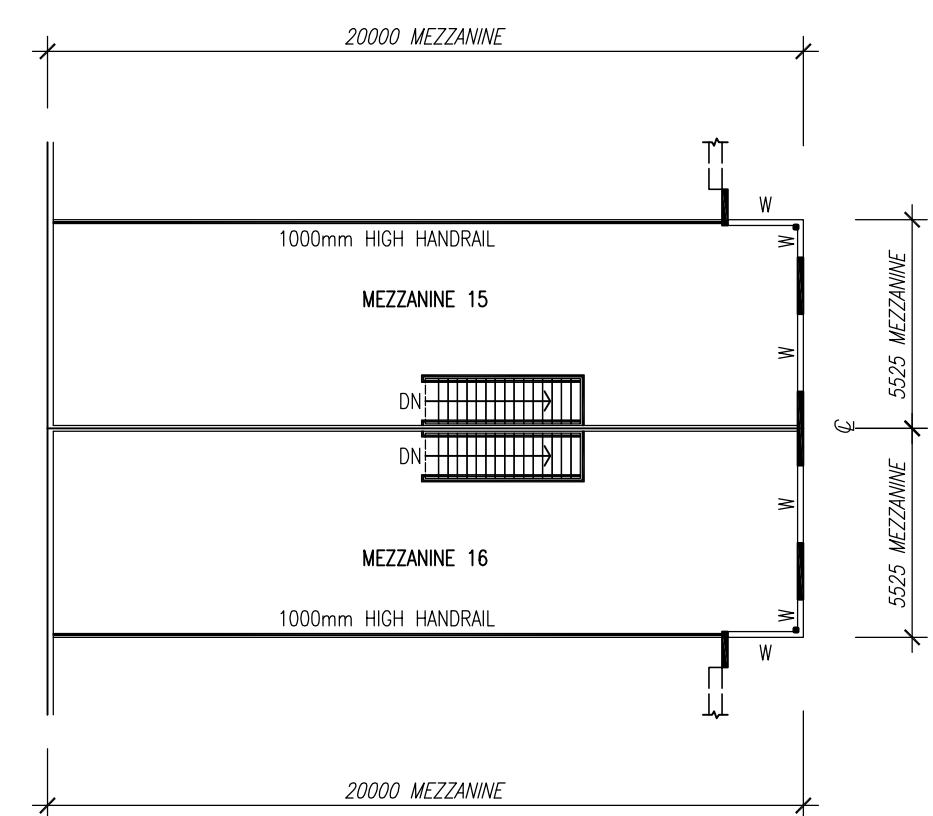
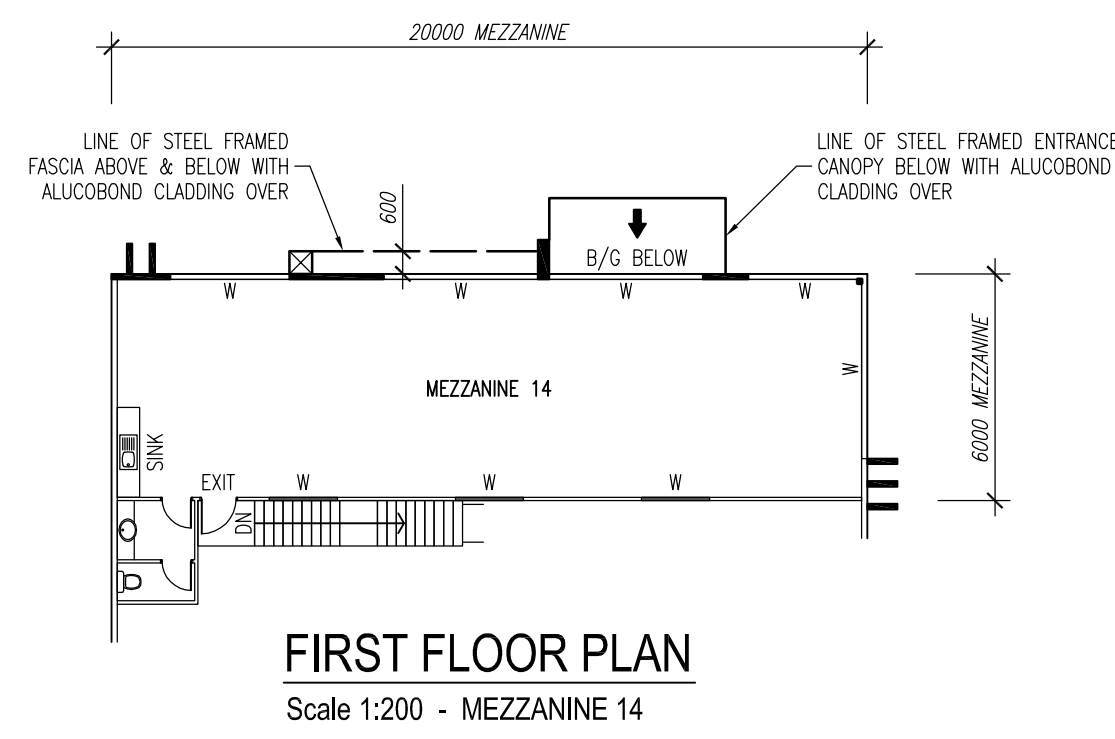
