



AMERISPEC[®] INSPECTION SERVICES

AmeriSpec Inspection Services

4840 Loretto Road
Bardstown, KY 40004
502-403-7995

Doc #:	20519B	Inspector:	Todd Newman
Date:	2/4/2019		
Dwelling Address:	102 Smith Bardstown KY 40004		
Client Name:	D Stuart		
Client's Agent:	Tammy Gowin	Real Estate Company:	Goldmark Realtors

We attempt to give the client a comprehensive, clear-cut, unbiased view of the home. The purpose of this inspection is to identify 'MAJOR' problems associated with the property being purchased or sold, although minor items may also be mentioned. Areas, which may be of concern to us, may not be of concern to the client and some items, which may be of concern to the client, may be considered minor to us. Therefore, it is advisable to read the entire report. Where repairs or replacements are suggested, we recommend licensed professionals in that field be called upon to make those repairs. We can perform verification of repairs to ensure repairs or corrections were made and also advise the client to obtain all paperwork from professionals concerning the work performed. These professionals will be happy to provide you with written statements concerning their work. We further recommend maintaining all paperwork on repairs for future reference. FUTURE FAILURE: Items in the home can and do experience failure without prior indications. This report is a snap shot of the condition of the home at the time of inspection. We cannot determine if or when an item will experience failure. Therefore, we cannot be held responsible for future failure. Carbon monoxide and smoke detectors have been proven to save lives. Client is advised to install carbon monoxide and smoke detectors if not already present in home. Suggest consulting with your local municipality and manufacture specifications as to the proper location and installation of these units.



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DEFINITION OF TERMS

Please take the time to analyze the following pages contained herein. This is your complete inspection report and must be reviewed carefully. Below is an index of the ratings used in this report.

SERVICEABLE (S) = The items inspected appeared to function normally at time of inspection.

Not Applicable (N/A) = The item(s) do not apply to this property.

NOT PRESENT (NP) = The item was not present at the time of inspection.

NOT INSPECTED (NI) = The item was not inspected due to inaccessibility, personal items, temperature, weather conditions or the item is not within the scope of the inspection.

NOT OPERATED (NO) = The system or component was not operated due inaccessibility, temperature, weather conditions or the item is not within the scope of the inspection.

REPAIR / REPLACE (RR) = The item was inspected and found to have deficiencies, was operating or installed incorrectly, is a possible health, fire, safety concern or in the inspector's opinion at or near the end of its useful life. Items with the heading 'Repair / Replace' will appear in the 'Summary Report'.

GENERAL CONDITIONS

Type of building:

Single Family (1 story)

In Attendance:

Client

Approximate age of building:

20 to 25 Years

Temperature:

65 degrees (F)

Weather:

Cloudy

Ground/Soil surface condition:

Wet

Rain in last 3 days:

Yes

Start Time:

Start Time: 12:45 PM

Finish Time:

Finish Time: 2:00 PM

1. Exterior

Our exterior evaluation is visual in nature and is based on our experience and understanding of common building methods and materials. Our review does not take into consideration the normal wear associated with virtually all properties. Exterior surfaces should be kept well painted, stained or sealed to prevent deterioration. Grading & adjacent surfaces should be maintained and pitched away from the foundation to reduce the chances of water infiltration.

Styles & Materials

Driveway:

Concrete

Walkways:

Concrete

Exterior Wall Cladding:

Brick Veneer

Exterior Entry Doors:

Wood

Metal Clad

Windows and Frames:

Single-hung

Trim:

Vinyl

Items

1.0 Driveways

Comments: Repair or Replace

Common cracks observed, primarily a cosmetic concern. We suggest sealing all cracks in concrete/asphalt/brick surfaces to prevent water penetration as a routine maintenance effort.



1.0 Item 1(Picture)

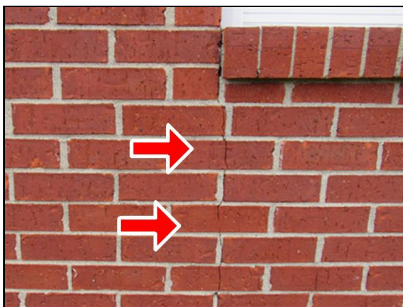
1.1 Walkways

Comments: Serviceable

1.2 Exterior Wall Cladding

Comments: Repair or Replace

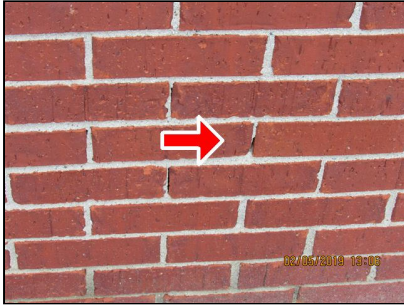
(1) Cracked brick and mortar joints observed at front of home rear of home. We recommend professionally repairing the affected area to reduce the potential for water infiltration into the home and further displacement.



1.2 Item 1(Picture)

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(2) Damaged/deteriorated mortar observed at front of home; suggest tuck pointing as necessary to prevent further damage.



1.2 Item 2(Picture)



1.2 Item 3(Picture)

1.3 Trim, Eaves, Soffits and Fascias

Comments: Repair or Replace

(1)

- **Trim on this home is covered with vinyl. The inspector is unable to view the condition of covered areas.**

(2) Damaged trim observed at left side. Recommend repairs to prevent further damage.



1.3 Item 1(Picture)

(3) Caulking should be applied around all windows, doors, and any voids where necessary.



1.3 Item 2(Picture)

(4) Loose trim piece observed at right side of front entry, suggest repairs/replacements.



1.3 Item 3(Picture)

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1.4 Windows & Frames**Comments:** Repair or Replace

(1) Caulking should be applied around all windows, doors, and any voids where necessary.



1.4 Item 1(Picture)

(2) Damaged/deteriorated glazing observed at several areas; suggest re-glazing as necessary.



1.4 Item 2(Picture)



1.4 Item 3(Picture)

(3) Screens are missing at various locations; recommend consulting sellers as to the possibility of stored screens or replace screens for proper window usage.

