

CONDOMINIUM SUBDIVISION PLAN

579

WAYNE COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 579 EXHIBIT "B" TO THE MASTER DEED OF MORGAN CREEK CONDOMINIUMS CANTON TOWNSHIP, WAYNE COUNTY, MICHIGAN.

DESCRIPTION OF PROPERTY

PART OF THE NW1/4 OF SECTION 23, T2S, R8E, CANTON TOWNSHIP, WAYNE COUNTY, MICHIGAN, DESCRIBED AS:
COMMENCING AT THE NW CORNER OF SECTION 23; THENCE N89°23'53"E 60.00 FEET ALONG THE NORTH SECTION
LINE AND CENTERLINE OF CHERRY HILL ROAD (60 FOOT HALF WIDTH) FOR A POINT OF BEGINNING; THENCE
CONTINUING N89°23'53"E 108.55 FEET; THENCE S00°29'56"E 158.87 FEET; THENCE S44°48'02"E 35.00 FEET;
THENCE S00°29'56"E 271.98 FEET; THENCE N89°30'04"E 146.72 FEET; THENCE 63.73 FEET ALONG THE ARC OF
A 38.00 FOOT RADIUS CURVE TO THE LEFT, A CENTRAL ANGLE OF 96°05'50" AND A CHORD BEARING
N41°27'09"E 56.52 FEET; THENCE N06°35'46"W 229.26 FEET; THENCE 61.75 FEET ALONG THE ARC OF A 200.00
FOOT RADIUS CURVE TO THE RIGHT, A CENTRAL ANGLE OF 17°41'28" AND A CHORD BEARING N02°14'58"E 61.51
FEET TO A POINT OF REVERSE CURVATURE; THENCE 25.55 FEET ALONG THE ARC OF A 150.00 FOOT RADIUS
CURVE TO THE LEFT, A CENTRAL ANGLE OF 09°45'30" AND A CHORD BEARING N06°12'57"E 25.52 FEET; THENCE
N01°20'12"E 99.52 FEET TO THE NORTH SECTION LINE AND CENTERLINE OF CHERRY HILL ROAD (60 FOOT HALF
WIDTH); THENCE N89°23'53"E 67.04 FEET ALONG THE NORTH SECTION LINE AND CENTERLINE OF CHERRY HILL
ROAD (60 FOOT HALF WIDTH); THENCE S01°20'12"W 77.95 FEET; THENCE 78.30 FEET ALONG THE ARC OF A
150.00 FOOT RADIUS CURVE TO THE RIGHT, A CENTRAL ANGLE OF 29°54'26" AND A CHORD BEARING
S16°17'25"W 77.41 FEET; THENCE S31°14'38"W 32.84 FEET; THENCE 33.02 FEET ALONG THE ARC OF A 50.00
FOOT RADIUS CURVE TO THE LEFT, A CENTRAL ANGLE OF 37°50'24" AND A CHORD BEARING S12°19'26"W 32.42
FEET; THENCE S06°35'46"E 201.36 FEET; THENCE 103.99 FEET ALONG THE ARC OF A 62.00 FOOT RADIUS
CURVE TO THE RIGHT, A CENTRAL ANGLE OF 96°05'50" AND A CHORD BEARING S41°27'09"W 92.22 FEET;
THENCE S89°30'04"W 231.72 FEET; THENCE 23.56 FEET ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE
TO THE LEFT, A CENTRAL ANGLE OF 90°00'00" AND A CHORD BEARING S44°30'04"W 21.21 FEET; THENCE
S89°30'04"W 33.00 FEET TO THE EAST RIGHT OF WAY LINE OF MORTON-TAYLOR ROAD (60 FOOT HALF WIDTH
UNIMPROVED); THENCE N00°29'56"W 494.70 FEET ALONG THE EAST RIGHT OF WAY OF MORTON-TAYLOR ROAD (60
FOOT HALF WIDTH UNIMPROVED) TO THE NORTH SECTION LINE AND CENTERLINE OF CHERRY HILL ROAD (60
FOOT HALF WIDTH) AND TO THE POINT OF BEGINNING. CONTAINING 82489 SQUARE FEET OR 1.8937 ACRES,
MORE OR LESS.

SUBJECT TO ALL LAWFUL EASEMENTS, RESTRICTIONS, AND RIGHT-OF-WAYS OF RECORD AND ALL GOVERNMENT
LIMITATIONS.

ATTENTION: COUNTY REGISTER OF DEEDS
CONDOMINIUM SUBDIVISION PLANS SHALL BE NUMBERED
CONSECUTIVELY WHEN RECORDED BY THE REGISTER OF
DEEDS AND SHALL BE DESIGNATED WAYNE COUNTY
CONDOMINIUM SUBDIVISION PLAN NUMBER THIS
NUMBER MUST BE PROPERLY SHOWN ON THIS SHEET. SHEET
2 AND ON SHEET 3 IN THE SURVEYOR'S CERTIFICATE.

ENGINEERS & SURVEYORS

FAZAL KHAN & ASSOCIATES, INC.
42815 GARFIELD ROAD, SUITE 204
CLINTON TOWNSHIP, MI 48038
(810) 412-6811

DEVELOPER

MORGAN CREEK LLC.
29992 NORTHWESTERN HIGHWAY
SUITE A
FARMINGTON HILLS, MI 48334
(248) 737-3380

DATE	REVISIONS	BY

SHEET INDEX

- 1) TITLE SHEET
- 2) SURVEY & FLOODPLAIN PLAN
- 3) SURVEY & FLOODPLAIN PLAN
- 4) SITE PLAN
- 5) SITE PLAN
- 6) UTILITY PLAN
- 7) UTILITY PLAN
- 8) EASEMENT PLAN
- 9) EASEMENT PLAN
- 10) UNIT STYLE A3 - FOUNDATION & FIRST FLOOR PLAN
- 11) UNIT STYLE A3 - SECOND FLOOR PLAN & BUILDING SECTIONS
- 12) UNIT STYLE B3 - FOUNDATION & FIRST FLOOR PLAN
- 13) UNIT STYLE B3 - SECOND FLOOR PLAN & BUILDING SECTIONS
- 14) UNIT STYLE C3 - FOUNDATION & FIRST FLOOR PLAN
- 15) UNIT STYLE C3 - SECOND FLOOR PLAN & BUILDING SECTIONS
- 16) UNIT STYLE C3 - FOUNDATION & FIRST FLOOR PLAN
- 17) UNIT STYLE C3 - SECOND FLOOR PLAN & BUILDING SECTIONS
- 18) UNITS 1-7 - UNIT FOUNDATION AND OFFSET PLAN



