO THE FINISH LINE UNLESS NOTED OTHERWISE.

NOTES:

1. ALL FINISHES SHALL BE TO THE FINISH LINE UNLESS NOTED OTHERWISE.

2. FINISHES SHALL BE TO THE FINISH LINE UNLESS NOTED OTHERWISE.

3. FINISHES SHALL BE TO THE FINISH LINE UNLESS NOTED OTHERWISE.

4. FINISHES SHALL BE TO THE FINISH LINE UNLESS NOTED OTHERWISE.

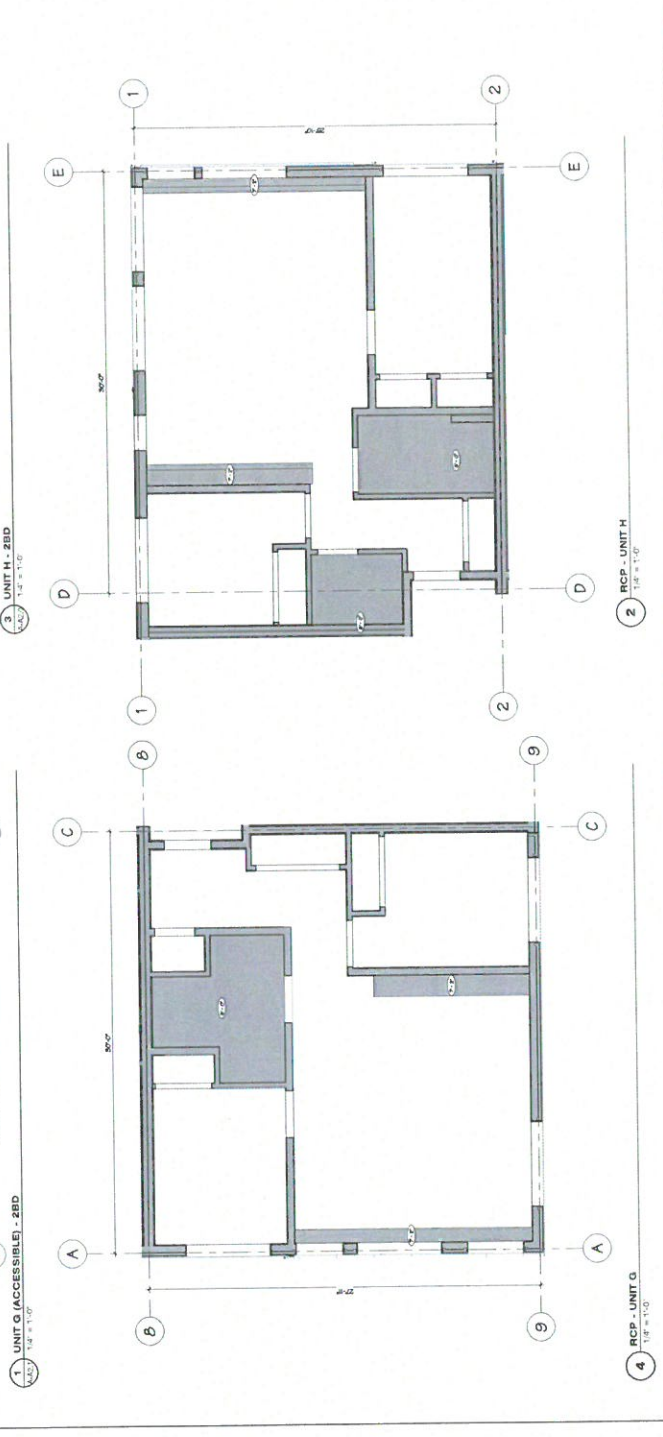
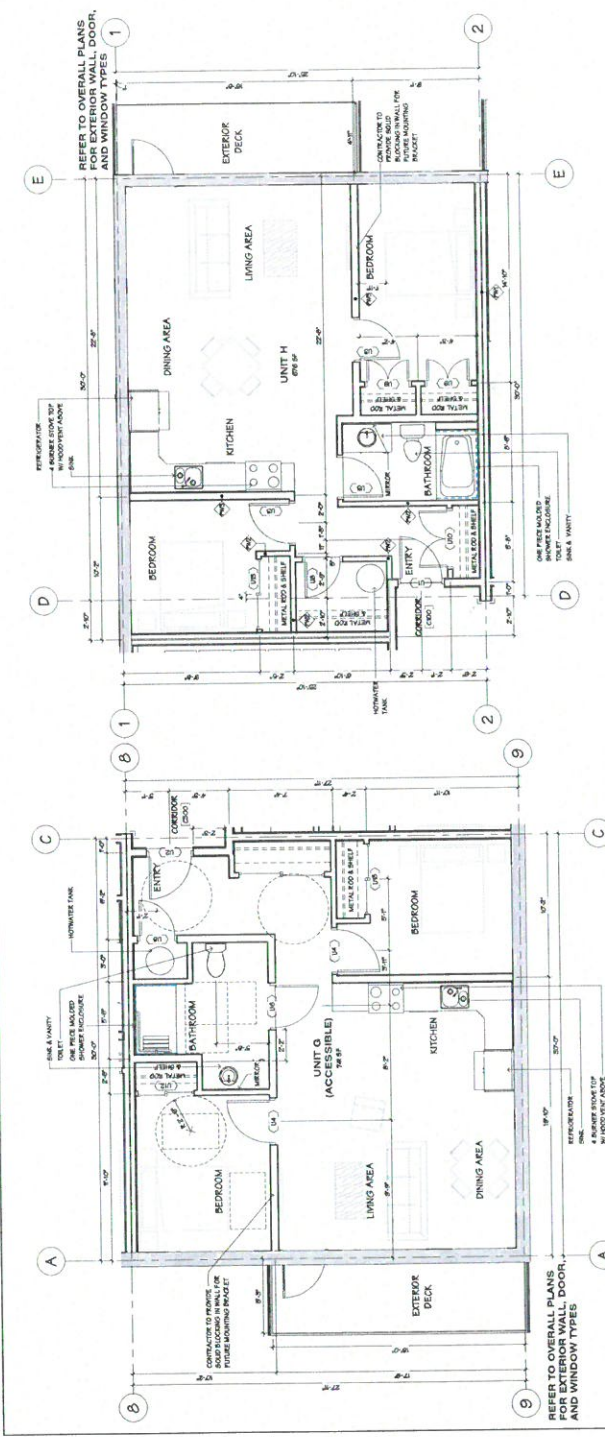
5. FINISHES SHALL BE TO THE FINISH LINE UNLESS NOTED OTHERWISE.

6. FINISHES SHALL BE TO THE FINISH LINE UNLESS NOTED OTHERWISE.

7. FINISHES SHALL BE TO THE FINISH LINE UNLESS NOTED OTHERWISE.

8. FINISHES SHALL BE TO THE FINISH LINE UNLESS NOTED OTHERWISE.

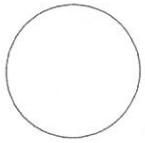
9. FINISHES SHALL BE TO THE FINISH LINE UNLESS NOTED OTHERWISE.











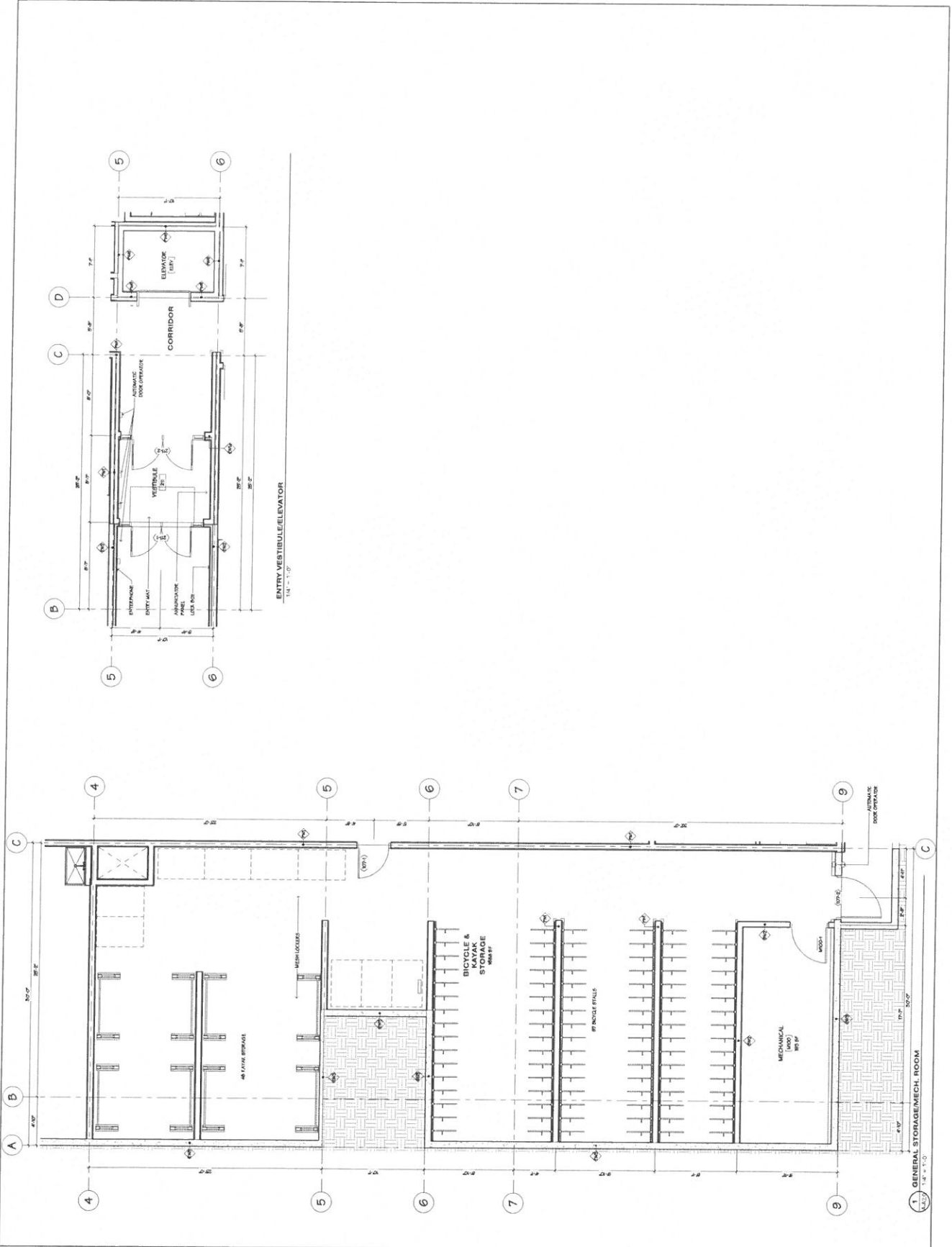
**A - TOFINO AFFORDABLE & ATTAINABLE HOUSING**  
VOR 220, Tofino, BC

**ENLARGED PLANS**  
REVISED: 2020.02.26  
DATE: 2020.02.26  
BY: [Name]  
PROJECT: [Name]

DATE	2020.02.26
SCALE	1/4" = 1'-0"
PROJECT NO.	18044
PROJECT NAME	[Name]
PROJECT ADDRESS	[Address]
PROJECT CITY	[City]
PROJECT STATE	[State]
PROJECT ZIP	[Zip]
PROJECT PHONE	[Phone]
PROJECT FAX	[Fax]
PROJECT EMAIL	[Email]
PROJECT WEBSITE	[Website]
PROJECT CONTACT	[Contact]
PROJECT CONTACT PHONE	[Phone]
PROJECT CONTACT FAX	[Fax]
PROJECT CONTACT EMAIL	[Email]
PROJECT CONTACT WEBSITE	[Website]