1.5 Doors (Exterior)**Comments:** Repair or Replace

(1) The threshold at the entry right side of home is damaged/loose; recommend corrections as needed.

(2) Damaged/missing weather stripping & missing striker plate observed at the entry right side of home, repair/replace as needed.



1.5 Item 1(Picture)

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(3) Wood deterioration observed at the entry right side of home. Suggest repairs/replacement as needed.



1.5 Item 2(Picture)

(4) The threshold at the entry right side of home is loose; recommend corrections as needed.



1.5 Item 3(Picture)

(5) Caulking should be applied around all windows, doors, and any voids where necessary.



1.5 Item 4(Picture)

1.7 Electrical (exterior)

Comments: Repair or Replace

Damaged receptacle cover was observed at rear of home. Recommend review for repair or replacement as necessary.



1.7 Item 1(Picture)

1.9 Exterior Water Faucets

Comments: Serviceable

1.10 Door Bell(s)

Comments: Repair or Replace

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The doorbell is damaged. Recommend corrections.



1.10 Item 1(Picture)

1.11 Lot Grade and Drainage

Comments: Serviceable

1.13 Patio

Comments: Repair or Replace

(1) Missing guardrails observed. This is a "Safety Concern". Although guardrails may not have been required when the home was built, we recommend client consider installing guardrails as a safety enhancement.



1.13 Item 1(Picture)

(2) Patio is not level, or has settled over time. Recommend review by a qualified professional for repair or corrections as needed.



1.13 Item 2(Picture)

2. Roof System

Our evaluation of the roof is to determine if surface areas are missing and/or damaged and therefore subject to possible leaking. Portions of the roof, including underlayment, decking and some flashing are hidden from view and cannot be evaluated by our visual inspection; therefore, our review is not a guarantee against roof leaks or a certification. Some areas are not visible when we are unable to mount the roof due to weather conditions, height, pitch, etc. Areas most vulnerable to leaks are low slope areas, areas pitched toward walls, through-roof projections (chimneys, vents, skylights, etc.) roof slopes that change pitch or direction, and intersecting roof/wall lines. Flashing and shingle defects can cause hidden leaks and damage and should be immediately addressed. We advise qualified contractor estimates and review of the full roof system when defects are reported. Factors such as shingle quality, weather, ventilation, and installation methods can affect wear rate. As maintenance can be needed at any time, roofs should be professionally inspected annually.

Styles & Materials

Method Used to Inspect Roof:

Ground
Ladder

Roof Material Type:

Asphalt Composition Shingle

Roof Structure:

2 X 6 Rafters

Roof-Type:

Gable

Items

2.0 Roof Conditions

Comments: Serviceable

2.1 Roof Penetrations and Exposed Flashings

Comments: Repair or Replace

Flashings are damaged/deteriorated at left side. Suggest review by a licensed roofer prior to closing for repairs/replacement as needed.



2.1 Item 1(Picture)

2.2 Roof Drainage Systems (Gutters/Downspouts)

Comments: Repair or Replace

(1) Gutters and downspouts are an integral part of a home's storm water management system and should be monitored on a regular basis for proper operation. It is recommended that the gutters and downspouts be cleaned and flushed as part of routine maintenance to reduce the potential for water backup and resultant damage to roofing materials and concealed portions of the home.

(2) Suggest installing extensions to gutter system to ensure proper drainage away from foundation.



2.2 Item 1(Picture)

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(3) Downspouts are loose and or damage and need securing to the wall at the virtually all areas where gutters are installed or replacement.



2.2 Item 2(Picture)



2.2 Item 3(Picture)

(4) Damage observed at right corner (facing rear). Recommend review for repair or replacement as necessary.



2.2 Item 4(Picture)



2.2 Item 5(Picture)

(5) Missing downspouts observed at various locations. Suggest downspouts be installed to ensure proper drainage away from the foundation.

(6) Loose gutter at front (left of main entry). Recommend review for repair or securing as necessary.



2.2 Item 6(Picture)

5. Structural Components

Any below-grade space can leak, even areas that have been dry in prior years. While we look for evidence of leaking, we may not be able to determine if leaks exist or existed and cannot predict future water infiltration. Some water activity occurs only under certain circumstances and can only be identified at the actual time of occurrence. We suggest that you obtain disclosure from the prior occupants regarding any history of water in the basement and obtain price estimates when infiltration is disclosed or signs of water are present. We cannot certify the basement against future water infiltration. Some thin cracking of walls and floors is common and whenever cracks are present, a possibility of future leaking exists. Most wall cracks are relatively easy to repair from the inside. Cracks should be monitored for future seepage or change in the size of the cracks, which would indicate a need for further evaluation. Back-up sump systems are advised to reduce the opportunity for flooding during a power outage or main pump failure. The chance of leakage increases when adjacent surfaces are not pitched away from the home and when roof drainage is within several feet of the foundation. These issues should be addressed as soon as possible. Signs of possible water infiltration include mold/mildew, stains on walls, loose flooring, musty odors, warped paneling and efflorescence. If freshly painted walls are present, we suggest you inquire of the seller/occupants if any staining or other leak evidence existed before painting.

Styles & Materials

Foundation Type:	Wall Structure:	Method Used To Inspect Crawlspace:
Crawlspace	Concrete Block Walls	Crawled
Columns or Piers:	Foundation Ventilation:	
Masonry Block	Screened Openings	

Items

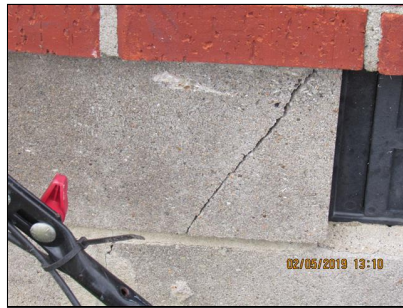
5.1 Foundation, Basement and Crawlspace

Comments: Repair or Replace

Hairline settlement crack observed at various locations. Recommend review by licensed contractor for corrections as needed.



