

## LOT CALCULATIONS

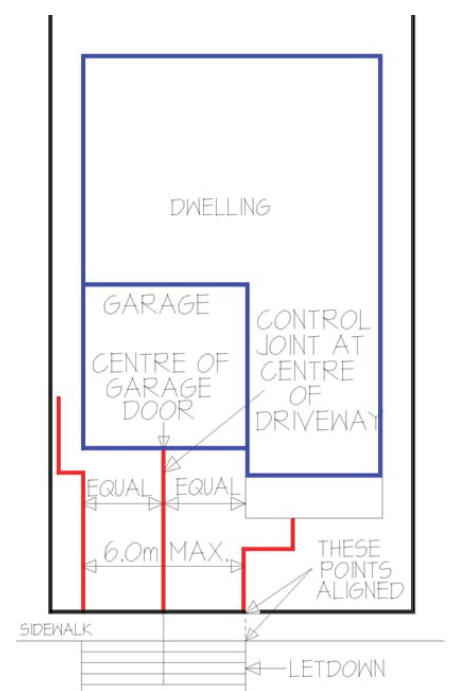
CIVIC ADDRESS:	LOT 7, 5497 128 STREET, SURREY, BC
ZONING:	RH
LOT AREA:	33,780.00 SQ.FT. [3,138.00m <sup>2</sup> ]
PERMITTED FLOOR AREA RATIO:	0.25 X 33,780.00 SQ.FT. 8,444.29 SQ.FT. [784.50m <sup>2</sup> ]
PROPOSED FLOOR AREA RATIO:	MAIN + GARAGE + TOP FL. +ACCESSORY BUILDING = 6375.15 SQ.FT. [592.27m <sup>2</sup> ]
PERMITTED LOT COVERAGE:	25% X 33,780 SQ.FT. [3,138.00.00m <sup>2</sup> ] 8,444.29 SQ.FT. [784.50m <sup>2</sup> ]
PROPOSED LOT COVERAGE:	13.71% = 4629.70 SQ.FT. [430.11m <sup>2</sup> ]
PERMITTED HEIGHT:	9.0m
PROPOSED HEIGHT:	8.65m
PERMITTED HEIGHT (ACCESSORY BUILDING):	5.0m
PROPOSED HEIGHT (ACCESSORY BUILDING):	3.67m

- (h) ANY FENCING INSTALLED ALONG THE NORTH (SIDE) LOT LINE ON LOT 7:
- (i) SHALL BE VIEW- PERMEABLE, CONSISTING OF A HORIZONTALLY ALIGNED THREE RAIL BOARDS TYPE, WITH OPTIONAL PAIGE WIRE INSTALLED ON THE INSIDE OF THE FENCE (BETWEEN THE FENCE AND THE DWELLING), OR SHALL BE VERTICAL BATTENS WITH A 0.1 METER (4 INCH) SPACING BETWEEN BATTENS, AND OF A DESIGN APPROVED BY THE CONSULTANT, AND
- (ii) SHALL BE NOT LESS THAN 0.9M HIGH, NOR MORE THAN 1.2M HIGH, AND
- (iii) SHALL BE LOCATED PARALLEL TO AND WITHIN 0.15M OF SAID LOT LINES, AND
- (iv) NOT LESS THAN 15 SHRUBS IN DWARF VARIETIES ONLY SHALL BE PLANTED ALONG THE FENCE SPECIFIED IN CLAUSE 2.5(h) HEREIN, IN ADDITION TO ANY OTHER PLANTING REQUIREMENTS,

- MIN 40 SHRUBS MIN 3 GALLON POT
- SOD TO STREET
- MIN 450MM TOPSOIL ALL YARDS
- RAIN WATER LEADERS TO DISCHARGE VIA SPLASH PADS
- ONE 6cm CALIPER DAYBREAK CHERRY
- ONE 6cm CALIPER RED FLOWERING DOGWOOD
- REAR YARD: TWO 3.0m HIGH DOUGLAS FIRS

**\*\*Driveways\*\***

- 1) The expansion control joint at the centre of the driveway is to be located in one continuous line starting at the centre of the driveway letdown, and ending at the centre of the garage door.
- 2) Sides of the driveway should be located exactly the same distance from the control joint at the centre-line of the driveway.
- 3) Driveway width for double garages shall not exceed 6 metres. Driveway width for triple garages shall not exceed 9 metres.
- 4) Sidewalks cannot be added to the width of the driveway.
- 5) ANY change to driveway design requires specific approval in advance, from the design consultant.



Note: Driveway must align with letdown.  
Any discrepancy should be reported.

## TREES AND SHRUBS

**DECIDUOUS TREES:** (shed their leaves in winter). Trees must meet the minimum size requirement specified on the tree replacement plan. Trees must be specimen quality with single stem trunk extending 5 feet above grade, and a well-developed canopy.

**CONIFERS:** (evergreen trees such as cedar, fir, spruce, hemlock, pine). To meet minimum tree by-law requirements, conifers must meet minimum size requirement specified on the tree replacement plan.

**SHRUBS:** You benefit from everyone else's shrubs and they benefit from yours. Please provide the correct number and size as specified in the building design guidelines to ensure you do your part in creating an attractive neighbourhood. Shrubs should be planted in raised beds with fresh topsoil (excavation material is not o.k.).



## SITE PLAN

SCALE: 1/16"=1'-0"

TO ACCESS THE ACCESSORY TRIPLE GARAGE, A DRIVEWAY WOULD HAVE TO CROSS THE ROOT PROTECTION ZONES ABOVE. YOU SHOULD HAVE A DISCUSSION WITH THE PROJECT ARBORIST REGARDING A SUSPENDED SLAB SYSTEM OR OTHER MEASURES THAT COULD ALLOW A DRIVEWAY TO BE CONSTRUCTED ON TOP OF A ROOT PROTECTION ZONE.

NOTE : GRADE CHANGES NOT REALLY PERMITTED IN EASEMENT AREA. DRIVEWAY MUST BE CONSTRUCTED AS CLOSE TO GRADE AS POSSIBLE IN THIS AREA

NEW ASPHALT PAVEMENT AS PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS

SRW PLAN 26127

Tynan Consulting Ltd.

13659 - 108<sup>th</sup> Avenue, Surrey, B.C. V3T 2K4

Tel.: (604)581-5722 Fax: (604)581-4822

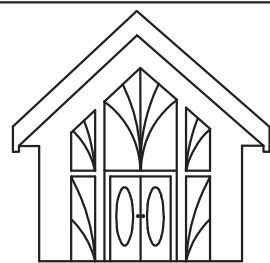
These plans conform to the Building  
Design Guidelines registered on this lot.

Michael E. Tynan

Plans are reviewed by the design consultant for conformance with design guidelines only. Plans are not reviewed for structural integrity, for conformance with the BC Building Code, for any water ingress prevention specification, for egress from a secondary suite, nor for conformance with any zoning bylaw.  
Date: Sep 20, 2022  
Security key : 217010840

THESE PLANS CONFORM TO REQUIREMENTS  
IN THE B.C. BUILDING CODE 2018.

DRAWING NO.	REFERENCE	NO.	REVISION	BY	DATE

**Bhillon  
Designs Ltd.**

PROPOSED RESIDENTIAL FOR  
RANJIT RAI  
LOT #7, 5496 128 STREET  
SURREY, B.C.

TITLE

DWN: L.K

SCALE: 1/16"=1'

DATE: JUNE.21.2022

CHKD: H.B

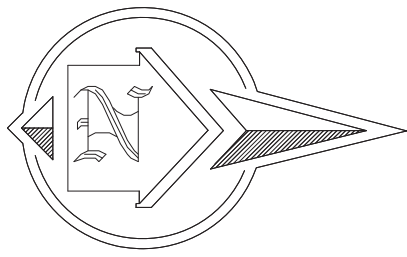
PHONE: 604-721-1278

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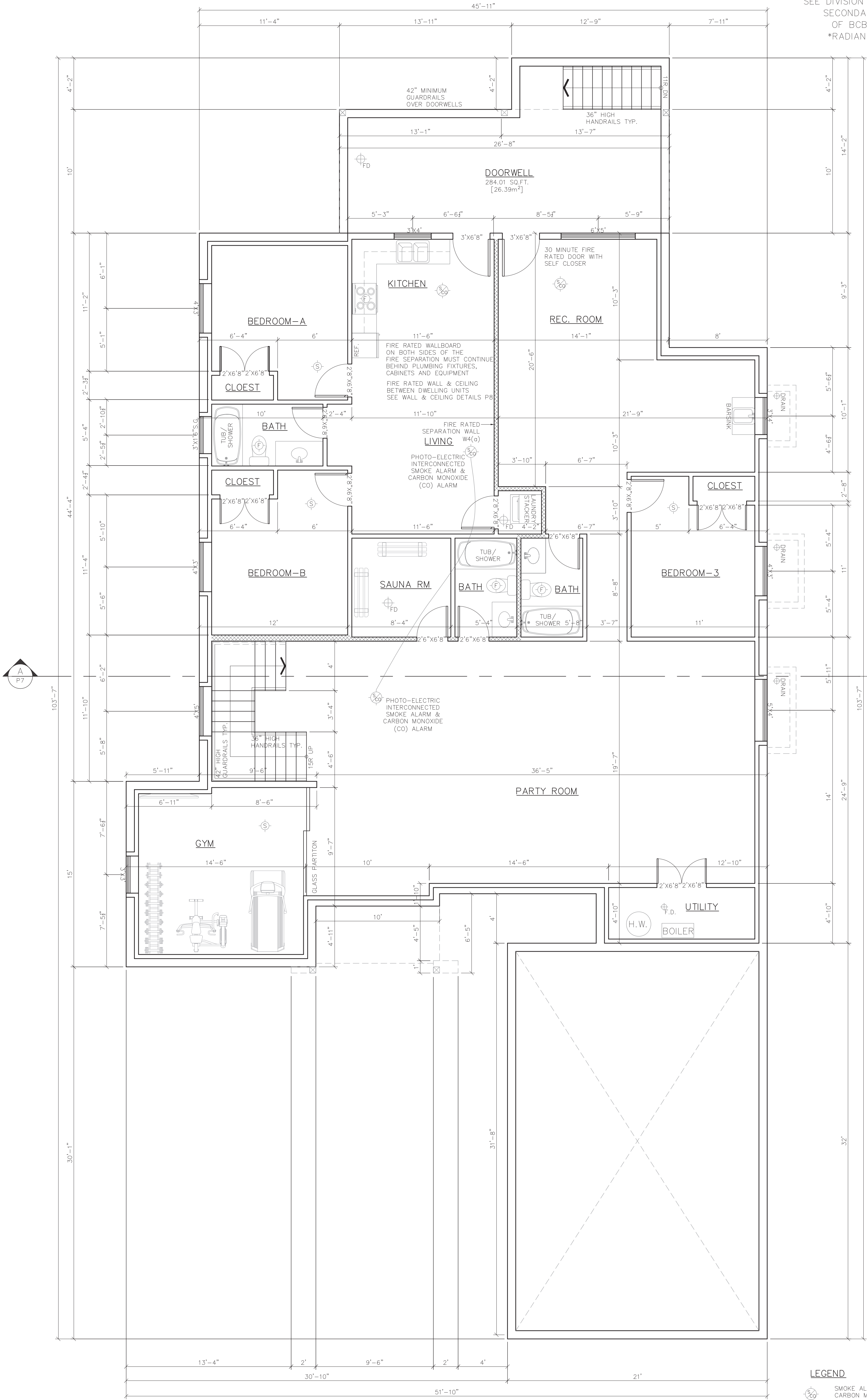
DD22-8767-P1

DHILLON DESIGNS LTD.  
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SECONDARY SUITE  
SEE DIVISION B – PART 9  
SECONDARY SUITES  
OF BCBC 2018  
\*RADIANT HEAT\*



BASEMENT PLAN  
SCALE: 1/4" = 1'  
8'-0 3/4" CEILING

BASMENT FLOOR AREA = 1883.90 SQ.FT. [175.02m<sup>2</sup>]  
SECONDARY SUITE AREA = 714.99 SQ.FT. [66.42m<sup>2</sup>]  
TOTAL FL. AREA = 2598.89 SQ.FT. [241.44m<sup>2</sup>]

LEGEND

- SMOKE ALARM & CARBON MONOXIDE (CO) ALARM
- SMOKE ALARM
- FLOOR DRAIN
- FAN

NOTE:  
–FOUNDATION AND FOOTING AS PER P.ENG  
–RADIANT HEATING

DRAWING NO.	REFERENCE	NO.	REVISION	BY	DATE



PROPOSED RESIDENTIAL FOR  
RANJIT RAI  
LOT #7, 5497 128 STREET  
SURREY, B.C.