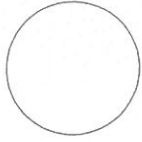
CRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK B.C. V2P 4S3 TEL: (604) 793-9445











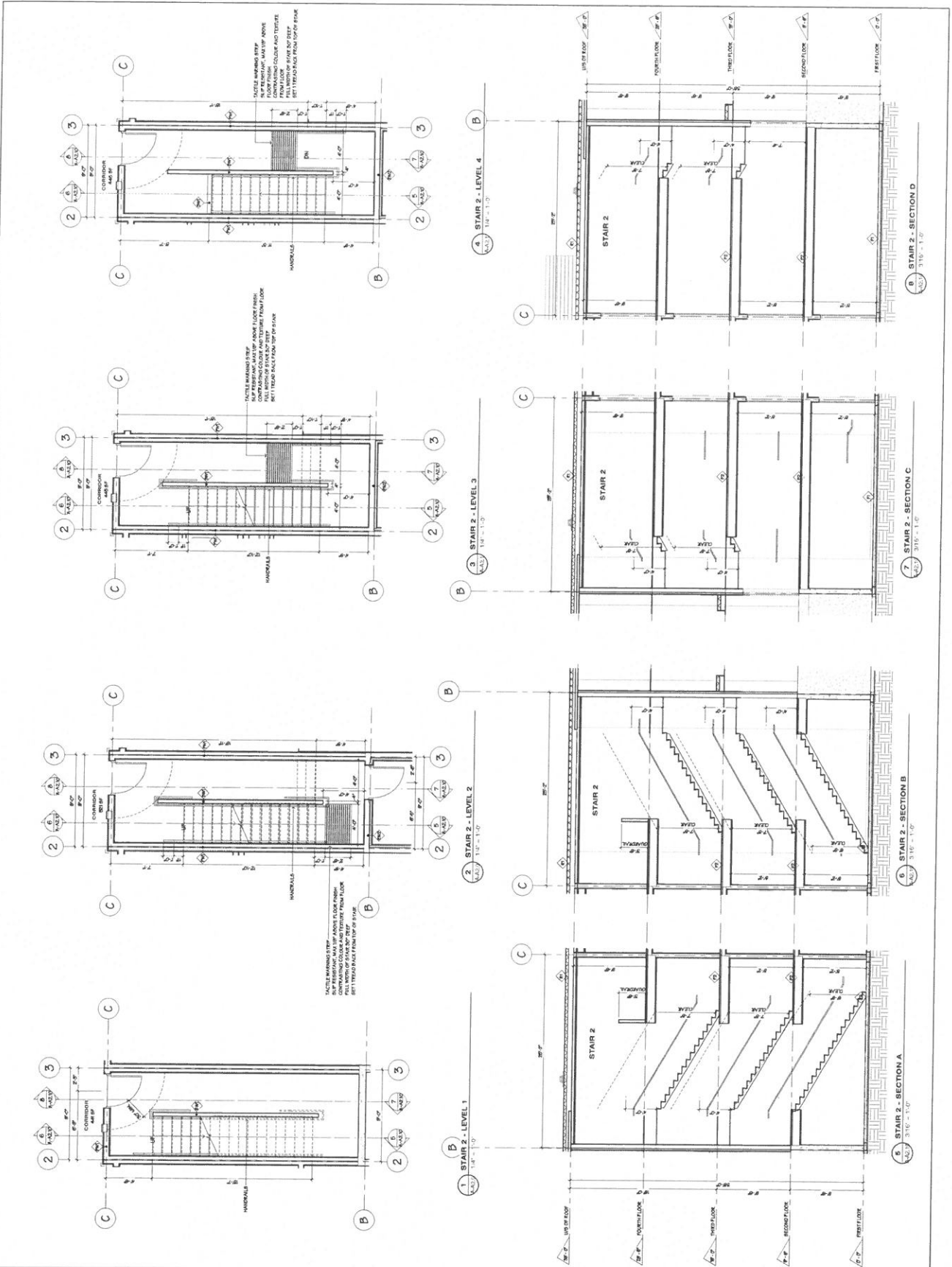
**A - TOFINO AFFORDABLE & ATTAINABLE HOUSING**  
 VOR 220, Tofino, BC

PROJECT NAME	STAIR 2 PLAN/SECTION
NO. DATE	02-10-2020
REV. DATE	02-10-2020
REV. BY	DR. B. JONES
REV. NO.	02-26
DATE	2020-02-26
SCALE	As indicated
PROJECT NO.	18044

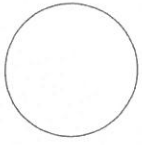
PROJECT NO.	18044
SCALE	As indicated
DATE	2020-02-26
REV. BY	DR. B. JONES
REV. NO.	02-26
NO. DATE	02-10-2020
PROJECT NAME	STAIR 2 PLAN/SECTION



9355 YOUNG ROAD, CHILLIWACK B.C. V2P 4S3 TEL: (604) 793-9445  
 CRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE







**A - TOPINO AFFORDABLE & ATTAINABLE HOUSING**  
 VOR 220, Torino, BC

**OVERALL REFLECTED CEILING PLAN**

REV NO	19044
DATE	2020.02.26
BY	AS REQUIRED
PROJECT	220 TORINO
DATE	2020.02.26
BY	AS REQUIRED
PROJECT	220 TORINO



9355 YOUNG ROAD, CHILLIWACK B.C. V2P 4S3 TEL: (604) 793-9445  
 CRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE

**REFLECTED CEILING PLAN LEGEND**

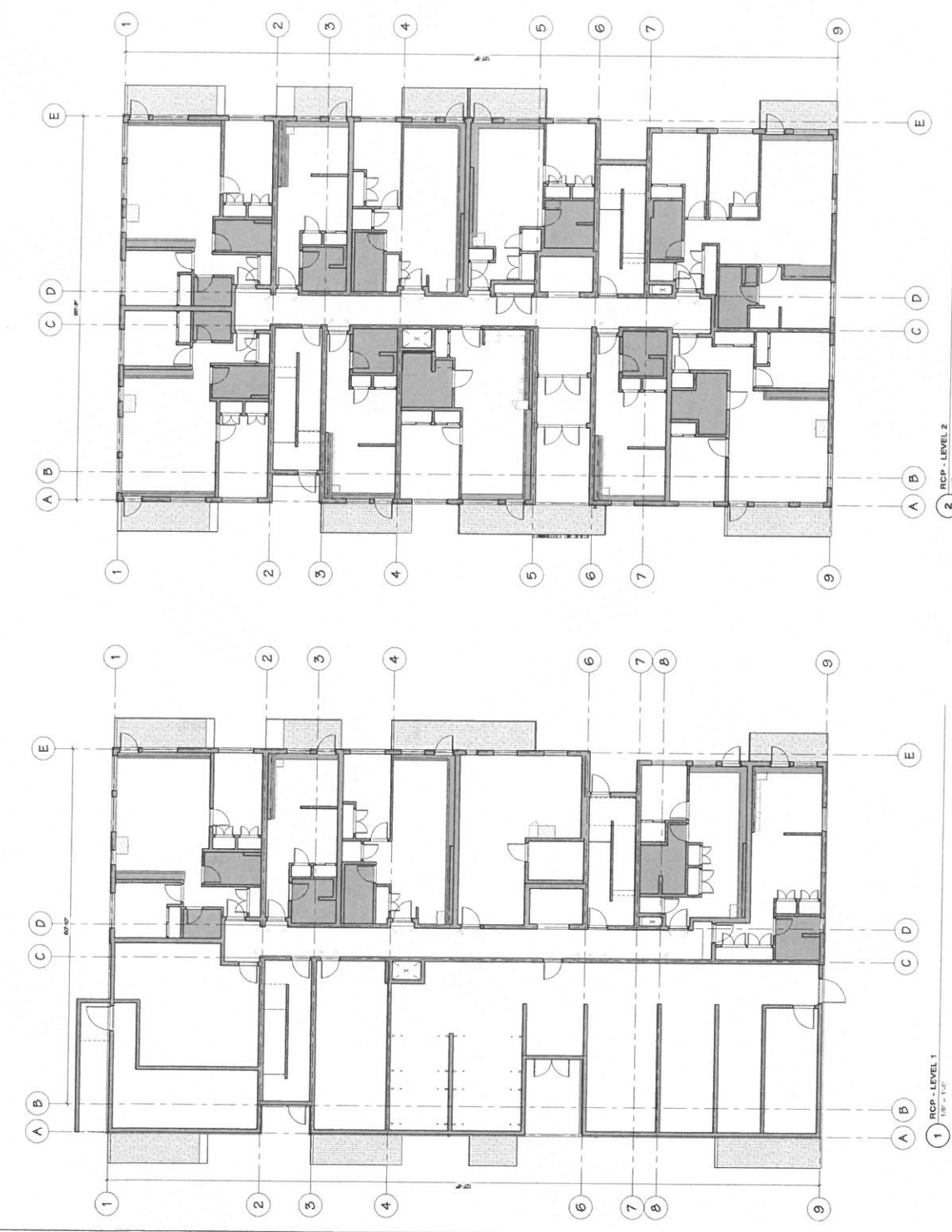
CEILING TYPES

- ALUMINUM METAL BOFFIT
- OPTIMUM INVOLED CEILING
- OPTIMUM BOWED FLEXI-AD

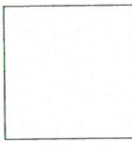
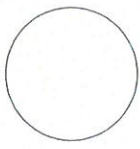
UNLESS OTHERWISE NOTED, ALL HEIGHTS ARE TO FINISH FLOOR. COMMON AREAS ARE TO BE FINISHED TO FINISH FLOOR.

NOTES:

- REFLECTED CEILING TYPES SHOWN IN THIS PLAN ARE TO BE USED UNLESS OTHERWISE NOTED.
- REFLECTED CEILING TYPES SHOWN IN THIS PLAN ARE TO BE USED UNLESS OTHERWISE NOTED.
- REFLECTED CEILING TYPES SHOWN IN THIS PLAN ARE TO BE USED UNLESS OTHERWISE NOTED.