5.1 Item 1(Picture)



5.1 Item 2(Picture)

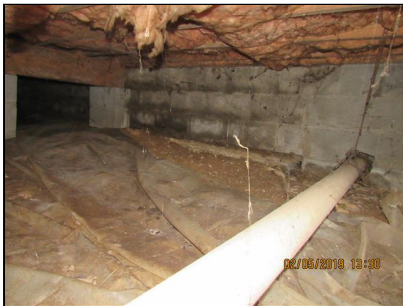


5.1 Item 3(Picture)

5.3 Walls (Basement and Crawlspace)

Comments: Repair or Replace

Efflorescence is present on the foundation on the crawlspace. Efflorescence is the salts left behind from moisture soaking into or passing through a masonry product. This moisture could adversely affect the foundation and/or the crawl space environment. A licensed structural engineer or a licensed general contractor specializing in crawl space moisture will need to determine the source of moisture and recommend or make necessary repairs.



5.3 Item 1(Picture)

5.5 Columns or Piers (Basement and Crawlspace)

Comments: Serviceable

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5.6 Joists (Basement and Crawlspace)

Comments: Serviceable

5.7 Beams (Basement and Crawlspace)

Comments: Serviceable

5.8 Doors (Basement)

Comments: Repair or Replace

Cover/door to crawlspace is damaged. Recommend repair or replacement.



5.8 Item 1(Picture)

5.11 Insulation Under Floor System

Comments: Repair or Replace

Loose insulation observed in the crawlspace, suggest securing as necessary.



5.11 Item 1(Picture)

5.12 Vapor Retarders (Crawlspace)

Comments: Repair or Replace

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Gaps observed. Recommend review for repairs/replacement as needed.



5.12 Item 1(Picture)

5.13 Ventilation (Foundation Areas and Attics)

Comments: Serviceable

6. Plumbing System

Our focus in the plumbing portion of the inspection is directed at identifying visible water damage and/or problems. We may not always mention common faults such as stuck stoppers or dripping faucets. If considered important, you should check these items independently. Shut-off valves and angle stops under the kitchen or bathroom sinks and toilets are not turned or tested during the inspection due to the possibility of leaking. All shut-off valves or angle stops should be turned regularly to ensure free movement in case of emergency. The water supply system was tested for its ability to deliver functional water pressure to installed plumbing fixtures and the condition of connected piping that was visible. Our plumbing inspection also consists of checking for functional drainage at all fixtures. We suggest you obtain the maintenance history for the home's plumbing and obtain receipts for any recent work or for anything for which a warranty may apply.

Styles & Materials

Water Source (To Home):

Public

Plumbing Water Distribution (Inside home):

Copper

Plumbing Waste & Vent Pipes:

PVC

Water Supply Pressure:

60 PSI

Items

6.0 Plumbing Water Supply System**Comments:** Serviceable**6.1 Drain Waste and Vent Systems****Comments:** Serviceable

7. Electrical System

Our electrical inspection meets the ASHI standard of practice and is done by sampling visibly accessible wiring and fixtures. Determining the actual capacity of the system requires load calculations, which are not within the scope of this report. Underground circuits and concealed components of the system are not inspected. While age is one factor, most homes have electrical issues created by amateur electricians. We do not move belongings and do not examine every fixture, outlet, wiring run, etc., nor do we remove insulation, or wall coverings. Covers are not removed, with the exception of the cover of the main electrical panel, when this can be done safely and without risking damage to finish. Much of the wiring in the home is not visible and not reviewed. Once the current occupant's belongings have been removed, it's a good idea to check all outlets with a tester and to look inside cabinets, closets and other obstructed areas before moving in your own belongings. We use a standard electrical tester to check a sample of outlets. While the tester is generally reliable, it can be fooled by certain improper wiring practices, which we cannot detect during a general home inspection. Because electrical defects are safety concerns, we advise the use of a qualified licensed electrician for cost estimates, repairs and upgrades, prior to close.

Styles & Materials

Main Electrical Panel Location: Laundry Room	Equipment Grounding Present: Yes	Electrical Main Service: Underground
Service Amperage: 200 AMPS	Panel Type: Breakers	Branch Wiring Type: Copper
Wiring Methods: Non Metallic Sheathed Cable (Romex)	Futures Available: Yes	Electric Panel Manufacturer: MURRAY
GFCI Reset Location(s): Master Bathroom	AFCI Reset Location(s): Not Present	

Items

7.0 Electrical Main Service

Comments: Serviceable

7.1 Equipment Grounding

Comments: Serviceable

7.2 Main Electrical Panel Condition

Comments: Serviceable

- **Futures are available for expansion in the electrical panel**



7.2 Item 1(Picture)

7.4 Operation of GFCI (Ground Fault Circuit Interrupters)

Comments: Serviceable

- **Arc- Fault Circuit Interrupters (AFCI) may not have been required when the home was built. Suggest client consider upgrading with AFCI's at all receptacles bedrooms to enhance safety. Arc- Fault Circuit Interrupters contain solid state circuitry that will recognize the unique voltage and current wave form**

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combinations that are the "signature" of an electrical arc, and they open the circuit when arcing occurs. Upgrades should be performed by a licensed electrician.

7.5 Operation of AFCI (ARC Fault Circuit Interrupters)

Comments: Not Present

7.6 Smoke Alarms

Comments: Repair or Replace

The smoke alarm did not work when tested at the hallway. Without a working smoke detector in your home you have no first alert to a possible fire. A qualified person should repair or replace as needed.