DMR:	SCALE:	DATE:	CHKD:	PHONE:
L.K.	1/4" = 1'	JUNE 21 2022	H.B.	604-721-1278

DD22-8767-P2

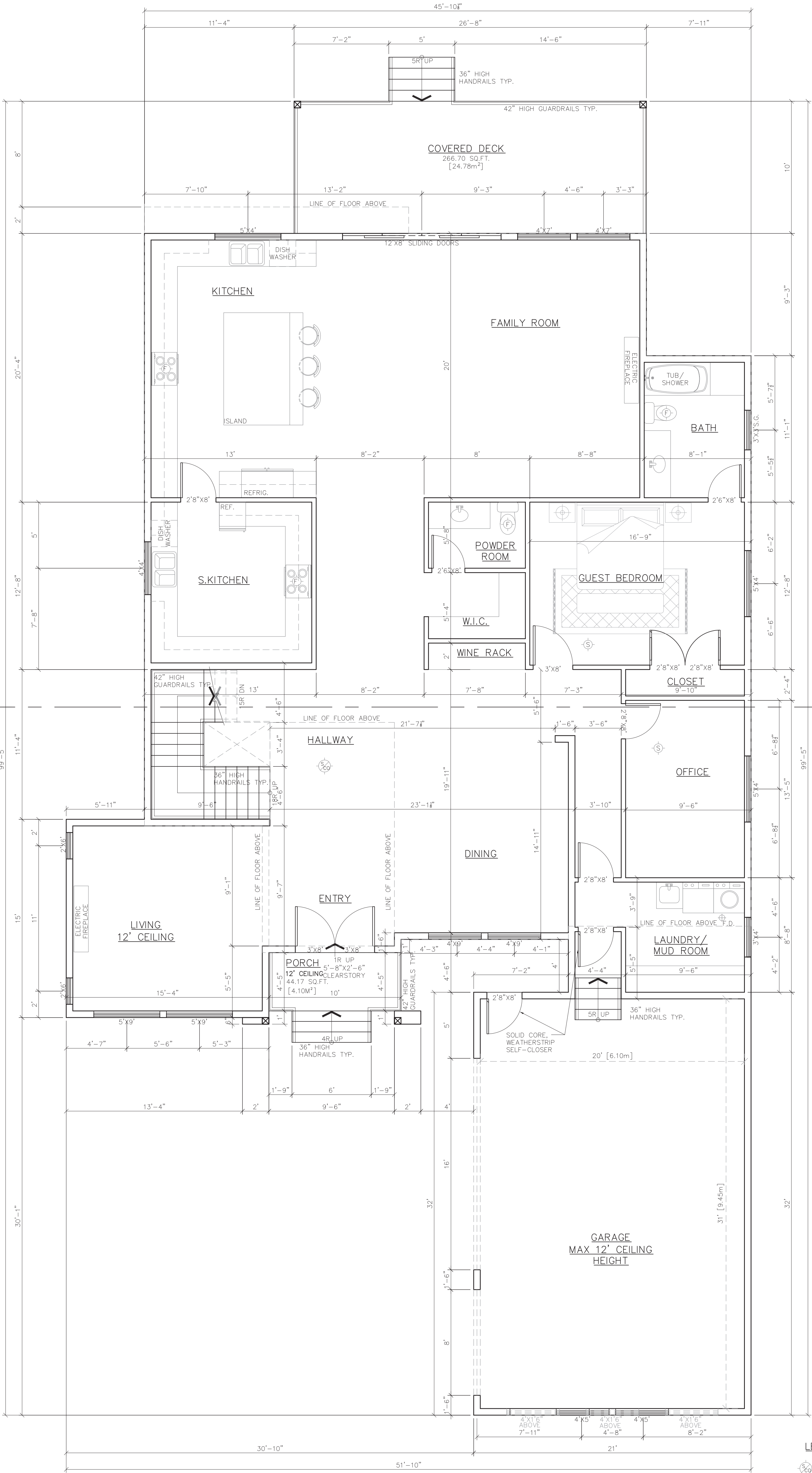
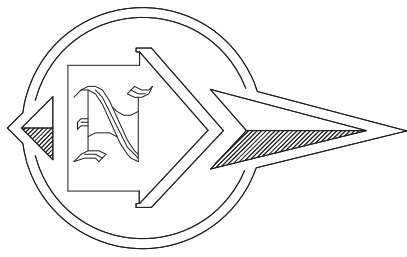
**Tyran Consulting Ltd.**  
13659 - 108<sup>th</sup> Avenue, Surrey, B.C. V3T 2K4  
Tel.: (604)581-5722 Fax: (604)581-4822

**These plans conform to the Building Design Guidelines registered on this lot.**

*Michael E. Tynan*  
**Michael E. Tynan**

DHILLON DESIGNS LTD.  
UNIT #107, 12800 136<sup>th</sup> AVE.  
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IN THE B.C. BUILDING CODE 2018.



MAIN FLOOR PLAN  
SCALE: 1/4"=1'-0"  
10'-0 3/4" CEILING HEIGHT

FLOOR AREA = 2596.58 SQ.FT. [241.23m<sup>2</sup>]  
GARAGE AREA = 665.08 SQ.FT. [61.79m<sup>2</sup>]  
TOTAL MAIN FLOOR AREA = 3261.66 SQ.FT. [303.02m<sup>2</sup>]

LEGEND

- SMOKE ALARM & CARBON MONOXIDE (CO) ALARM
- SMOKE ALARM
- FLOOR DRAIN
- FAN

NOTE:

—RADIANT HEAT

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LOT #7, 5497 128 STREET  
SURREY, B.C.

OWN.	SCALE	DATE	CHKD.	PHONE
L.K.	1/4"=1'	JUNE 21 2022	H.B.	604-721-1278

DRAWING NO.  
DD22-8767-P3

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Tel.: (604)581-5722 Fax: (604)581-4822

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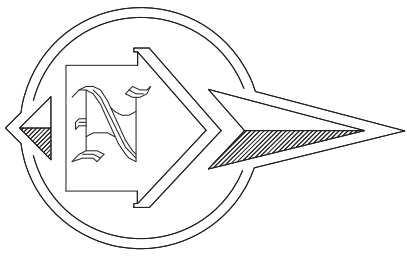
**Michael E. Tynan**

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Date: Sep 20, 2022  
Security key : 217010840

DHILLON DESIGNS LTD.  
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FAX: (604) 590-2878  
EMAIL: info@dhillondesigns.ca





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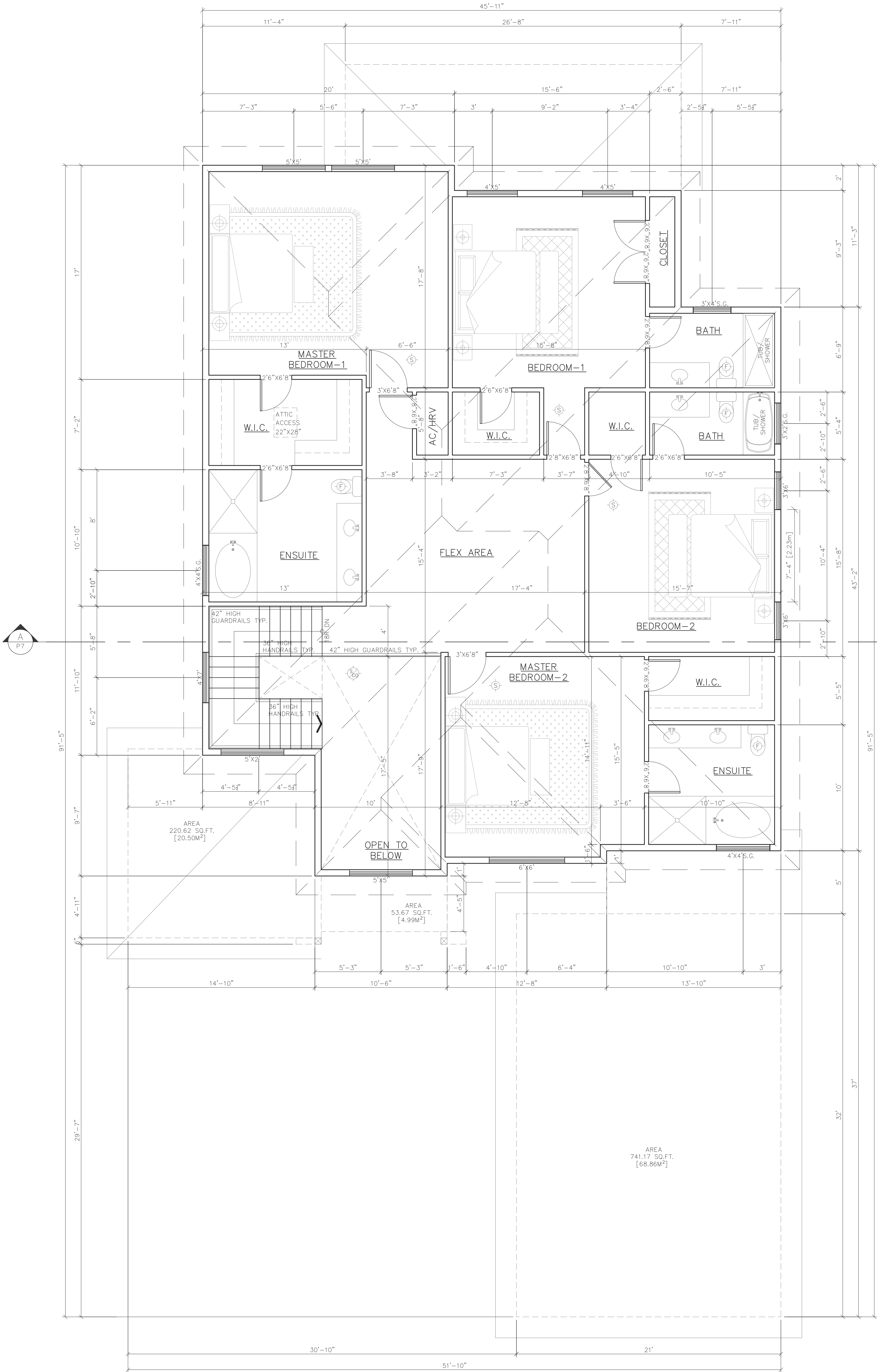


PROPOSED RESIDENTIAL FOR  
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LOT #7, 5497 128 STREET  
SURREY, B.C.

TITLE	OWN.	SCALE	DATE	CHKD.	PHONE
	L.K.	1/4" = 1'	JUNE 21 2022	H.B.	604-721-1278

DRAWING NO.	DD22-8767-P4

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#### TOP FLOOR

SCALE: 1/4" = 1'  
9'-0 3/4" CEILING

TOP FLOOR AREA = 2339.89 SQ.FT. [217.38m<sup>2</sup>]  
STAIRCASE AREA = 102.00 SQ.FT. [9.48m<sup>2</sup>]  
OPEN TO BELOW AREA = 160.16 SQ.FT. [14.88m<sup>2</sup>]  
NET TOP FLOOR AREA = 2077.73 SQ.FT. [193.03m<sup>2</sup>]

#### LEGEND

- SMOKE ALARM & CARBON MONOXIDE (CO) ALARM
- SMOKE ALARM
- FLOOR DRAIN
- FAN

#### NOTE:

-22"x28" ATTIC ACCESS  
TO ALL ROOF SPACES

-ALL PARALLAM BEAMS,  
HANGERS AND TRUSSES  
ARE TO BE ENGINEERED.

-RADIANT HEAT

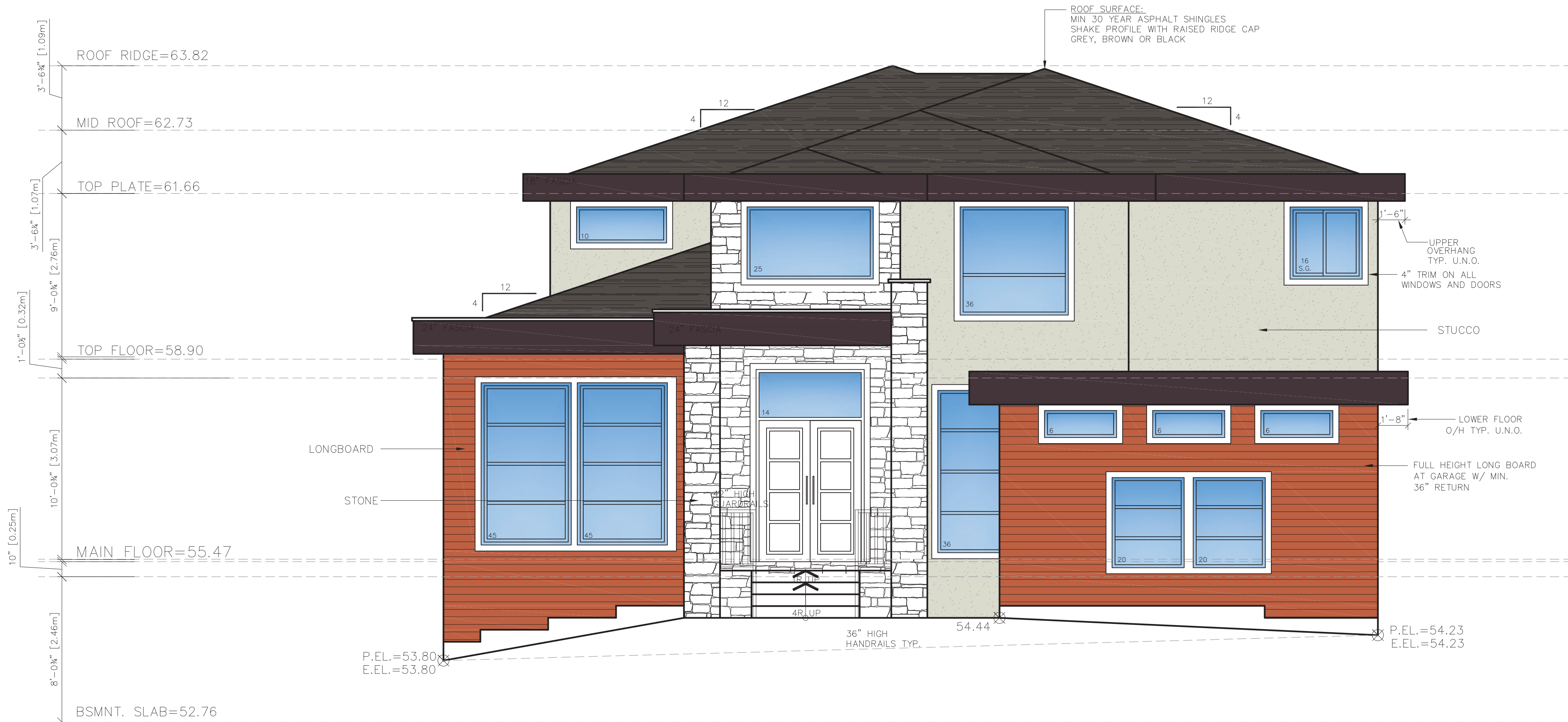
**Tyran Consulting Ltd.**  
13659 - 108<sup>th</sup> Avenue, Surrey, B.C. V3T 2K4  
Tel.: (604)581-5722 Fax: (604)581-4822

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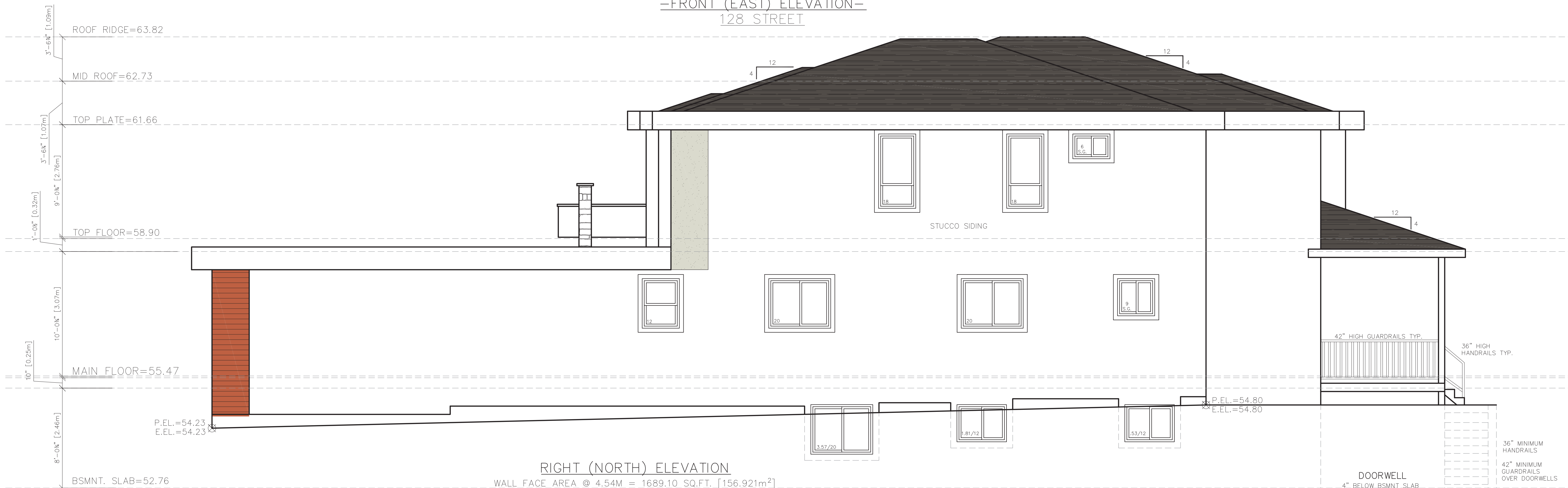
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Security key : 217010840