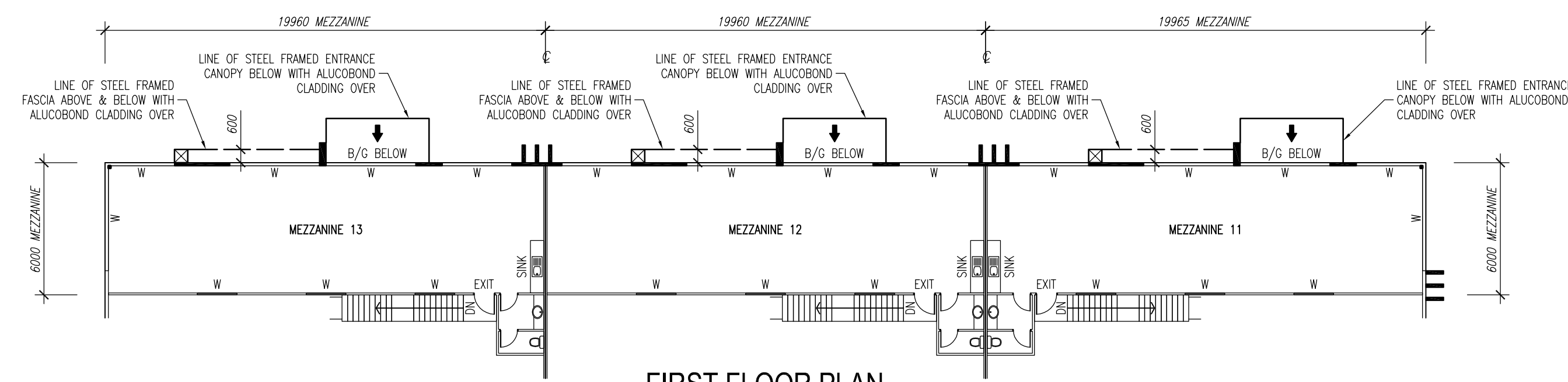
