



LEISURE KNOLL

at

MANCHESTER

**ARCHITECTURAL CONTROL
GUIDELINES**

*Revised November, 2018
Including Amendments Through January, 2025*

LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

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*** Release & Indemnity Agreement
Required**

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GENERAL INFORMATION

- Permits Required

The Covenants and Regulations of Leisure Knoll at Manchester Association, in a continuous effort to maintain the visual harmony of individual dwellings, lawns and structures within the Community and the common Grounds, and to assure the use of materials and quality of workmanship necessary to retain the aesthetic quality of Leisure Knoll require that an Architectural Control Committee's approval of all additions and most exterior maintenance and improvement projects before the work is started on the improvements. Permits are open and valid for a ninety (90) day period, after which you have to reapply.

APPROVED PERMITS ARE ISSUED A GREEN STICKER WHICH MUST BE PROMINENTLY DISPLAYED ON FRONT WINDOW BEFORE WORK STARTS AND REMAIN THERE UNTIL WORK IS COMPLETED.

- Appeals

Any action or decision of the Architectural Control Committee may be appealed to the Board of Trustees within thirty (30) days of the receipt of the written determination. If not filed within thirty (30) days the ACC action or decision shall be binding. The Board may modify, reverse, or confirm the opinion of the ACC. The decision of the Board may be appealed to the ADR Committee in accordance with the rules pertaining to that process.

- Prohibited Projects:

The Covenants and Regulations list certain projects which are NOT PERMITTED, including:

- Fences – Exceptions are privacy fences abutting patios (see Regulations for these).

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- Free standing structures including trellises etc.
- Ground mounted satellite dishes (see Regulations for roof mounted dishes)
- Clothes poles or clothes lines. No clothes drying on exterior of building or on lot
- Lamp poles or lights located more than three (3) feet from building or which are located so as to present a nuisance to neighboring properties
- Window air conditioners
- Pools or fountains (including garden or reflecting)
- Patios, awnings or additions not in compliance with Regulations, including setbacks
- Antennas of any type except satellite dishes per Regulations
- Weather vanes
- Oil tanks and buried or large propane tanks (see Regulations for propane tanks)
- Composting
- Chimeneas or free-standing clay or metal pots
- Storing of bicycles, lawn mowers, ladders, unused flower pots, trash bags, bags of mulch etc. on or around a house or property

Where any proposed project or improvement may affect adjacent homeowners, written notification shall be given adjacent homeowners by the applicant prior to ACC review.

Planting of flowers and/or shrubs BY THE RESIDENT within three (3) feet of the dwelling does not require a Permit.

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Contractors Registration:

Public Law (P.L.) 2004-16-NJSA56:8-136 provides that effective December 31, 2005 ALL persons (contractors) doing or offering to do home repairs, maintenance or improvements for a homeowner, including remodeling, roofing, landscaping or similar work be registered with the NJ Department of Community Affairs. For more information on the law including penalties call (888)656-6225 (see ACC Guidelines regarding Contractor Regulations).

Work Hours:

Work on the outside of a home may not begin before 8 AM Monday through Saturday and must end at 7 PM. NO WORK is permitted on Sundays or Holidays. Contractor may start setting up at 7 AM but work may not begin until 8 AM.

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CONTRACTOR REGULATIONS

1. Public Law (P.L.) 2004-16-NJSA56:8-136 provides that effective December 31, 2005 ALL Residential Contractors in New Jersey **MUST** be registered with the Division of Consumer Affairs. After December 31, 2005 ALL home improvement Contractors, including landscapers, yard sprinkler companies, roofers, window sales and installers and other which propose to do work for home owners **MUST BE REGISTERED**. All municipalities are prohibited from issuing permits from home improvement contractors not registered. Tree services must be licensed by the NJ Board of Tree Experts.
2. To protect the residents of Leisure Knoll, the Architectural Committee **will not issue** any permits for exterior home improvements in Leisure Knoll unless a contractor's registration number is on the application. That means that every application must include the current registration. Since it is illegal after December 31, 2005 for anyone not registered to offer to do home improvements, residents are advised to not contract with anyone not registered.

Applications may be obtained by logging onto
<http://www.njconsumeraffairs.com/contractors.htm>
Or calling toll free (888) 656-6225

3. Building trades such as engineers, architects, electricians, and plumbers who are separately licensed to do business in New Jersey are not required to be registered with Consumer Affairs under this law. Residents should ask to see such license before signing a

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contract. The original law was modified to provide the home improvement contractors may be sued under the Civil Fraud Act.

4. No signs may be displayed on lawns.
5. No garbage bags should be placed outside until after 6 PM the night before garbage pickup.
6. Dumpsters must be registered at the Association Office with an ACC Permit (Green Sticker) which must be displayed on the front window of the home. Dumpsters to be covered overnight (7 PM to 8 AM). Dumpsters must be covered while in transit through the community, whether empty or not.
7. All work vehicles must be parked on street in the direction of traffic flow and not directly parallel to another vehicle across the street to allow for unobstructed residential traffic passage.

Work Hours

Work on the outside of a home may NOT begin before 8 AM Monday thru Saturday and must end at 7 PM. NO WORK is permitted on Sunday or Holidays. Contractors may start setting up at 7 AM but work may not begin until 8 AM.

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APPLICATION FOR ACC PERMIT

Fax: 732-657-7433

HOME OWNER'S NAME _____ DATE _____

ADDRESS _____ TELEPHONE _____

Brief description of proposed improvements:

As homeowner I accept full responsibility for compliance with all covenants and rules of the Association and the Township of Manchester and all necessary corrections of the proposed improvements which are not in compliance with when work is done.

Homeowner's Signature

NOTE: A plot plan to scale is required for all additions – including patios, decks, sun rooms and for widening or changes to dimensions of driveways.

Sample of colors for building and trim (paint or siding) shall accompany this application. Also provide color and type of roofing proposed.

Contractor's Name _____ Telephone _____

Contractor's Address _____ Reg. No. _____

IMPORTANT: a copy of the Contractor's CERTIFICATE OF INSURANCE MUST be attached to this application before it can be processed.

For Office Use Only

Conditional Approval _____ Issue Date _____ Expiration Date _____

Permit No. _____ Approval Date _____ Disapproval Date _____

COMMENTS:

Signature(s) of Architectural Control Committee Members

Active: YES NO Verified by _____

Date _____

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APPLICATION FOR ACC PERMIT

Permit Information: The Covenants and Regulations of Leisure Knoll at Manchester Association, in a continuous effort to maintain the visual harmony of individual dwellings, lawns and structures within the Community and the common grounds, and to assure the use of materials and quality of workmanship necessary to retain the aesthetic quality of Leisure Knoll” require that an Architectural Control Committee’s approval of all additions and most exterior maintenance and improvement projects before the work is started on the improvement. Permits are open for a 90 day period, and then you have to reapply.

Conditional Permits: These are issued for the purpose of obtaining a permit from Manchester Township when such a permit is required. The Township will not issue a permit until proof of the ACC’s conditional approval is submitted to them. Final approved ACC permits are issued after a copy of the Township Permit is submitted to the ACC.

Permit Appeal: Any action or decision of the Architectural Control Committee may be appealed to the Board of Trustees within thirty (30) days of the receipt of the written determination. If not filed within thirty (30) days the ACC action or decision shall be binding. The Board may modify, reverse or confirm the opinion of the ACC. The decision of the Board may be appealed to the Arbitration Committee in accordance with the rules pertaining to that process.

Where any proposed project or improvement may affect adjacent homeowners, written notification shall be given adjacent homeowners by the applicant prior to ACC review.

Please note to put GREEN STICKER in front window before works starts.

**LEISURE KNOLL
ARCHITECTURAL COMMITTEE
APPROVAL**

(MUST BE AFFIXED TO FRONT WINDOW)

PERMIT # _____

TYPE OF WORK _____

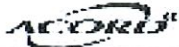
ADDRESS _____

DATE _____

* Note: Contractors are not permitted to
to work in Leisure Knoll on Sundays
or holidays.

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CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER	CONTACT NAME:		
	PHONE (Area No., Ext.):		
INSURED	E-MAIL:		
	ADDRESS:		
	PRODUCER:		
	CUSTOMER ID#:		
	INSURER(S) AFFORDING COVERAGE:		NAME:
	INSURER A:		
INSURER B:			
INSURER C:			
INSURER D:			
INSURER E:			
INSURER F:			

COVERAGES: _____ CERTIFICATE NUMBER: _____ REVISION NUMBER: _____

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY ERRORS IN THIS FORM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

TYPE	TYPE OF INSURANCE	POLICY NUMBER	POLICY PERIOD (MM/DD/YYYY)	POLICY CLASSIFICATION (CODE)	LIMITS	
					AMOUNT	COVERAGE
GENERAL LIABILITY	COMMERCIAL GENERAL LIABILITY				EACH OCCURRENCE	\$
	CLAIMS MADE				AGGREGATE	\$
	GENERAL AGGREGATE LIMIT APPLIES PER:				PER OCCURRENCE	\$
	POLICY				PERSONAL & ADULTERY	\$
	ANY AUTO				GENERAL AGGREGATE	\$
	ALL OWNED AUTOS				PRODUCER'S COVERAGE	\$
	SCHEDULED AUTOS					\$
	LEASED AUTOS					\$
	NON-OWNED AUTOS					\$
AUTOMOBILE LIABILITY	OWNED AUTOS				COMBINED SINGLE LIMIT (per occurrence)	\$
	SCHEDULED AUTOS				BODILY INJURY (per person)	\$
	LEASED AUTOS				BODILY INJURY (per accident)	\$
UMBRELLA	PERSONAL AUTO				PROPERTY DAMAGE (per person)	\$
	COMMERCIAL AUTO					\$
	PERSONAL AUTO					\$
WARRANTY	WARRANTY				PER OCCURRENCE	\$
	WARRANTY				AGGREGATE	\$
	WARRANTY					\$
ADDITIONAL COVERAGE	ADDITIONAL COVERAGE				PER OCCURRENCE	\$
	ADDITIONAL COVERAGE					\$
	ADDITIONAL COVERAGE					\$
SPECIAL COVERAGE	SPECIAL COVERAGE				PER OCCURRENCE	\$
	SPECIAL COVERAGE					\$
	SPECIAL COVERAGE					\$