7.6 Item 1(Picture)

8. Heating System

Our evaluation of heating system(s) is both visual and functional provided power and/or fuel is supplied to the component. Items not listed here as well as things we cannot see, such as utilities, drains, and ducts inside walls, floors and underground are beyond the scope of this inspection. DISMANTLING AND/OR EXTENSIVE INSPECTION OF INTERNAL COMPONENTS OF ANY APPLIANCE, INCLUDING HEATERS AND HEAT EXCHANGERS, IS BEYOND THE SCOPE OF THIS REPORT. THE LOCAL UTILITY COMPANY MAY CONDUCT SUCH AN INSPECTION UPON REQUEST. Our inspection is not a heat engineering or sufficiency review. We suggest you ask the sellers/occupants if any areas of the home do not properly heat or cool. We also suggest you obtain the maintenance history of the furnace as well as receipts for any recent repairs for which a warranty might apply. Clients are encouraged to purchase a home warranty plan, since furnaces can require repair or replacement at any time. Modern furnaces are complicated appliances and should be treated with care. Regular cleaning or replacement of furnace filters is vital to the health of your furnace and can improve the efficiency of attached central air conditioning. We suggest an annual cleaning and safety check by a licensed contractor who is trained in this furnace model. Flammable products should be stored away from the furnace and no fume-producing products such as paint cans should be in the same room. Don't forget that fuel-burning appliances need plenty of oxygen and should not be enclosed without supplying an adequate supply of combustion air. Identifying or testing for the presence of asbestos or other potentially hazardous materials is not within the scope of this report.

Styles & Materials

Number of Heating Systems: One	Heating Unit Location(s): Attic	Heating System(s) Service: Entire Home
Heating System Type(s): Heat Pump Forced Air (also provides cool air)	Energy Source: Electric	Ductwork: Insulated
Filter Type: Disposable	Filter Size: 20x20x1	Heating System Brand: DUCANE

Items

8.0 Heating Equipment Condition

Comments: Serviceable

- An electric heat pump is present. A heat pump is basically a compressor-cycle air conditioning system that can operate in reverse. As long as the unit is functioning properly in either the heating or the cooling mode, it is an indication that the major components (compressor, fans, coils) are operational, with the exception of the reversing valve. This unit was tested for standard operating functions start up and shut down. Heat pumps are only tested in one mode or the other (Heating or Cooling). If the outside temperature is above 65 degrees F. the heat pump is tested in the cooling mode only. If the outside temperature is below 65 degrees F. the heat pump is tested in the heating mode only. Individual heating elements are not tested and should be tested by a qualified HVAC contractor if further review is desired. Adequate airflow is important to the efficiency of these units: the filter should be kept clean as with air conditioners. Electric heat strips provide emergency heat.

8.1 Energy Source

Comments: Serviceable

8.3 Thermostat

Comments: Serviceable

8.4 Air Filters

Comments: Serviceable

8.5 Distribution / Ducting Systems

Comments: Serviceable

8.6 Automatic Safety Controls

Comments: Serviceable

9. Air Conditioning System

*Our evaluation of AC system(s) is both visual and functional provided power is supplied to the unit. Identifying or testing for the presence of asbestos products, or other potentially hazardous materials is not within the scope of this report. Judging the adequacy of the cooling efficiency of air conditioning is a subjective evaluation, therefore, we only note a poor condition if, in the inspector's opinion, the adequacy seems less than normal. We urge you to evaluate these systems prior to closing. We are not allowed to install gauges on the cooling system to perform a detailed evaluation due to concerns with refrigerants. This requires a special license and would cost much more than the fees charged for a General Home Inspection. This type of visual inspection does not determine the proper tonnage of A/C equipment needed or if the air conditioning equipment is properly sized for the dwelling or matched by brand or capacity. It is not within the scope of a General Home Inspection to determine unit size, SEER rating or if the evaporator and condenser coil are matched properly on the AC system. If a detailed evaluation is desired an HVAC contractor should be consulted prior to close. Information can be obtained from licensed heating and air conditioning contractors if a more comprehensive inspection is desired. A detailed evaluation of the cooling capacity is beyond the scope of this report. Air conditioners can be damaged if operated in temperatures below 60 degrees or immediately after a cold night. Additionally, some units can be damaged if operated when the breaker or fuses have not been on for at least 12 hours. We do not test units in cold weather nor do we test units that have no power at the time of inspection. Air conditioners should be kept clean and free of debris. Dirty air conditioners and those with restricted air flow because of fin damage, vegetation, etc. can wear out quickly. Winter covers can accelerate corrosion and should not be used unless approved by the manufacturer. The client is encouraged to consult their agent concerning home warranty options as air conditioners can fail at any time and are expensive to repair or replace. We suggest obtaining the maintenance history of air conditioning units and inquiring of the sellers/occupants if any areas of the home do not cool well or are not supplied with air conditioning. You should obtain warranty paperwork, if applicable, and request receipts for any recent repairs. **DISMANTLING AND/OR EXTENSIVE INSPECTION OF INTERNAL COMPONENTS OF ANY APPLIANCE IS NOT WITHIN THE SCOPE OF THIS INSPECTION.***

Styles & Materials

Number of AC Systems: One	AC Unit Location(s): Exterior	AC System(s) Service: Same as Heating System
Cooling Equipment Type(s): Heat Pump Forced Air (also provides warm air)	Cooling Equipment Energy Source: Electricity	Ductwork: Insulated
Filter Type: Same as Heating System	Filter Size: Same as Heating System	Air Conditioner Brand: DUCANE

Items

9.0 Cooling and Air Handler Equipment Condition

Comments: Serviceable

- **An electric heat pump is present. A heat pump is basically a compressor-cycle air conditioning system that can operate in reverse. As long as the unit is functioning properly in either the heating or the cooling mode, it is an indication that the major components (compressor, fans, coils) are operational, with the exception of the reversing valve. This unit was tested for standard operating functions start up and shut down. Heat pumps are only tested in one mode or the other (Heating or Cooling). If the outside temperature is above 65 degrees F. the heat pump is tested in the cooling mode only. If the outside temperature is below 65 degrees F. the heat pump is tested in the heating mode only. Individual heating elements are not tested and should be tested by a qualified HVAC contractor if further review is desired. Adequate airflow is important to the efficiency of these units: the filter should be kept clean as with air conditioners. Electric heat strips provide emergency heat.**

9.1 Temperature Difference Measurements

Comments: Serviceable

9.2 Energy Source

Comments: Serviceable

9.3 Thermostat

Comments: Serviceable

9.4 Air Filters

Comments: Serviceable

9.5 Distribution / Ducting Systems

Comments: Serviceable

9.6 Automatic Safety Controls

Comments: Serviceable

10. Water Heater

Our evaluation of the water heater is both visual and functional provided power and/or fuel is supplied to the unit. Since water heaters are capable of producing scalding temperatures, we suggest you measure your water temperature upon taking occupancy and adjust it to a safe temperature (typically 120 -130 degrees). For further protection, anti-scald faucets are available for sinks, tubs and showers. Due to the possibility of the water heater temperature pressure relief valve leaking after it has been opened, these valves are not tested during the inspection. Manufacturers suggest regular testing to help assure performance. Water heater blankets may void the warranty on some water heaters. Keep all combustibles away from the heater and store no paints or other chemicals in the same room. A spill pan and drain is advised if your heater is located in, adjacent to, or above a finished area. The client is encouraged to consult their agent concerning home warranty options as water heaters can fail at any time and are expensive to repair or replace.