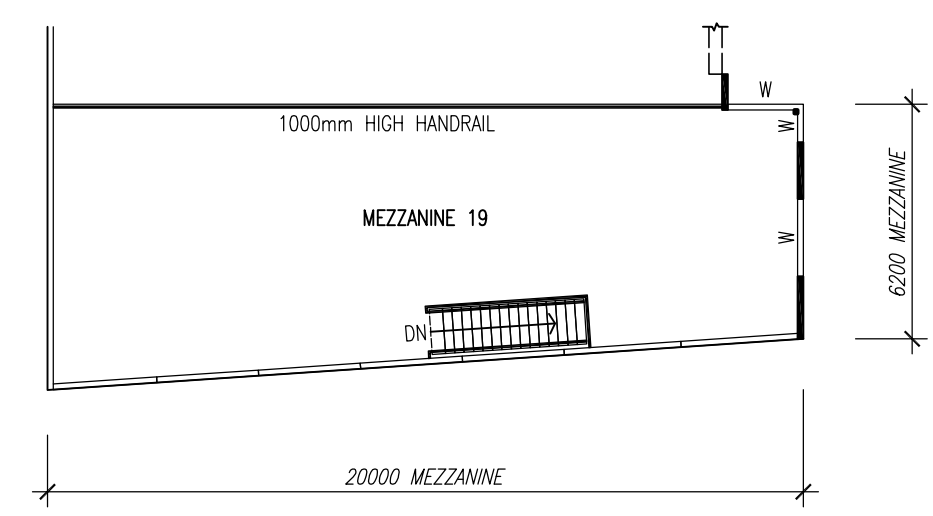
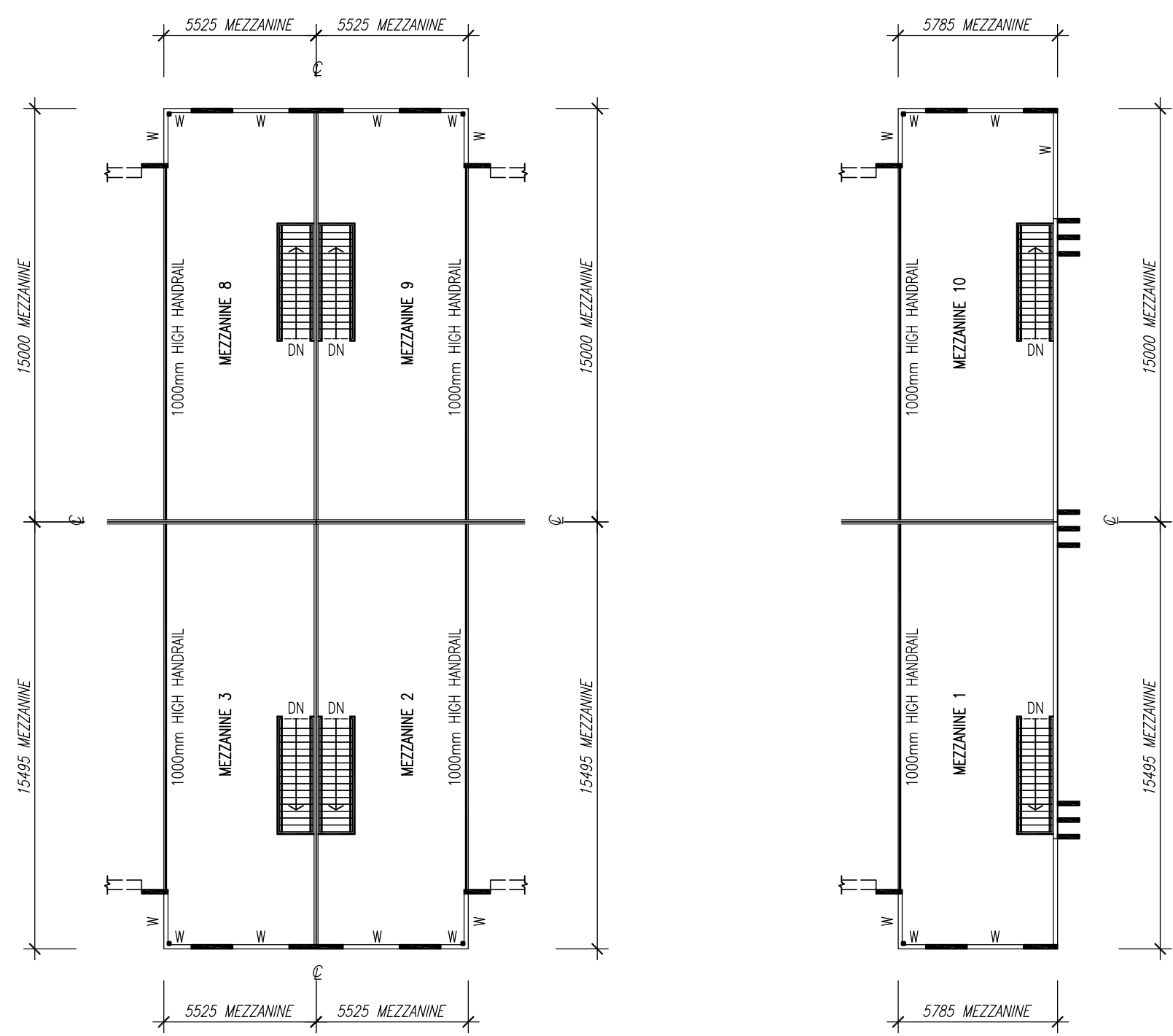