DHILLON DESIGNS LTD.  
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—FRONT (EAST) ELEVATION—  
128 STREET



RIGHT (NORTH) ELEVATION

WALL FACE AREA @ 4.54M = 1689.10 SQ.FT. [156.921m<sup>2</sup>]  
ALLOWABLE AREA @ 13.89% = 234.62 SQ.FT. [21.80m<sup>2</sup>]  
ACTUAL AREA = 108.90 SQ.FT. [10.12m<sup>2</sup>]

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13659 - 108<sup>th</sup> Avenue, Surrey, B.C. V3T 2K4  
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Date: Sep 20, 2022  
Security key : 217010840

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						PROPOSED RESIDENTIAL FOR RANJIT RAI LOT #7, 5497 128 STREET SURREY, B.C.	SCALE:	1/4"=1'		
							DATE:	JUNE.21.2022		
							CHKD:	H.B.		
							PHONE:	604-721-1278		



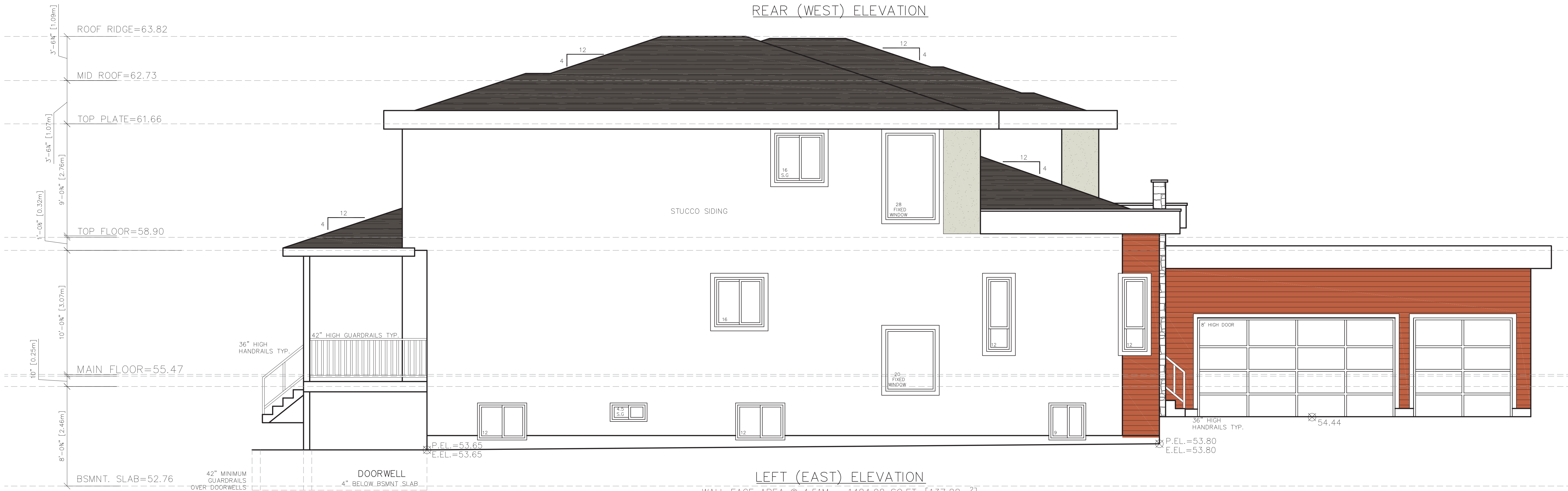
**Dhillon**  
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UNIT 215-12830-80th AVE.  
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REAR (WEST) ELEVATION



LEFT (EAST) ELEVATION

WALL FACE AREA @ 4.51M = 1484.08 SQ.FT. [137.88m<sup>2</sup>]  
ALLOWABLE AREA @ 13.79% = 204.65 SQ.FT. [19.01m<sup>2</sup>]  
ACTUAL AREA = 141.50 SQ.FT. [13.15m<sup>2</sup>]

*Tynan Consulting Ltd.*

13659 - 108<sup>th</sup> Avenue, Surrey, B.C. V3T 2K4  
Tel.: (604)581-5722 Fax: (604)581-4822

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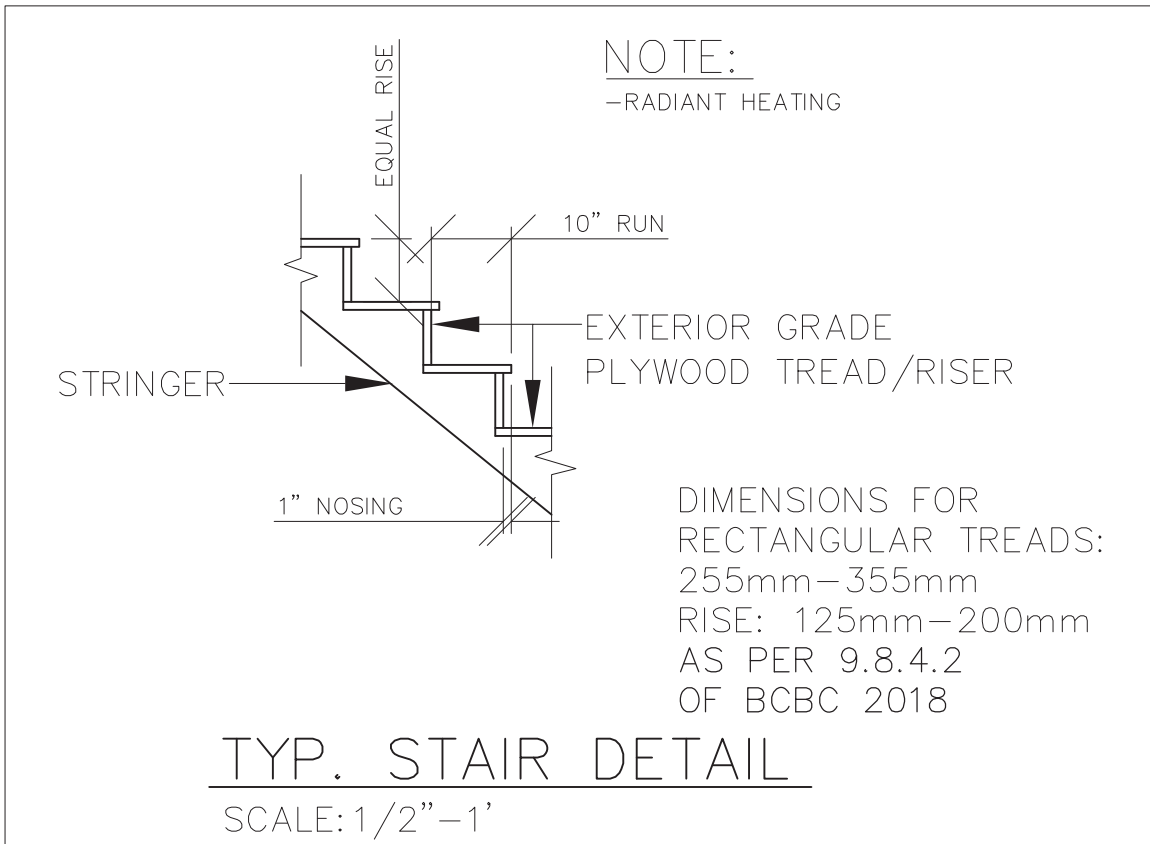
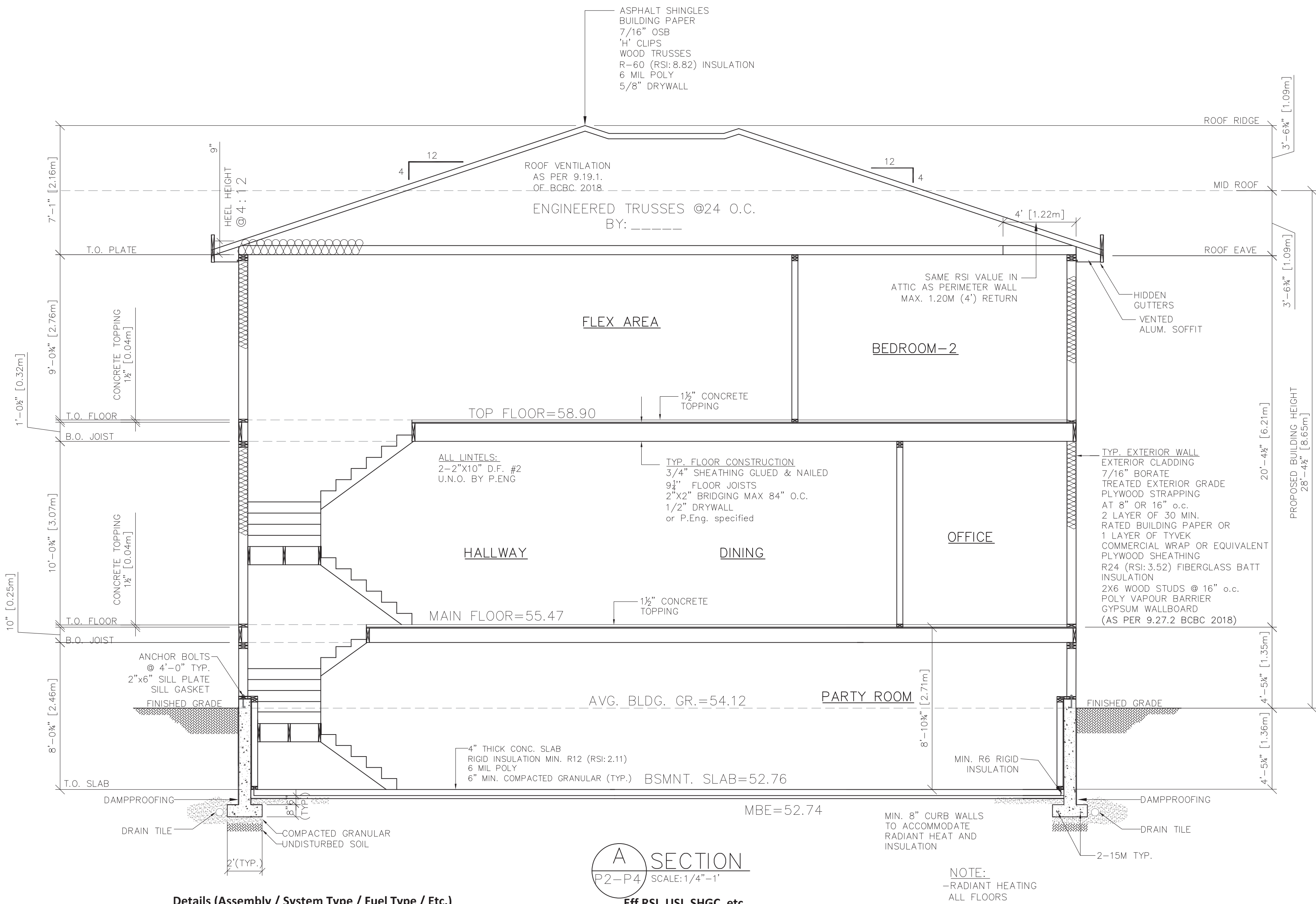
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DRAWING NO.	REFERENCE	NO.	REVISION	BY	DATE	TITLE	DWN:	L.K	DRAWING NO.	THILLON DESIGNS LTD. UNIT 215-12830-80th AVE. SURREY, B.C. V3W 3A8 PHONE: (604) 590-2808 FAX: (604) 590-2878 EMAIL: info@dhillondesigns.ca
						PROPOSED RESIDENTIAL FOR RANJIT RAI LOT #7, 5497 128 STREET SURREY, B.C.	SCALE:	1/4"=1'	DD22-8767-P6	
							DATE:	JUNE.21.2022		
							CHKD:	H.B		
							PHONE:	604-721-1278		

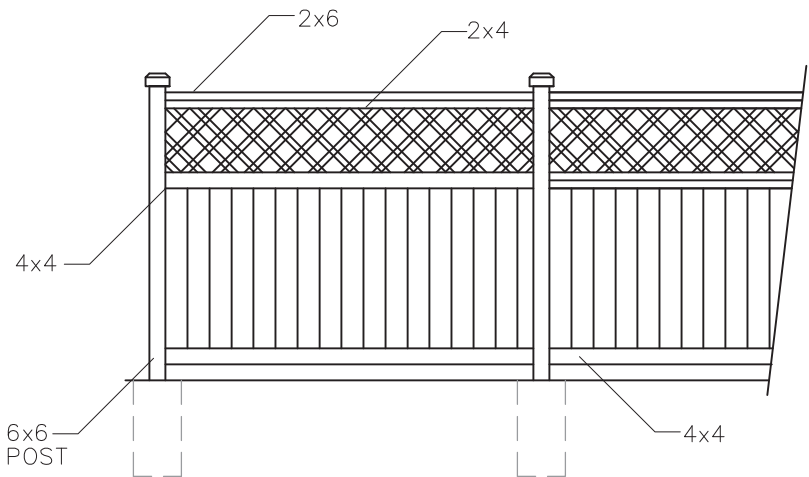


CONSIDERATION MUST BE GIVEN TO THE FOLLOWING AT THE TIME OF CONSTRUCTION:

- DUCTS LOCATED OUTSIDE THE THERMAL ENCLOSURE ARE SEALED AND INSULATED TO THE EXTERIOR WALL INSULATION REQUIREMENTS.
- DAMPERS ARE INSTALLED AT AIR INLETS AND EXHAUSTS WHERE REQUIRED.
- PIPING FOR HEATING OR COOLING SYSTEMS IS LOCATED WITHIN THE THERMAL ENCLOSURE OR ARE FULLY INSULATED.
- HVAC EQUIPMENT IS LOCATED WITHIN THERMAL ENCLOSURE OR DESIGNATED TO BE INSTALLED OUTSIDE OF THERMAL ENCLOSURE.
- TEMPERATURE CONTROLS ARE INSTALLED ON HEATING AND COOLING EQUIPMENT.
- INDOOR POOLS ARE COVERED OR HAVE ON HRV/DEHUMIDIFIER.
- HVAC AND SWH EQUIPMENT MEET MINIMUM PERFORMANCE REQUIREMENTS DETERMINED IN TABLES 9.36.3.10. AND 9.36.4.2.
- SERVICE WATER HEATING PIPES ARE INSULATED AT THE INLET AND OUTLET OF STORAGE TANKS.
- SERVICE WATER HEATERS HAVE TEMPERATURE CONTROLS.