Styles & Materials

Number of Water Heating Systems: One	Water Heater Location(s): Laundry Room	Water Heater Design Type: Electric
Water Heater Energy Source: Electric	Water Heater Capacity: 50 Gallon	Water Heater Brand: WHIRLPOOL

Items

10.0 Water Heater Condition

Comments: Serviceable

10.1 Supply Lines

Comments: Serviceable

10.4 Temperature / Pressure Release Valve

Comments: Repair or Replace

Discharge pipe is missing on the temperature pressure relief valve. Suggest installing the required 3/4 inch discharge pipe on the temperature pressure relief valve to within 6 inches of floor or to exterior of the building to ensure safety.



10.4 Item 1(Picture)

10.5 Overflow Pan / Drain Line

Comments: Repair or Replace

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Water heater is located indoors without an overflow pan/drain line. This may not have been required when the home was built. Client is aware that the seller is not required to upgrade to current building standards. Suggest installation of overflow pan to prevent water damage from possible leakage or emergency discharge from the temperature pressure relief valve. Client is advised that overflow pan will be required when a new water heater is installed.



10.5 Item 1(Picture)

10.6 Hot Water Temperature

Comments: Serviceable

11. Kitchen and Built-in Appliances

Our kitchen appliance inspection is visual and operational in nature of the built-in appliances only. Cooking systems are checked for burner operation but not for calibration, timers, special features or cleaning cycles. Built-in dishwashers are run through a full normal wash cycle to determine if the system is free of leaks and excessive corrosion. Please double-check appliance operation just before closing and re-check for secure cabinets, counters and appliances. Upon occupancy, the client should secure any freestanding oven so it cannot tilt forward when weight is applied to the door. (Most ovens come with directions on how to do this.) Individuals have been injured when sitting on or standing on these doors. Clients are advised to purchase a home protection plan because appliances, including new appliances, can fail at any time, including immediately after the inspection. Older appliances (five years or older), of course, are more prone to failure.

Styles & Materials

Cabinet(s):

Wood

Countertop(s):

Laminate

Items

11.0 Floors

Comments: Repair or Replace

Damaged tiles observed; recommend corrections a needed.



11.0 Item 1(Picture)

11.1 Walls

Comments: Serviceable

11.2 Ceiling

Comments: Serviceable

11.3 Doors

Comments: Serviceable

11.4 Windows

Comments: Serviceable

11.5 Heat / Cooling Source

Comments: Serviceable

11.6 Receptacles, Switches and Fixtures

Comments: Serviceable

11.7 Counters and Cabinets (representative number)

Comments: Serviceable

11.8 Sinks

Comments: Serviceable

11.9 Plumbing Drains

Comments: Serviceable

11.12 Ranges/Ovens/Cooktops

Comments: Not Operated

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11.13 Range Hood(s)

Comments: Serviceable

11.14 Microwave Cooking Equipment

Comments: Not Operated

12. Bathroom(s)

Our focus in bathrooms is directed at identifying visible water damage and/or problems. We may not always mention common faults such as stuck stoppers or dripping faucets. If considered important, you should check these items independently. Shut-off valves and angle stops under kitchen or bathroom sinks and toilets are not turned or tested during the inspection due to the possibility of causing a leak. All shut-off valves or angle stops should be turned regularly by the homeowner to ensure free movement in case of emergency. Bathrooms require regular maintenance to prevent the possibility of water damage and maintenance should be performed without delay. Since leaks can occur at any time, plumbing should be checked just before closing and then regularly during occupancy. We advise that all floors, tile edges and tub/shower walls be caulked and sealed to prevent moisture penetration. When found soft, you should have checked for leaks and hidden damage. All leaks should be repaired and missing/damaged grouting and caulk should be replaced at once to help prevent future/further damage. Even tile that appears to be in good shape can take on water, so we suggest that you apply a sealant to tiled surfaces upon occupancy. If sluggish or noisy drains are noted, the drain waste vent system should be checked for blockage, damage or other restriction before close. Operating an exterior vented exhaust fan helps to reduce the chances of mold growth and harmful condensation.

Styles & Materials

Bath Tub / Shower:

Combined Bath Tub & Shower

Exhaust Fans:

Fan Only

Countertop(s):

Marble

Cabinet(s):

Wood

Items

12.0 Floors

Comments: Serviceable

12.1 Walls

Comments: Serviceable

12.2 Ceiling

Comments: Serviceable

12.3 Doors

Comments: Serviceable

12.4 Closets

Comments: Serviceable

12.5 Windows

Comments: Serviceable

12.6 Heat / Cooling Source

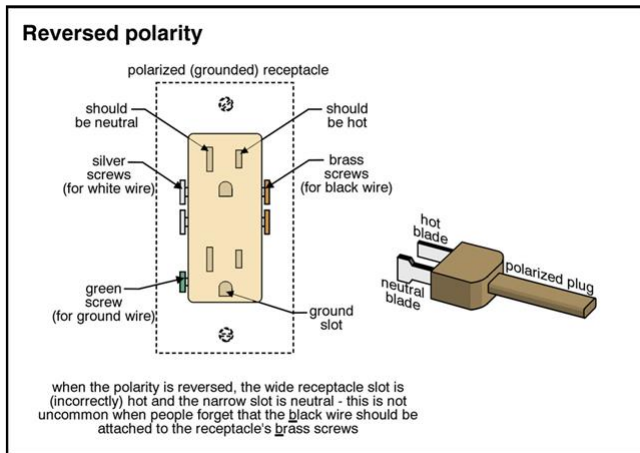
Comments: Serviceable

12.7 Receptacles, Switches and Fixtures

Comments: Repair or Replace

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(1) Reversed polarity receptacle detected in the master bathroom. Reversed polarity, hot and neutral wires reversed, is usually easily corrected by minor wiring adjustments at the affected outlet(s). When this condition is observed, a qualified electrical contractor is needed for repairs/corrections.