FIRST FLOOR PLAN
Scale 1:200 - MEZZANINE 15 & 16
(MEZZANINE 17 & 18 SIMILAR)

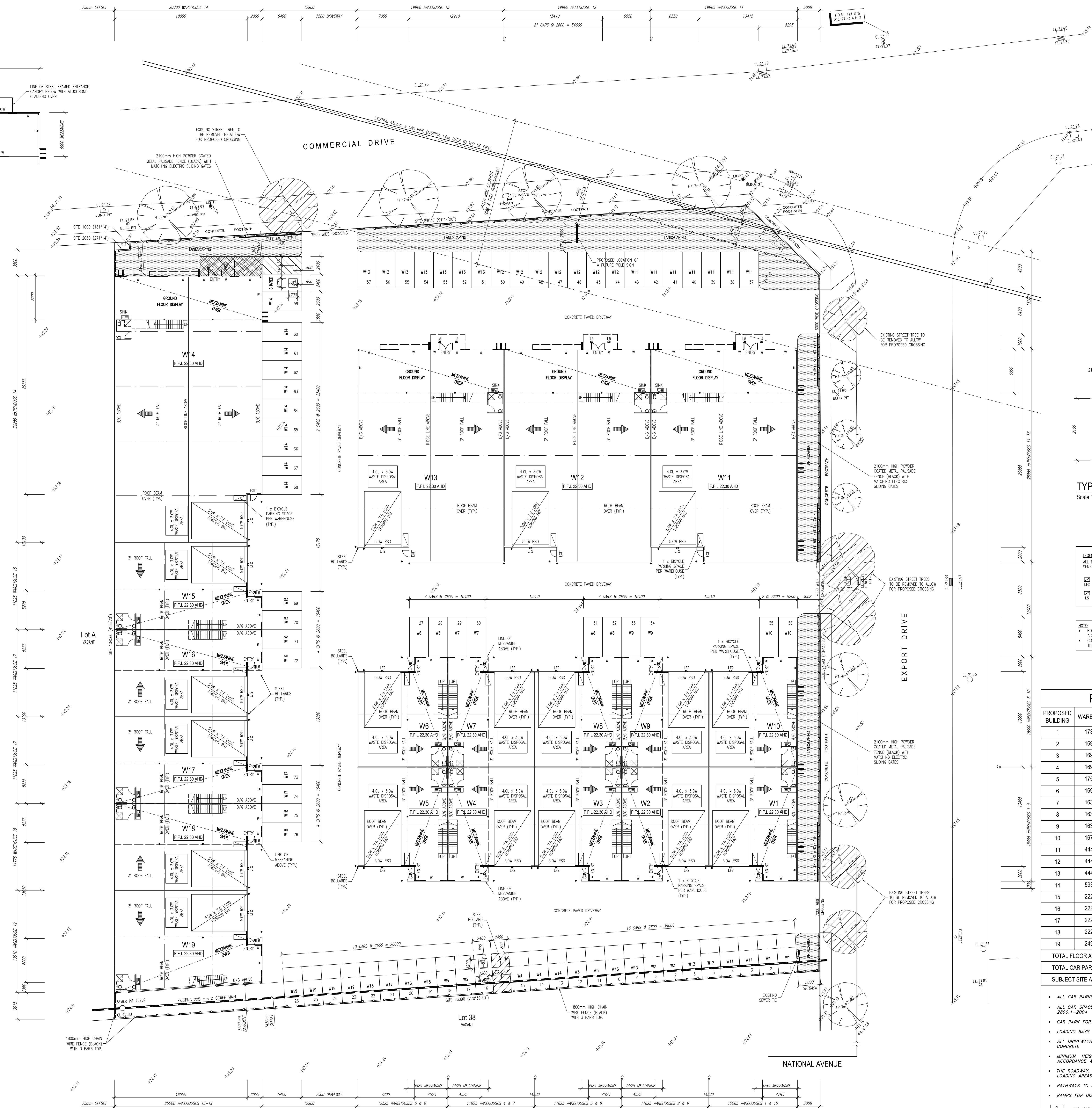


FIRST FLOOR PLAN
Scale 1:200 - MEZZANINE 19

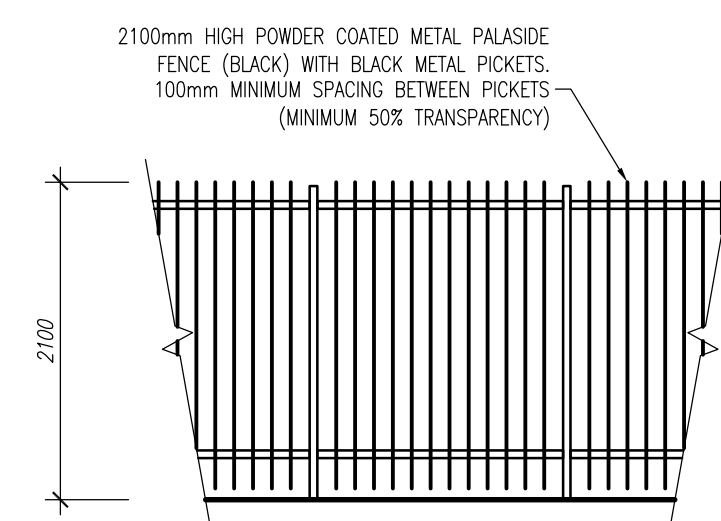


FIRST FLOOR PLAN
Scale 1:200 - MEZZANINES 2, 3, 8 & 9
(MEZZANINES 4, 5, 6 & 7 SIMILAR)