# A - TOFINO AFFORDABLE & ATTAINABLE HOUSING

VOR 220, Tofino, BC

**OVERALL REFLECTED CEILING PLAN**

DATE: 2020.02.26  
 REVISIONS:  
 3 2020.02.28 08:00:00  
 2 2020.01.29 08:00:00  
 1 2020.01.29 08:00:00

PROJECT NO.	18044	
DATE	2020.02.26	
REVISIONS		
NO.	DATE	DESCRIPTION
3	2020.02.28	08:00:00
2	2020.01.29	08:00:00
1	2020.01.29	08:00:00



CRAVEN | HUSTON | POWERS | ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK B.C. V2P 4S2 TEL: (604) 793-9445

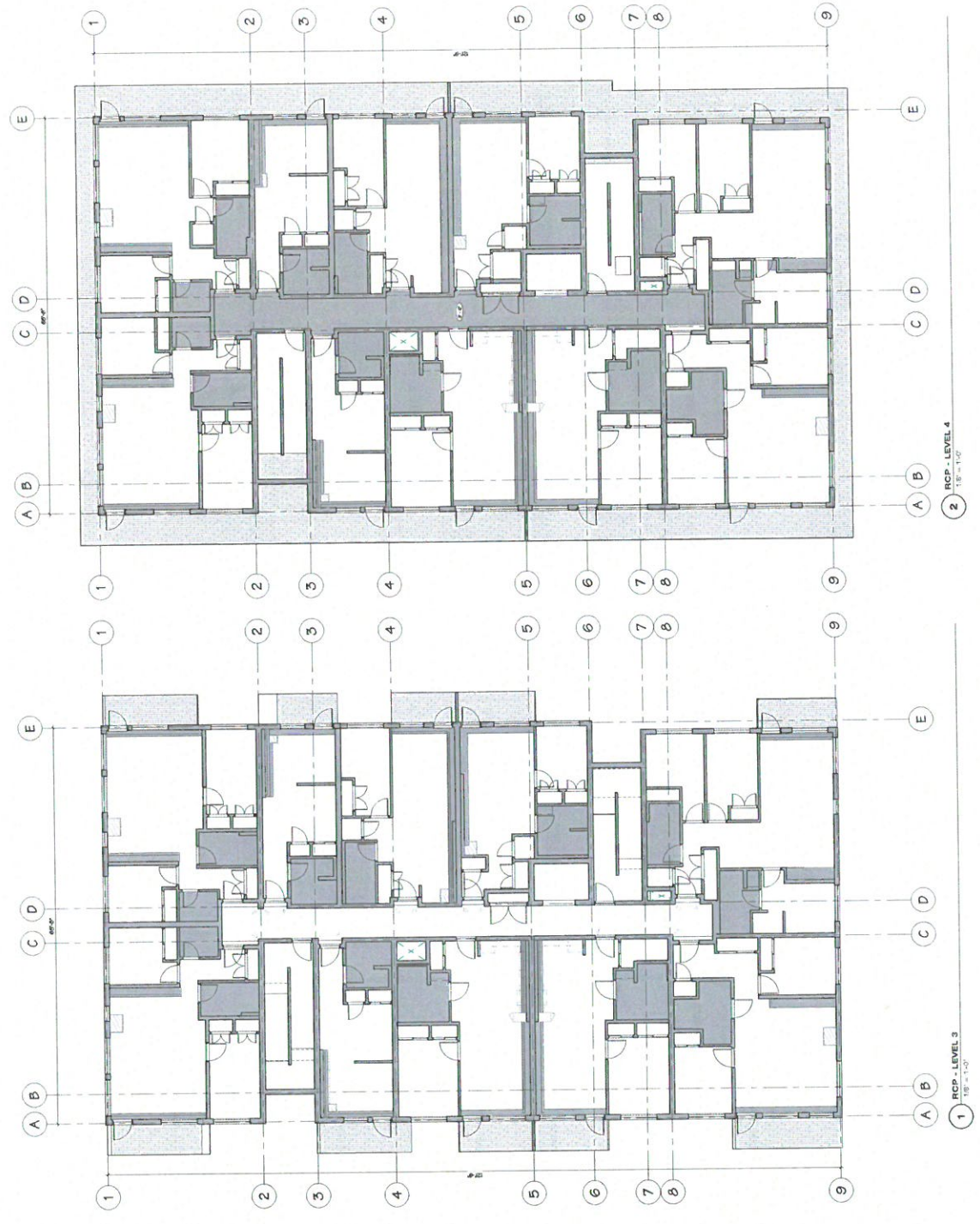
**REFLECTED CEILING PLAN LEGEND**

**CEILING TYPES**

- ALUMINUM METAL JOIST
- OPTIONAL PAINTED CEILING
- OPTIONAL PAINTED PLASTER
- OPTIONAL PAINTED PLASTER WITH GYPSONUM BOARD AT 2500mm R.F.T.
- ROUND OFFICIAL BOARD
- ACCELSOUND

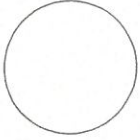
**NOTES:**

- SEE FIRE PROTECTION DRAWINGS FOR SPARK-RESISTANT HEAD LOCATIONS (TYPICAL)
- SEE ELECTRICAL DRAWINGS FOR LIGHT FIXTURES TO ADJUSTIVE SPACING WITH OVERHEAD LIGHTING CIRCUITS
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR CEILING LIGHTING FIXTURES
- SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR CEILING LIGHTING FIXTURES
- SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR CEILING LIGHTING FIXTURES



2 RCP - LEVEL 4  
100' - 10 1/2"

1 RCP - LEVEL 3  
100' - 10 1/2"



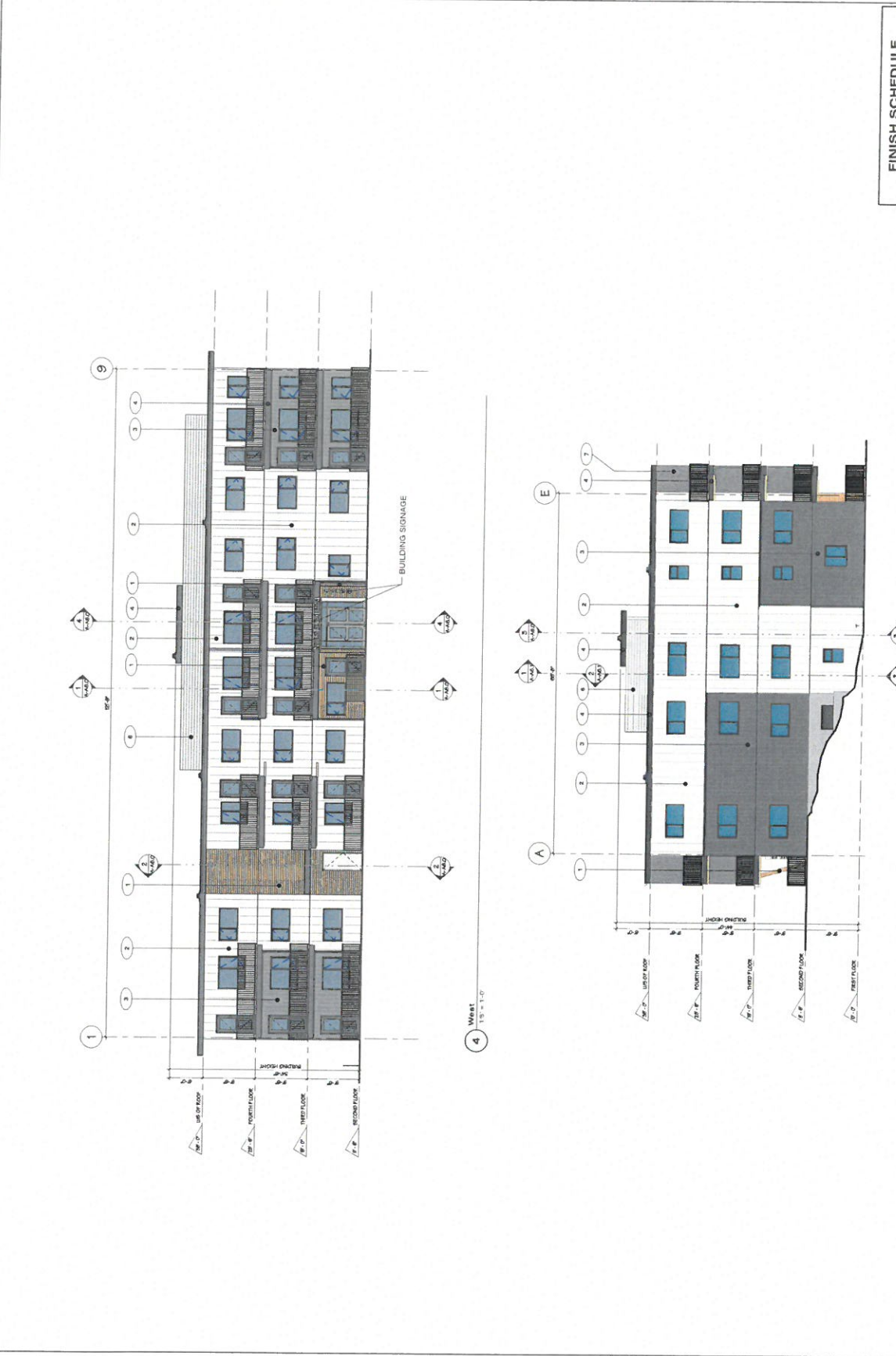
**A - TOFINO AFFORDABLE & ATTAINABLE HOUSING**  
VOR 220, Tofino, BC

**EXTERIOR ELEVATIONS**

REVISED NAME	18044
DATE	2020 02 26
ISSUES	
NO. DATE DESCRIPTION	
1 2020 02 26	NEW DRAWING



CRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK B.C. V2P 4S3 TEL: (604) 793-9445



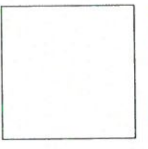
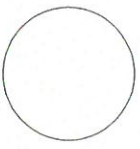
**FINISH SCHEDULE**

1	PRECAST CONCRETE	LA FERRIS	WOOD TONE
2	PRECAST CONCRETE	LA FERRIS	WOOD TONE
3	PRECAST CONCRETE	LA FERRIS	WOOD TONE
4	PRECAST CONCRETE	LA FERRIS	WOOD TONE
5	PRECAST CONCRETE	LA FERRIS	WOOD TONE
6	PRECAST CONCRETE	LA FERRIS	WOOD TONE
7	PRECAST CONCRETE	LA FERRIS	WOOD TONE

