



4 Front Elevation 1:100



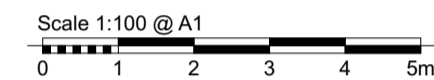
5 Side Elevation 1:100



6 Rear Elevation 1:100



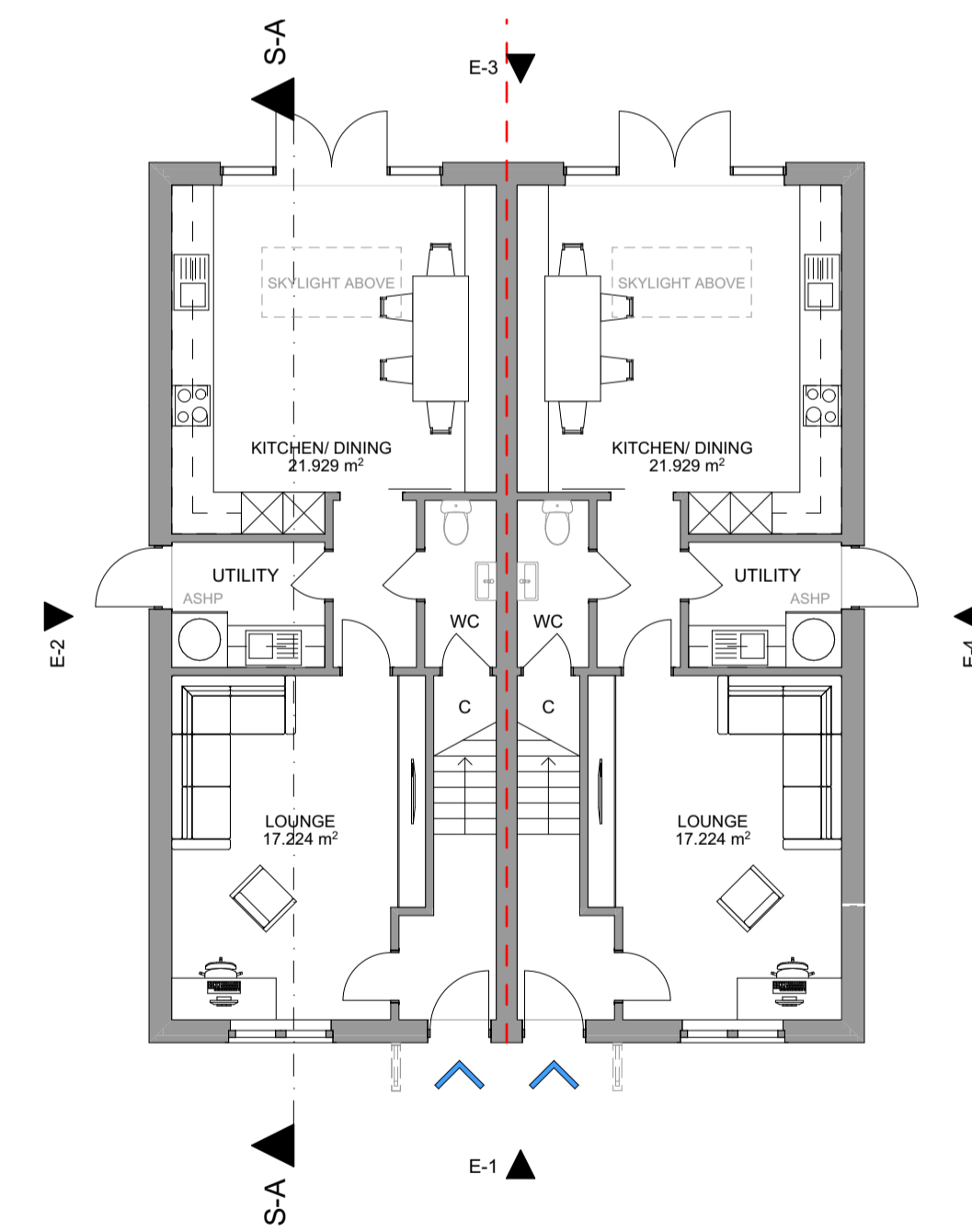
7 Side Elevation 1:100



Scale 1:100 @ A1

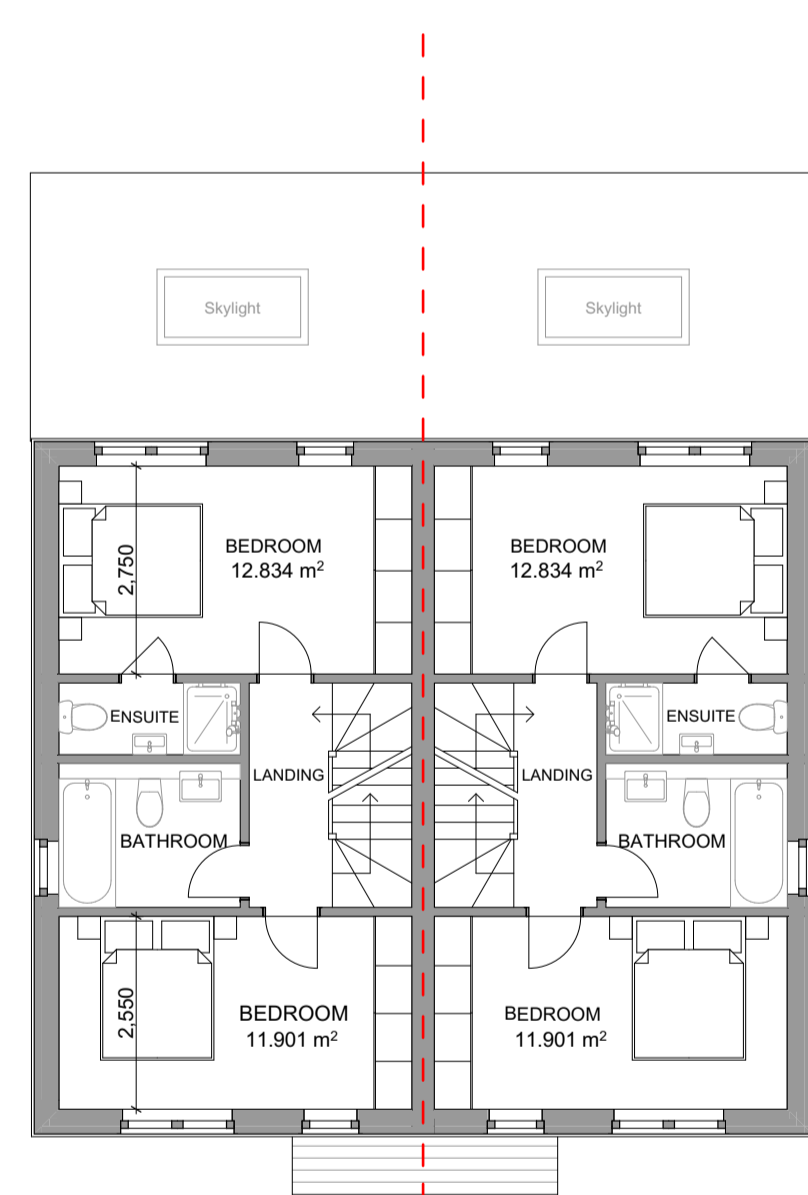
- Materials Key**
- 1 Marley Modern Edgemere Interlocking Slate - Anthracite
 - 2 White uPVC Fascia and Soffit
 - 3 Weberpral M render - Chalk
 - 4 White uPVC Windows and Doors
 - 5 Itstock Smooth Red (Aldridge) - Brick Detailing
 - 6 Itstock Smooth Red (Aldridge) - Headers
 - 7 Limestone Gills
 - 8 Itstock Leicester Red Multi Bricks
 - * Obscure Glazing

Blue hatch on roof denotes possible areas for solar panels.