FIRST FLOOR PLAN
Scale 1:200 - MEZZANINES 1 & 10



SITE DEVELOPMENT PLAN
Scale 1:200



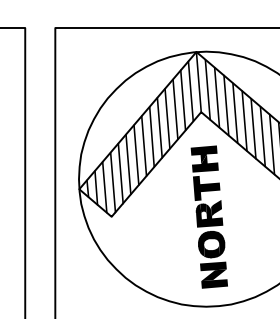
TYPICAL FRONT FENCE ELEVATION
Scale 1:50

LEGEND:
ALL EXTERNAL LIGHTING TO BE CONTROLLED BY A DAYLIGHT SENSOR, OR A TIME SWITCH.
100W LED FLOODLIGHT, 10000 LUMENS
10 WATT LED RECESSED DOWNLIGHT, 5000W, 900 LUMENS

NOTE:
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COMMERCIAL WASTE BINS ARE NOT TO BE STORED EXTERNAL TO THE WAREHOUSES IN ACCORDANCE WITH SEEP DESIGN GUIDELINES.

FLOOR AREAS - MARKETING				
PROPOSED BUILDING	WAREHOUSE	GROUND FLOOR DISPLAY	FIRST FLOOR MEZZANINE	TOTAL AREA
1	173 sqm	-	90 sqm	263 sqm
2	169 sqm	-	86 sqm	255 sqm
3	169 sqm	-	86 sqm	255 sqm
4	169 sqm	-	86 sqm	255 sqm
5	175 sqm	-	86 sqm	255 sqm
6	169 sqm	-	83 sqm	252 sqm
7	163 sqm	-	83 sqm	246 sqm
8	163 sqm	-	83 sqm	246 sqm
9	163 sqm	-	83 sqm	246 sqm
10	167 sqm	-	87 sqm	254 sqm
11	444 sqm	120 sqm	120 sqm	684 sqm
12	444 sqm	120 sqm	120 sqm	684 sqm
13	444 sqm	120 sqm	120 sqm	684 sqm
14	593 sqm	120 sqm	120 sqm	833 sqm
15	222 sqm	-	110 sqm	332 sqm
16	222 sqm	-	110 sqm	332 sqm
17	222 sqm	-	110 sqm	332 sqm
18	222 sqm	-	110 sqm	332 sqm
19	249 sqm	-	137 sqm	386 sqm
TOTAL FLOOR AREA				7126 sqm
TOTAL CAR PARKS PROVIDED				76
SUBJECT SITE AREA				10022 sqm

- ALL CAR PARKS TO BE LINE MARKED AS SHOWN ON PLAN
- ALL CAR SPACES TO BE LINE MARKED IN ACCORDANCE WITH AS/NZS 2890.1-2004
- CAR PARK FOR DISABLED TO BE 2400W x 5400L MIN
- LOADING BAYS TO BE AS SHOWN ON PLAN
- ALL DRIVEWAYS AND CAR PARKS TO HAVE 150mm THICK REINFORCED CONCRETE
- MINIMUM HEIGHT CLEARANCE ALONG ANY TRUCK VEHICLE TRAVEL PATH IN ACCORDANCE WITH AS 2890.2-2002
- THE ROADWAY, AISLE AND SERVICE BAY GRADIENTS PROVIDING ACCESS TO LOADING AREAS IN ACCORDANCE WITH AS 2890.2-2002
- PATHWAYS TO BE CONCRETE PAVED UNLESS OTHERWISE NOTED
- RAMPS FOR DISABLED TO COMPLY WITH AS 1428.1-2009
- ALL SIGNAGE FOR DISABLED TO COMPLY TO NCC REGULATION D3.6 AND AS 1428.1 & 1428.2-2009



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ISSUE	AMENDMENT	DATE
A	ISSUE TO CLIENT	25-10-17

QUALITY FIRST DESIGNS PTY LTD
UNIT 2, 8-14 MELVERTON DRIVE, HALLAM VIC 3803
PO BOX 5088, HALLAM VIC 3803
PHONE 03 9796 3296 FAX 03 9702 4342
EMAIL: matt@qfdesigns.com.au

PROJECT:
PROPOSED DEVELOPMENT AT LOT 37 COMMERCIAL DRIVE, PAKENHAM.

SCALE: 1:200 DATE: SEPT '17 ISSUE: A

DRAWING NO: TP 01 OF 03

SHEET SIZE: A0 REF. NO. 0932 - 17



NOTE:
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• COMMERCIAL WASTE BINS ARE NOT TO BE SITED EXTERNAL TO THE WAREHOUSES IN ACCORDANCE WITH SEBP DESIGN GUIDELINES.