Robert L. Higgins
PROPOSED
ROBERT L. HIGGINS P.S. 21570
11-15-00

1. ROBERT L. HARRIS, A PROFESSIONAL SURVEYOR, CONJUNCTION SUPERVISOR PLAT NO. _____, THE SURVEYOR PLAIN AND SIMPLE, REPRESENTS A SURVEY ON THE GRADUOS UNDER THE ACTS OF 1878, THAT THERE ARE NO EXISTING ENCROACHMENTS UPON THE LANDS AND PROPERTY OF THE UNITED STATES, THAT THE REQUIRED MONUMENTS AND IRONS HAVE BEEN LOCATED IN THE PUBLIC GRADUOS AS REQUIRED BY RULES PROMULGATED UNDER SECTION 142 OF ACT NOVEMBER 1878, THAT THE ACTS OF 1878, THAT THE ACCURACY OF THIS SURVEY IS PRIMA FACIE ASSURED BY THE RULES PROMULGATED UNDER SECTION 142 OF ACT NOVEMBER 1878, AS AMENDED, THAT THE SURVEY WAS PERMITTED ON SUPER PLAT OF ACCURACY OF 1 IN 66,662, THAT THE GRADUOS IS BEING LOCATED ON THE PUBLIC ACTS OF 1878, AS AMENDED.

ROBERT L. HARRIS, SURVEYOR
PROFESSIONAL NO. 21570

Robert L. Harris 11-15-00
DATE

11-15-60
DATE

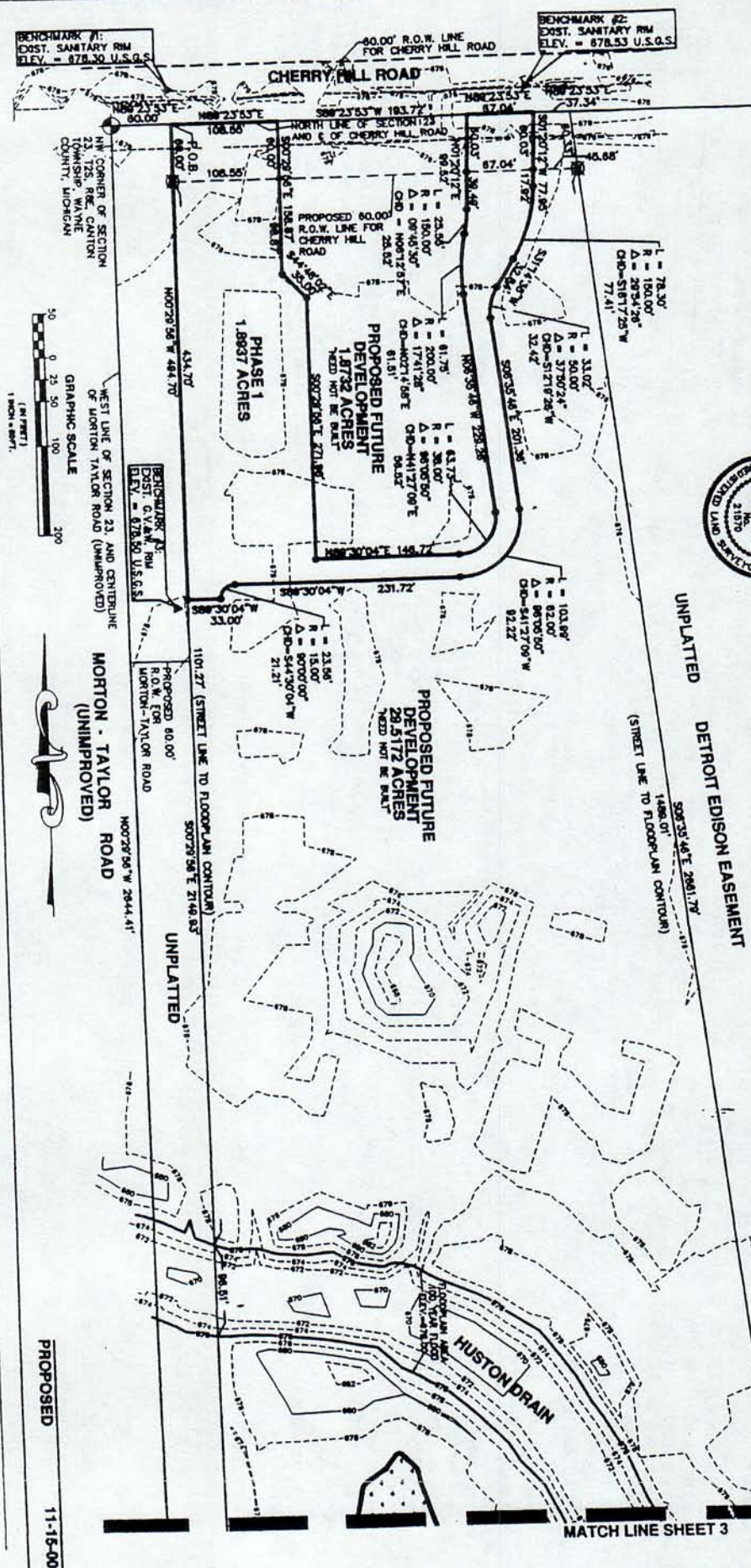
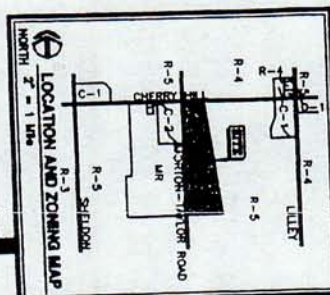
FAZUL, KHAM & ASSOCIATES, INC.
42815 CARRIED ROAD, SUITE 204
CLAYTON TOWNSHIP, INDIANA 48036



1. EXISTING SANITARY MANHOLE R/W ON THE NORTH SIDE OF CHERREY HILL ROAD, 25% WEST OF THE PROPOSED ELEVATION = 678.30 U.S.G.S. DATUM
2. EXISTING SANITARY MANHOLE R/W ON THE NORTH SIDE OF CHERREY HILL ROAD, 25% EAST OF THE PROPOSED ELEVATION = 678.35 U.S.G.S. DATUM
3. EXISTING WATER MAIN C&T W/IN AND WELL R/W LOCATION 500' S. OF THE CENTRELINE OF CHERREY HILL ROAD AND 100' S. OF THE CENTRELINE OF MORTON-TAYLOR ROAD. ELEVATION = 678.50 U.S.G.S. DATUM

— 600 —	CONTOUR LINE
P.O.B.	POINT OF BEGINNING
WETLAND LIMITS	
SECTION CORNER FOUND	
	CONCRETE MONUMENT SET (CONSISTING OF A 2'x2'x2' CEMENT STEEL MONUMENT PLACED IN A 4' DIAMETER CONCRETE CIRCULAR) 4' DIAMETER CONCRETE CIRCULAR
•	MAJOR BOUNDARY MONUMENT
▲	BEACHMARK