12.7 Item 1(Picture)



12.7 Item 2(Picture)

(2) GFCI located in the master bathroom did not operate properly, did not trip when tested (defective); suggest review by licensed electrician for repairs/replacement as needed for safety.

12.8 Exhaust Fan(s)

Comments: Serviceable

12.9 Bath Tub

Comments: Serviceable

12.10 Shower

Comments: Serviceable

12.11 Sinks

Comments: Serviceable

12.12 Toilet

Comments: Serviceable

12.13 Counters and Cabinets

Comments: Serviceable

13. Laundry Area

The supply hoses to the washer are not disconnected during the inspection, nor are the valves operated. These can leak at any time and should be considered a part of normal maintenance. If the washer and dryer are present, they are not moved to prevent floor damage and the review of the area behind the washer/dryer is limited. It is beyond the scope of the inspection to inspect the washer and dryer. If these appliances are included in the sale of the property, we suggest consulting the sellers as to proper operation prior to close. We suggest that you clean exhaust pipes upon occupancy and then regularly to enhance safety/performance. Water hoses that discharge into laundry tubs can cause contamination by creating a "cross connection" if they discharge below the tub rim. We suggest you keep these elevated above the flood rim of the tub.

Styles & Materials

Dryer Power Source:

240 Volt Electric

Dryer Vent:

Flexible Vinyl

Items

13.0 Floors**Comments:** Serviceable**13.1 Walls****Comments:** Serviceable**13.2 Ceiling****Comments:** Serviceable**13.3 Doors****Comments:** Serviceable**13.4 Closets****Comments:** Not Present**13.5 Windows****Comments:** Not Present**13.6 Counters and Cabinets (representative number)****Comments:** Not Present**13.8 Heat / Cooling Source****Comments:** Serviceable**13.9 Receptacles, Switches and Fixtures****Comments:** Serviceable**13.10 Clothes Dryer Exhaust Venting****Comments:** Repair or Replace

The dryer vent line terminates in the crawlspace. Lint build-up at crawlspace is a potential fire hazard. The line should be extended to exterior with weather cover installed at exterior foundation wall.



13.10 Item 1(Picture)

13.11 Exhaust Fan**Comments:** Serviceable

14. Interior Rooms and Areas

Our interior review is visual and evaluated with similar aged homes in mind. Cosmetic considerations and minor flaws such as a torn screen or an occasional cracked window can be overlooked, thus we suggest you double check these items, if concerned. Inspections are limited to visible and/or accessible areas. Personal belongings and furniture restrict access to receptacles, windows, walls, and flooring.

Styles & Materials

Floor Covering(s): Carpet Hardwood T&G	Wall Material(s): Gypsum Board (Drywall)	Ceiling Material(s): Gypsum Board (Drywall)
Interior Doors: Hollow Core	Window Type(s): Same as Exterior	

Items

14.0 Floors

Comments: Serviceable

14.1 Walls

Comments: Serviceable

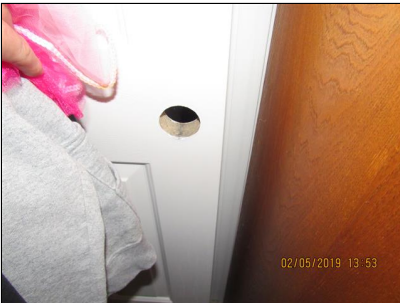
14.2 Ceilings

Comments: Serviceable

14.3 Doors (representative number)

Comments: Repair or Replace

The doorknob is missing on the door in the left bedroom. Recommend replacement for proper operation.



14.3 Item 1(Picture)

14.4 Closet Doors (representative number)

Comments: Serviceable

14.5 Windows (representative number)

Comments: Serviceable

14.6 Heat / Cooling Source

Comments: Serviceable

14.7 Receptacles, Switches and Fixtures

Comments: Serviceable

15. Attic

Our evaluation of the attic is limited to lighting, personal storage and accessibility. If an attic is heavily insulated, the inspector will have a difficult time accessing and reviewing ceiling joists, electrical wiring, plumbing, ducting, etc. Water stains around roof penetrations such as chimneys, plumbing, and vents are very common. It is usually impractical to determine if these stains are active unless they are leaking at the time of inspection thus when stains are present further monitoring is advised. Viewing during a rainstorm would increase the chances of determining whether leaks exist or the current status of staining. Older roofs are, of course, more prone to water infiltration but new roofs can develop leaks as well. Regular monitoring and maintenance of all roofs is advised. We suggest checking roof surfaces each spring and fall and after each severe storm. Increasing insulation in the attic is one of the best ways to improve the energy efficiency of a home and to reduce the costs of heating and cooling. Most homes we view can benefit from additional insulation. The Department of Energy website (<http://www.eere.energy.gov/>) can help you to determine recommended upgrades and the payback period for insulation improvements in your geographical area.