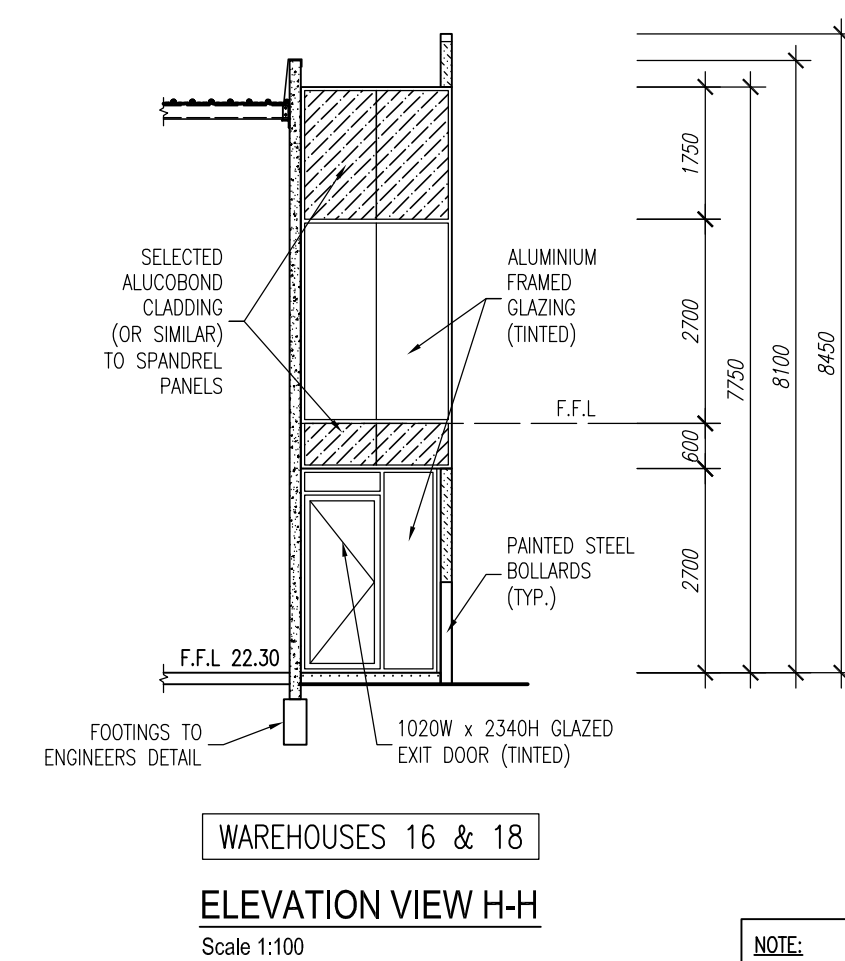
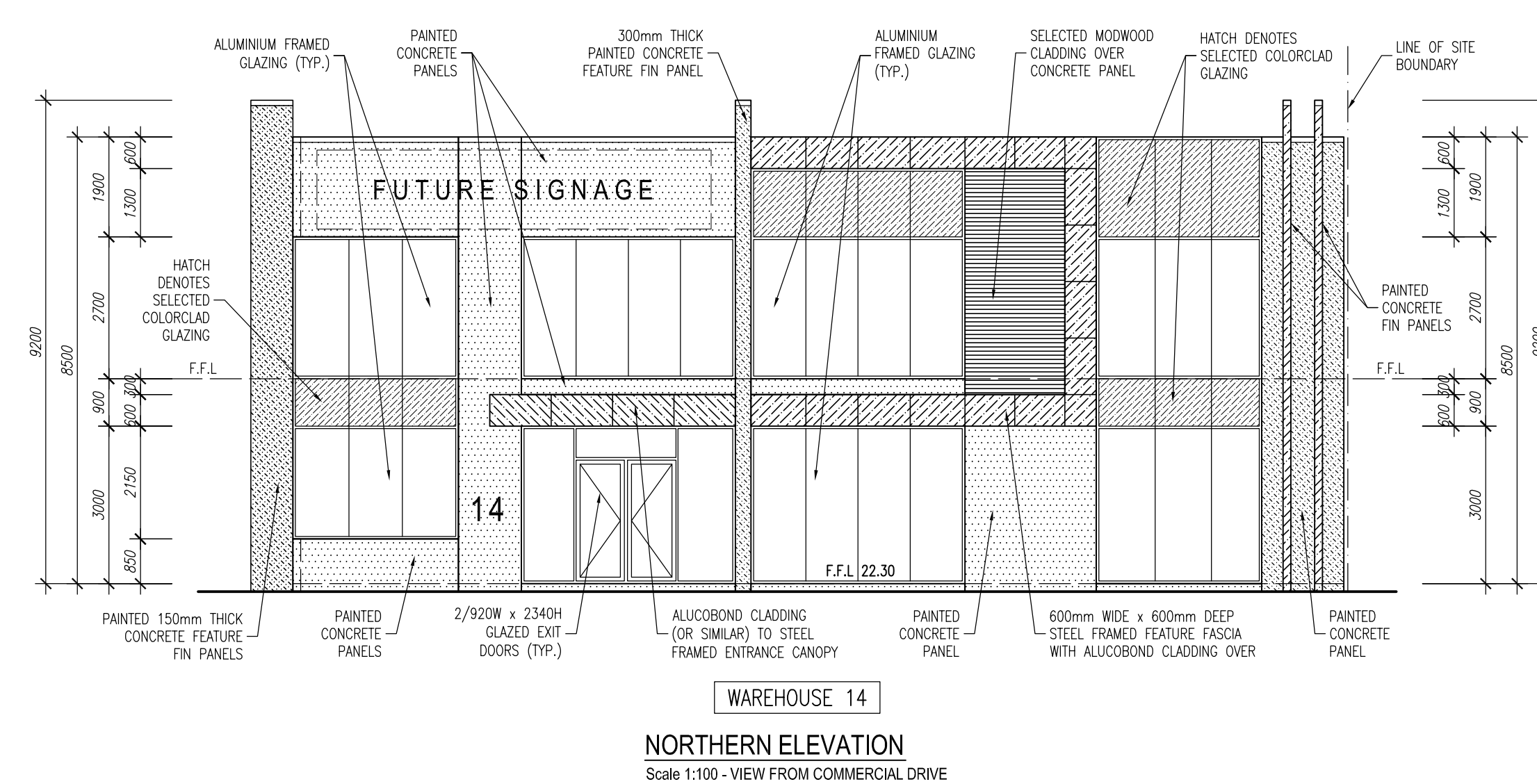
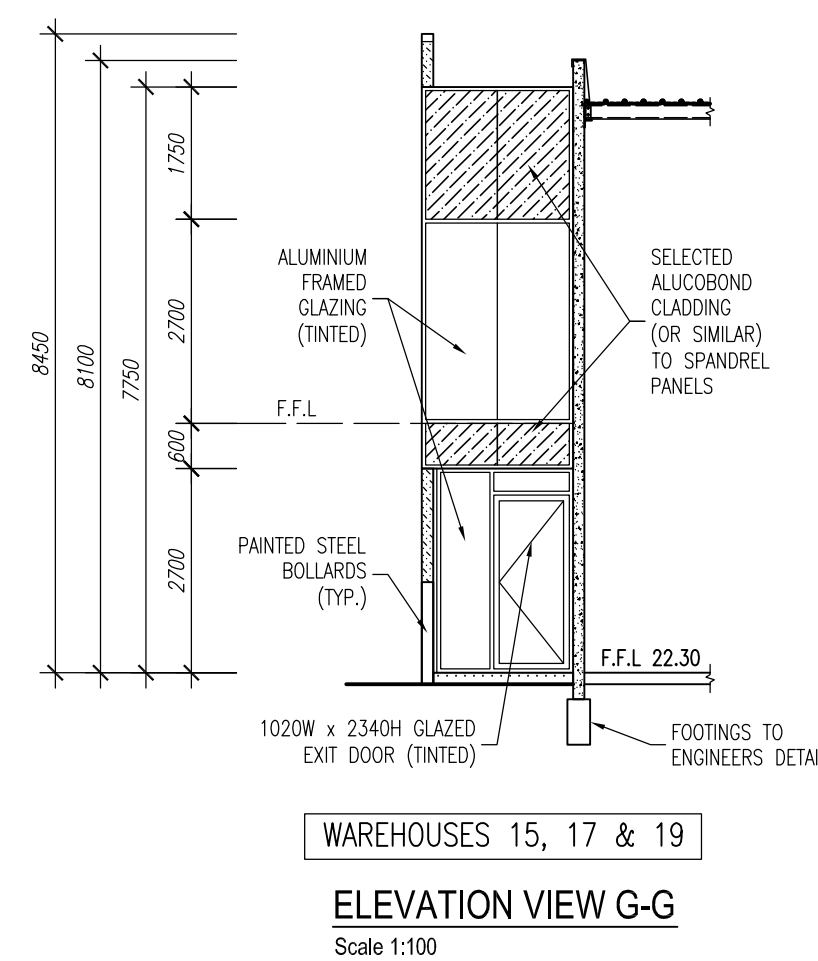
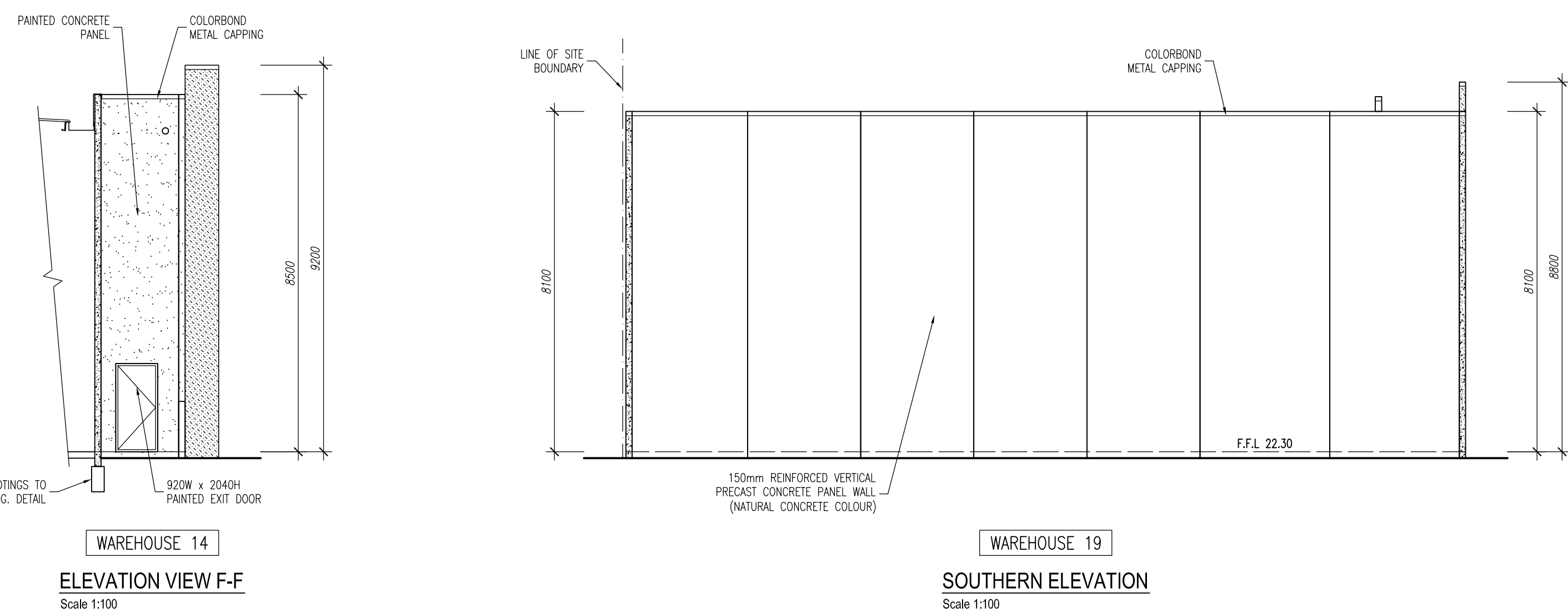