NOTE:
1100 YEAR FLOODPLAIN
ELEVATION 676.00 M.C.V.D.T.M.
FOR WICHMAN DEPARTMENT OF
ENVIRONMENTAL QUALITY
ESTABLISHED - MARCH 11, 1988
LSDO SERVICE #338603-152



[illegible]

RECORDATION NO. 27570
FAZAL MOHAM & ASSOCIATES, INC.
42815 GARFIELD ROAD, SUITE 204
CLINTON TOWNSHIP, MICHIGAN 48038

BEARING DATA ORIGINATES FROM THE PLAT OF "CHERRY HILL ORCHARD SUBDIVISION",
AS RECORDED IN LIBER 95 OF PLATS, PAGES 74, 75 AND 76, WARREN COUNTY RECORDS



1. EXISTING SANITARY MANHOLE RIM ON THE NORTH SIDE OF
CHERRY HILL ROAD, 340' E. WEST OF THE PROPOSED ERMHARDT
CENTRALLINE (JERSEAN DRIVE)
ELEVATION = 676.30 U.S.G.S. DATUM

2. EXISTING SANITARY MANHOLE RIM ON THE NORTH SIDE OF
CHERRY HILL ROAD, 22.5' EAST OF THE PROPOSED ERMHARDT
CENTRALLINE (JERSEAN DRIVE)
ELEVATION = 676.53 U.S.G.S. DATUM

3. EXISTING WATER MAIN GATE VALVE AND WELL RIM LOCATION
45.3' EAST OF THE CENTRALLINE OF GORDON-LANIER ROAD AND
500' S. SOUTH OF THE CENTRALLINE OF GORDON-LANIER ROAD
ELEVATION = 678.50 U.S.G.S. DATUM

UNPLATTED
DETROIT EDISON EASEMENT
S08.35 46° E 2861.7'

880— CONT'D. JMC

— P. O. B.

WETLAND LIMITS

SECTION CORNER POINT

CONCRETE MONUMENT SET
(CONSTITUTE OF A 1/2" DIAMETER
STEEL REE. 3' IN. DIAMETER IN A
1/2" DIAMETER CONCRETE CULVERT)

WETLAND BOUNDARY MONUMENT

MONUMENT

NOTE:
100 YEAR FLOODPLAIN
ELEVATION STAGE N.G.V.D. DATA
FOR MISSOURI DEPARTMENT OF
HYDROLOGICAL QUALITY
ESTABLISHED - MARCH 11, 1988
MOQ SERVICE #28805-152

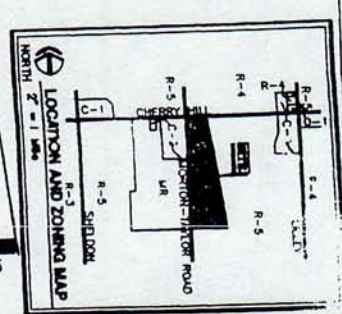
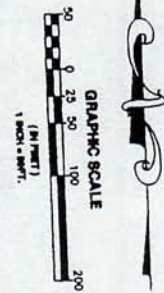
PROPOSED 11-15-00

NOTE: SEE FLOOR PLAN FOR UNIT TYPES AND DEPENDENT QUANTITIES. ESTIMATED - JANUARY 11, 1988. MOORE SERVICE - 380-1132

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
DEPOTS UNIT NUMBER	DEPOTS UNIT TYPE	DEPOTS REVERSE FLOOR PLAN	DEPOTS COORDINATE POINT	DEPOTS DECK AREA	DEPOTS DRIVEWAY												

SCHEDULE OF COORDINATE POINTS

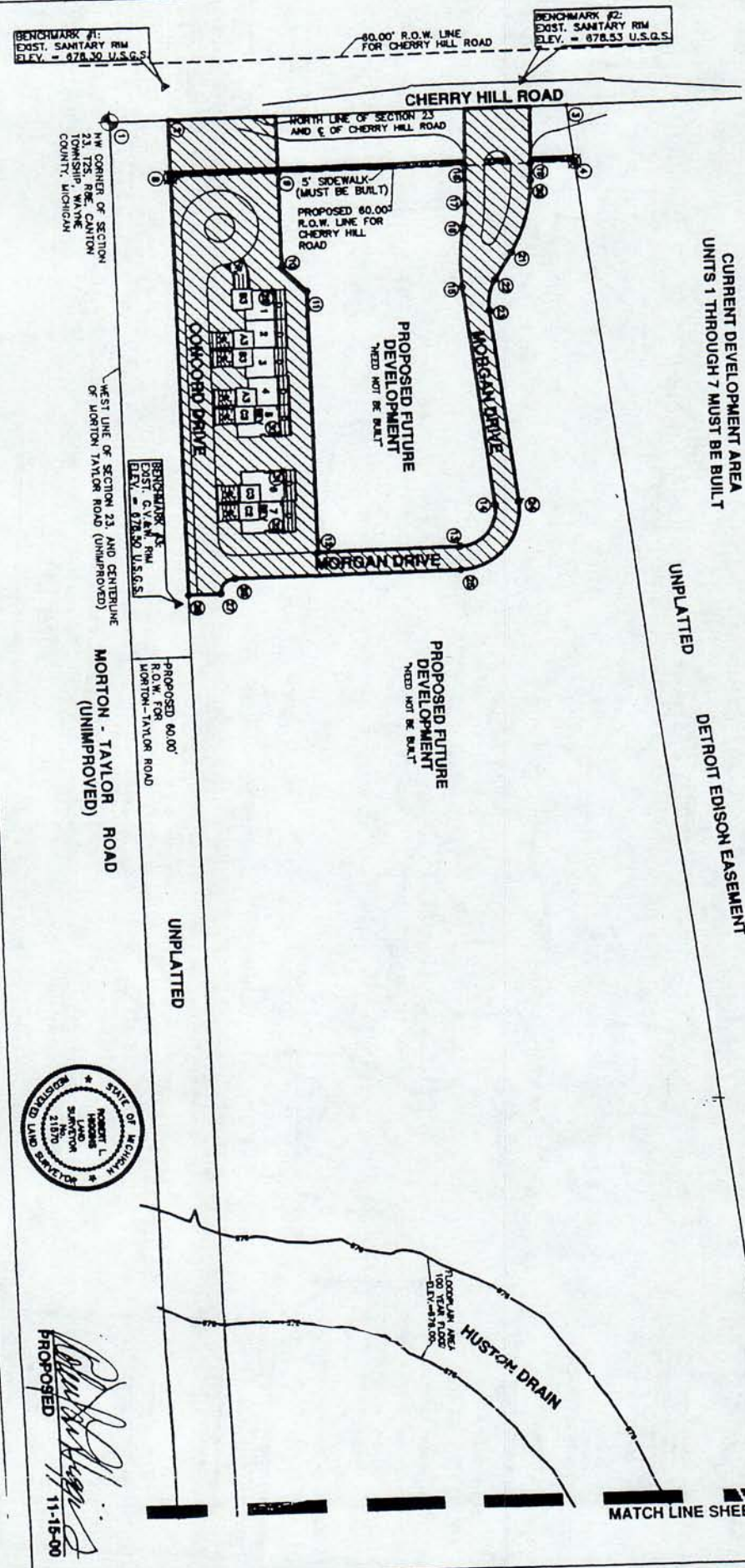
POINT NUMBER	NORTHING	EASTING	POINT NUMBER	NORTHING	EASTING
1	8308.653	6673.482	19	8113.158	7301.388
2	8308.293	6533.583	20	8113.248	7300.910
3	8313.588	7247.020	21	8112.858	7298.255
4	8313.550	6924.015	22	8112.858	7298.255
5	8313.550	6924.015	23	8111.191	7298.435
6	8313.550	7042.585	24	7982.044	7212.382
7	8313.550	7042.585	25	7982.044	7212.382
8	8313.550	7042.585	26	7982.044	7212.382
9	8313.550	7042.585	27	7982.044	7212.382
10	8313.550	7042.585	28	7982.044	7212.382
11	8313.550	7042.585	29	7982.044	7212.382
12	8313.550	7042.585	30	7982.044	7212.382
13	8313.550	7042.585	31	7982.044	7212.382
14	8313.550	7042.585	32	7982.044	7212.382
15	8313.550	7042.585	33	7982.044	7212.382
16	8313.550	7042.585	34	7982.044	7212.382
17	8313.550	7042.585	35	7982.044	7212.382
18	8313.550	7042.585	36	7982.044	7212.382