DESCRIPTION OF OPERATIONS (TYPE OF BUSINESS) / VEHICLE (Make, Model, Year, Additional Remarks Schedule, if more space is required)

CERTIFICATE HOLDER Leisure Knoll at Manchester Assoc Inc 1 Buckingham Drive North Manchester, New Jersey 08759	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE _____
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ACORD 25 (2009/09)

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RELEASE & INDEMNITY AGREEMENT

Please Read Carefully Before Signing

- A. The undersigned acknowledges by signing this **Release and Indemnity Agreement** that there are risks inherent with our installation, use and removal of a Temporary Gazebo/installation of a Paver Driveway as defined by the Association's Guidelines for Temporary Gazebos/Paver Driveways, which we are about to install on our deck or patio/driveway at: _____ (the "Property").
- B. By signing this Release and Indemnity Agreement, we express our intention to assume the risk of any loss, damage or injury that we may suffer and to hold the following persons or entities harmless from any and all claims for damages, injury or loss arising out of the installation, use or removal of the Temporary Gazebo/installation of a Paver Driveway:
- Leisure Knoll at Manchester Association, Inc. (the "Association"), including but not limited to the Association's trustees and officers and/or management staff or any Independent Contractor engaged by the Association in connection with maintenance of our property (collectively, the "Association's agents, servants and assigns").
- C. It is also our intention to release the Association and the Association's agents, servants and assigns, from any claim for liability whatsoever, in consideration of and in order to induce the Association to allow us to install and use a Temporary Gazebo/install a Paver Driveway at our property. We agree that the Association and the Association's agents, servants and assigns shall not be held responsible or liable for any loss or property damage, bodily injury accident or loss of life occurring as a result of our installation, use or removal of the Temporary Gazebo/installation of a Paver Driveway. We covenant not to sue the Association and the Association's agents, servants and assigns.
- D. Further, we release and forever discharge and hold harmless Leisure Knoll at Manchester Association, Inc. and the Association's agents, servants and assigns, of and from all manner of actions and causes of actions in law that may in any way arise after the date of this Release and Indemnity Agreement from any accident or circumstances suffered by us arising out of the installation, use or removal of the Temporary Gazebo/installation of a Paver Driveway.

**RELEASE AND HOLD HARMLESS –
BY SIGNING BELOW WE RELEASE LEISURE KNOLL AT MANCHESTER ASSOCIATION, INC.
AND THOSE LISTED IN THIS DOCUMENT FROM ANY AND ALL CLAIMS.**

Owner Signature(s): _____

Owner Name(s) (print): _____

Owner Address (print): _____

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ARCHITECTURAL CONTROL GUIDELINES

AIR CONDITIONERS

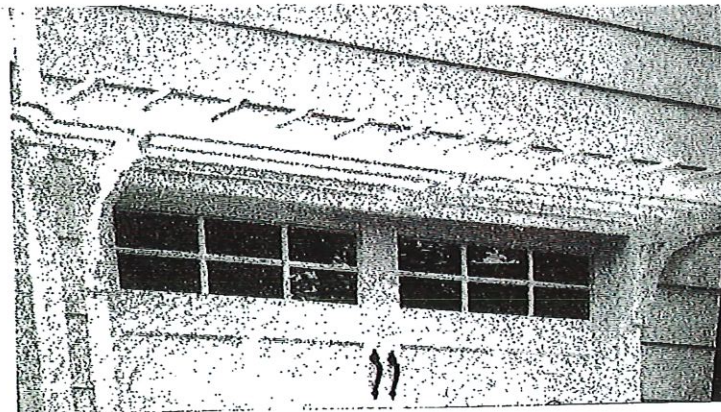
1. Central air conditioner units are only allowed in rear of house.
Location is on rear section of house on right or left side of house.
Units need to be mounted on a proper pad. This is also the same set-up for an air conditioner/heat pump unit.
2. Installation must be provided by a qualified and certified installer.
3. Window units not permitted.
4. Homes in Section 17 are exempt from the rear of house requirement.

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ARCHITECTURAL CONTROL GUIDELINES

AWNINGS/DECORATIVE PERGOLAS

1. Window awnings made of canvas or metal may be installed on the windows of the front, side, and rear of the house.
2. Front and side awnings can project from the house to a maximum of three (3) feet. Rear awnings can project from the house to a maximum of ten (10) feet.
3. In the front of the house, also a vertical canvas valance across the front porch may be installed. A maximum depth of one (1) foot is permitted.
4. "Sun-Setter" type patio awnings, if electric, must be hard wired per Manchester Township Regulations and a Township permit is required.
5. An awning/wood or vinyl pergola decorative structure may be installed over the garage door. A maximum depth of one and a half feet (1 ½) is permitted. See sample below.



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DECK/PATIO

1. Deck/Patio in rear may extend from foundation wall a maximum of fifteen (15) feet, and cannot be any closer than eight (8) feet to the rear property line. Exception: a house with a rear staggered foundation may extend fifteen (15) feet from the deepest foundation provided the minimum eight (8) feet setback to the rear property line is maintained from all foundation depths. Also, houses on corner property with a large side yard can have a side patio.
2. Deck/Patio may be full width of the rear of house.
3. Deck/Patio on the side of the Westport model may not extend beyond three (3) feet out past house foundation. When this is done, planting on side of house is not allowed past three (3) foot extension on a Westport model.
4. If a dumpster is needed, the dumpster may only remain in the driveway for five (5) business days. Street placement is not permitted. (See "Dumpster" Guideline).
5. When a house is on the outside edge of your property and property slopes down into woods a side patio is allowed where there is enough property for patio. Houses on corner properties with a large side yard can have a side patio.
6. Flower boxes made of pressure treated wood or composite material are allowed.

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7. Exceptions to the Guidelines may be made by the ACC on a case-by case basis depending upon property layout, size and/or circumstances.
8. A Township permit is required to install a deck.

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DECK/PATIO BOX

1. Deck/Patio box is only allowed on a patio or deck. Only one box per house.
2. Maximum size: 2 feet High
 3 feet wide
 5 feet long
3. Boxes are to be made of either wood, vinyl or resin.

Illustrated below are some samples of what can be used.



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DRIVEWAY EXTENSIONS

1. Work must be performed by a licensed/insured contractor. Evidence of current insurance and a valid license number must be submitted along with the permit application.
2. Driveways shall have a maximum extension of ten (10) feet. Toward the garage side of the house can be a maximum of five (5) feet from driveway edge and toward the house side can be a maximum of five (5) feet. **The overall width shall be a maximum of twenty-one (21) feet.** Driveway may extend to side of house to a minimum of two (2) feet off of the property line. This two (2) foot clearance must be left vacant. There will be nothing placed in this two (2) foot area (i.e. curbing, edging, and/or shrubbery.)
3. If you widen the driveway, you must also widen your apron. The new apron and swale curb must have a depth of six (6) inches. The sidewalk adjacent to the widened apron must be replaced with sidewalk which must have a depth of six (6) inches. DRIVEWAYS MUST BE INSPECTED BEFORE POURING OF CONCRETE, ASPHALT and/or PAVERS.
4. Driveways shall go straight to street. No alterations can be made to the curb (except as noted below) trees, lamp posts, utility boxes or other items.
5. There shall be maintained a clearance of a minimum of three (3) feet off of any cable, telephone, or other utility connection box.

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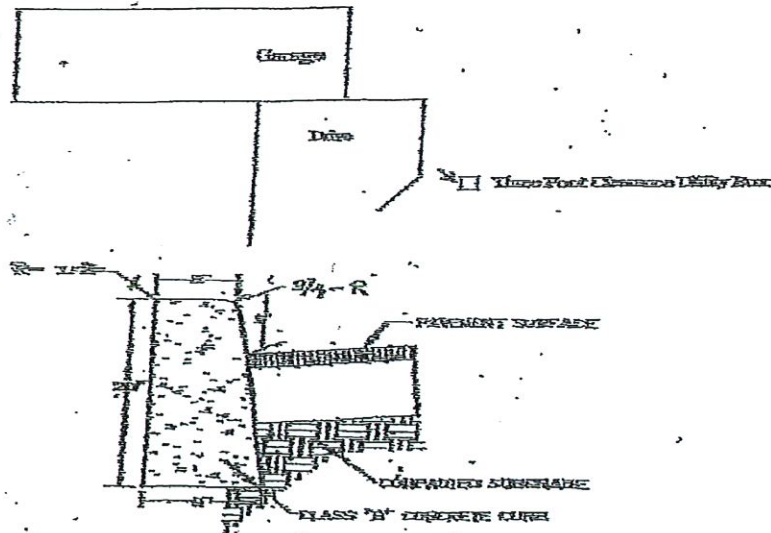
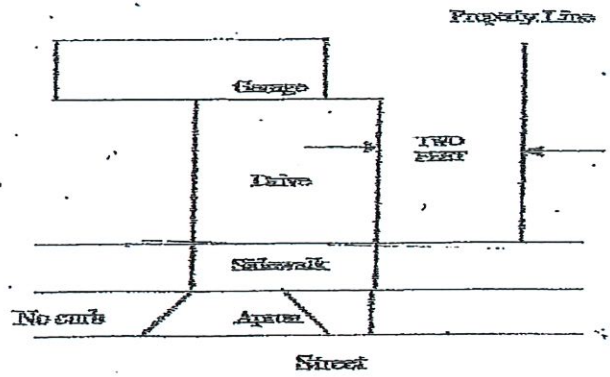
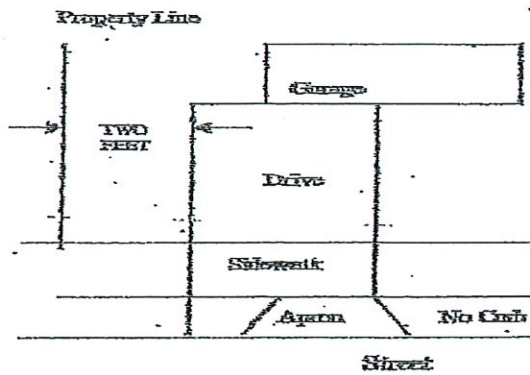
ARCHITECTURAL CONTROL GUIDELINES

6. Types of driveway surfaces allowed: Bituminous concrete (asphalt), cement, stamped cement or paver stone or any combination of two (2) of these materials, except that the ACC shall have the authority to determine if the combination is appropriate.
7. Edging is allowed on sides of driveway as follows: cement, pavers or brick can be used, sizes to be six (6) inches wide by no more than two and one half (2 ½) inches above the driveway surface.
8. Curbing may be altered per attached spec and pictures plus you also have to make angle configuration. All to look like standard curbing. All costs to be borne by resident.
9. When a sidewalk in driveway area is requested it may be added to front door side of driveway and can only be thirty six (36) inches wide. Material allowed is cement or paver stone.
10. The Owner shall hold harmless and indemnify the Association from all such loss or damage and provide the Association with a completed Release and Indemnification Form (see Exhibits, page 10) for these purposes adopted by the Board of Trustees for driveways and sidewalks along front door side of driveway using pavers in any way. Failure to sign the waiver will mean that the application will not be approved.