- NOTES:
1. WRITTEN DIMENSION SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
  2. CONTRACTOR SHALL VERIFY ALL ON SITE CONDITIONS PRIOR TO COMMENCEMENT OF THE WORK.
  3. ALL WORK SHALL CONFORM TO THE REQUIREMENT OF THE BRITISH COLUMBIA BUILDING CODE, LATEST EDITION.
  4. ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENT OF C.S.A. 3.A231 LATEST EDITION.
  5. CONCRETE STRENGTH AT 28 DAYS, MINIMUM 3,000 PSI.
  6. ALL FRAMING AND NAILING SHALL CONFORM TO B.C. BUILDING CODE PART 9 AND DESIGN TO CSA LATEST EDITION.
  7. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR #2 OR BETTER.
  8. WOOD TRUSSES SHALL BE DESIGN AND SEALED BY P.ENG. REGISTERED IN B.C.
  9. ALL PLYWOOD SHALL BE DOUGLAS FIR CONFORM TO CSA 0121 LATEST EDITION.
  10. OWNER IS TO BE ENTIRELY RESPONSIBLE FOR ALL STRUCTURAL ENGINEERING REQUIREMENTS.
  11. ALL DIMENSIONS ARE TO BE CHECKED ON SITE BEFORE WORK COMMENCES.

- NOTES:
- FENCES ARE NOT REQUIRED, BUT WHERE USED:
01. THE FENCE IS CONSTRUCTED OF TREATED MATERIAL AND SUITABLY STAINED.
  02. FENCES ON THE SIDE OF THE SINGLE FAMILY DWELLING ARE LOCATED AT LEAST 1.8 METERS (6.0 FEET) BEHIND THE FRONT FACE OF THE SINGLE FAMILY DWELLING.
  03. THE FENCE STRUCTURE IS SUBSTANTIALLY AS FOLLOWS.

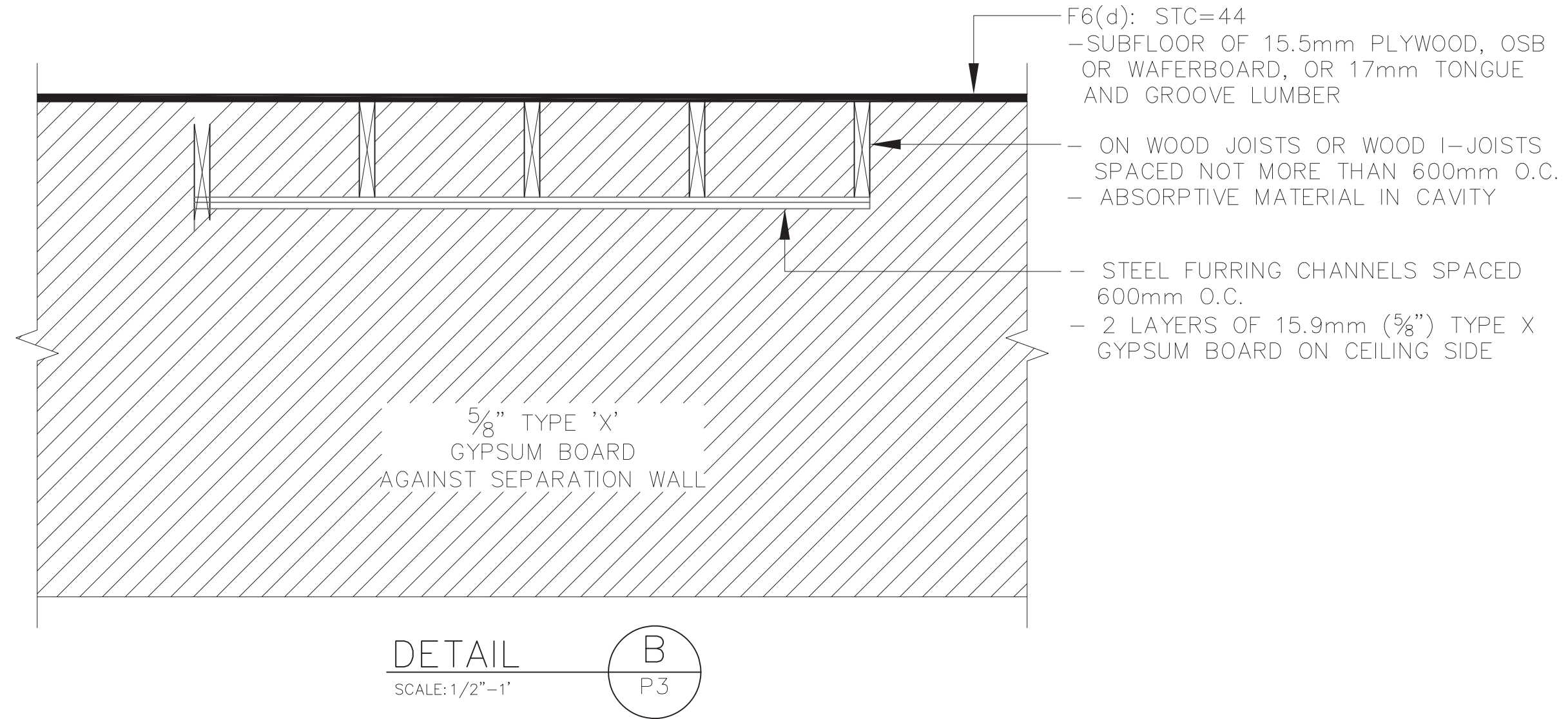


FENCE DETAIL  
SCALE: 1/4"=1'

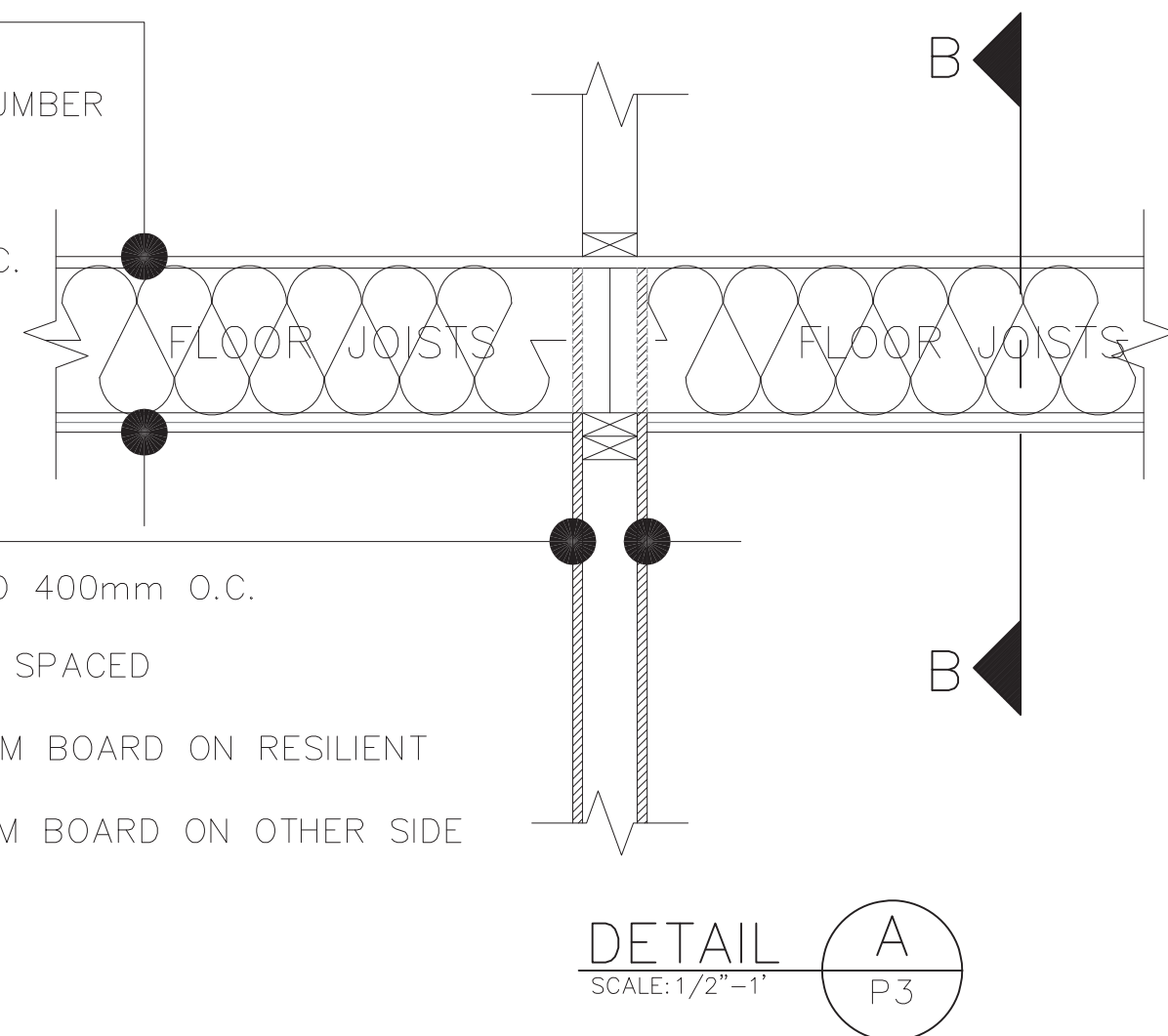
Details (Assembly / System Type / Fuel Type / Etc.)						Eff RSI, USI, SHGC, etc		
Exterior Walls & Floor Headers	Exterior Walls: 2"x6"@16" o.c. with R-24 Insulation-Stucco					Effective RSI	RSI- 3.52	
	Floor Headers: R-24, Stucco						RSI- 4.38	
Roof / Ceilings	Attic: Engineer Wood Trusses@24" o.c. with R-60 Insulation					Effective RSI	RSI- 8.82	
	Flat: TJI 11.875"@16"o.c. with R-28 Insulation						RSI- 4.56	
	Cathedral: N/A						RSI- N/A	
Foundation Walls, Headers, & Slabs	Foundation Walls: 8" Concrete, 2"x4"@16" o.c. with R-24 Insulation					Effective RSI	RSI- 11.4	
	Slabs: R-12 Rigid Insulation Full Area Below Slab						RSI- 2.11	
	Slab Edge Insulation:R-12 Thermal Break All Around						RSI- 2.11	
	Slab Is:		Below	OR	Above Frost Line	Heated	OR	Unheated
Floors Over Unheated Spaces	Floors Over Unheated Spaces: TJI 11.875"@16"o.c. with R-28 Insulation					Effective RSI	RSI- 5.55	
Fenestration & Doors	Windows: 1.30 U value or lower and 0.32 SHGC or Higher					USI SHGC	U Value 1.30	
	Doors: 1.8 U Value or Lower						SHGC 0.32	
	FDWR:		15.9				%	
Air Barrier System & Location	Interior continuous poly air and vapour barrier						N/A	
Space Conditioning (Heating & Cooling)	Primary Space Heating :		Condensing Natural Gas Boiler		43000 BTU/hr	% ,AFUE, HSPF, or SEER	AFUE 95	
	Secondary Space Heating :		N/A		N/A BTU/hr		AFUE N/A	
	Space Cooling: Central System Air Conditioner				37000 BTU/hr		SEER 13	
Service Water Heating	Primary Service Water Heating:		Instantaneous Condensing Natural Gas		N/A gla	EF or %	EF 0.90	
	Secondary Service Water Heating:		N/A		N/A gla		EF N/A	
Ventilation	Principal Ventilation:		HRV		119 CFM	SRE	SRE 65%	
	Secondary Ventilation:		Bathroom exhaust fan Passive inlets		45 CFM		SRE N/A	
Other Energy Impacting Features	N/A					GJ	N/A	GJ
	N/A					GJ	N/A	GJ

DRAWING NO.	REFERENCE	NO.	REVISION	BY	DATE	<div> <b>Dhillon</b> <i>Designs Ltd.</i></div>	TITLE	DWN:	L.K	DRAWING NO.	<div>DHILLON DESIGNS LTD. UNIT 215-12830-80th AVE. SURREY, B.C. V3W 3A8 PHONE: (604) 590-2808 FAX: (604) 590-2878 EMAIL: info@dhillondesigns.ca</div>
							PROPOSED RESIDENTIAL FOR RANJIT RAI LOT #7, 5497 128 STREET SURREY, B.C.	SCALE:	AS NOTED	DD22-8767-P7	
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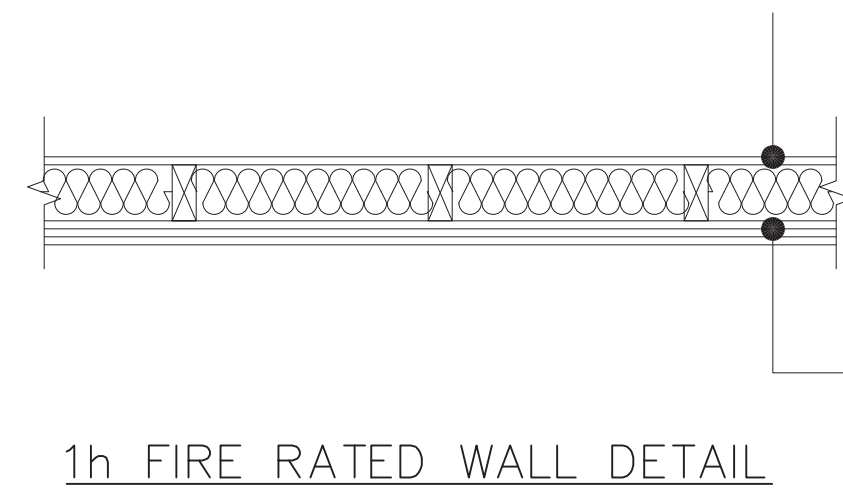