CURRENT DEVELOPMENT AREA
UNITS 1 THROUGH 7 MUST BE BUILT

UNPLATTED

DETROIT EDISON EASEMENT



PROPOSED

11-15-00

NOTE:
100 YEAR FLOODPLAIN
ELEVATION 678.00 (ELEVATION
FOR 100 YEAR FLOOD PLAIN
ESTABLISHED - JANUARY 11, 1988)

MED. SERVICE #38903-132
1 DENOTES UNIT NUMBER
A3 DENOTES UNIT TYPE
1 DENOTES REVERSE FLOOR PLAN
1 DENOTES COORDINATE POINT
D DENOTES DECK AREA
OR DENOTES DRIVEWAY

SCHEDULE OF COORDINATE POINTS

POINT NUMBER	NORTHING	EASTING
1	5249.343	7644.890
2	5244.760	8836.319
3	5245.357	8836.312

GENERAL COMMON ELEMENT

LIMITED COMMON ELEMENT

UNPLATTED

DETROIT EDISON EASEMENT

NO DEVELOPMENT AREA

WETLAND MITIGATION - OPEN SPACE
(FUTURE DEVELOPMENT AREA
- NEED NOT BE BUILT)

ENTIRE PROPERTY SOUTH OF
HUSTON DRAIN TO BE A
CONSERVATION EASEMENT
TOTAL ACREAGE = 18.466 ACRES IN
EASEMENT

CURRENT DEVELOPMENT AREA
UNITS 1 THROUGH 7 MUST BE BUILT

PROPOSED 60.00'
ROW FOR
MORTON-TAYLOR ROAD

WEST LINE OF SECTION 23 AND CENTERLINE OF
MORTON-TAYLOR ROAD (UNIMPROVED)

MORTON - TAYLOR ROAD
(UNIMPROVED)

IN 1/4 CORNER OF
SECTION 23, T2S,
R2E, CANTON
TOWNSHIP, WAYNE
COUNTY, MICHIGAN

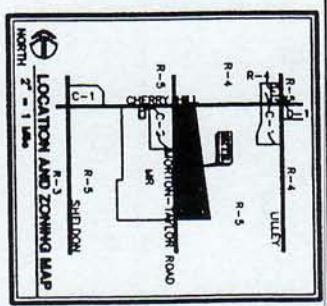
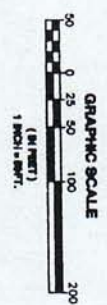
NORTH AND SOUTH 1/4 LINE OF SECTION
23 AND THE CENTERLINE OF LLEY ROAD
MORTON-TAYLOR ROAD

1/4 CORNER OF
SECTION 23, T2S,
R2E, CANTON
TOWNSHIP, WAYNE
COUNTY, MICHIGAN

STORM SEWER
EASEMENT
L18902, P. 806
L18900, P. 145

EAST AND WEST 1/4
LINE OF SECTION 23

CENTER OF
SECTION 23,
T2S, R2E,
CANTON
TOWNSHIP,
WAYNE COUNTY,
MICHIGAN



PROPOSED

[Signature]

11-15-00

STATE OF MICHIGAN
COUNTY OF WAYNE
RECEIVED
LAND
DIVISION
21870

LEGEND

①	GAS MAIN & VALVE
②	WATERMAIN, H/O, C&T VALVE, TAPPING SLIT & VALVE
③	SEWER MAIN, CLEANOUT & MANHOLE
④	STORM SEWER, CLEANOUT & MANHOLE
⑤	CABLE TV
⑥	100 YEAR FLOOD ELEV. = 578.00
⑦	MEET TO NO. 10000 LINE
⑧	100 YEAR FLOOD ELEV. = 578.00
⑨	NO. 10000 LINE
⑩	NO. 10000 LINE
⑪	NO. 10000 LINE
⑫	NO. 10000 LINE
⑬	NO. 10000 LINE
⑭	NO. 10000 LINE
⑮	NO. 10000 LINE
⑯	NO. 10000 LINE
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UTILITY	SOURCE OF LOCATION
GAS	MICHIGAN
ELECTRIC	DETROIT EDISON COMPANY
TELEPHONE	AMERITECH
WATERMAIN	ENGINEERING PLANS BY: FAUL, KAHN & ASSOCIATES, INC. DATED JUNE 10, 2000
STORM SEWER	MECH ONE
CABLE TV	MECH ONE

UNPLATTED DETROIT EDISON EASEMENT

NO DEVELOPMENT AREA
WETLAND MITIGATION - OPEN SPACE
(FUTURE DEVELOPMENT AREA
- NEED NOT BE BUILT)
ENTIRE PROPERTY SOUTH OF
HUSTON DRAIN TO BE A
CONSERVATION EASEMENT
TOTAL ACREAGE = 19,446 ACRES IN
EASEMENT