See attached page for diagram layout.

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NOTE: TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED BY CUTTING AT 12" SPACING AND SHALL BE FRESH BUILT FROM EXISTING UNCOMPACTED FINEST JOINT FILLER ACCORDING TO THE REQUIREMENTS OF MASSDOT SPECIFICATIONS 14-201.2 IN 1/2" FROM FACE AND 10" DEEP.

CONCRETE CURB & PAVEMENT

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DUMPSTER & POD CONTAINERS, UTILITY TRAILERS

1. If a Dumpster, Utility Trailer or Pod is needed for interior or exterior work to the home, the Dumpster, Utility Trailer or Pod may only remain in the driveway for thirty (30) days and must display an approved ACC permit at all times. If the Dumpster, Utility Trailer or Pod is needed for more than thirty (30) days, home owner needs to apply for an extension of the ACC permit prior to the current permit's expiration.
2. Dumpsters may never be placed in the street. The exception to this is when work is being done to a driveway. In that case, the Dumpster may be in the street but should be situated in front of the home's driveway. If that is not possible, then the Dumpster and its surrounds must be clearly marked and visible to traffic from all directions and be positioned at least fifty (50) feet from the corner.
3. Utility Trailers parked in the street during the ACC permit period may not park overnight and must comply with all parking regulations.
4. Pods may never be placed in the street.
5. Dumpsters and Utility Trailers must be covered within twenty-four (24) hours of delivery to the home. If a dumpster or utility trailer remains uncovered during overnight hours (7 PM to 8 AM) after that, the Association will supply and cover the Dumpster or Utility Trailer with a tarp and charge the home a one hundred and fifty dollar (\$ 150.) service charge. There will be an additional service charge of one hundred and fifty dollars (\$ 150.) for each time the Association must supply and cover the Dumpster or Utility Trailer that is observed uncovered during overnight hours.

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6. Dumpsters and Utility Trailers must be covered during each overnight period (7 PM to 8 AM) and/or whenever no work is being done to the home during permitted work hours and the Dumpster and Utility Trailer is unattended. They must also be covered while in transit through the neighborhood.

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FENCING/GATES

1. Privacy fencing shall be a maximum of forty-eight (48) inches in height. Height requirement is to be determined from top patio/deck/porch floor to top of fencing. The only thing allowed to exceed height is posts used for support. Other than posts, nothing shall be placed on top of screening. No hanging lights, curtains or other items to distract sight view from yard to yard are permitted.
2. Fencing may enclose the deck/patio/front porch but shall not exceed width of house. On patio/deck the fencing must abut on all sides but may have an interior three (3) foot grassy area on the back section only. On porch the fencing may be placed along the front edge or on the side with a gate at the front entrance.
3. Privacy fencing cannot be solid (i.e.) block wall, plywood or other materials. There must be a minimum of one (1) inch spacing between pickets.
4. A plot plan must accompany application with accurate measurements of planned construction and cut sheet or picture of the privacy fencing.
5. If shrubs/trees are to be used as fencing they must not exceed eight (8) feet in height when mature, and they must be trimmed/maintained so as not to exceed height requirements.

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FIRE PITS

1. Fire pits must be portable, no permanent fire pits permitted
2. Permitted Materials
Natural Wood or Charcoal. Hard Woods such as Oak, Walnut, Maple and Ash are preferred over Soft Woods such as Pine and Cedar which tend to burn quickly and emit excessive smoke
3. Non-Permitted Materials
 - a. Painted, stained or pressure treated wood
 - b. Driftwood, particle board or plywood
 - c. Wet, rotted, diseased or moldy wood
 - d. Misc materials such as cardboard, paper plates, garbage etc.
4. Wood burning pits must have a metal mesh cover to prevent hot embers and sparks flying out of fire pit
5. Fires should never be left unattended and must be properly extinguished when done. Fire pits must be kept clean and in good working order at all times
6. Fire pits must be on a non-combustible surface, such as a patio or pavers (not grass) and must be a minimum of fifteen (15) feet from home as per Manchester Township Fire Code Regulations. A diagram indicating where the firepit will be located when in use must be submitted with the Permit Application.
7. Storage of wood must comply with "Firewood Storage Guidelines"
8. The fire pit cannot interfere with lawn service in any way. This applies whether or not optional lawn service is provided.

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FIREWOOD STORAGE

1. Firewood storage must not encroach on any common area
2. Firewood must be stored within the three (3) foot area around sides and back of the unit only. No more than one (1) cord of firewood may be stored at any one time.
3. Firewood must be stored in proper type racks. No bin, shed, or shed-type covering may be used for storage. No other material can be stored with the firewood.
4. Firewood stored in any area other than the portico (porch) may be covered with a waterproof covering.
5. Firewood stored on porticos (porches) must be stored in a firewood storage ring or similar decorative support.
6. A full cord is a large amount of wood. It measures four (4) feet high by four (4) feet wide by eight (8) feet long (4 X 4 X 8) and has a volume of one hundred twenty eight (128) cubic feet.
7. Firewood is usually sold as a fraction of a cord. A fraction of a cord of wood is four (4) feet high by eight (8) feet long and is as wide as the individual firewood pieces. A common fraction of a cord has pieces averaging sixteen (16) and is equal to one-third (1/3) of a full cord.

LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

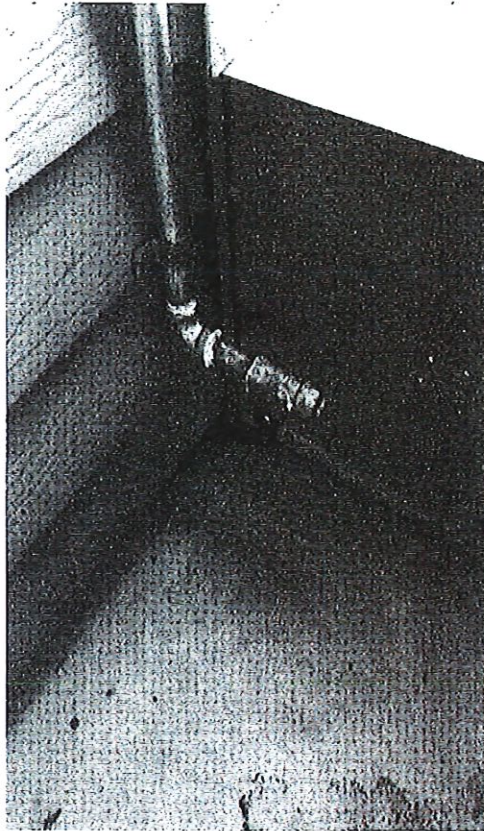
GAS, NATURAL - GRILL HOOK-UP

1. Outside gas line must be eight (8) inches below ground level when property lawn goes up to foundation of the house. Where there is a three (3) foot garden along foundation the gas line can be above the garden area or a galvanized pipe can come from the attic or side of house area to patio level with a petcock valve and approved flex hose to grill unit.
2. Note when grill is in operation, grill must be a minimum of three (3) feet from house.
3. The resident is required to obtain a separate Manchester Township Permit for the installation. A copy of such approval must be provided with the improvement permit application.
4. Installation must be provided by a qualified and certified installer.

See attached page for installation example.

LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES



LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

GAS, PROPANE

1. The maximum allowable size will be a 120 gallon horizontal or 57 gallon vertical tank. Only one (1) tank per home is permitted. (See attached chart).
2. The propane gas tank shall be located adjacent to the dwelling unit and must be screened by an acceptable screening. This is a requirement of both Leisure Knoll at Manchester and Manchester Township Building Regulations.
3. A resident is required to obtain a separate Manchester Township installation permit. A copy of such installation permit must be provided to the Leisure Knoll Architectural Control Committee.

See attached diagrams and specifications.