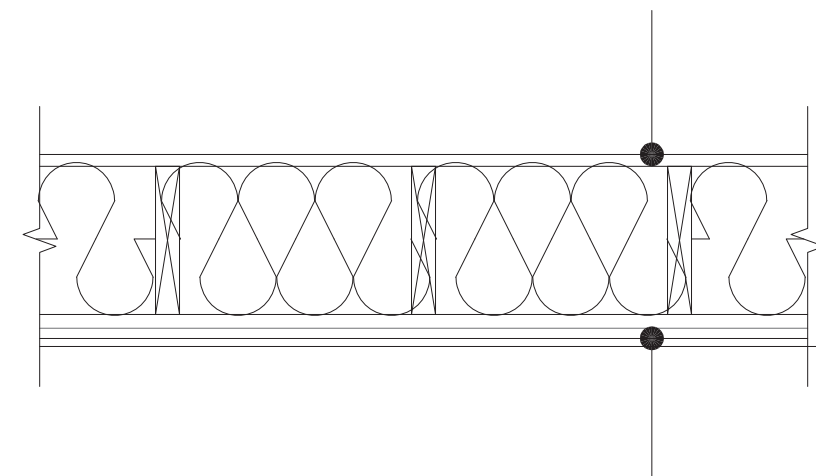
F6(d): STC=44  
- SUBFLOOR OF 15.5mm PLYWOOD, OSB OR WAFERBOARD, OR 17mm TONGUE AND GROOVE LUMBER  
- ON WOOD JOISTS OR WOOD I-JOISTS SPACED NOT MORE THAN 600mm O.C.  
- ABSORPTIVE MATERIAL IN CAVITY  
- STEEL FURRING CHANNELS SPACED 600mm O.C.  
- 2 LAYERS OF 15.9mm (5/8") TYPE X GYPSUM BOARD ON CEILING SIDE  
see Division B - Appendix A  
Table A-9.10.3.1.B of BCBC 2018



W4(a): STC=51  
- 38mm (1 1/2") x 89mm (3 1/2") STUDS SPACED 400mm O.C.  
- WITH 89mm THICK ABSORPTIVE MATERIAL  
- RESILIENT METAL CHANNELS ON ONE SIDE SPACED 400mm OR 600mm O.C.  
- 2 LAYERS OF 15.9mm (5/8") TYPE X GYPSUM BOARD ON RESILIENT METAL CHANNEL SIDE  
- 1 LAYERS OF 15.9mm (5/8") TYPE X GYPSUM BOARD ON OTHER SIDE  
- STUDS SPACED 400mm O.C.  
see Division B - Appendix A  
Table A-9.10.3.1.A of BCBC 2018



W4(a): STC=51  
- 38mm (1 1/2") x 89mm (3 1/2") STUDS SPACED 400mm O.C.  
- WITH 89mm THICK ABSORPTIVE MATERIAL  
- RESILIENT METAL CHANNELS ON ONE SIDE SPACED 400mm OR 600mm O.C.  
- 2 LAYER OF 15.9mm (5/8") TYPE X GYPSUM BOARD ON RESILIENT METAL CHANNEL SIDE  
- 1 LAYER OF 15.9mm (5/8") TYPE X GYPSUM BOARD ON OTHER SIDE  
- STUDS SPACED 400mm O.C.  
see Division B - Appendix A  
Table A-9.10.3.1.A of BCBC 2018

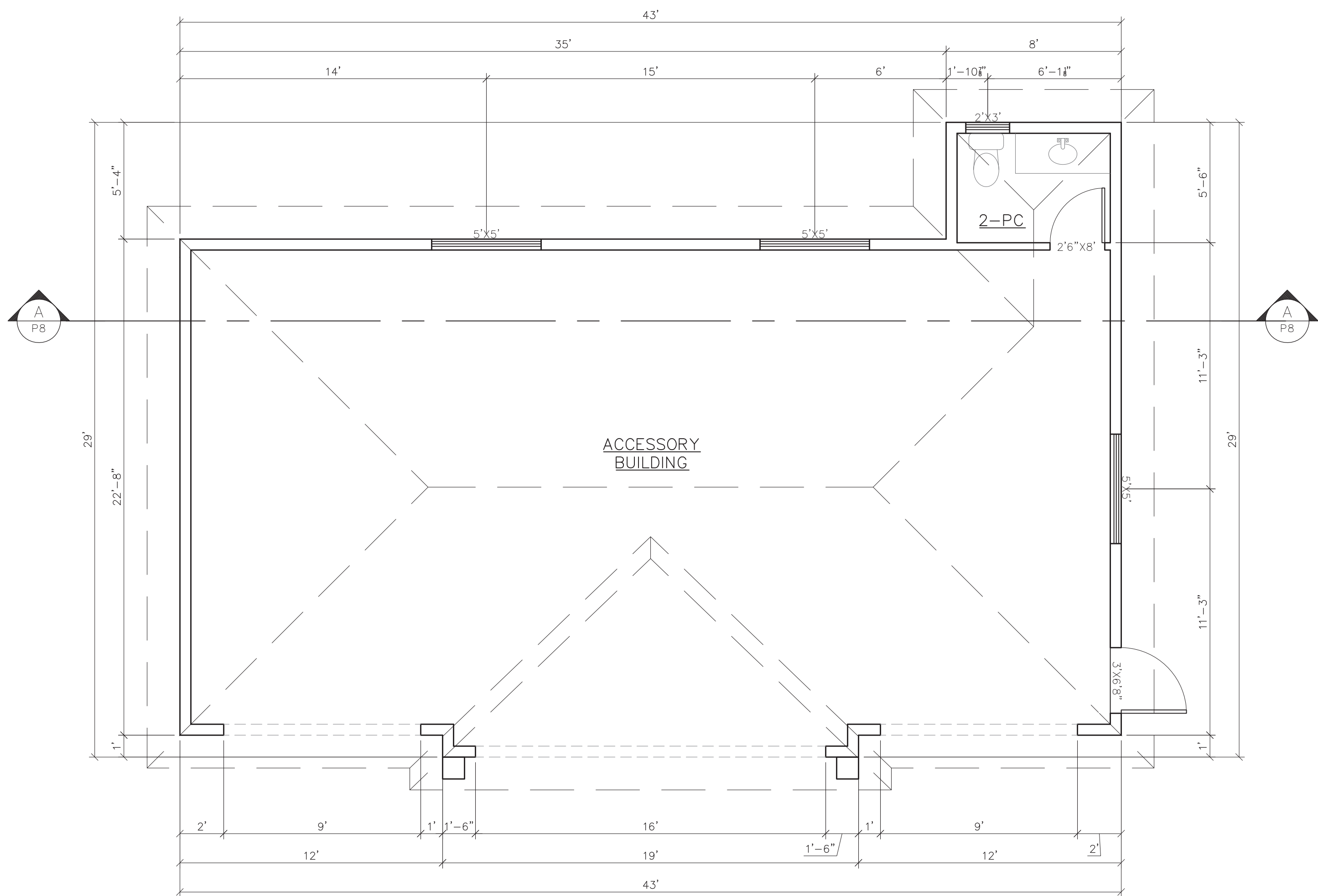


F6(d): STC=44  
- SUBFLOOR OF 15.5mm PLYWOOD, OSB OR WAFERBOARD, OR 17mm TONGUE AND GROOVE LUMBER  
- ON WOOD JOISTS OR WOOD I-JOISTS SPACED NOT MORE THAN 600mm O.C.  
- ABSORPTIVE MATERIAL IN CAVITY  
- STEEL FURRING CHANNELS SPACED 600mm O.C.  
- 2 LAYERS OF 15.9mm (5/8") TYPE X GYPSUM BOARD ON CEILING SIDE  
see Division B - Appendix A  
Table A-9.10.3.1.B of BCBC 2018

THESE PLANS CONFORM TO REQUIREMENTS  
IN THE B.C. BUILDING CODE 2018.

DRAWING NO.	REFERENCE	NO.	REVISION	BY	DATE	 <b>Dhillon</b> <i>Designs Ltd.</i>	TITLE	DWN:	L.K	DRAWING NO.	DHILLON DESIGNS LTD. UNIT 215-12830-80th AVE. SURREY, B.C. V3W 3A8 PHONE: (604) 590-2808 FAX: (604) 590-2878 EMAIL: info@dhillondesigns.ca
							PROPOSED RESIDENTIAL FOR RANJIT RAI LOT #7, 5497 128 STREET SURREY, B.C.	SCALE:	N.T.S	DD22-8767-P8	
								DATE:	JUNE.21.2022		
								CHKD:	H.B		
								PHONE:	604-721-1278		

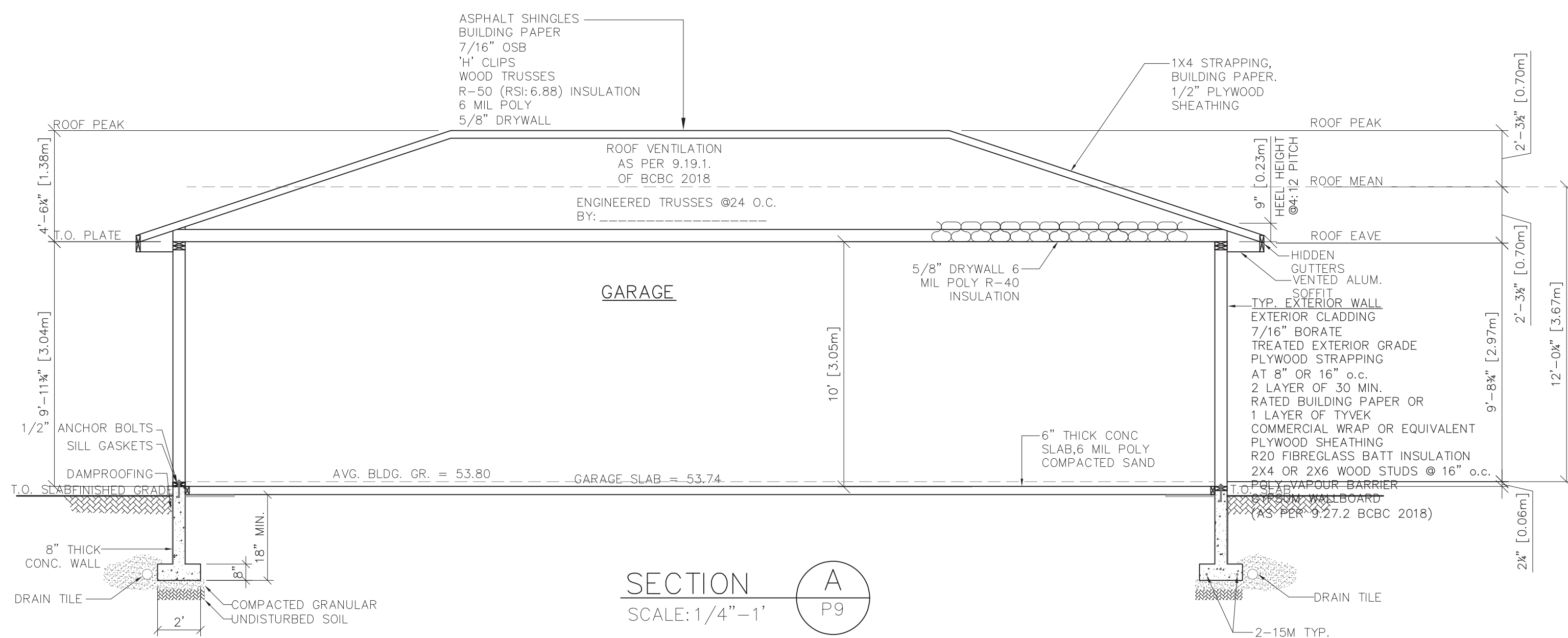




ACCESSORY BUILDING PLAN

SCALE: 1/4"=1'  
10'-0 3/4" CEILING

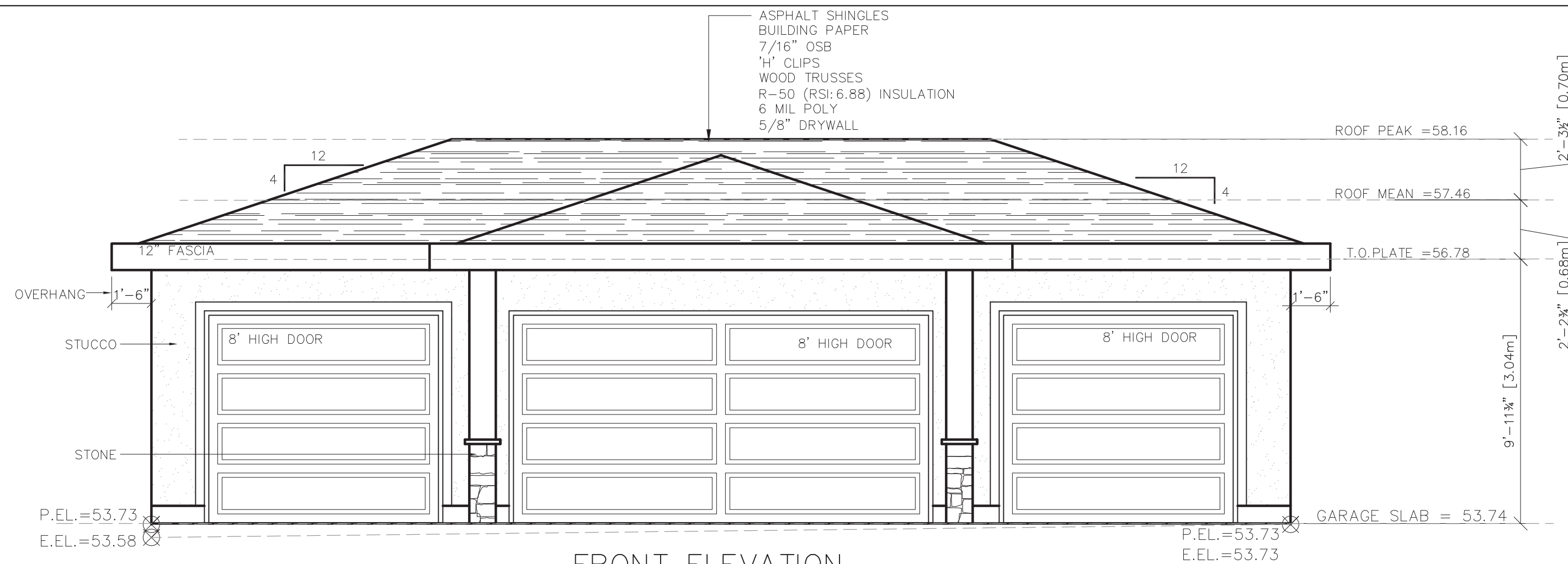
ACCESSORY FLOOR AREA = 1036.33 SQ.FT. [96.28m<sup>2</sup>]