PROPOSED 90.00'
R.O.W. FOR
MORTON-TAYLOR ROAD
UNPLATTED
WEST LINE OF SECTION 23 AND CENTERLINE OF
MORTON-TAYLOR ROAD (UNIMPROVED)
MORTON - TAYLOR ROAD
(UNIMPROVED)

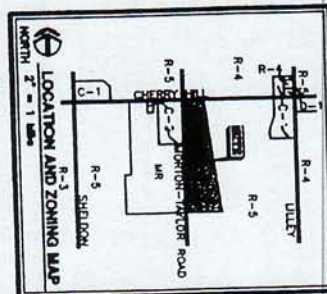
NORTH AND SOUTH 1/4 LINE OF SECTION
733 AND THE CENTERLINE OF LUTLEY ROAD
N0025467W 2854.31'
1/4 CORNER OF
SECTION 23, T2S,
R9E, CANTON
TOWNSHIP, WAYNE
COUNTY, MICHIGAN
CENTER OF
SECTION 23,
T2S, R9E,
CANTON
TOWNSHIP,
WAYNE COUNTY,
MICHIGAN
STORM SEWER
EASEMENT
L118902, P. 808
L118900, P. 145

EAST AND WEST 1/4
LINE OF SECTION 23

UNPLATTED



- NOTES:
1. UTILITIES WILL BE SHOWN ON AS-BUILT DRAWINGS.
 2. SERVICE LOTS WILL BE SHOWN ON AS-BUILT DRAWINGS.
 3. CABLE TV - COORDINATE WITH OTHER UTILITIES.
 4. THE DETROIT EDISON COMPANY, CONSUMERS ENERGY COMPANY, DETROIT EDISON COMPANY, AND AMERITECH TELEPHONE COMPANY AND LUTLEY ONE CABLE TV SERVICES ARE NOT AVAILABLE AND ARE TO BE SHOWN ON THE AS-BUILT DRAWINGS.



PROPOSED
11-15-00



BENCHMARK #1:
EXIST. SANITARY R/W
ELEV. = 878.30 U.S.G.S.

BENCHMARK #2:
EXIST. SANITARY R/W
ELEV. = 878.53 U.S.G.S.

80.00' R.O.W. LINE
FOR CHERRY HILL ROAD

CHERRY HILL ROAD

NORTH LINE OF SECTION 23
AND E OF CHERRY HILL ROAD

PROPOSED 80.00'
R.O.W. LINE FOR
CHERRY HILL
ROAD

PROPOSED FUTURE
DEVELOPMENT
'NEED NOT BE BUILT'

MORGAN DRIVE

5' OF 20' EASEMENT
FOR SANITARY SEWER
(NOT YET RECORDED)

5' OF 12' EASEMENT
FOR WATERMAIN
(NOT YET RECORDED)

5' OF 12' EASEMENT
FOR WATERMAIN
(NOT YET RECORDED)

CONCORD DRIVE

ANY CORNER OF SECTION
23, T2S, R1E, CANTON
TOWNSHIP, WAYNE
COUNTY, MICHIGAN

WEST LINE OF SECTION 23, AND CENTERLINE
OF MORTON-TAYLOR ROAD (UNIMPROVED)

BENCHMARK #3:
EXIST. C.V. LINE R/W
ELEV. = 878.50 U.S.G.S.

PROPOSED 80.00'
R.O.W. FOR
MORTON-TAYLOR ROAD

MORTON - TAYLOR ROAD
(UNIMPROVED)

UNPLATTED

5' OF 20' EASEMENT
FOR SANITARY SEWER
(NOT YET RECORDED)

5' OF 20' EASEMENT
FOR SANITARY SEWER
(NOT YET RECORDED)

5' OF 12' EASEMENT
FOR WATERMAIN
(NOT YET RECORDED)

PROPOSED FUTURE
DEVELOPMENT
'NEED NOT BE BUILT'

5' OF 20' EASEMENT
FOR SANITARY SEWER
(NOT YET RECORDED)

5' OF 12' EASEMENT
FOR WATERMAIN
(NOT YET RECORDED)

5' OF 20' EASEMENT
FOR SANITARY SEWER
(NOT YET RECORDED)

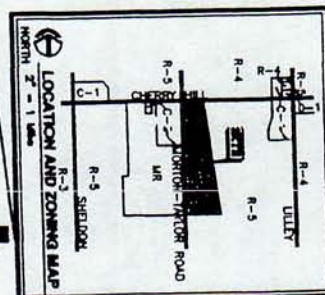
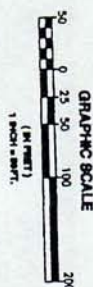
HUSTON DRAIN

MATCH LINE SHEET 9

LEGEND

SANITARY EASEMENT
WATERMAIN EASEMENT
SANITARY EASEMENT CENTERLINE
WATERMAIN EASEMENT CENTERLINE

NOTE
100' FROM DEDICATED
EASEMENT FOR 100' TO VARIETY
FOR MICHIGAN DEPARTMENT OF
TRANSPORTATION, QUALITY
ESTABLISHED - JANUARY 11, 1988
MICHIGAN SERVICE PROGRAM-152



PROPOSED
AT-15-00

LEGEND

SANITARY EASEMENT
WATERBURY EASEMENT
SANTARY EASEMENT CENTRIUNE
WATERBURY EASEMENT CENTRIUNE

NOTE:
100 YEAR FLOODPLAIN
ELEVATION 878.00 H.A. (DATA
FROM 1988 FLOOD INSURANCE
STANDARD MAP - JANUARY 11, 1988
MORTON SERVICE #28903-102

UNPLATTED
DETROIT EDISON EASEMENT

MATCH LINE SHEET 8

HUSTON DRAIN
FLOODPLAIN AREA
100 YEAR FLOOD
ELEV. = 878.00

NO DEVELOPMENT AREA
WETLAND MITIGATION - OPEN SPACE
(FUTURE DEVELOPMENT AREA
- NEED NOT BE BUILT)
ENTIRE PROPERTY SOUTH OF
HUSTON DRAIN TO BE A
CONSERVATION EASEMENT
TOTAL ACREAGE = 18.468 ACRES IN
EASEMENT

PROPOSED 80.00'
R.O.W. FOR
MORTON-TAYLOR ROAD

WEST LINE OF SECTION 23 AND CENTERLINE OF
MORTON-TAYLOR ROAD (UNIMPROVED)

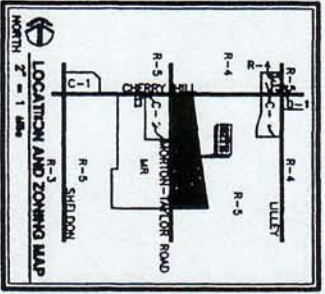
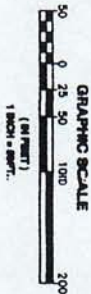
UNPLATTED