Styles & Materials

Method Used to Inspect Attic:

Viewed From Entry

Attic Access Type:

Scuttle Hole

Attic Insulation:

Blown-In

Ventilation:

Passive Vents

Items

15.0 Attic Access

Comments: Serviceable

- **Unable to enter attic due to insulation and low clearance. Recommend review of the Sellers Disclosure Statement regarding the condition of the attic prior to close. Entering attics that are heavily insulated can cause damage to the insulation and attic framing. Attics with deep insulation cannot be safely inspected due to limited visibility of the framing members upon which the inspector must walk. In such cases, the attic is only partially accessed, thereby limiting the review of the attic area from the hatch area only. Inspectors will not crawl the attic area when they believe it is a danger to them or that they might damage the attic insulation or framing. This is a limited review of the attic area viewed from the hatch only; recommend consulting sellers for any additional information.**



15.0 Item 1(Picture)

15.1 Attic Framing

Comments: Serviceable

15.2 Attic Sheathing

Comments: Serviceable

15.3 Attic Insulation

Comments: Serviceable

15.4 Attic Ventilation

Comments: Serviceable

15.6 Electrical Wiring, Switches and Fixtures

Comments: Repair or Replace

Light fixture in the attic is inoperative at time of inspection. Possible spent bulb. Suggest client verify fixture for proper operation prior to closing.

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15.7 Ductwork

Comments: Serviceable



SUMMARY REPORT

AmeriSpec Inspection Services
4840 Loretto Road
Bardstown, KY 40004
502-403-7995

SUMMARY

Doc #: 20519B Client Name: D Stuart
Dwelling Address: 102 Smith Bardstown KY 40004 Inspector: Todd Newman

This summary is provided as a service to assist in verifying that noted items are not in proper working order at the time of inspection. We do not have access to individual sales contracts and suggest client review sales contract with a real estate professional and/or real estate attorney to determine what repairs if any are to be made.

This summary is only part of the inspection report. The entire inspection report must be reviewed prior to close.

1. Exterior

1.0 Driveways

Repair or Replace

Common cracks observed, primarily a cosmetic concern. We suggest sealing all cracks in concrete/asphalt/brick surfaces to prevent water penetration as a routine maintenance effort.



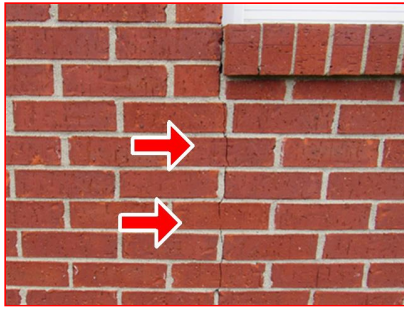
1.0 Item 1(Picture)

1.2 Exterior Wall Cladding

Repair or Replace

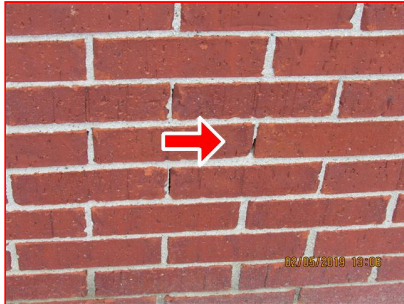
(1) Cracked brick and mortar joints observed at front of home rear of home. We recommend professionally repairing the affected area to reduce the potential for water infiltration into the home and further displacement.

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1.2 Item 1(Picture)

(2) Damaged/deteriorated mortar observed at front of home; suggest tuck pointing as necessary to prevent further damage.



1.2 Item 2(Picture)



1.2 Item 3(Picture)

1.3 Trim, Eaves, Soffits and Fascias

Repair or Replace

(1)

- Trim on this home is covered with vinyl. The inspector is unable to view the condition of covered areas.

(2) Damaged trim observed at left side. Recommend repairs to prevent further damage.



1.3 Item 1(Picture)

(3) Caulking should be applied around all windows, doors, and any voids where necessary.



1.3 Item 2(Picture)

(4) Loose trim piece observed at right side of front entry, suggest repairs/replacements.

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1.3 Item 3(Picture)

1.4 Windows & Frames**Repair or Replace**

(1) Caulking should be applied around all windows, doors, and any voids where necessary.



1.4 Item 1(Picture)

(2) Damaged/deteriorated glazing observed at several areas; suggest re-glazing as necessary.



1.4 Item 2(Picture)



1.4 Item 3(Picture)

(3) Screens are missing at various locations; recommend consulting sellers as to the possibility of stored screens or replace screens for proper window usage.

1.5 Doors (Exterior)**Repair or Replace**

(1) The threshold at the entry right side of home is damaged/loose; recommend corrections as needed.

(2) Damaged/missing weather stripping & missing striker plate observed at the entry right side of home, repair/replace as needed.



1.5 Item 1(Picture)

(3) Wood deterioration observed at the entry right side of home. Suggest repairs/replacement as needed.



1.5 Item 2(Picture)

(4) The threshold at the entry right side of home is loose; recommend corrections as needed.



1.5 Item 3(Picture)

(5) Caulking should be applied around all windows, doors, and any voids where necessary.



1.5 Item 4(Picture)

1.7 Electrical (exterior)

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Repair or Replace

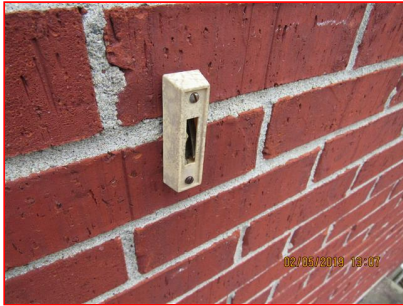
Damaged receptacle cover was observed at rear of home. Recommend review for repair or replacement as necessary.



1.7 Item 1(Picture)

1.10 Door Bell(s)**Repair or Replace**

The doorbell is damaged. Recommend corrections.



1.10 Item 1(Picture)

1.13 Patio**Repair or Replace**

(1) Missing guardrails observed. This is a "Safety Concern". Although guardrails may not have been required when the home was built, we recommend client consider installing guardrails as a safety enhancement.



1.13 Item 1(Picture)

(2) Patio is not level, or has settled over time. Recommend review by a qualified professional for repair or corrections as needed.



1.13 Item 2(Picture)

2. Roof System

2.1 Roof Penetrations and Exposed Flashings

Repair or Replace

Flashings are damaged/deteriorated at left side. Suggest review by a licensed roofer prior to closing for repairs/ replacement as needed.