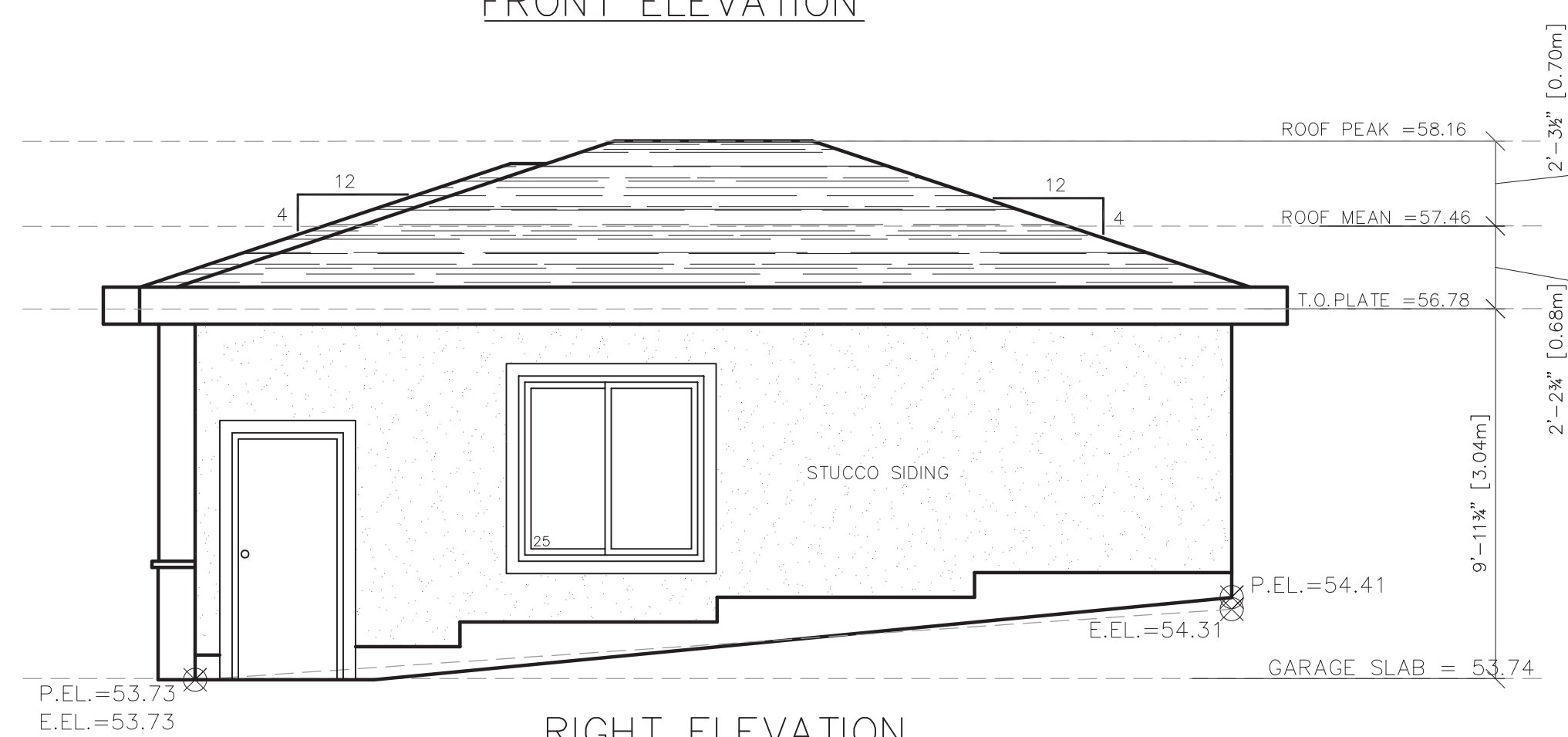
SECTION

SCALE: 1/4"=1'

A  
P9

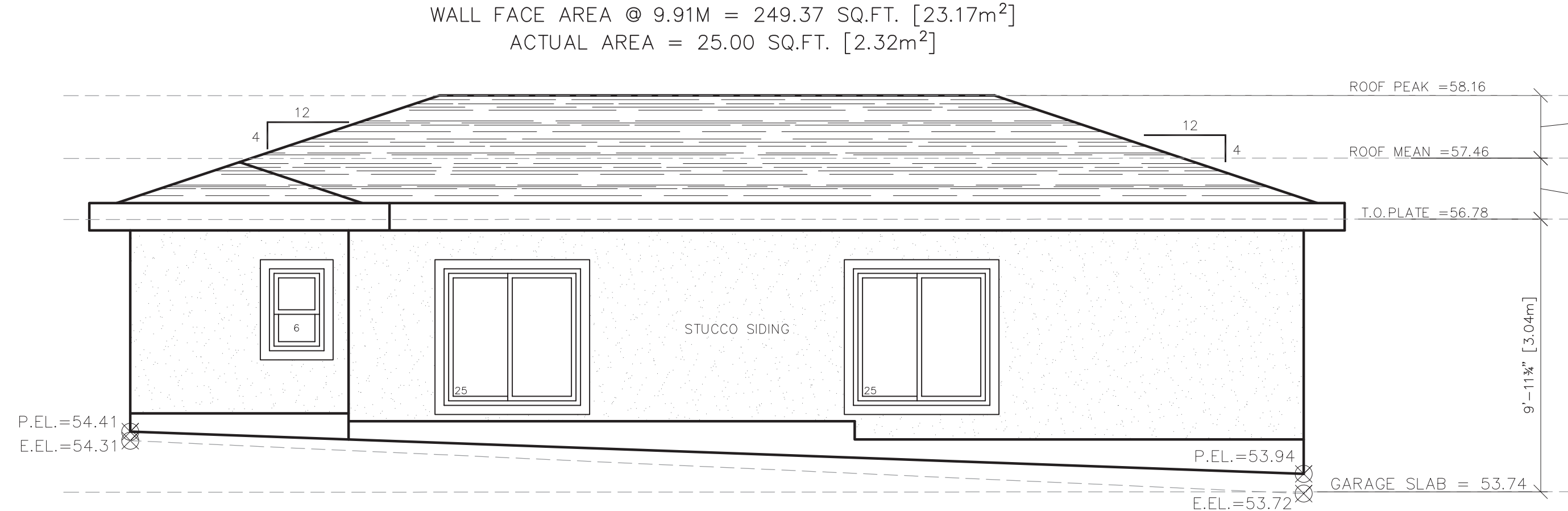


FRONT ELEVATION

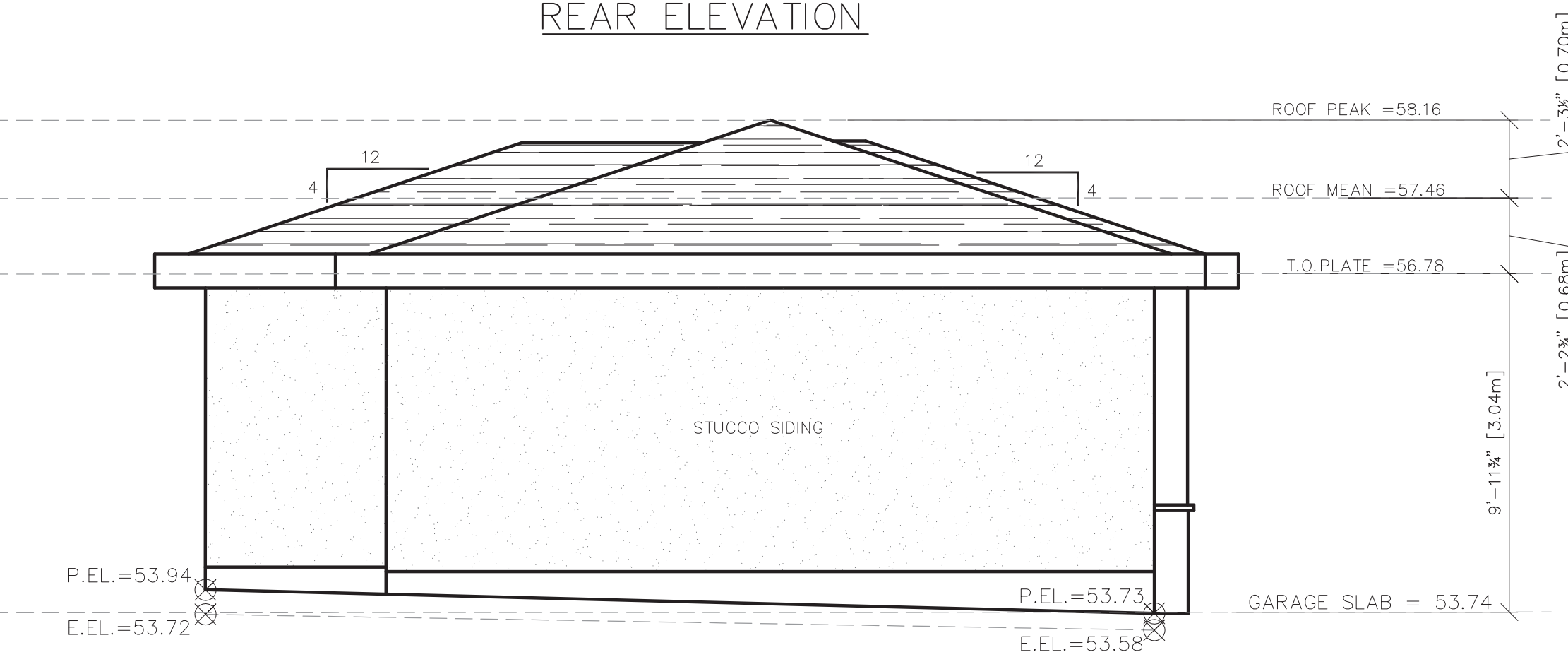


RIGHT ELEVATION

WALL FACE AREA @ 9.91M = 249.37 SQ.FT. [23.17m<sup>2</sup>]  
ACTUAL AREA = 25.00 SQ.FT. [2.32m<sup>2</sup>]



REAR ELEVATION



LEFT ELEVATION

WALL FACE AREA @ 1.80M = 267.31 SQ.FT. [24.83m<sup>2</sup>]  
ACTUAL AREA = 25.00 SQ.FT. [2.32m<sup>2</sup>]

**Tynan Consulting Ltd.**

13659 - 108<sup>th</sup> Avenue, Surrey, B.C. V3T 2K4  
Tel.: (604)581-5722 Fax: (604)581-4822

These plans conform to the Building  
Design Guidelines registered on this lot.

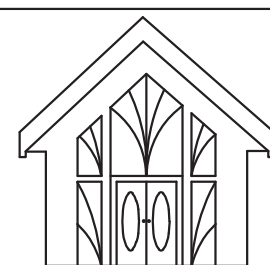
*Michael E. Tynan*

Michael E. Tynan

Plans are reviewed by the design consultant  
for conformance with design guidelines only.  
Plans are not reviewed for structural  
integrity, for conformance with the BC  
Building Code, for any water ingress  
prevention specification, for egress from a  
secondary suite, nor for conformance with  
any zoning bylaw.  
Date: Sep 20, 2022  
Security key : 217010840

THESE PLANS CONFORM TO REQUIREMENTS  
IN THE B.C. BUILDING CODE 2018.

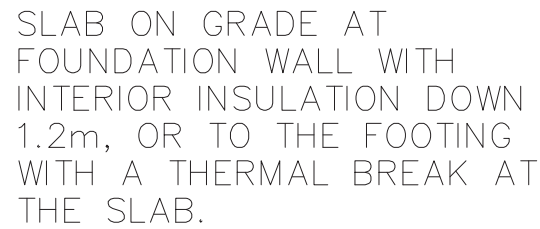
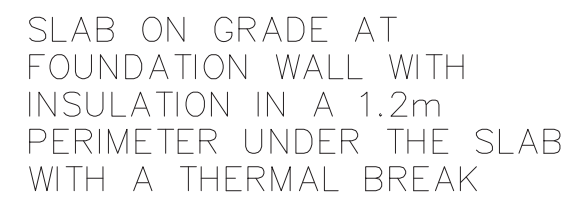
DRAWING NO.	REFERENCE	NO.	REVISION	BY	DATE



**Dhillon**  
Designs Ltd.

TITLE		DWN:	L.K.	DRAWING NO.	
PROPOSED ACCESSORY BUILDING FOR RANJIT RAI LOT #7, 5496 128 STREET SURREY, B.C.		SCALE:	1/4"=1'	DD22-8767-P9	
		DATE:	JUNE.21.2022		
		CHKD:	H.B.		
		PHONE:	604-721-1278		
				DHILLON DESIGNS LTD. UNIT 215-12630-80th AVE. SURREY, B.C. V3W 3A8 PHONE: (604) 590-2808 FAX: (604) 590-2878 EMAIL: info@dhillondesigns.ca	





INSULATION OF UNHEATED AND HEATED  
SLABS ABOVE THE FROST LINE  
SCALE 1/2":1'-0" AS PER BCBC 9.36 LATEST REVISION WITH  
OR WITHOUT HEAT RECOVERY VENTILATOR



INSULATION PLACEMENT FOR  
HEATED SLABS (INTERIOR)  
SCALE 1/2":1'-0" AS PER CBC 9.36 LATEST  
REVISION WITH OR WITHOUT HEAT RECOVERY  
VENTILATOR



INSULATION PLACEMENT FOR  
HEATED SLABS (EXTERIOR)  
SCALE 1/2":1'-0" AS PER BCBC 9.36 LATEST  
REVISION WITH OR WITHOUT HEAT RECOVERY  
VENTILATOR

FLOORS OVER UNHEATED SPACES ASSEMBLY  
(CERAMIC TILE FLOORING)

### FLOORS OVER UNHEATED SPACES ASSEMBLY (CARPET FLOORING)

FLOORS OVER UNHEATED SPACES ASSEMBLY  
(HARDWOOD FLOORING)