MORTON - TAYLOR ROAD
(UNIMPROVED)

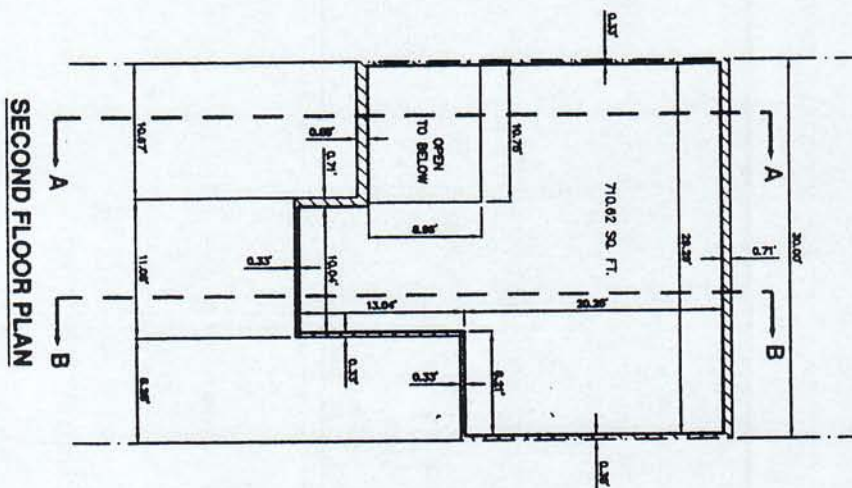
UNPLATTED

EAST AND WEST 1/4
LINE OF SECTION 23

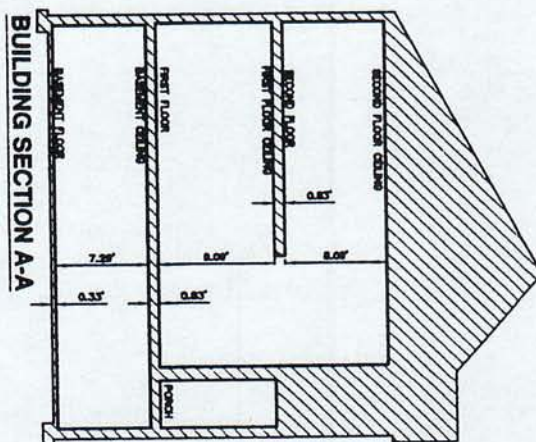
NORTH AND SOUTH 1/4 LINE OF SECTION
23 AND THE CENTERLINE OF LULY ROAD
MORTON TAYLOR ROAD
1/4 CORNER OF
SECTION 23, T2S,
R2E, CANTON
TOWNSHIP, WAYNE
COUNTY, MICHIGAN
STORM SEWER
EASEMENT
L.18902, P.145
L.18902, P.145
E.155.95.000
S.17.000.000
CENTER OF
SECTION 23,
T2S, R2E,
CANTON
TOWNSHIP,
WAYNE
COUNTY,
MICHIGAN



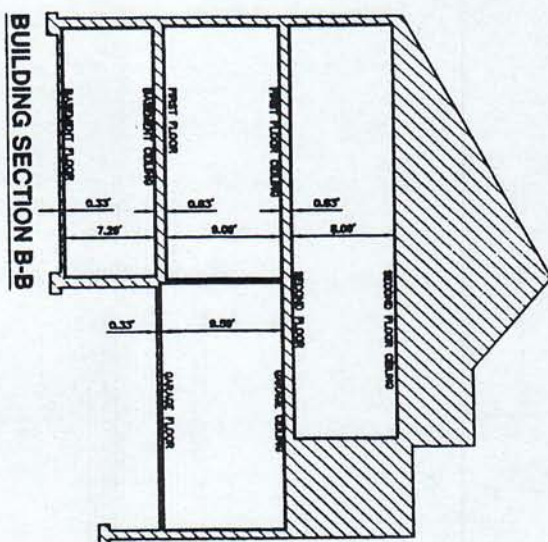
PROPOSED
11-15-00



SECOND FLOOR PLAN



BUILDING SECTION A-A



BUILDING SECTION B-B

 GENERAL COMMON ELEMENT

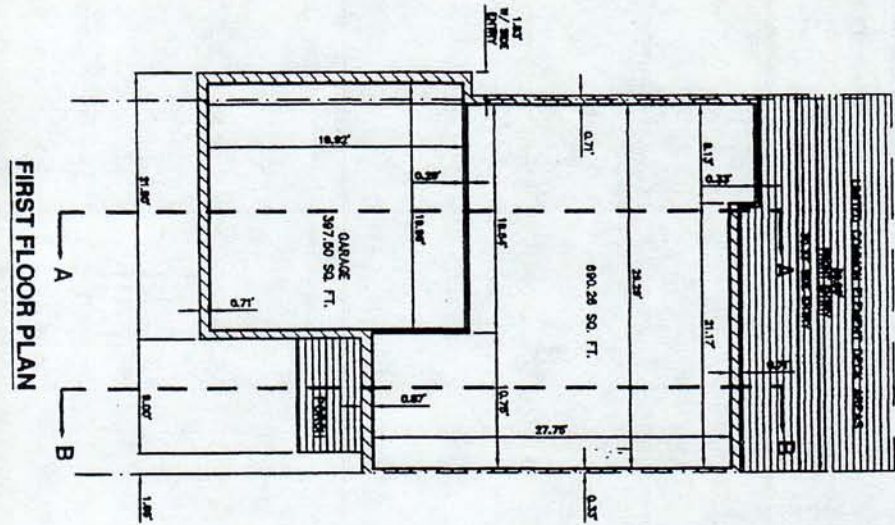
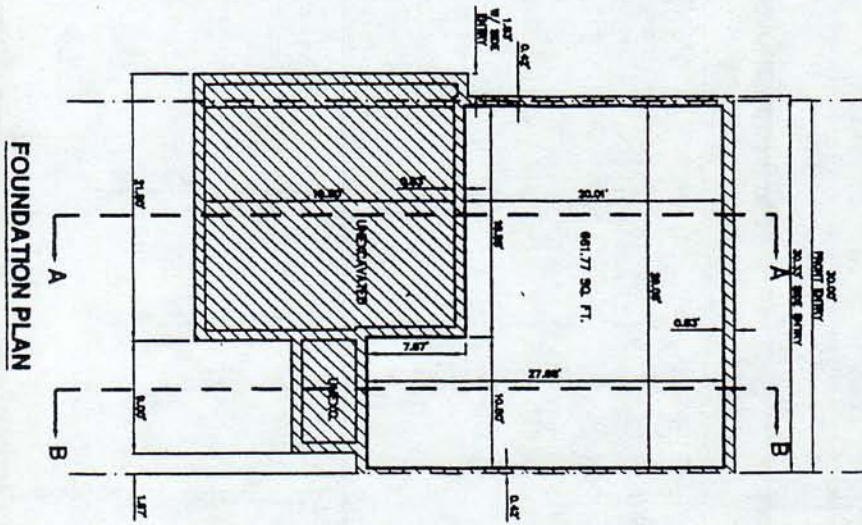
 LIMITED COMMON ELEMENT