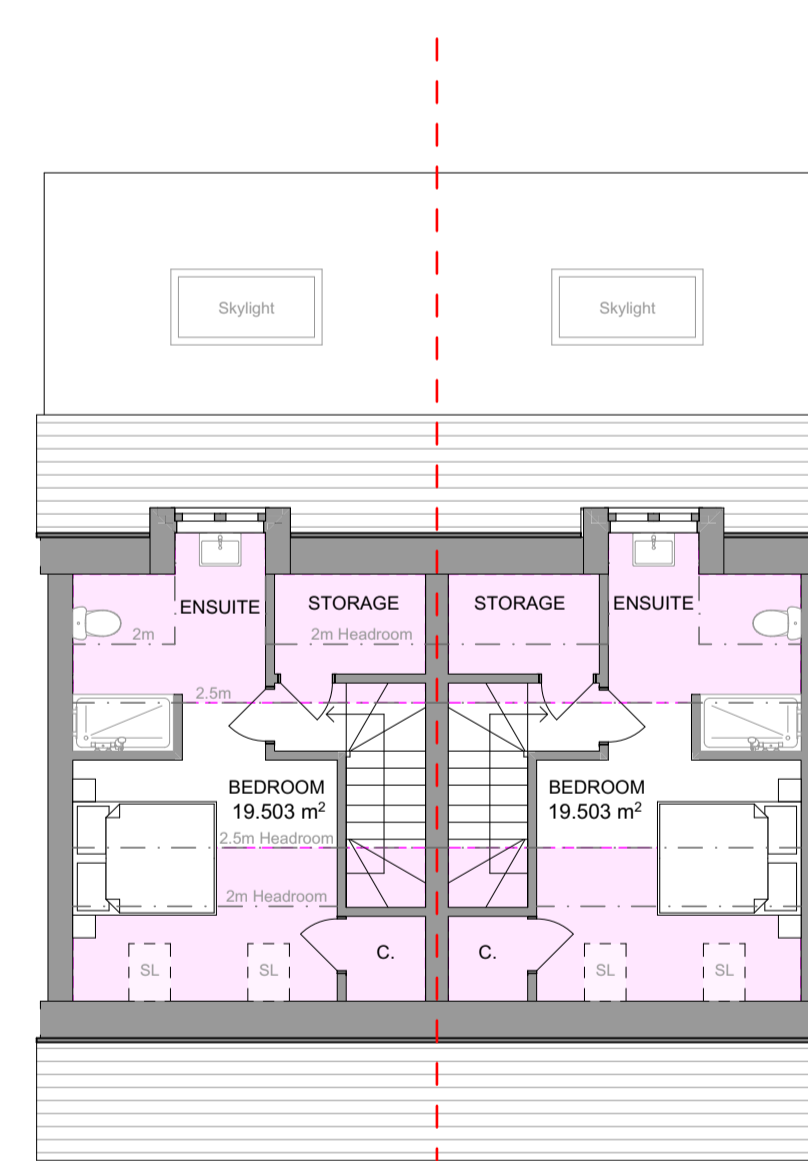


1 GF-Ground Floor 1:100

Storage areas (not including kitchen and utility cupboards) = 4.6m²

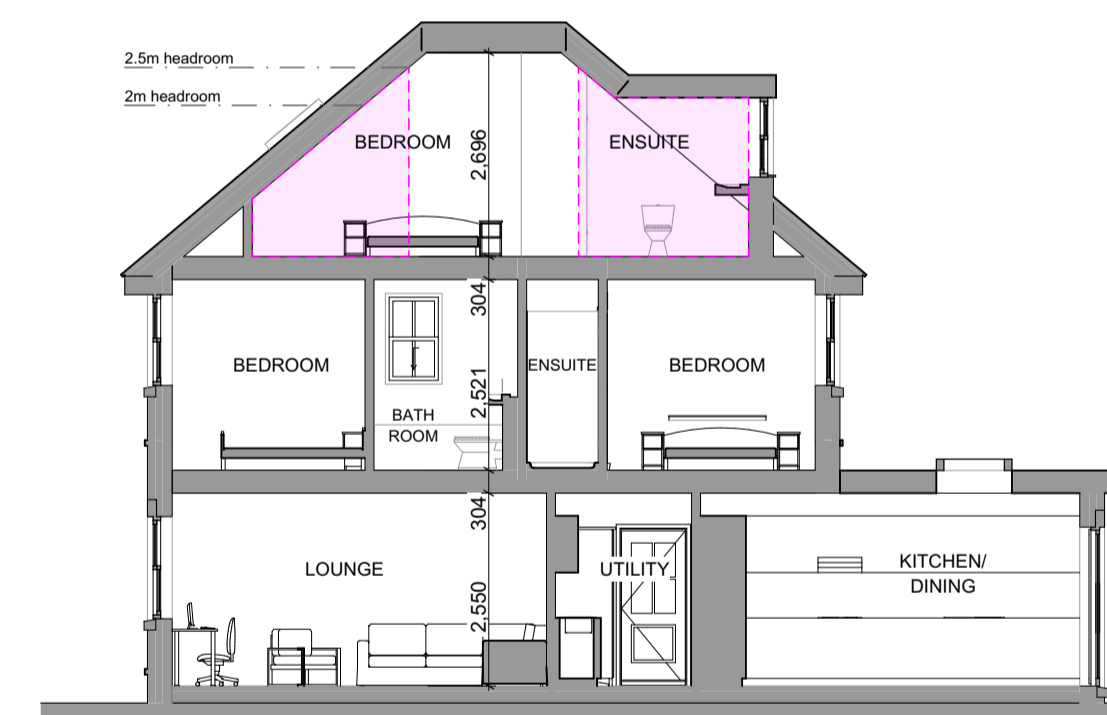


2 01-First Floor 1:100



3 02-Second Floor 1:100

Pink area denotes area with headroom under 2.5m. This area totals 18m², 25% of 122m² = 30.5m² therefore the area is well below 25% of the total floor area.



8 Building Section 1:100

Pink area denotes area with headroom under 2.5m

REV DESCRIPTION
P1 Initial Issue

DATE 03.04.26
AUTHOR DD
CHKD DD

GENERAL NOTES

This drawing shall not be scaled. All dimensions are in mm unless otherwise stated.
All dimensions to be checked and verified on site by the Main Contractor, Sub-Contractors and Suppliers prior to commencing any of the works or producing shop drawings. Any errors and omissions to be reported to the Architect immediately.
All works shall be constructed to comply with the current British Standard Codes of Practice, Building Regulations, Local and Statutory Authority requirements/ by-laws and in accordance with good building practice.
All materials shall comply with the relevant British Standard Specifications where applicable, shall be fit for their intended use and shall be compatible with the other materials with which they are intended to function. Proprietary materials shall be used strictly in accordance with the manufacturer's specifications.
This drawing is to be read in conjunction with all other AR-CHITECT project drawings, construction notes and/ or project specifications.
This drawing is to be read in conjunction with the Structural and Mechanical & Electrical Engineers drawings. Any discrepancies between the information to be reported to the Architect immediately.
This drawing may incorporate information from other professionals and as such AR-CHITECT cannot accept responsibility for the integrity and accuracy of such information.

SAFETY, HEALTH & ENVIRONMENTAL INFORMATION

In addition to the hazards/ risks normally associated with the type of work detailed on this drawing, please note the following:

It is assumed that all works will be carried out by a competent contractor working, where appropriate, to an approved method statement.

DATE 03.04.26

SCALE @ A1

AUTHOR DD
CHECKED BY DD

PROJECT 449 Leatherhead Road
Chessington, KT9 2NQ
CLIENT Bellavista Homes

STATUS **PLANNING**

DRAWING Proposed Plans, Elevations and Section

AR-CHITECT
ARCHITECTURE DESIGN

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PROJECT NO. 26035- DRAWING NO. 007 REV. P1