2.1 Item 1(Picture)

2.2 Roof Drainage Systems (Gutters/Downspouts)

Repair or Replace

(1) Gutters and downspouts are an integral part of a home's storm water management system and should be monitored on a regular basis for proper operation. It is recommended that the gutters and downspouts be cleaned and flushed as part of routine maintenance to reduce the potential for water backup and resultant damage to roofing materials and concealed portions of the home.

(2) Suggest installing extensions to gutter system to ensure proper drainage away from foundation.



2.2 Item 1(Picture)

(3) Downspouts are loose and or damage and need securing to the wall at the virtually all areas where gutters are installed or replacement.

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2.2 Item 2(Picture)



2.2 Item 3(Picture)

(4) Damage observed at right corner (facing rear). Recommend review for repair or replacement as necessary.



2.2 Item 4(Picture)



2.2 Item 5(Picture)

(5) Missing downspouts observed at various locations. Suggest downspouts be installed to ensure proper drainage away from the foundation.

(6) Loose gutter at front (left of main entry). Recommend review for repair or securing as necessary.



2.2 Item 6(Picture)

5. Structural Components

5.1 Foundation, Basement and Crawlspace

Repair or Replace

Hairline settlement crack observed at various locations. Recommend review by licensed contractor for corrections as needed.

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5.1 Item 1(Picture)



5.1 Item 2(Picture)



5.1 Item 3(Picture)

5.3 Walls (Basement and Crawlspace)**Repair or Replace**

Efflorescence is present on the foundation on the crawlspace. Efflorescence is the salts left behind from moisture soaking into or passing through a masonry product. This moisture could adversely affect the foundation and/or the crawl space environment. A licensed structural engineer or a licensed general contractor specializing in crawl space moisture will need to determine the source of moisture and recommend or make necessary repairs.



5.3 Item 1(Picture)

5.8 Doors (Basement)**Repair or Replace**

Cover/door to crawlspace is damaged. Recommend repair or replacement.



5.8 Item 1(Picture)

5.11 Insulation Under Floor System

Repair or Replace

Loose insulation observed in the crawlspace, suggest securing as necessary.



5.11 Item 1(Picture)

5.12 Vapor Retarders (Crawlspace)

Repair or Replace

Gaps observed. Recommend review for repairs/replacement as needed.



5.12 Item 1(Picture)

7. Electrical System

7.6 Smoke Alarms

Repair or Replace

The smoke alarm did not work when tested at the hallway. Without a working smoke detector in your home you have no first alert to a possible fire. A qualified person should repair or replace as needed.



7.6 Item 1(Picture)

10. Water Heater

10.4 Temperature / Pressure Release Valve

Repair or Replace

Discharge pipe is missing on the temperature pressure relief valve. Suggest installing the required 3/4 inch discharge pipe on the temperature pressure relief valve to within 6 inches of floor or to exterior of the building to ensure safety.



10.4 Item 1(Picture)

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10.5 Overflow Pan / Drain Line**Repair or Replace**

Water heater is located indoors without an overflow pan/drain line. This may not have been required when the home was built. Client is aware that the seller is not required to upgrade to current building standards. Suggest installation of overflow pan to prevent water damage from possible leakage or emergency discharge from the temperature pressure relief valve. Client is advised that overflow pan will be required when a new water heater is installed.



10.5 Item 1(Picture)

11. Kitchen and Built-in Appliances**11.0 Floors****Repair or Replace**

Damaged tiles observed; recommend corrections a needed.

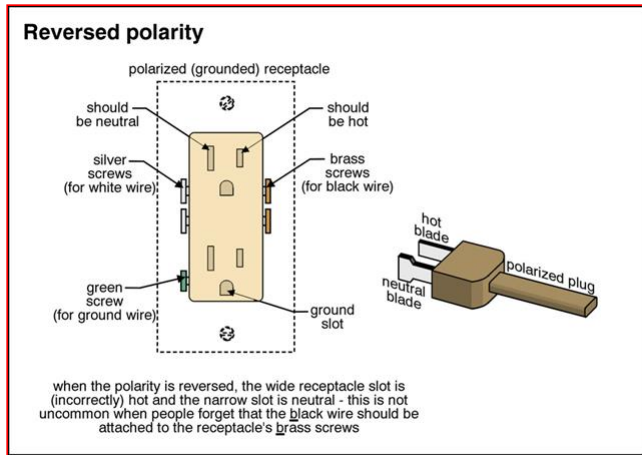


11.0 Item 1(Picture)

12. Bathroom(s)**12.7 Receptacles, Switches and Fixtures****Repair or Replace**

(1) Reversed polarity receptacle detected in the master bathroom. Reversed polarity, hot and neutral wires reversed, is usually easily corrected by minor wiring adjustments at the affected outlet(s). When this condition is observed, a qualified electrical contractor is needed for repairs/corrections.

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12.7 Item 2(Picture)

12.7 Item 1(Picture)

(2) GFCI located in the master bathroom did not operate properly, did not trip when tested (defective); suggest review by licensed electrician for repairs/replacement as needed for safety.

13. Laundry Area

13.10 Clothes Dryer Exhaust Venting

Repair or Replace

The dryer vent line terminates in the crawlspace. Lint build-up at crawlspace is a potential fire hazard. The line should be extended to exterior with weather cover installed at exterior foundation wall.



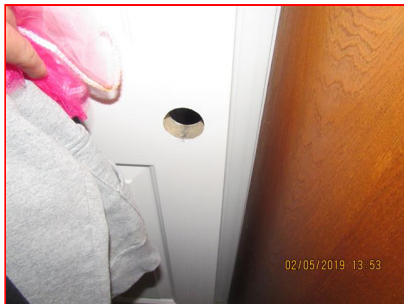
13.10 Item 1(Picture)

14. Interior Rooms and Areas

14.3 Doors (representative number)

Repair or Replace

The doorknob is missing on the door in the left bedroom. Recommend replacement for proper operation.



14.3 Item 1(Picture)

15. Attic

15.6 Electrical Wiring, Switches and Fixtures

Repair or Replace

Light fixture in the attic is inoperative at time of inspection. Possible spent bulb. Suggest client verify fixture for proper operation prior to closing.

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