LEISURE KNOLL at MANCHESTER

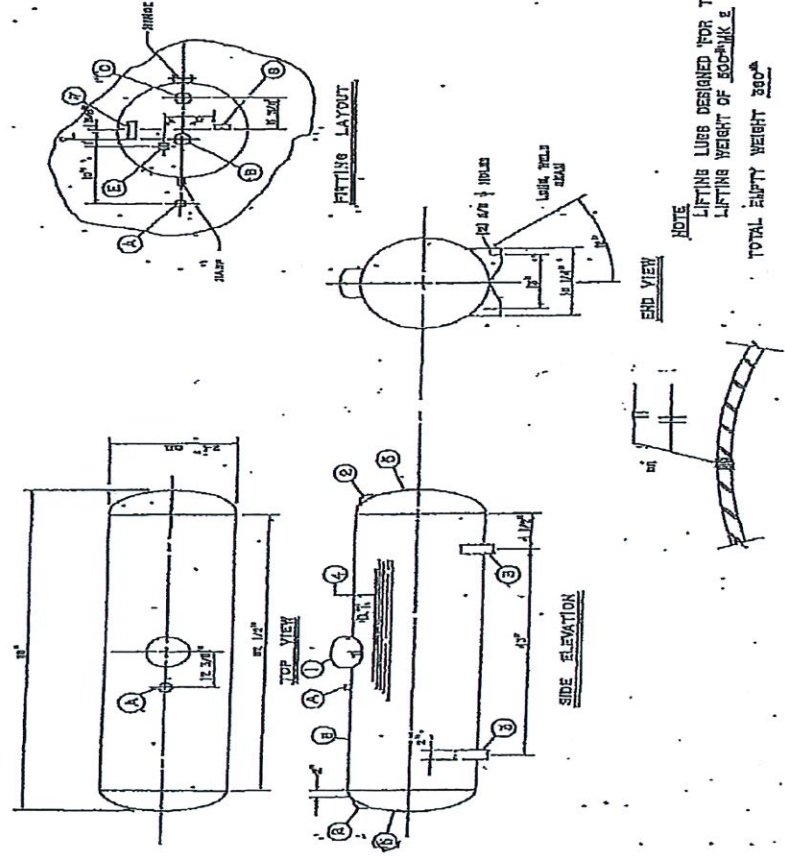
ARCHITECTURAL CONTROL GUIDELINES

No.	DESCRIPTION
A	1/2" EX. HYD. TANK P.L.G. FOR REGO TAPES OR SHERWOOD P.L.G.
B	FISHER REED RELIEF VALVE W/TAN CAP.
C	1 1/2" ADAPTOR FOR ROCHESTER 6201 OR SCORRE-TAYLOR UR.
D	FLOAT GAUGE, ALT. 1 1/4" EX. HYD. TANK P.L.G. FOR ROCHESTER TEST FLOAT GAUGE.
E	1 1/4" EX. HYD. TANK P.L.G. FOR REGO TAPES OR SHERWOOD P.L.G.
F	FISHER D-200 FILL VALVE.
G	200SL FISHER L-877 MULTIVALVE.
H	1 DOME - SEE STD. DRAWING NO. 6-980-44
I	2 LIFTING LUGS - SEE STD. DRAWING NO. 6-980-41
J	3 TANK SUPPORT - SEE STD. DRAWING NO. 6-980-45
K	4 PIPE TUBE LENGTH = 2 1/2" x 6.71 BOX AT 40° F.
L	5 HEADS - 2 1/2" OD x 3/8" THICK - 2 1/2" ELLIPTICAL - 3/4" OD x 3/8" THICK
M	6 SHELL - 0.1875" x 66 1/4" x 75 1/4" - SA-106
N	7 NAME PLATE
O	8 REGULATOR BRACKET - BAHAR, INC.

GENERAL SPECIFICATIONS	
WATER CAPACITY (GALLONS)	120
ALLOWABLE WORKING PRESSURE (P.S.I.)	250
JOINT EFFICIENCY	85%
SPOT X-RAY ASSESSMENT	100%
HYDROSTATIC TEST PRESSURE (P.S.I.)	375
SURFACE AREA (SQ. FT.)	280
RELIEF VALVE SETTING (P.S.I.)	250
RELIEF DISCHARGE RATE - G.P.M. REQUIRED	1078
CODE	ASME SECTION VIII, DIVISION 1
MATERIAL SPEC.	UNDERWRITERS LABORATORIES INC. MH-5127
COMPLIANCE	DA-106 GR. II
TANK FLANGES	SA-106 GR. II
ADAPTOR	SA-106 GR. II
FLOAT GAUGE BRACKET	REGPRENE

- GENERAL NOTES:
- 1 THREADS OF ALL FITTINGS TO BE COATED WITH UL APPROVED COPROUND.
 - 2 FLOAT GAUGE TO BE INSTALLED WITH FLOAT ARM 40° OFF LONGITUDINAL & CP TANK.
 - 3 COMPLETE TANK DRIED TO REMOVE ALL MOISTURE.
 - 4 EXTERIOR OF TANK TO BE GRIT BLASTED.
 - 5 PAINT PER SHOP ORDER.
 - 6 ADD METHANOL.
 - 7 PRESSURE TANK WITH MINIMUM OF 60 P.S.I. DRY AIR FOR SHIPMENT.

120 W.G. ABOVEGROUND PROPANE TANK - TYPE BS-AP
AMERICAN WELDING & TANK CO ENTRUSTED BY
PLANT-CITY STEEL CO. INVESTMENT
REV. 9-79
MANUFACTURED BY JA-120

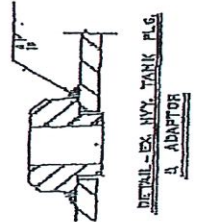


NAT'L. BD. TECHNICAL

AMERICAN WELDING & TANK CO.
DIVISION OF HANCO CORPORATION
LANSING, MICHIGAN

MANUFACTURED BY: 120 P.S.I. ABOVEGROUND
ASSEMBLY NO. BY FILE: 120 P.S.I. ABOVEGROUND
DATE: 12/18/79

WARRANTY: 120 P.S.I. ABOVEGROUND
WARRANTY PERIOD: 120 P.S.I. ABOVEGROUND



LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

GAZEBO, CANVAS/HARD TOP CANOPY

1. A gazebo with canopy is a metal free standing, canvas/hard top roofed and partial sided structure, providing a shady resting spot.
2. The temporary canvas material will only be allowed for a limited time each year, from May 1st, through September 30th. The hard top may remain year-round.
3. The gazebo with canopy is not to be used for storage of any kind. Only patio furniture sets, including tables, chairs and/or chaise lounges will be permitted in connection with the limited use of the gazebo with canopy.
4. In no event shall outdoor barbeques be placed closer to the gazebo or dwelling than permitted by fire code regulations. All materials shall be fireproof or equivalent.
5. The maximum size allowed of the gazebo with canopy is 10 ft. X 12 ft.
6. The gazebo with canopy is only allowed on patios and decks. The gazebo must be securely anchored to a cement footing and bracket (see attached pictures). Footings and brackets have to be inspected before pouring cement. The footings must be three (3) feet deep. The gazebo with canopy cannot interfere with lawn service in any way. This applies whether or not optional lawn service is provided. Township permit must be obtained.

LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

7. The gazebo with canopy must not contain temporary electrical or plumbing. All permanent electrical or plumbing installed in connection with use of the patio and deck must be correctly installed using proper materials as required by local building codes. There shall be no electrical lighting or other electrical appliance (such as exterior electrical insect extermination devices/bug lights) using temporary power cords in connection with the use of the gazebo with canopy.
8. Use of the gazebo with canopy, deck or patio shall adhere to all Manchester Township noise abatement regulations and such other applicable rules and regulations of the Association concerning noise.
9. When not in use during the allowed time period, the temporary gazebo must be removed in its entirety. All frameworks and other parts must be removed in its entirety and stored inside the home or off premises.
10. Homeowner assumes all responsibility for any loss or injury to persons or damage to property arising out of the installation, use and removal of the temporary gazebo. The owner shall hold harmless and indemnify the Association from all such loss or damage and provide the Association with a Release and Indemnification in the form for these purposes adopted by the Board of Trustees.
11. Temporary party tents are excluded from these guidelines, but are subject to such other rules and regulations published by the Association as applicable.
12. The owner must apply yearly to renew approval for the installation of a temporary gazebo. The owner shall be subject to any amendments or supplements to the guidelines or rules and regulations that apply to temporary gazebos then in effect.

LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

GAZEBO, CANVAS TENT (Temporary)

1. A canvas tent gazebo is a temporary, free standing, canvas roofed, open sided and anchored structure, providing a shady resting spot, which shall also include tents and outdoor screen houses.
2. A temporary gazebo will only be allowed for a limited time each year, from May 1st through September 30th.
3. The temporary gazebo is not to be used for storage of any kind. Only patio furniture sets, including tables, chairs and/or chaise lounges will be permitted in connection with limited use of the temporary gazebo.
4. In no event shall outdoor barbeques be placed closer to the temporary gazebo or dwelling than permitted by fire code regulations. The material shall be fire proof canvas or equivalent.
5. The maximum size allowed of the temporary gazebo is twelve (12) ft x twelve (12) ft. No part of the temporary gazebo structure shall exceed ten (10) feet in height.
6. This temporary gazebo is only allowed on patios and decks. The temporary gazebo must be securely anchored to the patio or decking. The temporary gazebo cannot interfere with lawn service in any way. This applies whether or not optional lawn service is provided.
7. Use of the temporary gazebo, deck or patio shall adhere to all Manchester Township noise abatement regulations and such other

LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

applicable rules and regulations of the Association concerning noise.

8. The temporary gazebo may not contain temporary electrical or plumbing. All permanent electrical or plumbing installed with the use of the patio and deck must be correctly installed using proper material as required by local building codes. There shall be no electrical lighting or electrical appliances (such as exterior electrical insect extermination devices/bug lights) using temporary power cords on connection with the use of the temporary gazebo.
9. When not in use during the allowed time period, the temporary gazebo must be removed in its entirety, including all frameworks and other parts which must be disassembled and stored inside the home or off premises.
10. Temporary party tents are excluded from these guidelines, but are subject to such other rules or regulations published by the Association as applicable.
11. Homeowner assumes all responsibility for any loss or injury to persons or damage to property arising out of the installation, use and removal of the temporary gazebo. The Owner shall hold harmless and indemnify the Association from all such loss or damage and provide the Association with a completed Release and Indemnification Form (see Exhibits, page 10) for these purposes adopted by the Board of Trustees.
12. The Owner must apply yearly to renew approval for the installation of a temporary gazebo. The Owner shall be subject to any amendments or supplements to the Guidelines or Rules and Regulations that apply to temporary gazebos then in effect.

LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

GENERATORS

Emergency Generators

1. An emergency generator (stationary or portable, if powered by natural gas or propane) is permitted with prior ACC approval to provide electric power during POWER OUTAGES ONLY. Gasoline powered portable generators also require ACC approval but shall conform to the conditions below and attached.
2. All generators shall have a manufacturer's sound emissions rating to conform to Manchester Township noise control ordinance.
3. The manufacturer's specification sheet, including decibel level for the generator to be installed, shall be included in the ACC application.

Stationary Generators

1. Stationary generators are to be fueled by the homeowner's natural gas line, be stationary and shall be installed per manufacturer's specifications.
2. The stationary generator shall be installed no closer than eighteen (18) inches but no more than 24" from the front side corner of the house and no closer than eighteen (18) inches but no more than 24" from side of house if installed in a side yard as per Manchester Township code. If the generator is installed in the rear of the house, it shall be installed no closer than eighteen (18) inches but no more than 24" from the rear of the house as per Manchester Township code. No stationary generator shall be installed in the front of a house.