3 South  
1/8" = 1'-0"

4 West  
1/8" = 1'-0"





# A - TOFINO AFFORDABLE & ATTAINABLE HOUSING

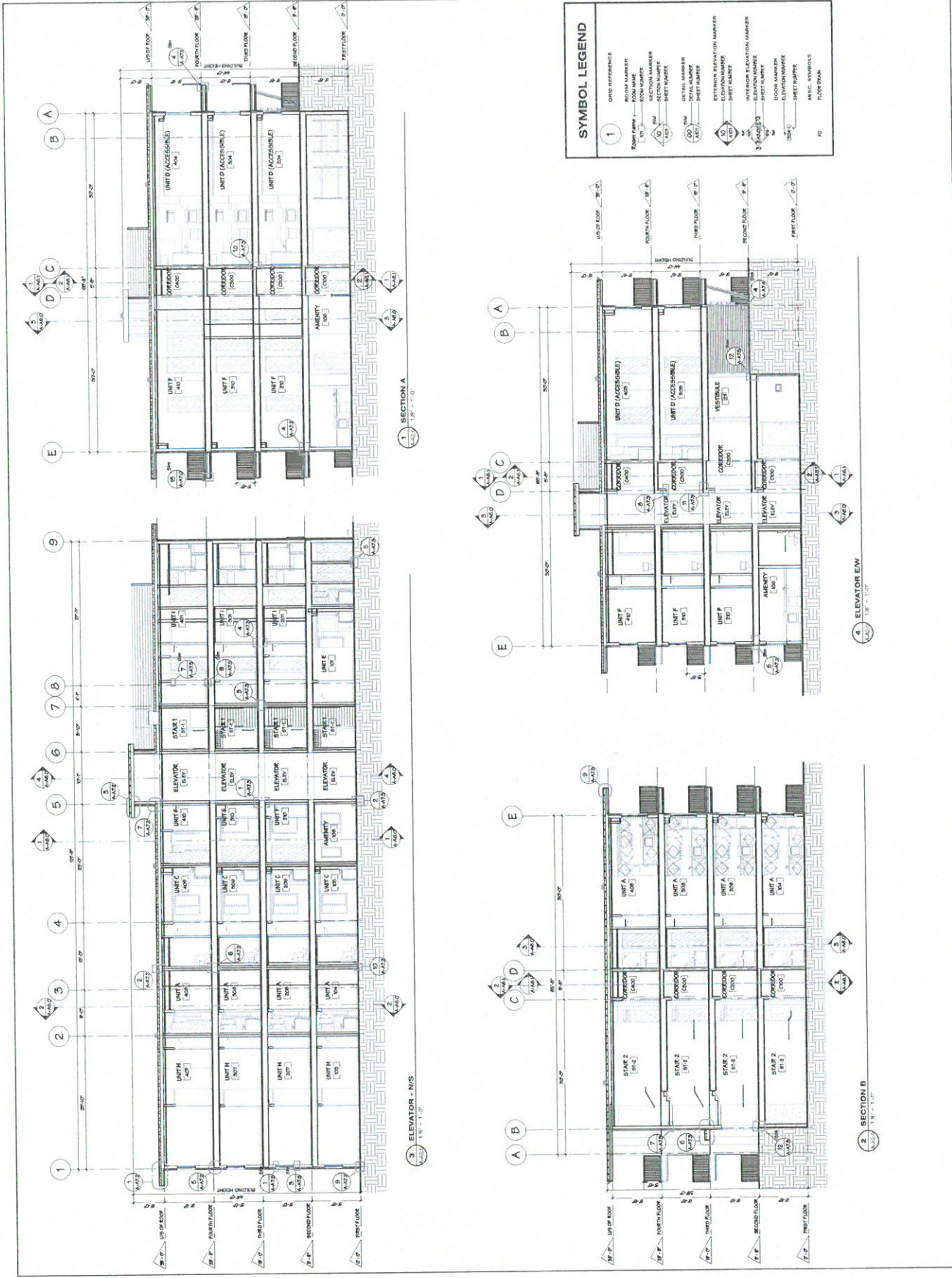
VOR 220, Toronto, BC

SECTIONS	
DATE	2020.02.26
BY	AS SHEDD
PROJECT	18044

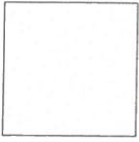
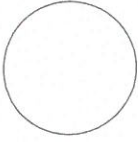
REVISIONS		
NO.	DATE	DESCRIPTION
1	2020.02.26	ISSUE FOR PERMIT
2	2020.02.26	REVISED PER COMMENTS
3	2020.02.26	REVISED PER COMMENTS
4	2020.02.26	REVISED PER COMMENTS
5	2020.02.26	REVISED PER COMMENTS
6	2020.02.26	REVISED PER COMMENTS
7	2020.02.26	REVISED PER COMMENTS
8	2020.02.26	REVISED PER COMMENTS
9	2020.02.26	REVISED PER COMMENTS
10	2020.02.26	REVISED PER COMMENTS



GRAVEN HUSTON POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9555 YOUNG ROAD, CHILMARK B.C. V2P 4S3 TEL: (604) 793-9445







**A - TOFINO AFFORDABLE & ATTAINABLE HOUSING**  
 VOR 220, Toronto, BC

**SECTIONS**

DATE	2020-02-26
BY	ARCHITECT
FOR	CLIENT
NO. OF SHEETS	18
TOTAL NO. OF SHEETS	18

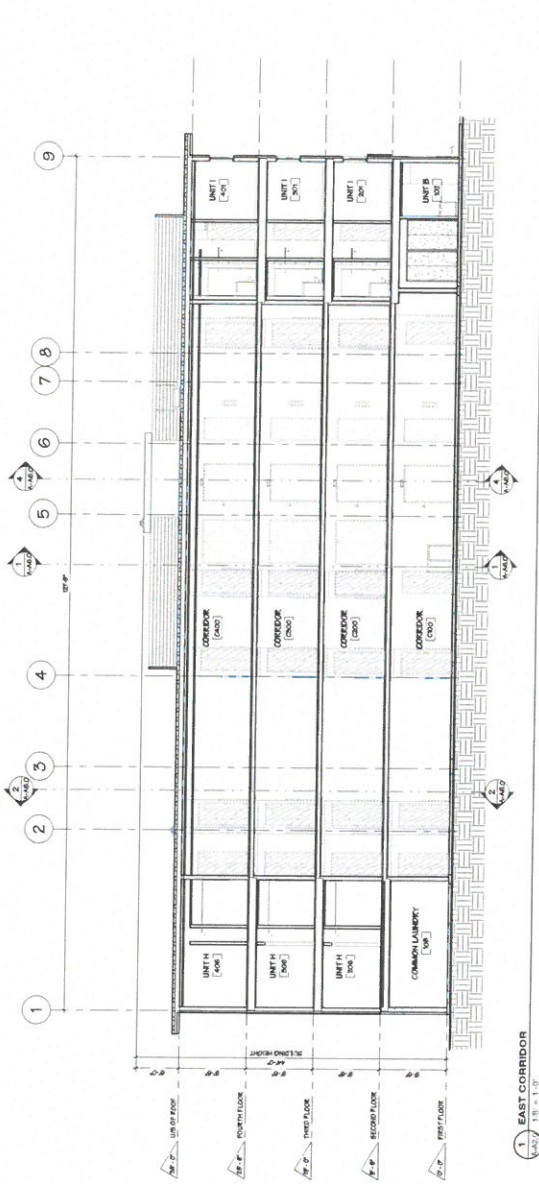
NO.	18044
DATE	2020-02-26
BY	ARCHITECT
FOR	CLIENT
NO. OF SHEETS	18
TOTAL NO. OF SHEETS	18



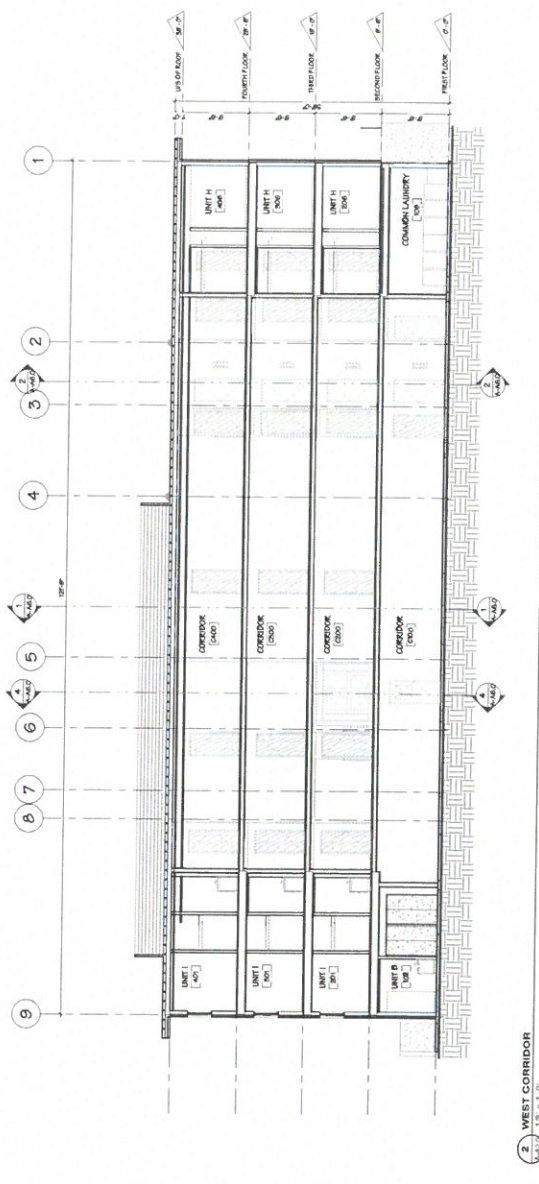
GRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK B.C. V2P 4S3 TEL: (604) 793-9445

**SYMBOL LEGEND**

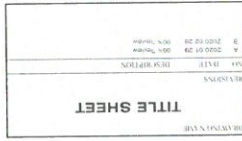
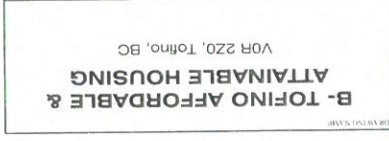
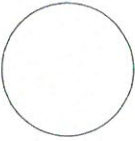
1	GRID REFERENCE
Room View	Room Number
Room Name	Room Name
Section Marker	Section Marker
Section Number	Section Number
Section Name	Section Name
Detail Marker	Detail Marker
Detail Number	Detail Number
Detail Name	Detail Name
Exterior Elevation Marker	Exterior Elevation Marker
Elevation Number	Elevation Number
Elevation Name	Elevation Name
Interior Elevation Marker	Interior Elevation Marker
Elevation Number	Elevation Number
Elevation Name	Elevation Name
Door Marker	Door Marker
Door Number	Door Number
Door Name	Door Name
Window Marker	Window Marker
Window Number	Window Number
Window Name	Window Name
Stair Symbol	Stair Symbol
Floor Drain	Floor Drain



**1 EAST CORRIDOR**  
 1/8" = 1'-0"



**2 WEST CORRIDOR**  
 1/8" = 1'-0"



GRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK, B.C. V2P 4S3 TEL: (604) 793-9445

# TOFINO AFFORDABLE & ATTAINABLE HOUSING - BUILDING B

DL 114, VOR 220, TOFINO, BC

**CONSTRUCTION MANAGER**  
 SAYWELL CONTRACTING LTD.  
 2599 McCullough Road  
 Nanaimo, B.C. V9S 4V9  
 Tel: (250) 725-0157  
 Contact: Travis Newadomy

**OWNER**  
 CATALYST COMMUNITY DEVELOPMENTS SOCIETY  
 60 - 488, Campbell Street  
 Vancouver, B.C. V6B 6E3  
 Tel: (604) 312-5835  
 Contact: Robin Pahn



## ARCHITECTURAL

GRAVEN | HUSTON | POWERS ARCHITECTS  
 9355 Young Road  
 Chilliwack, B.C. V2P 4S3  
 Tel: (604) 793-9445  
 Fax: (604) 793-9446  
 Contact: Justin Dyck, Architect AIBC

### ARCHITECTURAL DRAWING LIST

- B-A00 TITLE SHEET
- B-A01 BUILDING EXTERIOR ELEVATIONS
- B-A02 CONSTRUCTION ASSEMBLIES
- B-A03 SITE PLAN
- B-A04 FIRST FLOOR DETAILS
- B-A05 SECOND FLOOR PLAN
- B-A06 THIRD FLOOR PLAN
- B-A07 UNLARGED UNIT PLANS/01
- B-A08 UNLARGED UNIT PLANS/02
- B-A09 UNLARGED UNIT PLANS/03
- B-A10 UNLARGED UNIT PLANS/04
- B-A11 UNLARGED UNIT PLANS/05
- B-A12 UNLARGED UNIT PLANS/06
- B-A13 UNLARGED UNIT PLANS/07
- B-A14 UNLARGED UNIT PLANS/08
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- B-A04 UNLARGED UNIT PLANS/98
- B-A05 UNLARGED UNIT PLANS/99
- B-A06 UNLARGED UNIT PLANS/100

## STRUCTURAL

READ JONES CHRISTOFFERSEN LTD.  
 300 - 1285 West Broadway  
 Vancouver, B.C. V6H 3X3  
 Tel: (604) 738-0048  
 Contact: Leon Platt, P. Eng, Struct. Eng

### STRUCTURAL DRAWING LIST

- B-S01 STRUCTURAL COVER
- B-S02 STRUCTURAL COVER
- B-S03 STRUCTURAL COVER
- B-S04 STRUCTURAL COVER
- B-S05 STRUCTURAL COVER
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- B-S50 STRUCTURAL COVER

## MECHANICAL

AME GROUP  
 200 - 638 Smith Street  
 Vancouver, B.C. V6B 1E3  
 Tel: (604) 694-9995  
 Contact: Reza Mousavizadeh, P. Eng, ChPD

### MECHANICAL DRAWING LIST

- B-M01 MECHANICAL COVER
- B-M02 MECHANICAL COVER
- B-M03 MECHANICAL COVER
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- B-M50 MECHANICAL COVER

## ELECTRICAL

AES ENGINEERING  
 500 - 3785 Conroy Road  
 Vancouver, B.C. V6E 4E6  
 Tel: (604) 940-3495  
 Contact: Guru Mahli, B. Eng.

### ELECTRICAL DRAWING LIST

- B-E01 ELECTRICAL COVER
- B-E02 ELECTRICAL COVER
- B-E03 ELECTRICAL COVER
- B-E04 ELECTRICAL COVER
- B-E05 ELECTRICAL COVER
- B-E06 ELECTRICAL COVER
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- B-E50 ELECTRICAL COVER

## CIVIL

MCELHANNY  
 1 - 1551 Estevan Road  
 Nanaimo, B.C. V9S 3V3  
 Tel: (250) 716-3336  
 Contact: Todd S. Wilson, P. Eng.