## SPECIFIC REQUIREMENTS

- EFFECTIVE INSULATION OF CEILINGS, WALLS AND FLOORS MEET THE REQUIREMENTS OF TABLE 9.36.2.6.A AND TABLE 9.36.2.6.B FOR THE CORRECT CLIMATE ZONE
- THE THERMAL CHARACTERISTICS OF WINDOWS, DOORS AND SKYLIGHTS MEET THE REQUIREMENTS OF TABLE 9.36.2.7.A, AND C FOR THE CORRECT CLIMATE ZONE
- EFFECTIVE INSULATION OF FOUNDATIONS MEET THE REQUIREMENTS OF TABLE 9.36.2.8.A OR B FOR THE CORRECT CLIMATE ZONE
- DUCTS LOCATED OUTSIDE THE THERMAL ENCLOSURE ARE SEALED AND INSULATED TO THE EXTERIOR WALL INSULATION REQUIREMENTS
- DAMPERS ARE INSTALLED AT AIR INLETS AND EXHAUSTS WHERE REQUIRED
- PIPING FOR HEATING OR COOLING SYSTEMS IS LOCATED WITHIN THE THERMAL ENCLOSURE OR ARE FULLY INSULATED
- EQUIPMENT IS LOCATED WITHIN THERMAL ENCLOSURE OR DESIGNATED TO BE INSTALLED OUTSIDE OF THERMAL ENCLOSURE
- TEMPERATURE CONTROLS ARE INSTALLED ON HEATING AND COOLING EQUIPMENT
- INDOOR POOLS ARE COVERED OR HAVE AN HRV/DEHUMIDIFIER
- HVAC AND SWH EQUIPMENT MEET MINIMUM PERFORMANCE REQUIREMENTS DETERMINED IN TABLES 9.36.3.10. AND 9.36.4.2
- SERVICE WATER HEATING PIPES ARE INSULATED AT THE INLET AND OUTLET OF STORAGE TANKS
- SERVICE WATER HEATERS HAVE TEMPERATURE CONTROLS
- THE AIR BARRIER DETAILS, AND LOCATIONS HAVE BEEN IDENTIFIED

TEMPERATURE CONTROLS AS PER SECTION 9.36.3.6

-TEMPERATURE CONTROLS ARE GENERALLY REQUIRED FOR HEATING AND COOLING EQUIPMENT, THE ACCURACY OF THE CONTROL MUST BE BETTER THAN PLUS OR MINUS 0.5 DEGREES CELCIUS

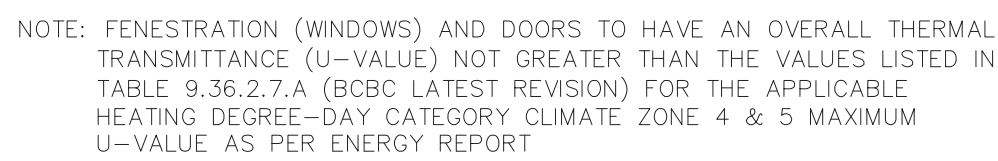


## UNHEATED FLOOR-ON-GROUND ABOVE FROST

CEILINGS BELOW CATHEDRAL & FLAT ROOFS  
AS PER CBC 9.36 LATEST REVISION WITH OR WITHOUT HEAT RECOVERY  
VENTILATOR



## CLIMATE ZONE 4 ENERGY EFFICIENCY CEILINGS BELOW CATHEDRAL & FLAT ROOFS DETAIL



LIVING SPACE      1/2" GYPSUM BOARD RSI OR (R-VALUE) AS  
PER BC ENERGY REPORT

INTERIOR AIR FILM (VALUE AS  
PER ENERGY REPORT)

R-28 BATT INSULATION IN 2x10 WOOD FRAMING @ 12" O.C. (RSI 5.55 AS PER ENERGY REPORT  
R-28 BATT INSULATION IN 2x10 WOOD FRAMING @ 16" O.C. (RSI 5.55 AS PER ENERGY REPORT

CARPET & RUBBER PAD HARDWOOD  
FLOORING CERAMIC TILE FLOORING (RS  
VALUE AS PER ENERGY REPORT)

— 5/8" GYPSUM BOARD (RSI VALUE  
AS PER ENERGY REPORT)

EXTERIOR AIR FILM (RSI VALUE  
AS PER ENERGY REPORT)

UNCONDITIONED SPACE  
(GARAGE)

## OTHER SEPARATIONS


DOOR TO GARAGE	RSI & R AS PER ENERGY REPORT
ACCESS HATCH	RSI & R- AS PER ENERGY REPORT
FRONT DOORS	USI & U- AS PER ENERGY REPORT
GLASS BLOCK	USI & U- AS PER ENERGY REPORT

AS PER BCBC 9.36 LATEST REVISION WITH OR WITHOUT HEAT RECOVERY  
VENTILATOR

### CLIMATE ZONE 4 ENERGY EFFICIENCY FLOORS OVER UNHEATED SPACES

SCALE 1/2":1'-0" AS PER BCBC 9.36 LATEST  
REVISION WITH OR WITHOUT HEAT RECOVERY  
VENTILATOR

THESE PLANS CONFORM TO REQUIREMENTS  
IN THE B.C. BUILDING CODE 2018.



# Bhillon Designs Ltd.

*TITLE*

DWN:
------

1	K
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SCALE:

AS NOTED

DATE:

JUNE.

CHKD:

H.B	
-----	--

DRAWING NO.

DD22-8767-P10

DHILLON DESIGNS LTD.  
UNIT 215-12830-80th AVE.  
SURREY, B.C. V3W 3A8  
PHONE: (604) 590-2808  
FAX: (604) 590-2878  
EMAIL: info@dhillondesigns.ca



CLIMATE ZONE 4

ABOVE GRADE WALL ASSEMBLY  
(WOOD SIDING)

AS PER BCBC 9.36 LATEST REVISION WITH OR WITHOUT HEAT RECOVERY VENTILATOR

DESCRIPTION	NOMINAL	EFFECTIVE
R-24 BATT INSULATION IN 2x6 WOOD FRAMING @ 16" O.C.	RSI 3.52 (R-24)	RSI 3.52 (R-24)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. EXTERIOR AIR FILM	0.03	
2. WOOD SIDING: BEVEL 200mm	0.14	
3. 1/2" AIR SPACE FOR RAIN SCREEN	0.16	
4. SHEATHING MEMBRANE	-	
5. 1/2" PLYWOOD SHEATHING	0.11	
6. POLYETHYLENE	0.08	
7. 1/2" GYPSUM WALL BOARD	0.12	
8. INTERIOR AIR FILM	-	
TOTAL EFFECTIVE INSULATION VALUE		RSI 4.16 (R-27.63)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS		RSI 3.71 (R-27.63)

BELOW GRADE HEATED FLOOR

AS PER BCBC 9.36 LATEST REVISION WITH OR WITHOUT HEAT RECOVERY VENTILATOR

DESCRIPTION	NOMINAL	EFFECTIVE
3.5" POURED IN-PLACE CONCRETE SLAB		
2.5" EXTRUDE POLYSTYRENE INSULATION	RSI 2.11 (R-12)	RSI 2.11 (R-12)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. INTERIOR AIR FILM	0.16	
2. 3.5" CONCRETE SLAB	-	
TOTAL EFFECTIVE INSULATION VALUE		RSI 2.27 (R-12.90)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR BELOW GRADE HEATED FLOORS		RSI 2.27 (R-12.90)

RIM JOIST SPACE  
(6.35MM FIBRE-CEMENT BOARD SIDING)

AS PER BCBC 9.36 LATEST REVISION WITH NO HEAT RECOVERY VENTILATOR

DESCRIPTION	NOMINAL	EFFECTIVE
R-24 BATT INSULATION IN 2x10 WOOD FRAMING @ 12" O.C.	RSI 3.52 (R-24)	RSI 3.52 (R-24)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. 1.5" LUMBER RIM BOARD	0.325	
2. 1/2" PLYWOOD SHEATHING	0.11	
3. AIR BARRIER/SHEATHING MEMBRANE	-	
4. 3/8" CAPILLARY BREAK SPACE	0.15	
5. 6.35MM FIBRE-CEMENT CLADDING	0.023	
6. EXTERIOR AIR FILM	0.03	
TOTAL EFFECTIVE INSULATION VALUE		RSI 4.158 (R-27.62)
MINIMUM EFFECTIVE THERMAL RESISTANCE		RSI 2.78 (R-15.8)

RIM JOIST SPACE W/2 BEARING BLOCKS  
(6.35MM FIBRE-CEMENT BOARD SIDING)

AS PER BCBC 9.36 LATEST REVISION WITH NO HEAT RECOVERY VENTILATOR

DESCRIPTION	NOMINAL	EFFECTIVE
R-24 BATT INSULATION IN 2x10 WOOD FRAMING @ 12" O.C. IN CAVITY	RSI 3.52 (R-24)	RSI 3.52 (R-24)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. 2-1 1/2" BEARING BLOCKS(3")	0.65	
2. 1.5" LUMBER RIM BOARD	0.325	
3. 1/2" PLYWOOD SHEATHING	0.11	
4. AIR BARRIER/SHEATHING MEMBRANE	-	
5. 3/8" CAPILLARY BREAK SPACE	0.15	
6. 6.35MM (1/4") FIBRE-CEMENT CLADDING	0.023	
7. EXTERIOR AIR FILM	0.03	
TOTAL EFFECTIVE INSULATION VALUE		RSI 4.808 (R-31.31)
MINIMUM EFFECTIVE THERMAL RESISTANCE		RSI 4.358 (R-31.31)

BELOW GRADE WALL ASSEMBLY  
AS PER BCBC 9.36 LATEST REVISION WITH OR WITHOUT HEAT RECOVERY VENTILATOR

DESCRIPTION	NOMINAL	EFFECTIVE
8" POURED IN-PLACE CONCRETE WALL		
R-24 BATT INSULATION IN 2x4 WOOD FRAMING @ 24" O.C.	RSI 11.4 (R-24)	RSI 11.4 (R-24)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. DAMPPROOFING	0.21	
2. 1" AIR SPACE	0.16	
3. POLYETHYLENE	0.08	
4. 1/2" GYPSUM WALL BOARD	0.12	
5. INTERIOR AIR FILM	-	
TOTAL EFFECTIVE INSULATION VALUE		RSI 11.97 (R-27.23)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR BELOW GRADE WALLS		RSI 1.99 (R-11.3)

RIM JOIST SPACE  
(STONE)

AS PER BCBC 9.36 LATEST REVISION WITH NO HEAT RECOVERY VENTILATOR

DESCRIPTION	NOMINAL	EFFECTIVE
R-24 BATT INSULATION IN 2x10 WOOD FRAMING @ 12" O.C.	RSI 3.52 (R-24)	RSI 3.52 (R-24)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. 1.5" LUMBER RIM BOARD	0.325	
2. 1/2" PLYWOOD SHEATHING	0.11	
3. SHEATHING MEMBRANE	-	
4. STONE	0.003	
5. EXTERIOR AIR FILM	0.03	
TOTAL EFFECTIVE INSULATION VALUE		RSI 3.988 (R-26.66)
MINIMUM EFFECTIVE THERMAL RESISTANCE		RSI 3.538 (R-26.66)

ABOVE GRADE WALL ASSEMBLY  
(STONE SIDING)

AS PER BCBC 9.36 LATEST REVISION WITH OR WITHOUT HEAT RECOVERY VENTILATOR

DESCRIPTION	NOMINAL	EFFECTIVE
R-24 BATT INSULATION IN 2x6 WOOD FRAMING @ 16" O.C.	RSI 3.52 (R-24)	RSI 3.52 (R-24)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. EXTERIOR AIR FILM	0.03	
2. CULTURED STONE	0.008	
3. MORTAR	0.004	
4. 1/2" AIR SPACE FOR RAIN SCREEN	0.16	
5. SHEATHING MEMBRANE	-	
6. 1/2" PLYWOOD SHEATHING	0.11	
7. POLYETHYLENE	0.08	
8. 1/2" GYPSUM WALL BOARD	0.12	
9. INTERIOR AIR FILM	-	
TOTAL EFFECTIVE INSULATION VALUE		RSI 4.032 (R-26.91)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS		RSI 3.582 (R-26.91)

RIM JOIST SPACE  
(STUCCO)

AS PER BCBC 9.36 LATEST REVISION WITH NO HEAT RECOVERY VENTILATOR

DESCRIPTION	NOMINAL	EFFECTIVE
R-24 BATT INSULATION IN 2x10 WOOD FRAMING @ 12" O.C.	RSI 3.52 (R-24)	RSI 3.52 (R-24)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. 1.5" LUMBER RIM BOARD	0.325	
2. 1/2" PLYWOOD SHEATHING	0.11	
3. SHEATHING MEMBRANE	-	
4. STUCCO	0.03	
5. EXTERIOR AIR FILM	-	
TOTAL EFFECTIVE INSULATION VALUE		RSI 3.98 (R-26.64)
MINIMUM EFFECTIVE THERMAL RESISTANCE		RSI 2.78 (R-15.8)

ABOVE GRADE WALL ASSEMBLY  
(STUCCO SIDING)

AS PER BCBC 9.36 LATEST REVISION WITH OR WITHOUT HEAT RECOVERY VENTILATOR

DESCRIPTION	NOMINAL	EFFECTIVE
R-24 BATT INSULATION IN 2x6 WOOD FRAMING @ 16" O.C.	RSI 3.52 (R-24)	RSI 3.52 (R-24)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. EXTERIOR AIR FILM	0.03	
2. STUCCO	0.16	
3. 1/2" AIR SPACE FOR RAIN SCREEN	0.11	
4. SHEATHING MEMBRANE	-	
5. 1/2" PLYWOOD SHEATHING	0.11	
6. POLYETHYLENE	-	
7. 1/2" GYPSUM WALL BOARD	0.08	
8. INTERIOR AIR FILM	0.12	
TOTAL EFFECTIVE INSULATION VALUE		RSI 4.02 (R-26.84)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS		RSI 2.78 (R-15.8)

CEILING BELOW ATTICS  
AS PER BCBC 9.36 LATEST REVISION WITH OR WITHOUT HEAT RECOVERY VENTILATOR

DESCRIPTION	NOMINAL	EFFECTIVE
279mm GLASS FIBRE LOOSE FILL INSULATION FOR ATTICS 2x4 BOTTOM CHORD @ 24" O.C.	RSI 8.82 (R-60)	RSI 8.82 (R-60)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. EXTERIOR AIR FILM	0.03	
2. POLYETHYLENE	-	
3. 5/8" GYPSUM CEILING BOARD	0.10	
4. INTERIOR AIR FILM	0.11	
TOTAL EFFECTIVE INSULATION VALUE		RSI 9.04 (R-61.36)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR CEILING BELOW ATTICS		RSI 7.90 (R-51.36)

ABOVE GRADE WALL ASSEMBLY  
(6.35mm FIBRE-CEMENT BOARD SIDING)