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ARCHITECTURAL CONTROL GUIDELINES

3. It is recommended that the stationary generator have some type of protective barrier around it such as a small landscape bed, bricks or black landscape trim or the like if it is installed adjacent to an area that receives lawn mowing services.
4. The stationary generator shall be connected to the electric house wiring through a transfer switch (to prevent feedback to power utility lines) which shall be installed per all applicable codes and inspected by the appropriate Manchester Township code officials.
5. Generator system shall be designed for residential use and comply with all national, state and local codes and all manufacturer's installation guidelines.
6. If the generator has a test exercise package included, the operating time of the cycle shall be during the day between the hours of 8 AM and 10 PM. Time limit for test is to be in accordance with the manufacturer's specifications.

Portable Generators

1. Portable generators are to be fueled by gasoline or propane and be operated per manufacturer's specifications.
2. While operating a portable generator, it must be at least two (2) feet from the house.
3. Portable generators cannot be stored in any yard and shall be removed after eight (8) hours of power being restored. Gasoline units can be stored in garages only with an empty gas tank.

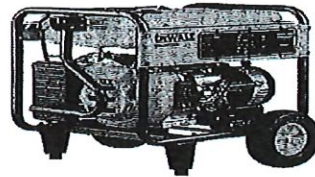
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ARCHITECTURAL CONTROL GUIDELINES

Stationary Generator



Portable Generator



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ARCHITECTURAL CONTROL GUIDELINES

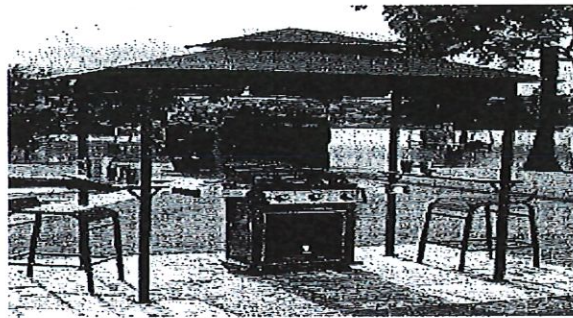
GRILLZEBO

1. A grillzebo is a free standing, metal roofed, open sided and anchored structure, providing cover for your grill.
2. In no event shall outdoor barbeques be placed closer to the dwelling than permitted by fire code regulations.
3. The maximum size for the grillzebo is eight (8) foot H x eight (8) foot W x five (5) foot D. No part of the grillzebo structure shall exceed ten (10) foot in height.
4. The grillzebo is only allowed on patios and decks. The grillzebo must be securely anchored to the patio or decking.
5. The grillzebo cannot interfere with lawn service in any way. This applies whether or not optional lawn service is provided.
6. Use of the grillzebo, deck or patio shall adhere to all Manchester Township noise abatement regulations and such other applicable rules and regulations of the Association concerning noise.
7. The grillzebo must not contain temporary electrical or plumbing. All permanent electrical or plumbing installed in connection with use of the patio and deck must be correctly installed using proper materials as required by local building codes. There shall be no electrical lighting or other electrical appliance such as exterior electrical insect extermination devices/bug lights using temporary power cords in connection with the use of the grillzebo.

Note: See attached picture

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ARCHITECTURAL CONTROL GUIDELINES



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ARCHITECTURAL CONTROL GUIDELINES

IRRIGATION, LAWN

1. All applications for sprinklers shall be submitted with a plot plan with measurements for all piping and heads on the plot plan.
2. It is recommended that a rain-sensing device be installed on a system so as to keep sprinklers off in the rain. It is estimated the savings in one or two years will pay for the additional cost.
3. A mark out of all utilities must be called in prior to start of work by either homeowner or contractor.
4. The Association will not accept responsibility for any damage or the like to heads and/or piping installed in the City Strip (area between the lot side of the sidewalk to the curb) which may occur while the Association performs required repairs or maintenance to that area.

LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

LANDSCAPING & ORNAMENTATION **(Non-Seasonal)**

1. Residents may plant within a three (3) foot area adjacent to their foundation when work is done by the resident or their approved agent without a Permit.
2. Any planting or ornamentation i.e. flag poles, lamp posts, windmills, wells, lighthouses and garden figures beyond three (3) feet requires a Permit. A design and plot plan must be submitted with the application.
3. No planting or ornamentation in city strips.
4. No artificial grass, plants or other artificial vegetation or ornamentation covering shall be placed or maintained upon exterior portion of any lot, unless approved by the Architectural Control Committee. Artificial flowers are permitted but may not be placed in the ground. Artificial flowers must be properly maintained which includes cleanliness, color saturation and general overall condition.
5. No alteration, addition, planting or other change outside the home shall be such as to cause or allow to be caused an obstruction to proper sight lines for traffic at intersections.
6. Tree removals require a permit except in the event of an emergency. When removing a tree, stump must also be removed to alleviate any hazardous condition that may arise, such as lawn mowing. This will apply whether or not that property is on lawn maintenance.

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ARCHITECTURAL CONTROL GUIDELINES

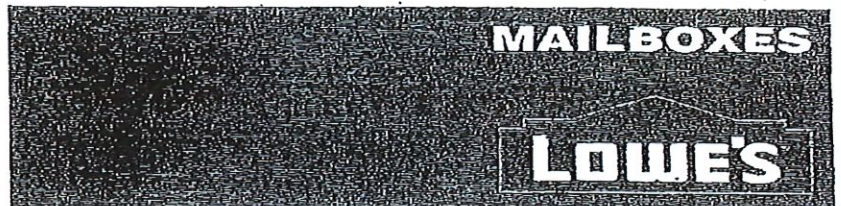
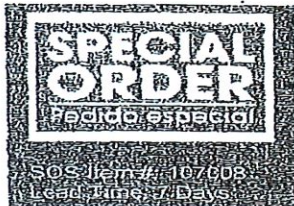
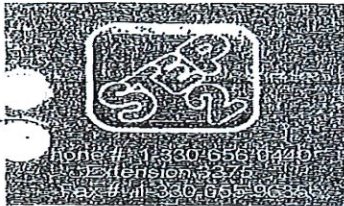
MAILBOX



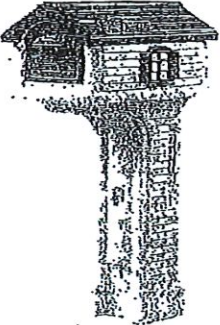

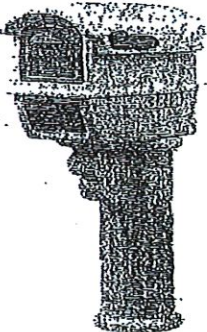

1. Mailbox must be located so that carrier's vehicle is at edge of pavement when delivering mail and forty to forty-six (40-46) inches high from road surface. The opening of mailbox must be six (6) inches inside curb.
2. For safety reasons it is recommended house numbers should be showing not less than three (3) inches high on both sides of mailbox/post.
3. Approach to your mailbox should be kept clear of snow, vehicles or other obstacles.
4. Size and shapes of the mailbox must conform to the approved styles.
5. No artificial plants or flowers are to be placed at the mailbox or hung from the post of the mailbox.

See attached pictures for approved styles and installation diagrams

LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES



 <p>531700 MailMaster® StoreMore Mailbox</p> <p>Allows for mail and packaging delivery while away for a long weekend or vacation.</p> <p><i>See Lowe's Associate for Pricing.</i></p>	 <p>512400 MailMaster® Stone Hill Plus</p> <p>Mailbox and newspaper slot features realistic stone façade and contemporary design.</p> <p><i>See Lowe's Associate for Pricing.</i></p>
 <p>5A2000 MailMaster® Villager</p> <p>Mailbox and with a country-home design.</p> <p><i>See Lowe's Associate for Pricing.</i></p>	 <p>543600 MailMaster® Timberline Plus</p> <p>Mailbox and newspaper slot with a distinctive, wood-like design in earthy colors adds a rustic look to any home.</p> <p><i>See Lowe's Associate for Pricing.</i></p>
 <p>5A1200 MailMaster® Classic Plus</p> <p>Classic design with built in newspaper compartment.</p> <p><i>See Lowe's Associate for Pricing.</i></p>	 <p>592000 MailMaster® Wrought Iron Plus</p> <p>Classic design with built in newspaper compartment.</p> <p><i>See Lowe's Associate for Pricing.</i></p>

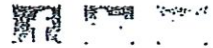
LEISURE KNOLL at MANCHESTER

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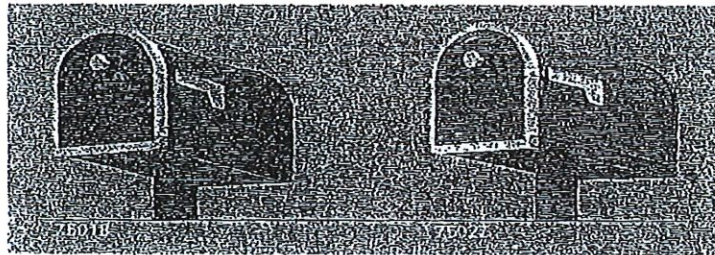


THE FAIRFIELD MAILBOX

Simplistic yet stylish the Fairfield™ mailboxes offer quality construction in a universal design. Constructed primarily of aluminum, the Fairfield has powder coated metallic accents on all cast parts. The Fairfield is powder coated prior to assembly for superior fit and finish. The Fairfield is designed, priced and packaged to meet the off-the-shelf needs of today's consumer. Each Fairfield mailbox fits any standard 4x4 post.

Color Combinations

Front and rear frames are die cast aluminum then powder coated in two complimentary metallic finishes. Rear accent pieces are cast aluminum and powder coated to match mailbox body.



[Fairfield Size Specifications](#)

Posts Options

Our Fairfield mailboxes can be mounted on these three stylish posts with options for a newspaper receptacle and decorative shroud.

Basic Post

This 3" round option constructed of galvanized steel provides for in-ground mounting. Available in Black, Bronze and Sand.