### CIVIL DRAWING LIST

- B-C01 CIVIL COVER
- B-C02 CIVIL COVER
- B-C03 CIVIL COVER
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- B-C50 CIVIL COVER

## GEOTECH

MCELHANNY  
 1 - 1551 Estevan Road  
 Nanaimo, B.C. V9S 3V3  
 Tel: (778) 762-0665  
 Contact: Bill Purdy, M. Sc., P. Eng.

### GEOTECH DRAWING LIST

- B-G01 GEOTECH COVER
- B-G02 GEOTECH COVER
- B-G03 GEOTECH COVER
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## BUILDING ENVELOPE & ENERGY

BC BUILDING SCIENCE LTD.  
 611 Best Court  
 New Westminster, B.C. V3M 1V3  
 Tel: (604) 826-6456  
 Contact: Chad Cranewick

### BUILDING ENVELOPE & ENERGY DRAWING LIST

- B-B01 BUILDING ENVELOPE & ENERGY COVER
- B-B02 BUILDING ENVELOPE & ENERGY COVER
- B-B03 BUILDING ENVELOPE & ENERGY COVER
- B-B04 BUILDING ENVELOPE & ENERGY COVER
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- B-B49 BUILDING ENVELOPE & ENERGY COVER
- B-B50 BUILDING ENVELOPE & ENERGY COVER

## FIRE SUPPRESSION

MURDOCH DE GREEFF INC.  
 200 - 505, 60th Ave. North  
 City, B.C. V6B 2A9  
 Tel: (604) 412-2891  
 Contact: Scott Murdoch

### FIRE SUPPRESSION DRAWING LIST

- B-F01 FIRE SUPPRESSION COVER
- B-F02 FIRE SUPPRESSION COVER
- B-F03 FIRE SUPPRESSION COVER
- B-F04 FIRE SUPPRESSION COVER
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- B-F07 FIRE SUPPRESSION COVER
- B-F08 FIRE SUPPRESSION COVER
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- B-F44 FIRE SUPPRESSION COVER
- B-F45 FIRE SUPPRESSION COVER
- B-F46 FIRE SUPPRESSION COVER
- B-F47 FIRE SUPPRESSION COVER
- B-F48 FIRE SUPPRESSION COVER
- B-F49 FIRE SUPPRESSION COVER
- B-F50 FIRE SUPPRESSION COVER

## LANDSCAPE

MURDOCH DE GREEFF INC.  
 200 - 505, 60th Ave. North  
 City, B.C. V6B 2A9  
 Tel: (250) 412-2891  
 Contact: Scott Murdoch

### LANDSCAPE DRAWING LIST

- B-L01 LANDSCAPE COVER
- B-L02 LANDSCAPE COVER
- B-L03 LANDSCAPE COVER
- B-L04 LANDSCAPE COVER
- B-L05 LANDSCAPE COVER
- B-L06 LANDSCAPE COVER
- B-L07 LANDSCAPE COVER
- B-L08 LANDSCAPE COVER
- B-L09 LANDSCAPE COVER
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- B-L50 LANDSCAPE COVER

GRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK, B.C. V2P 4S3 TEL: (604) 793-9445

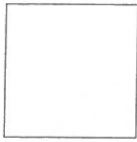
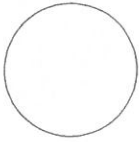












B- TOFINO AFFORDABLE &  
ATTAINABLE HOUSING  
VR 220, Tofino, BC

**SECOND FLOOR PLAN**

DATE: 2020.02.25  
PROJECT: B-TOFINO AFFORDABLE & ATTAINABLE HOUSING

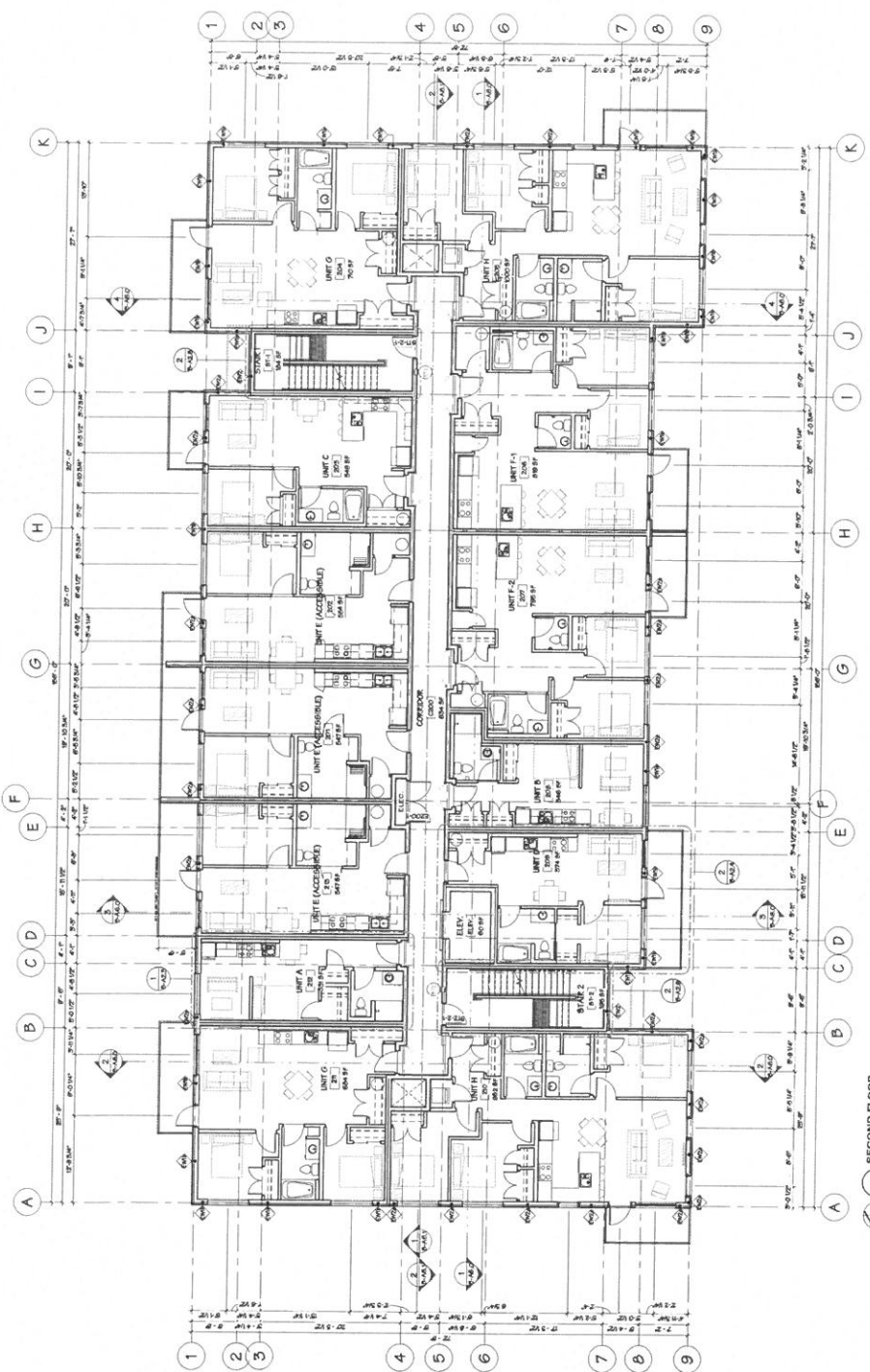
NO. 18044
DATE: 2020.02.25
PROJECT: B-TOFINO AFFORDABLE & ATTAINABLE HOUSING
DATE: 2020.02.25
PROJECT: B-TOFINO AFFORDABLE & ATTAINABLE HOUSING
DATE: 2020.02.25
PROJECT: B-TOFINO AFFORDABLE & ATTAINABLE HOUSING



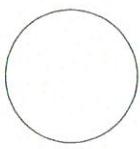
9555 YOUNG ROAD, CHILLIWACK B.C. V2P 4S3 TEL: (604) 793-9445  
GRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE

**SYMBOL LEGEND**

1	GRID REFERENCE
2	ROOM MARKER
3	ROOM NAME
4	DOOR MARKER
5	DOOR NAME
6	SECTION MARKER
7	SECTION NAME
8	DETAIL MARKER
9	DETAIL NAME
10	EXTERIOR ELEVATION MARKER
11	EXTERIOR ELEVATION NAME
12	INTERIOR ELEVATION MARKER
13	INTERIOR ELEVATION NAME
14	FLOOR MARKER
15	FLOOR NAME
16	ELEVATION NUMBER
17	SHEET NUMBER
18	MISC. SYMBOLS
19	FLOOR PLAN



1 SECOND FLOOR  
1/8" = 1'-0"



# B-TOPINO AFFORDABLE & VOR 220, Torino, BC

## THIRD FLOOR PLAN

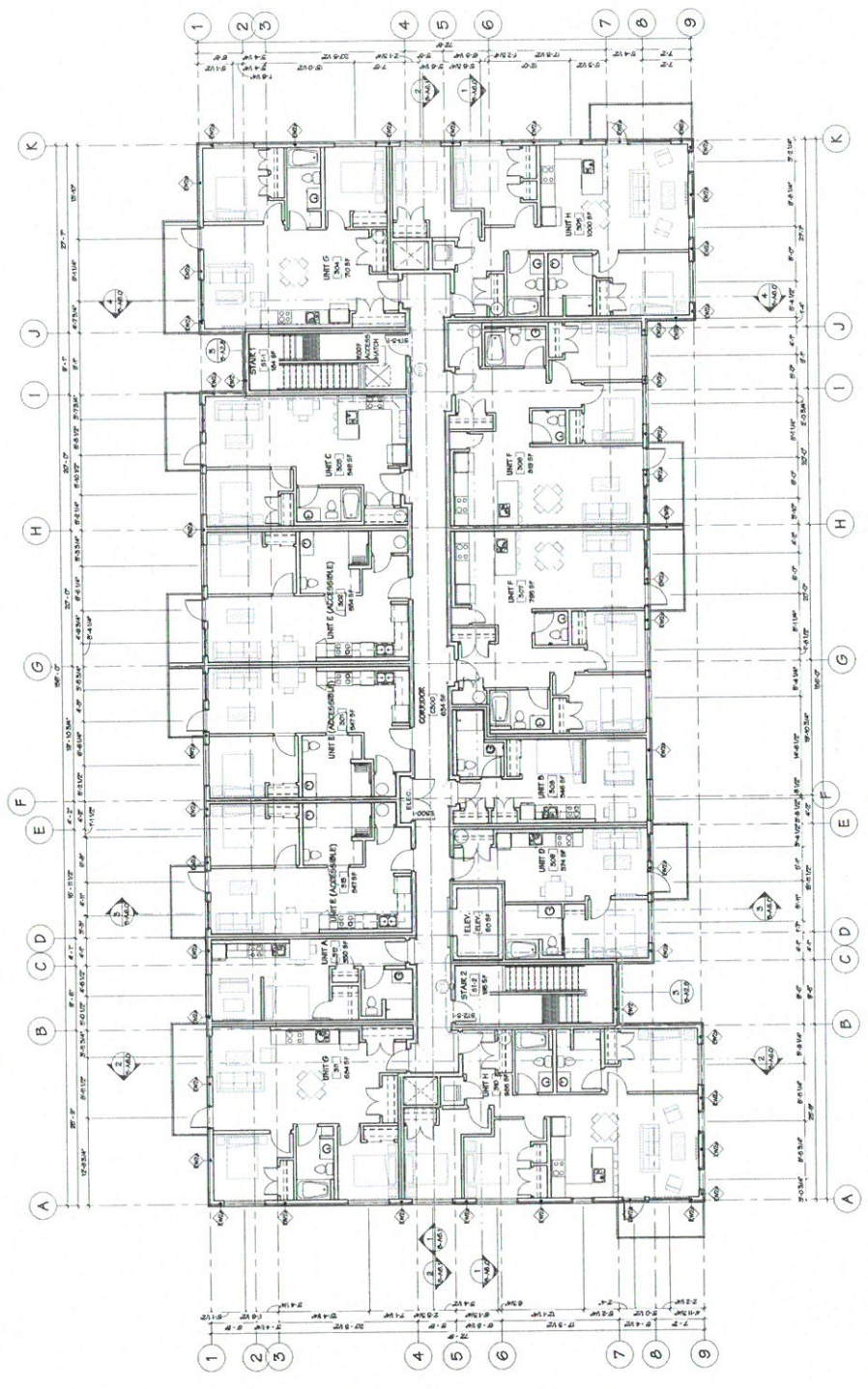
DATE	2020.02.25
BY	ARCHITECT
NO.	18044



GRAVEN HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK, B.C. V2P 4S3 TEL: (604) 793-9445