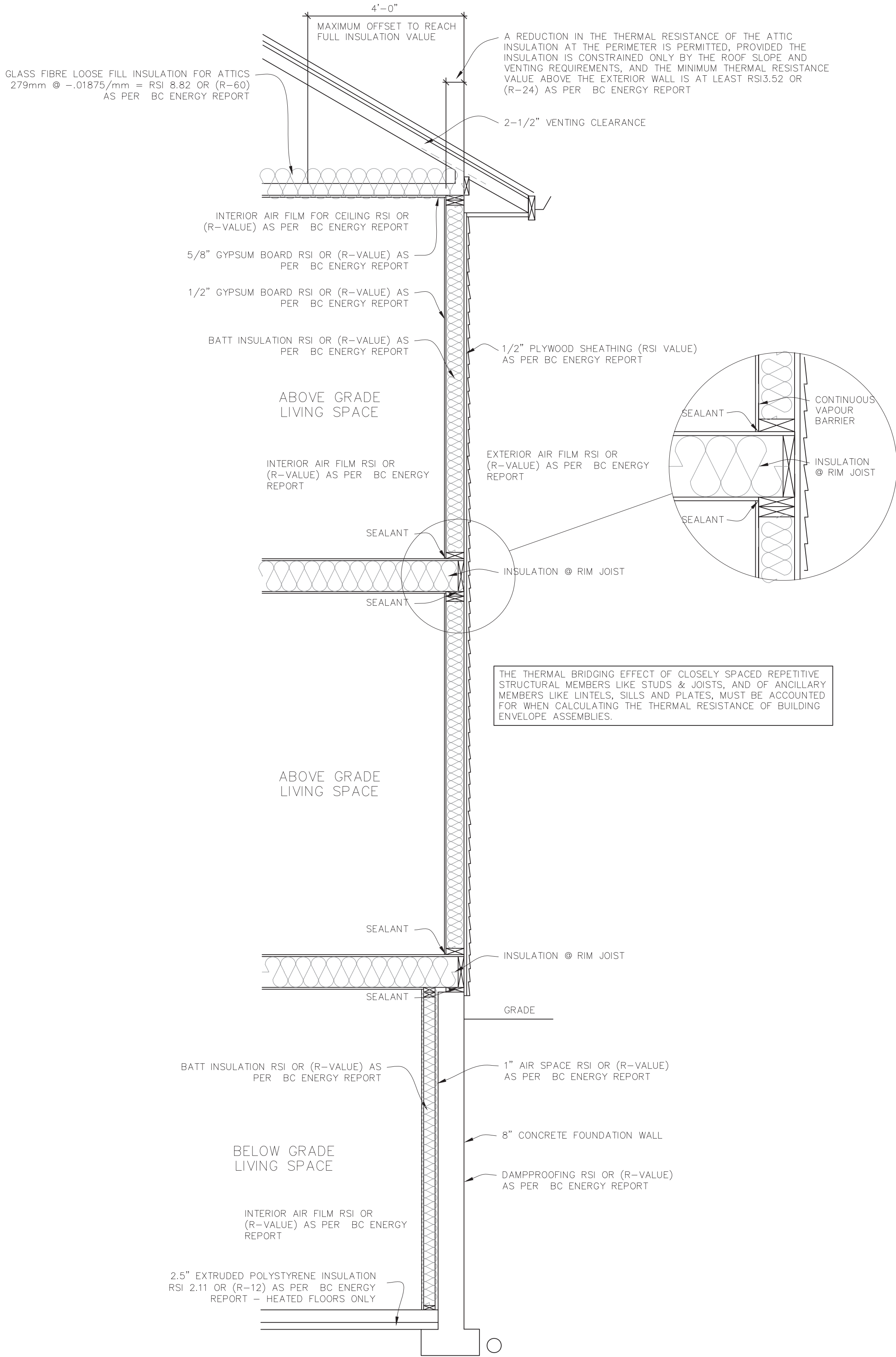
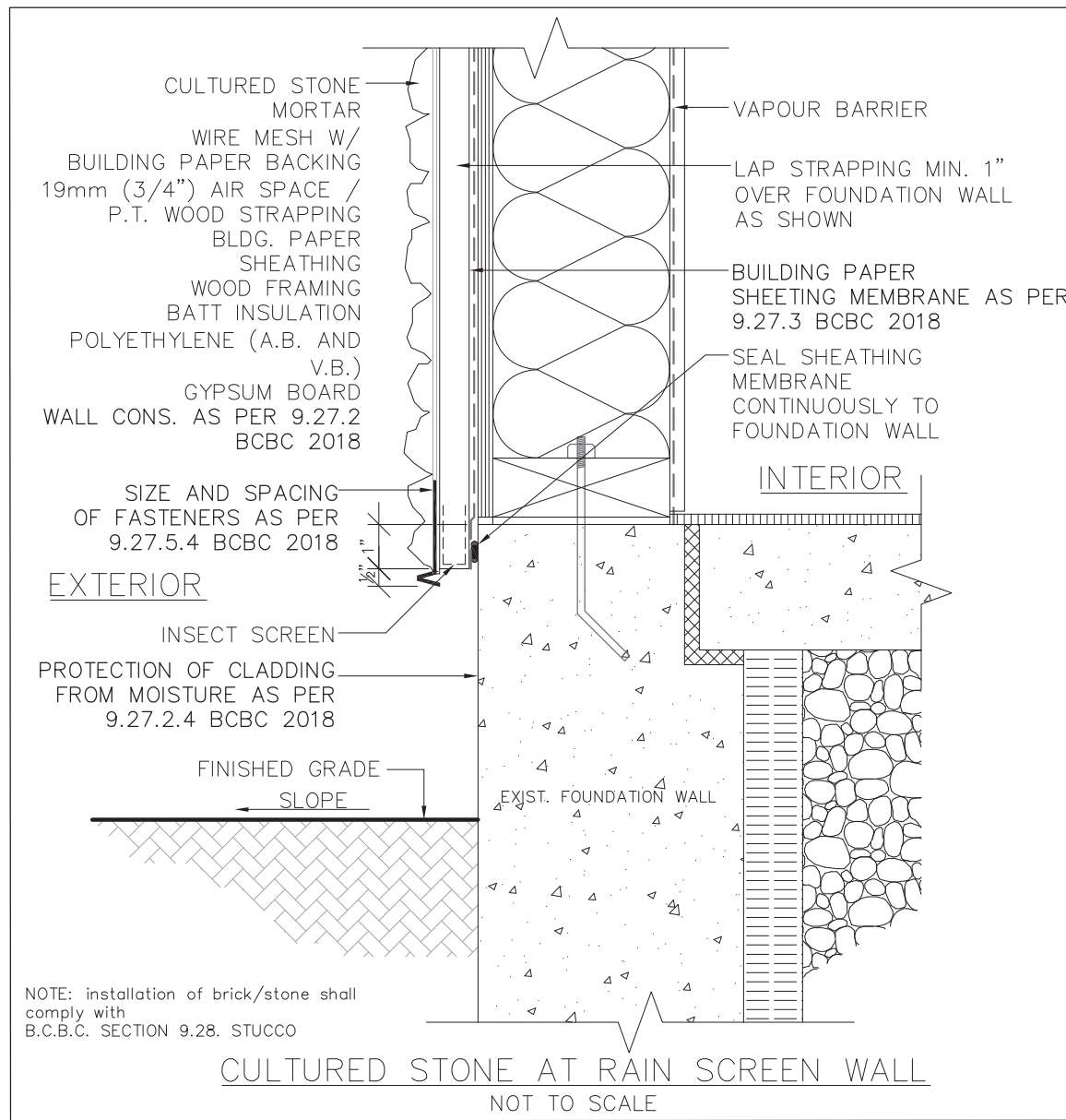
AS PER BCBC 9.36 LATEST REVISION WITH OR WITHOUT HEAT RECOVERY VENTILATOR

DESCRIPTION	NOMINAL	EFFECTIVE
R-24 BATT INSULATION IN 2x6 WOOD FRAMING @ 16" O.C.	RSI 3.52 (R-24)	RSI 3.52 (R-24)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. EXTERIOR AIR FILM	0.03	
2. 6.35mm FIBRE-CEMENT BOARD SIDING	0.023	
3. 1/2" AIR SPACE FOR RAIN SCREEN	0.16	
4. SHEATHING MEMBRANE	-	
5. 1/2" PLYWOOD SHEATHING	0.11	
6. POLYETHYLENE	0.08	
7. 1/2" GYPSUM WALL BOARD	0.12	
8. INTERIOR AIR FILM	-	
TOTAL EFFECTIVE INSULATION VALUE		RSI 4.043 (R-26.97)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS		RSI 3.593 (R-26.97)

WALLS BETWEEN UNHEATED SPACE

AS PER BCBC 9.36 LATEST REVISION WITH OR WITHOUT HEAT RECOVERY VENTILATOR

DESCRIPTION	NOMINAL	EFFECTIVE
R-24 BATT INSULATION IN 2x6 WOOD FRAMING @ 16" O.C.	RSI 3.52 (R-24)	RSI 3.52 (R-24)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. EXTERIOR AIR FILM	0.03	
2. 1/2" GYPSUM WALL BOARD	0.08	
3. 1/2" PLYWOOD SHEATHING	0.11	
4. 1/2" POLYETHYLENE	-	
5. POLYETHYLENE	0.08	
6. 1/2" GYPSUM WALL BOARD	0.12	
7. INTERIOR AIR FILM	-	
TOTAL EFFECTIVE INSULATION VALUE		RSI 3.94 (R-26.38)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR WALLS BETWEEN UNHEATED SPACE		RSI 3.49 (R-26.38)

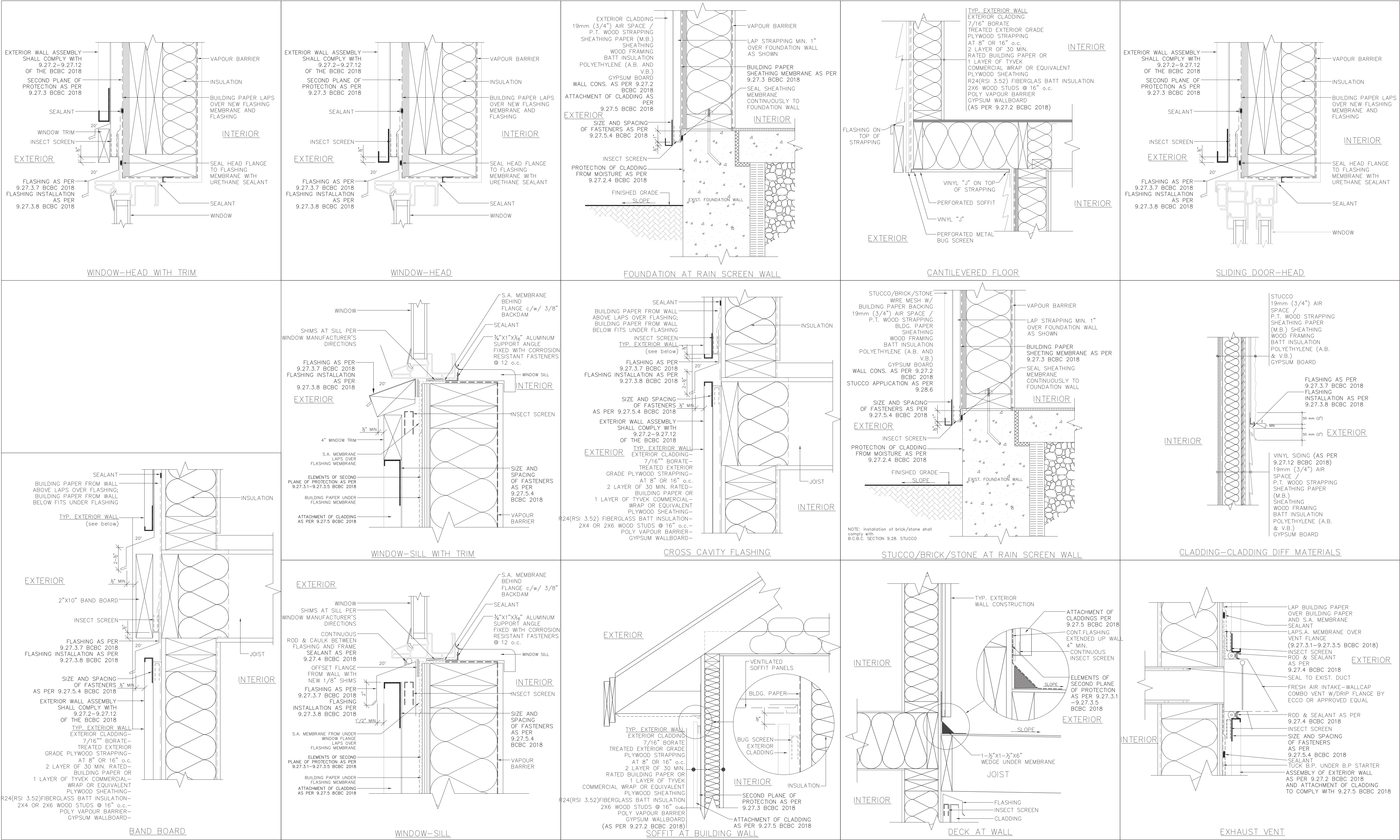


THESE PLANS CONFORM TO REQUIREMENTS  
IN THE B.C. BUILDING CODE 2018.

DRAWING NO.	REFERENCE	NO.	REVISION	BY	DATE	TITLE	DWN:	L.K.	DRAWING NO.	DD22-8767-P11
						PROPOSED RESIDENTIAL FOR RANJIT RAI LOT #7, 5497 128 STREET SURREY, B.C.	SCALE:	AS NOTED		
							DATE:	JUNE.21.2022		
							CHKD:	H.B		
							PHONE:	604-721-1278		

DHILLON DESIGNS LTD.  
UNIT 215-12830-80th AVE.  
SURREY, B.C. V3W 3A8  
PHONE: (604) 590-2808  
FAX: (604) 590-2878  
EMAIL: info@dhillondesigns.ca





DRAWING NO.						THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2018.					
DRAWING NO.	REFERENCE	NO.	REVISION	BY	DATE	TITLE					
						PROPOSED RESIDENTIAL FOR RANJIT RAI LOT #7, 5497 128 STREET SURREY, B.C.					
						DWN: L.K SCALE: N.T.S DATE: JUNE.21.2022 CHKD: H.B PHONE: 604-721-1278					
						DRAWING NO.  DD22-8767-P12					
						DHILLON DESIGNS LTD. UNIT 215-12830-80th AVE. SURREY, B.C. V3W 3A8 PHONE: (604) 590-2808 FAX: (604) 590-2878 EMAIL: info@dhillondesigns.ca					