Basic Post with Decorative Cover

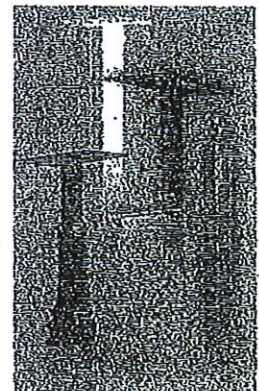
This option includes a decorative cover designed as an enhancement for our Basic Post. Available in Black, Bronze, Sand, and White.

Standard Post

The Standard post is available in both surface mount or in-ground. Available in all mailbox colors.

Decorative Post

Our Decorative post is a classic design that complements the distinctive style of our post mount mailboxes. Available in all mailbox colors.



[View more post features](#)

LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

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Customer Service

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ALL MAILBOXES

Our Gibraltar mailboxes come in three different sizes; Standard, Large, and Jumbo and are available in a variety of materials and decorative designs. We offer mailboxes in Steel, Aluminum, Wood, and Plastic.

Decorative, locking and traditional designed curbside mailboxes and accessories to install or personalize your mailbox.

All of our Gibraltar mailboxes meet U.S.P.S. standards which is a U.S. Postal regulation requirement for all curbside mailboxes.



JUMBO

This jumbo size mailbox is constructed from heavy-duty galvanized steel and has a durable ribbed body for extra strength. Its extra large capacity can hold mail for days as well as small parcels. Steel latch and aluminum flag. Rust resistant powder coat finish.



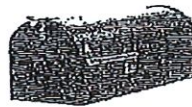
KENSINGTON

The Kensington is a fashionable brick red mailbox that is durable and elegant. It's made of a heavy-duty steel construction with an optional door trim kit to make your mailbox one of a kind.



MADISON

The Madison is a standard size curbside mailbox with a long lasting black textured powder coated finish. This decorative mailbox comes complete with a satin nickel flag and latch to give your curb lasting beauty. This mailbox is quick and easy to assemble and fits any standard size post.



MADISON - LARGE

The Madison rural mailbox is constructed of heavy duty steel. This large size mailbox has a long lasting Hartford green powder coat finish. The Madison comes complete with a decorative solid brass flag and latch and assembles in minutes.



MAIL SLOT AND SLEEVE

The mail slot and sleeve are a great alternative for mail delivered to your doorstep. Mail easily fits through the slot and into the security of your home. Made of a durable metal finishes this mail slot is a compliment to any exterior door style. It features a spring-loaded front plate with interlocking flap and frame to ensure a tight closure. It can be easily installed as a replacement slot or new when combined with the sleeve insert. Installation templates are provided on the packaging.



MAILSAFE

Protect your identity with the Mailsafe lockable curbside mailbox. Mailbox is constructed from steel and high impact polymer. A concealed locking access door keeps correspondence from being lost or stolen. For incoming & outgoing mail.



MAILSAFE

The Mailsafe is a locking security mailbox available in black or white with a brushed aluminum finish. It has a durable aluminum mailslot for incoming or outgoing mail. The mailbox is rustproof and features a large heavy-duty access door with cam lock and two keys. Mounts at residence home or at the curb. Mounting instructions are included.



MAILSAFE II

This locking curbside mailbox can help protect against identity and mail theft. The fashionable door conceals and weather protects the large incoming mail slot and key-lock for retrieving your mail. The Mailsafe II (formerly called the Senby) is made of steel with a durable black textured powder coat finish for lasting beauty. This large size mailbox is versatile with mounting holes on the side and bottom to fit most mailbox brackets. Mounting hardware sold separately.



NEO CLASSIC

The Neo Classic wall mount mailbox is constructed of steel. This contemporary mailbox has an aged copper finish.



NORTHPOINTE

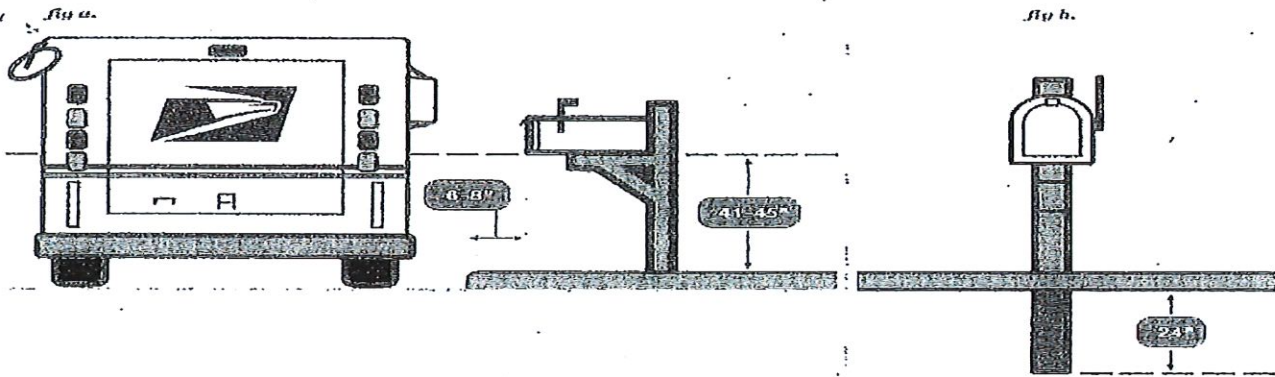
The Northpointe mailbox is a large size mailbox made of heavy duty metal construction. Features a magnetic door latch and distinctive recessed door.

LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

12/06

Mailbox Guidelines | USPS



LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

PAINING & COLORING

1. The painting of dwellings shall be done to maintain the existing residence in good condition as set forth within the covenants and the rules and regulations of Leisure Knoll at Manchester.
2. Leisure Knoll at Manchester is a planned residential community and as such the color of the painting shall be compatible with the surrounding area. The color shall not be of a type to make the residence stand out from the surrounding dwellings. The color shall be such as to have the dwelling blend in with the neighboring residences.
3. The painting of any residence shall be limited to three (3) complimentary colors. Any exterior painting other than white requires a permit.
4. See the "Fast Track" Paint Chart for color choices that do not require submission of a paint chip along with the Permit Application. To qualify for "Fast Track" approval, you must choose one of the colors from the chart and only the body color from the Body Color list, only the trim color from the Trim Color chart and only the accent color from the Accent Color list. Any variation must be pre-approved by the Architectural Control Committee via the submission of color chips as specified above.
5. Two (2) members of the Architectural Control Committee will review the Permit and color chips before approving Permit.

LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

“FAST TRACK” PAINT CHART

This “Fast Track” paint chart shows color selections that have been pre-selected and approved and do not require the prior submission of a sample paint chip. The colors listed are Behr brand paint colors (available at Home Depot), but you may use any paint brand of your choice that can be custom matched.

You may mix colors in any way but the Body Color you choose must be from Column 1, the Trim Color you choose must be from Column 2 and the Accent Color must be from Column 3 to qualify for the Fast Track. Any variation must be pre-approved by the Architectural Control Committee via the submission of paint chips as specified in the Guidelines.







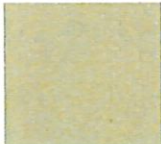
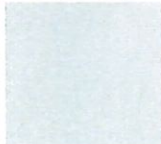



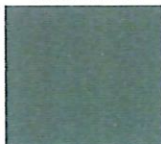



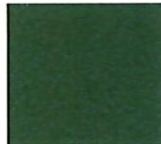


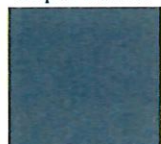

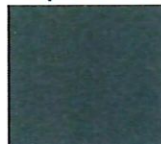


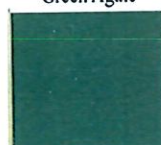


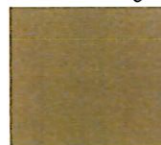
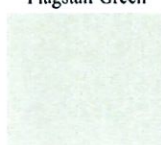
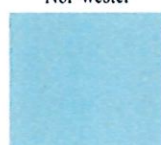



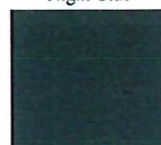
See the Color Chart Brochure for color chips.

BODY COLOR		TRIM COLOR		ACCENT COLOR	
Almond Latte	N260-2	Canyon Wind	BL-W12	Sugar Beet	M130-7
Shitake	N220-4	Baby Artichoke	S330-1	Alpine Trail	N420-7
Iron Mountain	N520-5	Doeskin Gray	N200-2	Vine Leaf	N400-7
Very Navy	M500-7	Off White	73	Graphic Charcoal	N500-6
Praline	S270-4	Yucca White	YL-W08	Fire Roasted	S150-7
Flagstaff Green	N400-3	Spun Cotton	YL-W09	Black Garnet	N110-7
Tsunami	S450-7	Smooth Silk	YL-W07	Tsunami	S450-7
Flannel Gray	N520-3	Almond Latte	N260-2	Dark Crimson	M140-7
Cream Custard	N220-4	Mourning Dove	OR-W12	Green Agate	M430-7
Graphic Charcoal	N500-6	Painters Canvas	M320-1	Blueprint	S470-5
Green Agate	M430-7	Authentic Tan	N290-2	Wild Mustang	N240-6
Nor’wester	N470-4	Tibetan Jasmine	M310-1	Night Club	N500-7

*Please mark the column next to your selection(s)
and attach to your Permit Application.*

LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

BODY COLOR		TRIM COLOR		ACCENT COLOR	
Almond Latte 	Tsunami 	Canyon Wind 	Smooth Silk 	Sugar Beet 	Tsunami 
Shitake 	Flannel Gray 	Baby Artichoke 	Almond Latte 	Alpine Trail 	Dark Crimson 
Iron Mountain 	Cream Custard 	Doeskin Gray 	Mourning Dove 	Vine Leaf 	Green Agate 
Very Navy 	Graphic Charcoal 	Off White 	Painters Canvas 	Graphic Charcoal 	Blueprint 
Praline 	Green Agate 	Yucca White 	Authentic Tan 	Fire Roasted 	Wild Mustang 
Flagstaff Green 	Nor'wester 	Spun Cotton 	Tibetan Jasmine 	Black Garnet 	Night Club 

Full Color Brochure Available

LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

PELLET/WOOD BURNING STOVE

1. The horizontal pipe must exit the house through the side or rear wall of house. Stove pipe 90 degree elbow must be at last six (6) inches from side of house. Stove pipe can rise three (3) feet in height with two 90 degree elbows on top to exhaust system.
2. The resident is required to obtain a separate Manchester Township Permit for the installation. A copy of such approval must be provided with the improvement permit application.
3. Installation must be provided by a qualified and certified installer.

LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

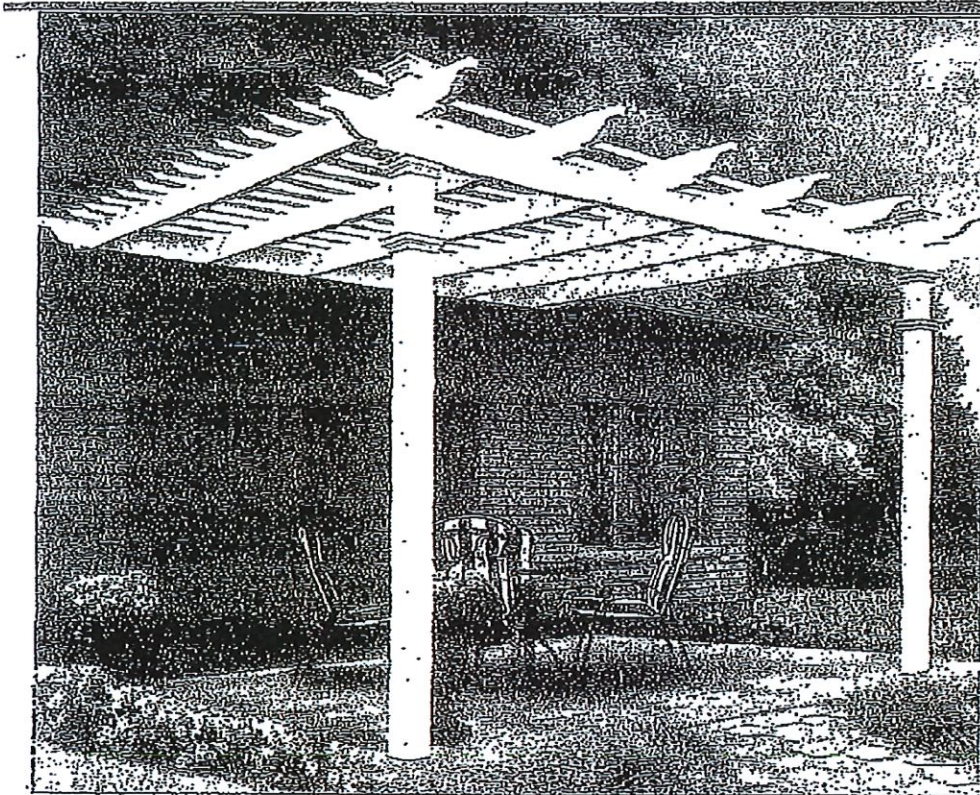
PERGOLA, WOOD/VINYL

1. A pergola in rear of house may extend from foundation wall a maximum of fifteen (15) feet, and cannot be any closer than eight (8) feet to the rear property line.
2. Pergola is only allowed on patios or decks and must be securely anchored to the patio/deck and to the back wall of the house.
3. The pergola may not interfere with lawn service in any way. This applies whether or not optional lawn service is provided.
4. The unit must not contain temporary electrical or plumbing. All permanent electrical or plumbing installed in connection with use of the patio/deck must be correctly installed using proper materials as required by local building codes. There shall be no electrical lighting or other electrical appliance such as exterior electrical insect extermination devices/bug lights using temporary power cords in connection with the use of the pergola.
5. A plot plan must accompany application with accurate measurements of planned construction and cut sheet or picture of the pergola.
6. If shrubs/trees are to be used as screening, they must not exceed eight (8) feet in height when mature, and they must be trimmed/maintained so as not to exceed height requirements.
7. A Township Permit is required to install a pergola.

See attached page for sample structure.

LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES



LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

PORCHES/PORTICOS

(New or Modification to Existing)

1. A Porch is a roofed over "open area".
2. A Portico is the same as a Porch. Also includes a covered open space designated or intended for walking.
3. For the purpose of interpretation of Restrictive Covenants and the rules and regulations of Leisure Knoll at Manchester a porch or portico shall be considered as an extension of the residence and shall be constructed and maintained in the same manner, i.e. shall conform to all required setbacks from rear, front and side property lines and to all aesthetic requirements including materials, workmanship and painting.
4. Exception - Patios with retractable awnings (no permanent columns or similar supports) shall not be considered a portico or porch. A resident is required to obtain a separate Manchester Township installation permit. SEE SPECIFICATIONS FOR "PATIO/DECK & FENCING".
5. Existing Porticos and Porches may be partially or fully enclosed provided the enclosure is comparable with the architectural; and appearances, including colors, of the residence. Limited amounts of lattice may be used for the enclosure if the color is similar to residence.
6. If a dumpster is needed, the dumpster may only remain in the driveway for five (5) business days. It may never be placed in the street. SEE SPECIFICATIONS FOR "DUMPSTER/POD CONTAINERS"

LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

RAILINGS, ORNAMENTAL

1. A railing is defined as a "bar/rail extending from one (1) post to another with open spaces under the bar/rail".
2. The railing shall not be higher than three and one half (3 ½) feet.
3. Preferably, it should be of wrought iron and/or composite material.
4. The design shall be subject to the approval of the Architectural Control Committee.
5. Railings may be placed around entranceways, porches and patios only.
6. When a railing is requested for medical reasons, it can only be installed on house side of driveway and extend from house to sidewalk.

LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

ROOFING

1. A second roof can be applied on an existing roof.
2. If two (2) layers of shingles (roofs) exist, all shingles shall be removed prior to installation of a new roof.
3. A Permit must be filed with and approved by ACC (Architectural Control Committee).
4. Refer to the Guideline entitled "Dumpster & Pod Containers, Utility Trailers" for full details on the requirements when a dumpster is utilized.

LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

ROOM ADDITION

1. Room additions shall include all additions to the existing dwellings, which are fully enclosed. This shall include the conversion of existing porches to sunrooms or other living facilities.
2. For purpose of interpretation of the restrictive Covenants and the Rules and Regulations of Leisure Knoll at Manchester, an addition shall be considered an extension of the residence and shall be constructed and maintained in the same manner.
3. Additions may extend from the foundation a **maximum of fifteen (15) feet while maintaining a fifteen (15) foot setback**. The addition shall be considered an extension of the existing dwelling and shall conform to all setback requirements, blend aesthetically with the existing dwelling, and be painted to compliment the dwelling. All painting shall conform to the guidelines for painting.
4. If a dumpster is needed, the dumpster may only remain in the driveway for five (5) business days. It may never be placed in the street. The dumpster must be covered overnight (7PM to 8 AM) each night it is on the premises and while in transit through the community, whether empty or not.
5. Installation must be provided by a qualified and certified installer.
6. The homeowner is required to obtain a separate Manchester Township Permit for the installation. All of the appropriate documents must be submitted FIRST to the ACC to obtain a Conditional Approval. This must accompany the application for the Township Permit. Final approval by the ACC will be issued when a copy of the approved Township Permit is submitted.

LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

SATELLITE DISH/DUAL BAND (HAM RADIO) ANTENNA INSTALLATION

1. Satellite dishes may not be larger than 24" X 36", which is high definition size.
2. A maximum of two satellite dishes can be installed on any house.
3. All satellite dishes must be installed to the rear of the house whenever possible.
4. All satellite dishes must be bonded and grounded as per NEC article 820-40.
5. All installers must have an insurance certificate to work in Leisure Knoll.
6. Leisure Knoll requires a diagram of satellite dish placement on roof prior to installation.
7. Installer and homeowner's signatures required, that you agree to Leisure Knoll guidelines for satellite installation.
8. Base bracket style dual band (Ham Radio) antennas up to six (6) feet in length may be installed in the rear corner of roof or peak area or in attic space.
9. Flag pole style dual band (Ham Radio) antennas may be installed on a case by case basis. Applications must include a plot plan indicating location etc.

See attached for specific instructions to installer and required installer information.

LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

Instructions to Cable TV System Installer:

1. **When installing new system you must leave Comcast cable connected to system.**
2. You are required to adhere to Article 820-40 of the National Electrical Code, which provides guidelines for proper grounding – in particular, specifying that the cable ground shall be connected to the grounding system of the building, as close to the post of cable entry as possible.

Homeowner's signature & date:

Installer's signature & date:

Installer's proof of insurance:

Technician ID

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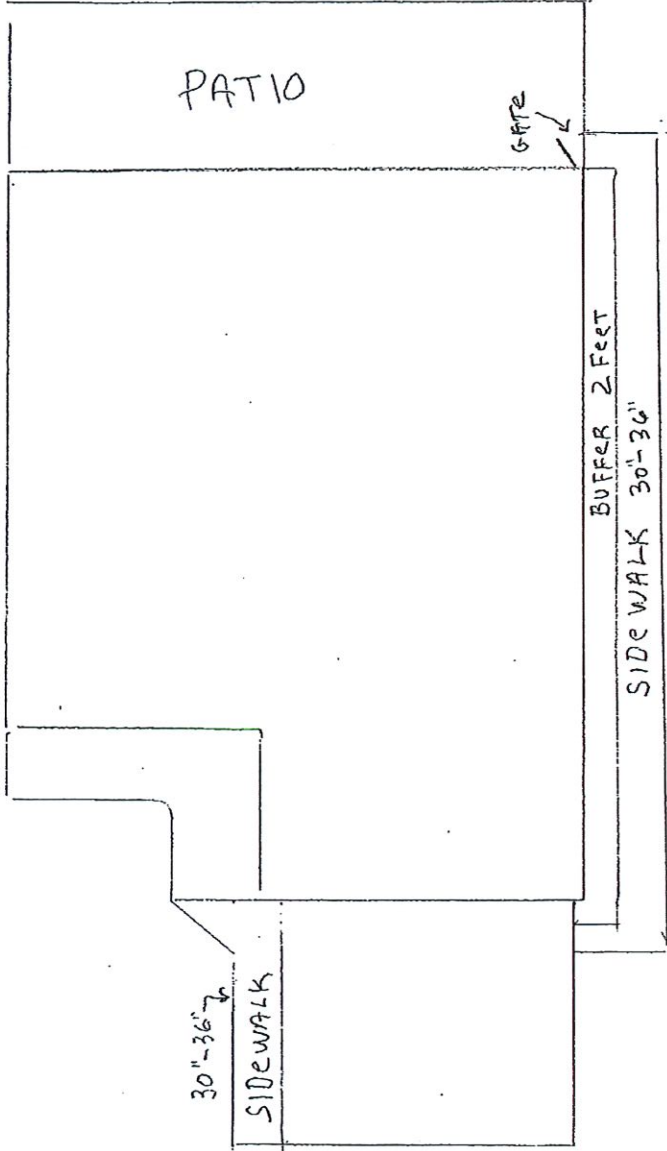
ARCHITECTURAL CONTROL GUIDELINES