### SYMBOL LEGEND

1	GRID REFERENCE
2	ROOM NUMBER
3	ROOM NUMBER
4	ELEVATION MARKER
5	ELEVATION MARKER
6	ELEVATION MARKER
7	ELEVATION MARKER
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99	ELEVATION MARKER
100	ELEVATION MARKER



1 THIRD FLOOR  
1/8" = 1'-0"  
NORTH











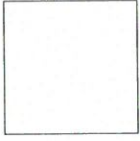
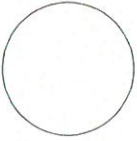












**B-TOFINO AFFORDABLE & ATTAINABLE HOUSING**  
 VOR 220, Toftino, BC

**ROOF PLAN**

DATE: 2020.02.26  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]

PROJECT: 18044  
 SHEET: AS-100-ROOF  
 DATE: 2020.02.26  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]

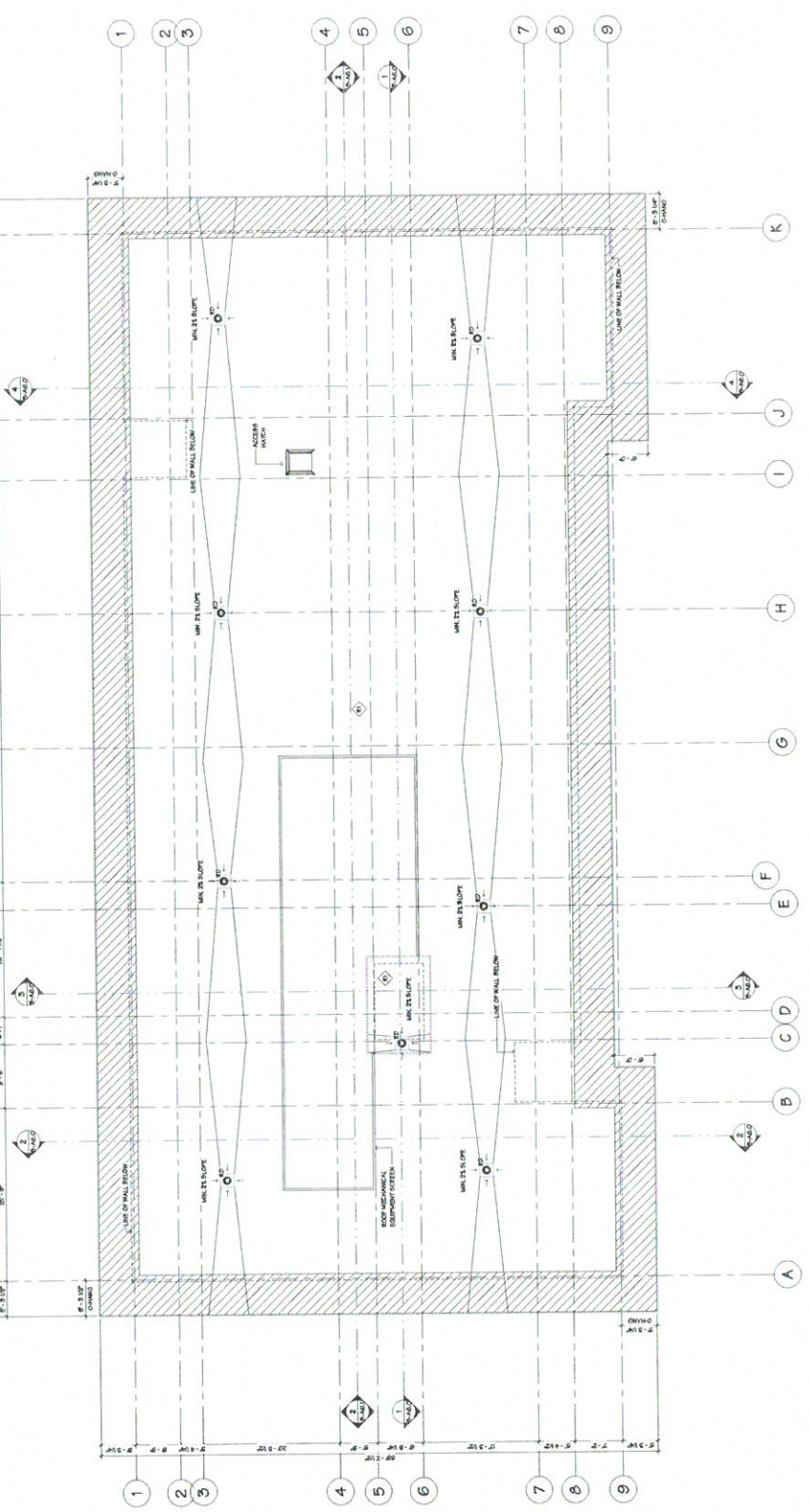


GRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK B.C. V2P 4S3 TEL: (604) 793-9445

SYMBOL LEGEND	
1	GRID REFERENCE
2	ROOM MARKER
3	SECTION MARKER
4	DETAIL MARKER
5	ELEVATION MARKER
6	EXTERIOR MARKER
7	FLOOR PLAN

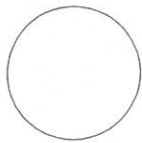
**GENERAL ROOF NOTES**

- ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- ALL ROOF ASSEMBLIES TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION AND MAINTENANCE MANUALS.
- ALL ROOF ASSEMBLIES TO MEET MANUFACTURER'S CRITICAL SLOPE REQUIREMENTS TO PREVENT WATER PENETRATION.
- ALL ROOF ASSEMBLIES TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION AND MAINTENANCE MANUALS.
- ALL ROOF ASSEMBLIES TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION AND MAINTENANCE MANUALS.
- ALL ROOF ASSEMBLIES TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION AND MAINTENANCE MANUALS.



1 ROOF PLAN  
 1:12  
 NORTH





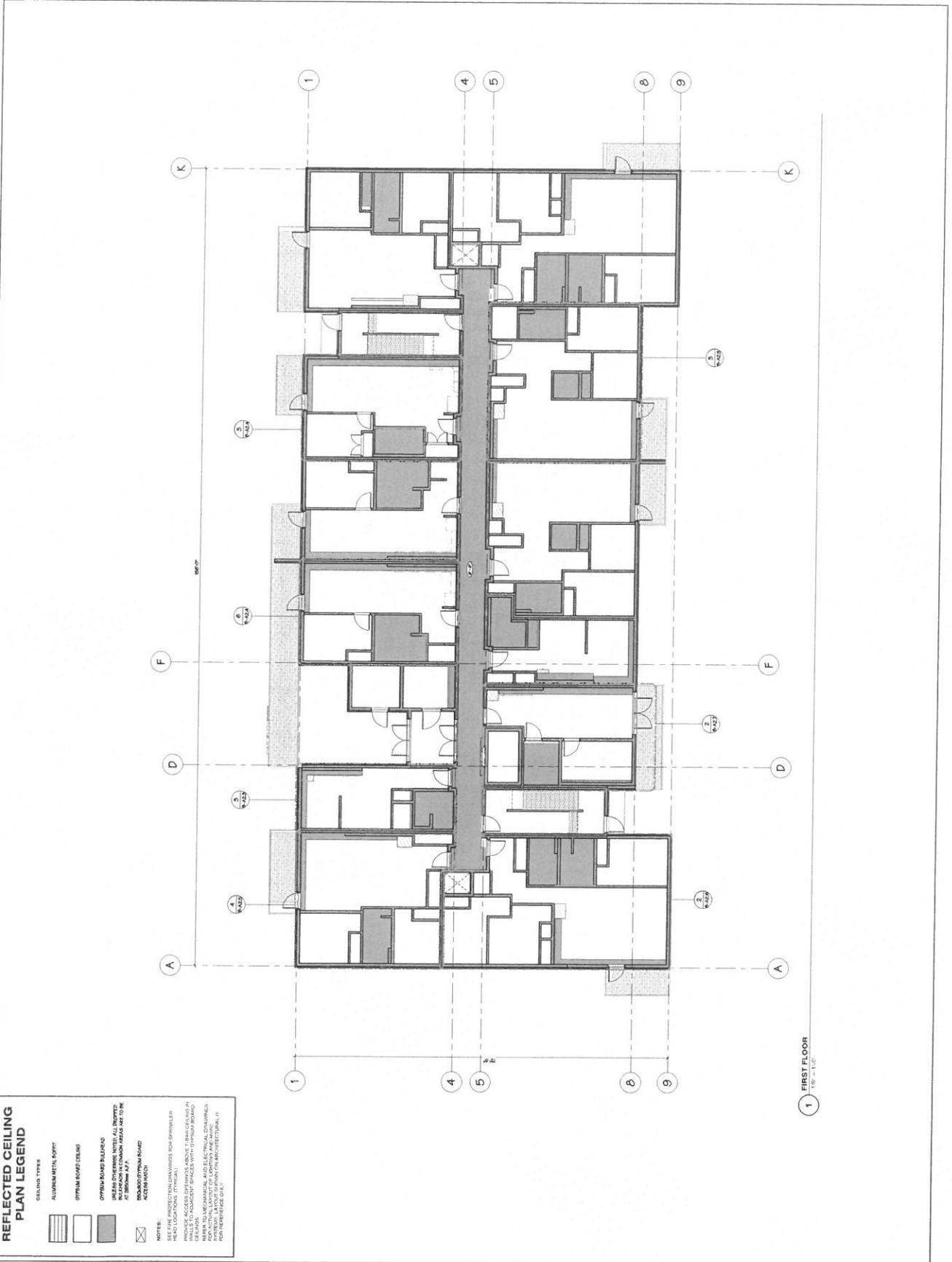
**B-TOPINO AFFORDABLE & ATTAINABLE HOUSING**  
 VOR 220, Tolino, BC

**OVERALL REFLECTED CEILING PLAN - LEVEL 1**

NO. 18048	DATE: 2020.02.26
PROJECT: Affordable Housing	DESIGNER: GRAVEN   HUSTON   POWERS ARCHITECTS
CLIENT: BC Housing	LOCATION: VOR 220, Tolino, BC
SCALE: 1/8" = 1'-0"	DATE: 2020.02.26



GRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK B.C. V2P 4S3 TEL: (604) 793-9445



**REFLECTED CEILING PLAN LEGEND**

CEILING TYPES

- ALUMINUM METAL BOFFET
- OPTIMAL BOUND CEILING
- OPTIMAL BOUND BALCONY
- OPTIMAL BOUND

NOTES:

- 1. PROVIDE ACCESS DIFFERENCES ABOVE 8'-0" BALCONY CEILING TYPE
- 2. PROVIDE ACCESS DIFFERENCES ABOVE 8'-0" BALCONY CEILING TYPE
- 3. PROVIDE ACCESS DIFFERENCES ABOVE 8'-0" BALCONY CEILING TYPE
- 4. PROVIDE ACCESS DIFFERENCES ABOVE 8'-0" BALCONY CEILING TYPE
- 5. PROVIDE ACCESS DIFFERENCES ABOVE 8'-0" BALCONY CEILING TYPE
- 6. PROVIDE ACCESS DIFFERENCES ABOVE 8'-0" BALCONY CEILING TYPE
- 7. PROVIDE ACCESS DIFFERENCES ABOVE 8'-0" BALCONY CEILING TYPE
- 8. PROVIDE ACCESS DIFFERENCES ABOVE 8'-0" BALCONY CEILING TYPE
- 9. PROVIDE ACCESS DIFFERENCES ABOVE 8'-0" BALCONY CEILING TYPE
- 10. PROVIDE ACCESS DIFFERENCES ABOVE 8'-0" BALCONY CEILING TYPE
- 11. PROVIDE ACCESS DIFFERENCES ABOVE 8'-0" BALCONY CEILING TYPE
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- 14. PROVIDE ACCESS DIFFERENCES ABOVE 8'-0" BALCONY CEILING TYPE
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- 16. PROVIDE ACCESS DIFFERENCES ABOVE 8'-0" BALCONY CEILING TYPE
- 17. PROVIDE ACCESS DIFFERENCES ABOVE 8'-0" BALCONY CEILING TYPE
- 18. PROVIDE ACCESS DIFFERENCES ABOVE 8'-0" BALCONY CEILING TYPE
- 19. PROVIDE ACCESS DIFFERENCES ABOVE 8'-0" BALCONY CEILING TYPE
- 20. PROVIDE ACCESS DIFFERENCES ABOVE 8'-0" BALCONY CEILING TYPE

**1 FIRST FLOOR**  
 1/8" = 1'-0"



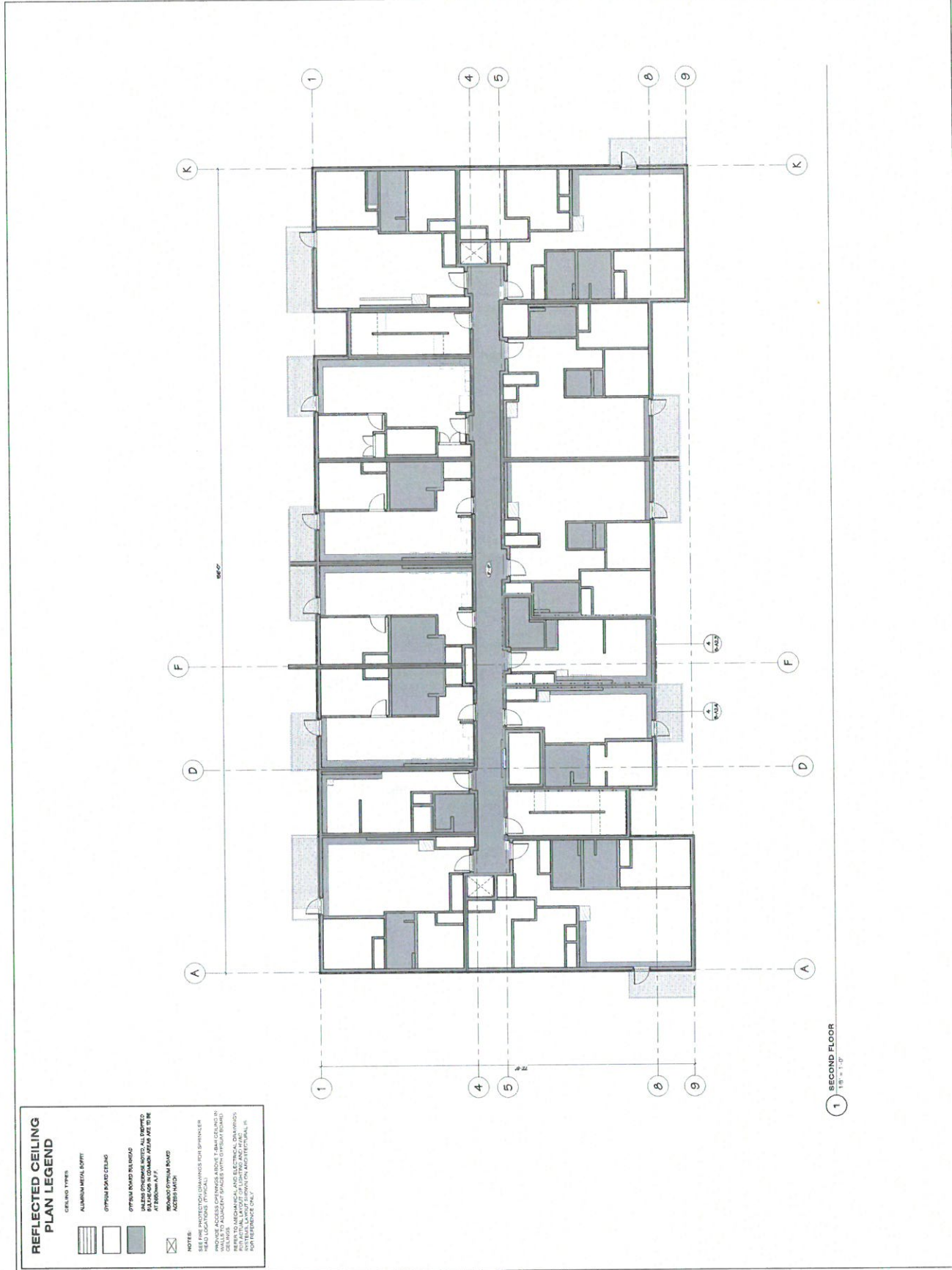
**B-TORINO AFFORDABLE & ATTAINABLE HOUSING**  
 VOR 220, Torino, BC

**OVERALL REFLECTED CEILING PLAN - LEVEL 2**

DATE	2020 02 26
SCALE	As indicated
NO. SHEET	19044



GRAVEN HUSTON POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK B.C. V2P 4S3 TEL: (604) 793-9445



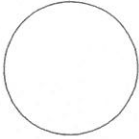
**REFLECTED CEILING PLAN LEGEND**

CEILING TYPES

- ALUMINUM METAL DECK
- GYPSUM BOARD CEILING
- GYPSUM BOARD BULKHEAD
- ACoustic PANELS

NOTE: THIS PLAN SHOWS CEILING HEIGHTS FOR SPRINKLER HEAD LOCATIONS (TYPICAL) AND FIRE EXTINGUISHER LOCATIONS. PROVIDE ACCESS OPENINGS ABOVE T-BANK CEILING IN ALL ROOMS AND SPACES WITH GYPSUM BOARD CEILING. PROVIDE ACCESS OPENINGS ABOVE T-BANK CEILING IN ALL ROOMS AND SPACES WITH GYPSUM BOARD CEILING. PROVIDE ACCESS OPENINGS ABOVE T-BANK CEILING IN ALL ROOMS AND SPACES WITH GYPSUM BOARD CEILING. PROVIDE ACCESS OPENINGS ABOVE T-BANK CEILING IN ALL ROOMS AND SPACES WITH GYPSUM BOARD CEILING.

1 SECOND FLOOR  
 1/8" = 1'-0"



**B-TOTINO AFFORDABLE & ATTAINABLE HOUSING**  
 VOR 220, Totino, BC

**OVERALL REFLECTED CEILING PLAN - LEVEL 3**

PROJECT NO: 19044  
 DATE: As indicated  
 2020.02.26



GRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK B.C. V2P 4S3 TEL: (604) 793-9445



**REFLECTED CEILING PLAN LEGEND**

**CEILING TYPES**

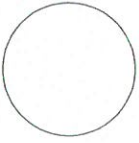
- ALUMINUM METAL SOFFIT
- GYPSUM BOARD CEILING
- GYPSUM BOARD BULKHEAD
- ACOUSTIC TILES

**NOTES:**

- SEE FIRE PROTECTION DRAWINGS FOR SPRINKLER HEAD LOCATIONS (SYMBOL)
- SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR WALL TO WALL SPACES WITH OPTIMUM READING HEIGHTS
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR SYSTEM LAYOUT (ELECTRICAL, MECHANICAL, AND PLUMBING)
- FOR REFERENCE ONLY

**1 THIRD FLOOR**  
 1/8" = 1'-0"





**B-TORINO AFFORDABLE & ATTAINABLE HOUSING**  
VOR 220, Torino, BC

**EXTERIOR ELEVATIONS**

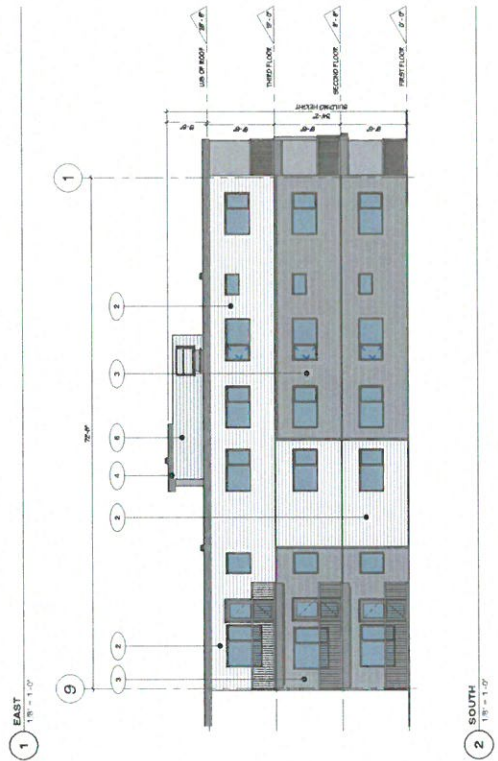
DATE: 2020.02.26  
SCALE: 1/8" = 1'-0"  
PROJECT: 18044

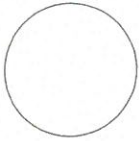


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**FINISH SCHEDULE**

1	FIRE CLAMPER BOARD	LVP SIDING	WOOD SHOE
2	FIRE CLAMPER BOARD	EXTERIOR BOARD	SMITH
3	FIRE CLAMPER BOARD	EXTERIOR BOARD	SMOKE GREY
4	ROOF FINISH		
5	GLASS COLUMN		
6	ROOF TOP FINISH		
7	FIRE CLAMPER BOARD	LVP SIDING	LIGHT GREY