 LIMITS OF UNIT OWNERSHIP

PROPOSED 11-15-00



-  GENERAL COMMON ELEMENT
-  LIMITED COMMON ELEMENT
-  LIMITS OF UNIT OWNERSHIP



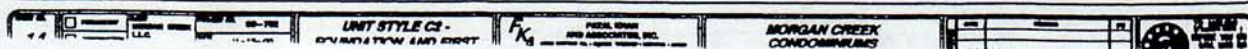
PROPOSED

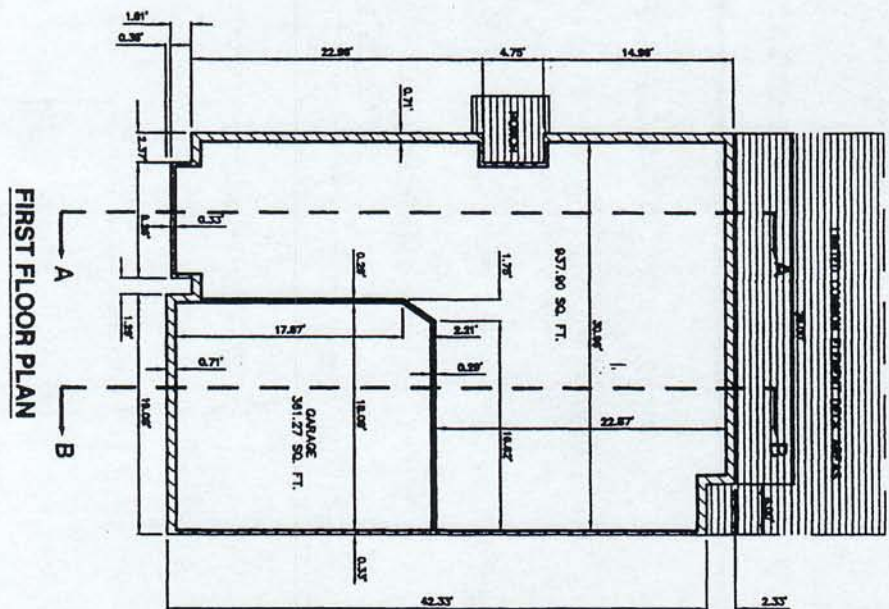
[Signature]