SIDEWALKS

1. A sidewalk may be added to either side, back or driveway of the dwelling with the following specifications:
2. Sidewalk can be a distance of five (5) feet maximum from foundation to outer edge of the sidewalk.
3. Sidewalk by driveway must be on house side of driveway.
4. An earth buffer or planting strip from the foundation to the inner edge of the sidewalk may be a maximum of two (2) feet and the sidewalk a minimum of 30 inches to a maximum of 36 inches wide. Sidewalk cannot be extended to the depth of the patio. Sidewalk may only be 36" past corner of house to gate entrance. (See drawing).
5. Concrete is recommended. Pavers may also be used.
6. Leisure Knoll must comply with ADA (Americans with a Disability Act) requirements for walkways and/or ramps.
7. A copy of your plot plan must be attached to the application indicating the location of the sidewalk and its dimensions.
8. A sidewalk may be put alongside of house side of driveway. Size must conform to above sidewalk measurements.

LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES



LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

SIDING REPAIR/REPLACEMENT

1. The siding of homes shall be done to maintain the existing home in good condition as set forth with the Covenants and the Rules and Regulations of Leisure Knoll at Manchester.
2. Leisure Knoll at Manchester is a planned residential community and as such the coloring of the siding shall be compatible with the surrounding area. The color shall not be of type to make the home stand out from the surrounding homes. The color shall be such as to have the home blend in with the neighboring homes.
3. The siding of any home shall be limited to over all three (3) complimentary colors. Any siding other than white requires a permit.
4. See approved paint chart for proper colors.

LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

SOLAR PANELS

1. In the case of individual residential homes, solar panels are permitted to be installed only on the roofs, provided that they have prior approval of the Architectural Control Committee and the Township and conform to the following guidelines. A copy of the final approval from the Township must be submitted to the Association when applicable.
2. The number of panels must be limited to the required energy of the individual home.
3. A sketch of the panels indicating their location on the home's roof is required.
4. The sides of the panels should be the color of the roof, whenever possible.
5. Care must be taken to affix the panels to the roof so as not to loosen or be blown off during a storm, causing injury or damaging others' property and installed as recommended by the manufacturer and installer and must conform to all State and Manchester Township building codes.
6. If it is necessary to remove trees to obtain the most advantage of the direction of the sun, only trees on the applicant's property can be removed by the applicant. Neither the street line trees nor neighboring properties trees can be removed by the applicant without a separate Permit for tree removal.

LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

7. The ACC requires the homeowner to have all electrical boxes involved in the installation of the solar panels inside the owner's garage. Special circumstances for anything other than the inside of the garage must be submitted in writing to the Board of Trustees for approval .

LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

STORAGE SHEDS

1. Sheds must be a resin/vinyl material or the like.
2. Sheds may not exceed 75 cubic feet with a maximum height not to exceed 4 ft. An example is: 6 ft wide, 3 ft deep, 4 ft high which is 72 cubic feet.
3. Sheds must be installed by anchoring to a platform constructed of wood or concrete which must exceed the shed base dimensions by 4" on all sides. A protective bed around the platform is recommended to prevent damage to it and/or the shed from lawn maintenance equipment.
4. The shed must be located in the back of the home no further than 4" from the foundation. Permit application must clearly indicate the location and shed must be installed and remain in that location unless otherwise pre-approved by the ACC.



LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

TRASH/RECYCLING CAN STORAGE SHED

1. The Trash/Recycling can storage shed is for the storage of trash and/or recycling cans only.
2. The Trash/Recycling can storage shed must be constructed of a vinyl or similar material.
3. The Trash/Recycling can storage shed may not exceed 75 cubic feet. An example is: 6 ft wide, 3 ft deep, 4 ft high which is 72 cubic feet.
4. The Trash/Recycling can storage shed must be installed on the side of the home as near to the in-ground pit can as possible.
5. The ground at the Trash/Recycling can storage shed location may require re-grading for proper installation.
6. Sheds must be installed by anchoring to a platform constructed of wood or concrete which must exceed the shed base dimensions by 4" on all sides. A protective bed around the platform is recommended to prevent damage to the platform and/or the shed from lawn maintenance equipment.



LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

VENEER/STONE DECORATIVE FACING

1. Veneer/Stone decorative facing height to be no more than four (4) foot high, color to blend with house. If the stone is real and requires a footing or foundation below the frost line, then a Permit is required from the Manchester Building Department.

LEISURE KNOLL at MANCHESTER

ARCHITECTURAL CONTROL GUIDELINES

WINDOW INSTALLATION

1. Leisure Knoll at Manchester is a planned residential community and as such the windows shall be compatible with the surrounding area. The windows shall not be of a type to make the residence stand out from the surrounding dwellings.
2. Window installation shall be done in a professional way keeping with the Architectural style of the neighborhood.
3. Window frames are to be white only and the glass must be clear.

10/23/23

RECORD AND RETURN TO:
HUESTON MCNULTY, P.C
256 Columbia Turnpike, Ste. 207
Florham Park, New Jersey 07932

Prepared by: _____
Robert J. Hueston, Esq.

<p><u>RESOLUTION</u></p> <p>No. <u>04</u>-23</p> <p>LEISURE KNOLL AT MANCHESTER ASSOCIATION, INC. (Relating to Revisions to the System of Fines)</p>

WHEREAS, by multiple Declarations of Restrictive and Protective Covenants (the "Governing Documents") in the Office of the Ocean County Clerk and Amended and Restated Bylaws recorded 6/24/11 in Deed Book 14916 at Page 1724 et seq., **LEISURE KNOLL AT MANCHESTER** ("Property") and **LEISURE KNOLL AT MANCHESTER ASSOCIATION, INC.** (the "Association") were established; and

WHEREAS, the Governing Documents empower the Association's Board with all duties necessary for the proper conduct and administration of the affairs of the Association and the operation and maintenance of the community property and to do or cause to be done all such other lawful acts and things as are permitted by the Governing documents and by law; and

WHEREAS, the Bylaws at Article V, Section 11(o) empower the Board with the duty "to make and enforce compliance with such reasonable Rules and Regulations relative to the operation, use

and occupancy of the Lots and/or Dwelling Units and Common Properties"; and

WHEREAS, the Bylaws also define "Member in Good Standing" and eligibility to vote in elections as one who is current in all payments of assessments, including fines and penalties; and

WHEREAS, the Board of Trustees had previously adopted Resolution No. 26, recorded 8/22/2012 in OR BK 15290, Page 169 establishing a system of fines with the minimum fine set at \$25.00 and a maximum fine of \$50.00, with the right to impose successive fines for each day that a violation persists unabated; and

WHEREAS, the Board of Trustees amended the System of Fines by Resolution No. 03-22 recorded in Ocean County Clerk OR BK 19258, page 1517; and

WHEREAS, various other resolutions have established the process for addressing violations reported by the Compliance Committee, including the number of warnings/requests to correct to be given prior to the issuance of a fine; and

WHEREAS, the member who becomes subject to a fine may still exercise the right to dispute the imposition of a fine by requesting an ADR hearing.


NOW THEREFORE, BE IT RESOLVED that the Board of Trustees adds to the list of possible violations, a failure by an owner to seek ACC review and approval of modifications to the property prior to

beginning said modification. The fine for this violation is \$150.00.

IN WITNESS WHEREOF, the Association has duly enacted this Resolution this 11 day of OCTOBER, 2023.

LEISURE KNOLL AT MANCHESTER
ASSOCIATION, INC.

By: _____


Karen Ferone, President

LEISURE KNOLL AT MANCHESTER ASSOCIATION, INC.

Resolution Type: Policy No.

Regarding: Updating the System of Fines

Duly adopted at a meeting of the Board of Trustees of Leisure Knoll at Manchester Association, Inc., held on this 11th day of OCTOBER, 2023.

<u>Officer</u>	<u>Vote:</u>			
	Yes	No	Abstain	Absent
<u>David Glenn</u> <i>David Glenn</i> , Trustee	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<u>Andrew Passman</u> <i>Andrew Passman</i> , Trustee	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<u>Karen Ferone</u> <i>Karen Ferone</i> , Trustee	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<u>Kenneth Wiseman</u> <i>Kenneth Wiseman</i> , Trustee	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<u>Peter Marottoli</u> <i>Peter Marottoli</i> , Trustee	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<u>Vladimir Kowaliwskyj</u> <i>Vladimir Kowaliwskyj</i> , Trustee	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<u>Linda Murray</u> <i>Linda E Murray</i> , Trustee	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Attest:

Linda E Murray
Linda Murray, Secretary

10/12/23
Date

File:

Book of Minutes - 2023.
Book of Resolutions - 2023.

Resolution Effective: DECEMBER 1, 2023.

LEISURE KNOLL AT MANCHESTER ASSOCIATION, INC.

STATE OF NEW JERSEY)
 : SS
COUNTY OF OCEAN)

I certify that on the 23rd day of October, 2023, Linda Murray personally came before me and these persons acknowledged under Oath, to my satisfaction, that:

- (a) this person is the Secretary for Leisure Knoll at Manchester Association, Inc. the corporation named in this document.
- (b) This person is the attesting witness to the signing of this document by the proper corporate officer Karen Ferone, who is President of the corporation.
- (c) This document was signed and delivered by the corporation as its voluntary act duly authorized by a proper resolution of its Board of Trustees;
- (d) This person knows the proper seal of the corporation which was affixed to this document; and
- (e) This person signed this proof to attest to the truth of these facts

Signed and sworn to before me on this 23rd day of October, 2023.

[Signature]
Notary Public of
the State of New Jersey