**B-TORINO AFFORDABLE & ATTAINABLE HOUSING**  
 VOR 220, Torino, BC

**EXTERIOR ELEVATIONS**

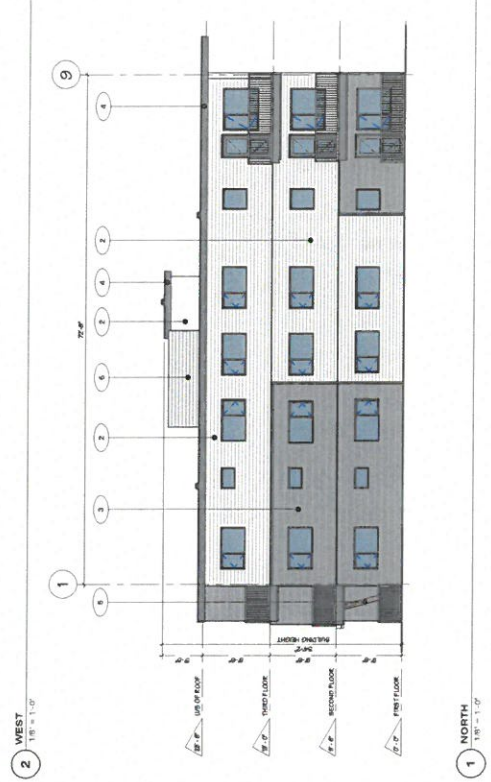
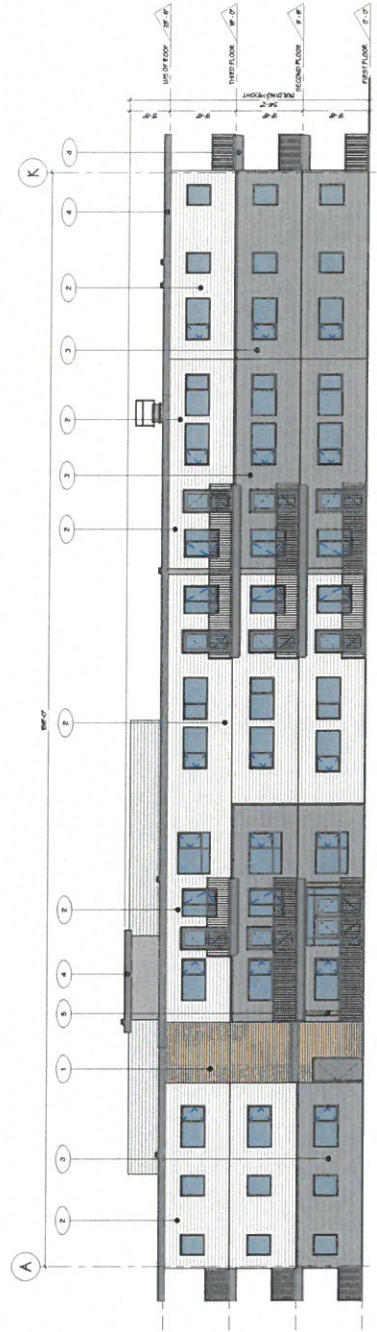
DATE	2020.02.28
BY	J.M.F. - J.C.F.
NO. NO.	19044



GRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK B.C. V2P 4S3 TEL: (604) 793-9445

**FINISH SCHEDULE**

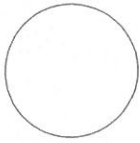
1	FINE CLAUDE BOARD	LVP FINISH	WOOD TONE
2	FINE CLAUDE BOARD	SATURATED WHITE	
3	FINE CLAUDE BOARD	SATURATED DARK GREY	
4	ROFFEL PLANT		
5	CLAUDE COLUMN		
6	ROOF TOP FENCE		
7	FINE CLAUDE BOARD	LVP FINISH	LIGHT GREY











**B-TOPINO AFFORDABLE &  
ATTAINABLE HOUSING**  
VOR 220, Toftno, BC

<b>SECTIONS</b>	
NO. 1	DATE
NO. 2	DATE
NO. 3	DATE
NO. 4	DATE
NO. 5	DATE

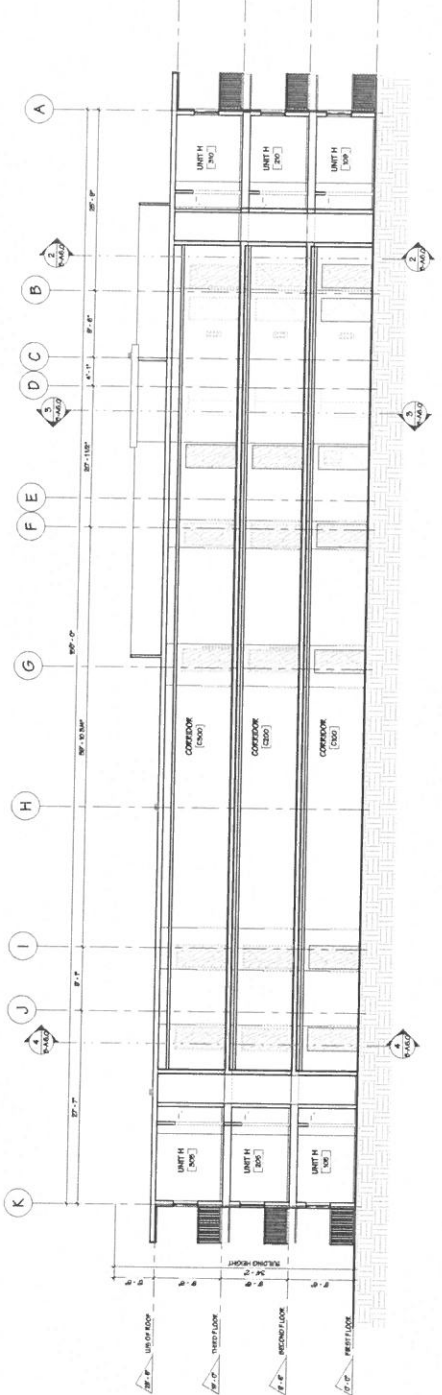
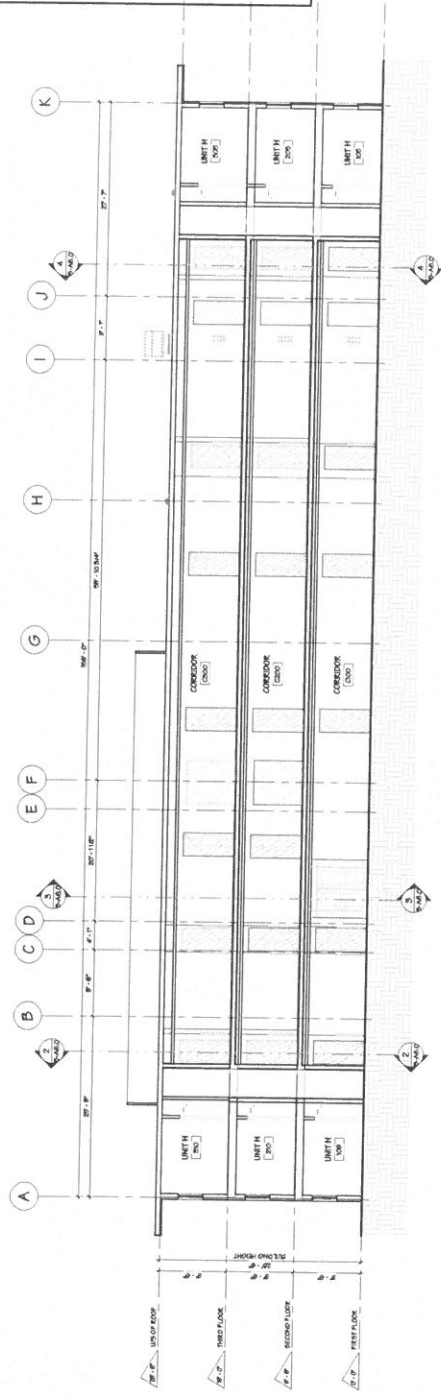
NO. 1	DATE
NO. 2	DATE
NO. 3	DATE
NO. 4	DATE
NO. 5	DATE



9355 YOUNG ROAD, CHILLIWACK B.C. V2P 4S3 TEL: (604) 793-9445  
 CRAVEN | HUSTON | POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE

**SYMBOL LEGEND**

1	GRID REFERENCE
2	ROOM MARKER
3	SECTION MARKER
4	SECTION NUMBER
5	SHEET NUMBER
6	DETAIL MARKER
7	DETAIL NUMBER
8	EXTENSION ELEVATION MARKER
9	EXTENSION ELEVATION NUMBER
10	EXTENSION ELEVATION SHEET NUMBER
11	EXTENSION ELEVATION MARKER
12	EXTENSION ELEVATION NUMBER
13	EXTENSION ELEVATION SHEET NUMBER
14	ROOM MARKER
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50	ELEVATION NUMBER



## Schedule C – Capital Budget

<b>Development Proforma</b>			
<b>Development Characteristics</b>	<b>Lot Two (A)</b>	<b>Lot One (B)</b>	<b>Sub Totals</b>
	<b>47.56%</b>	<b>52.44%</b>	
Gross Site Area			
FSR	860970	949410	
Gross Buildable Area (GBA)	28,699.00	31,647.00	
Units	35	37	72.00
Buildable / Unit	819.9714286	855.3243243	1,675.30
Efficiency	74%	80%	
Net Area	21,333.00	25,265.00	46,598.00
Net Buildable / Unit	609.5142857	682.8378378	
<b>2.0 Land</b>			
Land Purchase Price			
Property Transfer Tax			\$ 34,307
Legal (Purchase & Sale)	0%		\$ -
<b>Total Land Costs</b>			\$ 34,307
<b>2.0 Construction (Hard Costs)</b>			
	<b>Lot Two (A)</b>	<b>Lot One (B)</b>	
Road Cost			\$ 892,900
Building Hard Costs	\$ 6,703,481	\$ 6,707,650	\$ 13,411,131
Construction Insurance			\$ 268,223
Contingency			\$ 1,341,113.10
Escalation Contingency			\$ 201,166.97
Construction Bonding			\$ -
			\$ -
<b>Total Hard Costs</b>			\$ 16,114,533.69
<b>3.0 Construction (Soft Costs)</b>			
Acoustics			\$ 10,000
Arborist			\$ -
Architect	4%		\$ 567,329
BC Hydro Design			\$ 50,000
Building Envelope			\$ 70,100
Civil			\$ 150,000
Pre-Construction Costing			\$ 20,000
Cp Code Consultant			\$ -
Electrical			\$ 38,000
Energy Modeling			\$ 23,300
Environmental			\$ 30,000
Geotechnical Engineer			\$ 70,000
Interior Design			\$ 40,000
Landscape Architect			\$ 50,000
LEED Green Building Sustainability			\$ -
Mechanical Engineer			\$ 60,000
Model Maker			\$ -
Planner			\$ 115,000
Quantity Surveyor			\$ 30,000
Sprinkler Engineers			\$ -
Structural Engineer			\$ 67,500



Surveyor Subdivision Topographic Strata			\$	24,000
Traffic Consultant			\$	20,000
Security Consultant			\$	-
Unit Surveys			\$	30,000
Disbursements			\$	100,000
Total Consultants Cost			\$	1,565,229.00
<b>4.0 Municipal Costs</b>				
Building Permit Fee	1000	\$ 7,872	\$	70,967
Development Permit Fee			\$	300
DCC (Residential)	per m2	\$ 8.61	\$	519,875
Property Taxes			\$	50,000
Rezoning Fee			\$	2,000
Total Municipal			\$	643,142.28
<b>5.0 Legal Costs</b>				
General			\$	100,000
Total Legal Costs			\$	100,000.00
<b>6.0 Marketing Costs</b>				
General Marketing Costs			\$	25,000
Total Marketing and Commission			\$	25,000.00
<b>7.0 Financing Costs</b>				
Draw Inspections (including BCH QS)			\$	40,000
Appraisal			\$	20,000
Insurance Review Fee			\$	2,000
Lender Fee			\$	107,731
Lenders Legal			\$	15,000
Discharge Fee			\$	500
Construction Loan Interest			\$	242,395
Mortgage insurance Fee (BCH)			\$	5,000
Total Financing			\$	432,625.42
<b>8.0 Additional Costs</b>				
Accounting Costs			\$	10,000
Catalyst Development Management Fee			\$	537,130
Income Stabilization Period			\$	73,885
Residential Lease-Up Fee			\$	36,000
GST Residential	3.20%		\$	251,901
Total Soft Cost Contingency	10%		\$	329,229
BCH Inspection Fees			\$	-
BCH Mechanical Peer Review			\$	10,000
BCH Maintenance and Renewal Plan			\$	15,000
Common Area Furnishings			\$	35,000
Total Other Costs			\$	1,298,144.50
<b>9.0 Total Cost</b>				<b>\$20,212,981.49</b>