11-15-00



**MORGAN CREEK
CONDOMINIUMS**





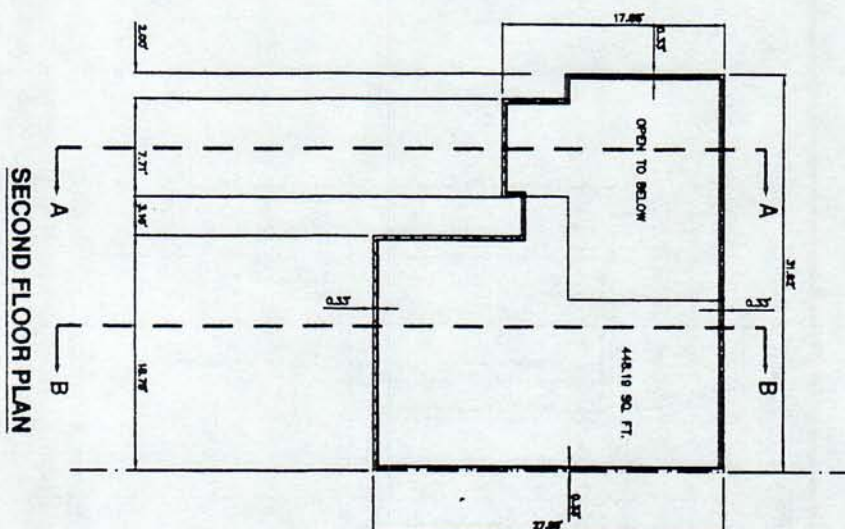
FOUNDATION PLAN

FIRST FLOOR PLAN

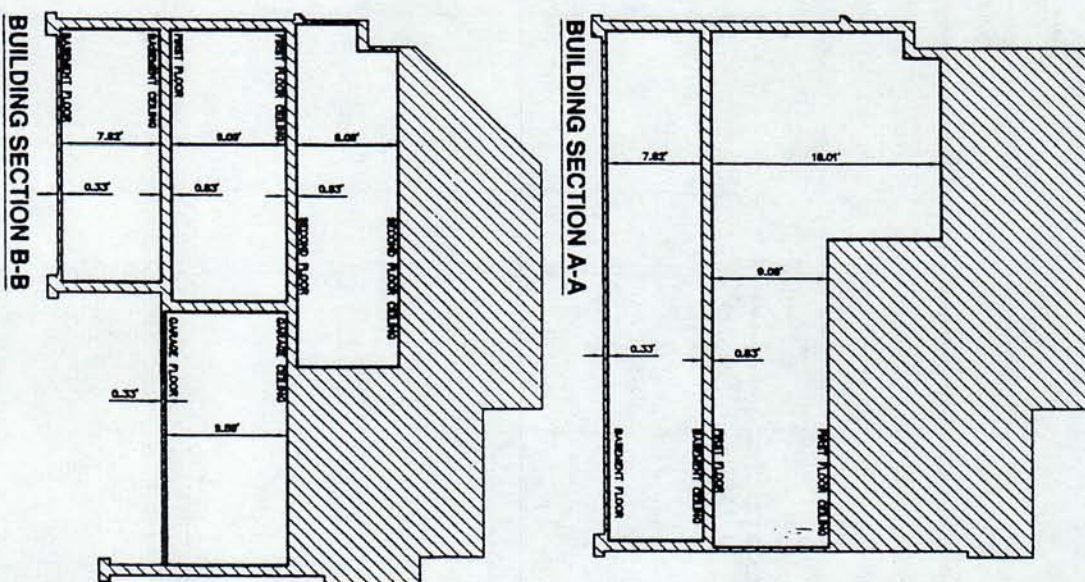


PROPOSED 11-15-00





SECOND FLOOR PLAN



BUILDING SECTION A-A

BUILDING SECTION B-B

 GENERAL COMMON ELEMENT

 LIMITED COMMON ELEMENT

 LIMITS OF UNIT OWNERSHIP

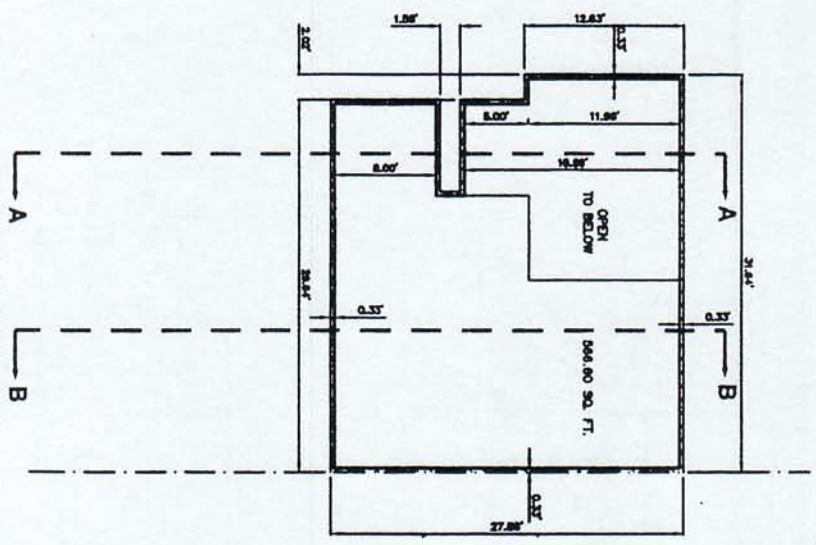
PROPOSED 11-11-11

11-15-00

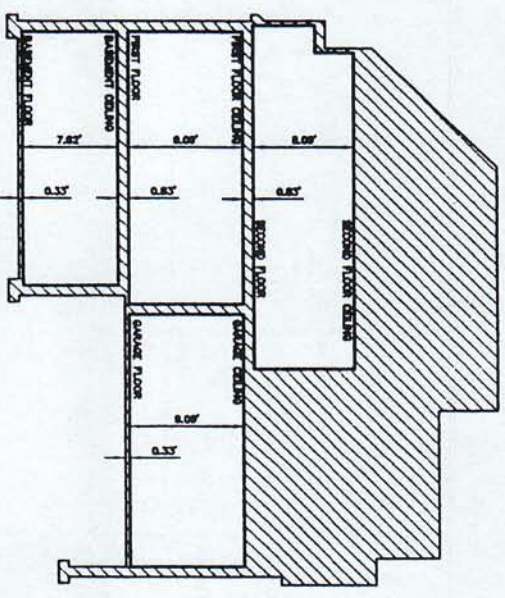




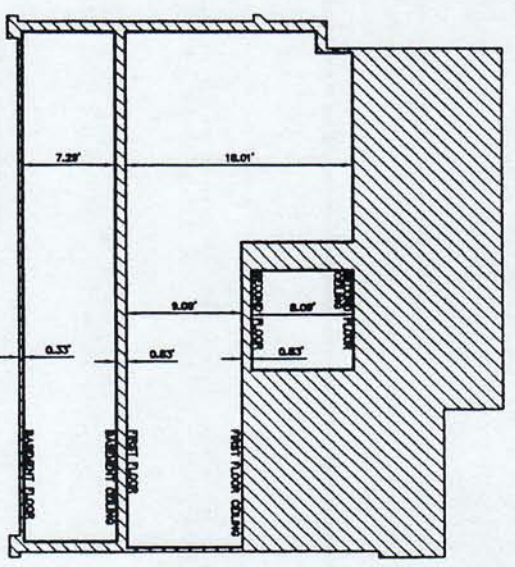
SECOND FLOOR PLAN



BUILDING SECTION B-B



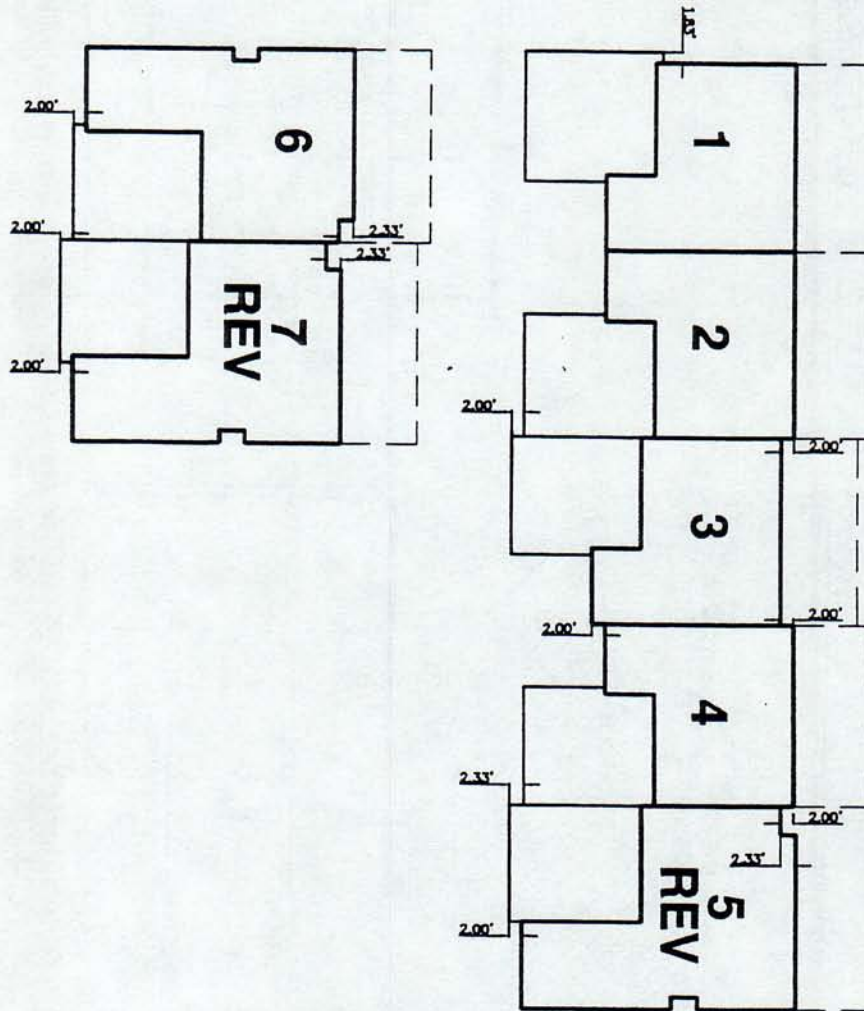
BUILDING SECTION A-A



- GENERAL COMMON ELEMENT
- LIMITED COMMON ELEMENT
- LIMITS OF UNIT OWNERSHIP



PROPOSED
Robert L. Morgan
11-15-00



PROPOSED
[Signature]
11-15-00