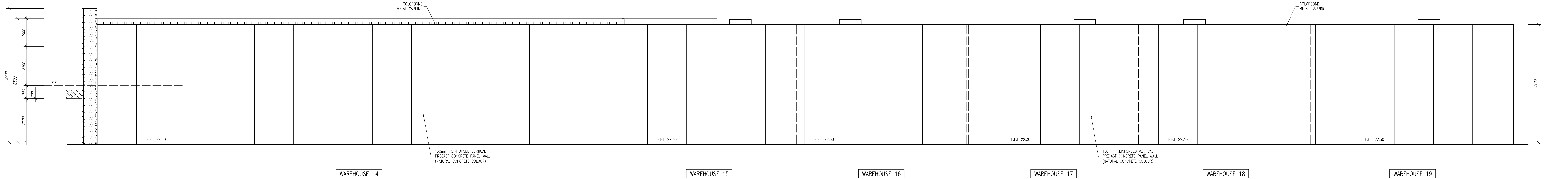
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EMAIL: matt@qfdesigns.com.au

PROJECT:
PROPOSED DEVELOPMENT AT
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PAKENHAM.

SCALE: 1:100 DATE: SEPT '17 ISSUE: A
DRAWING NO: TP 02 OF 03
SHEET SIZE: A0 REF. NO. 0932 - 17

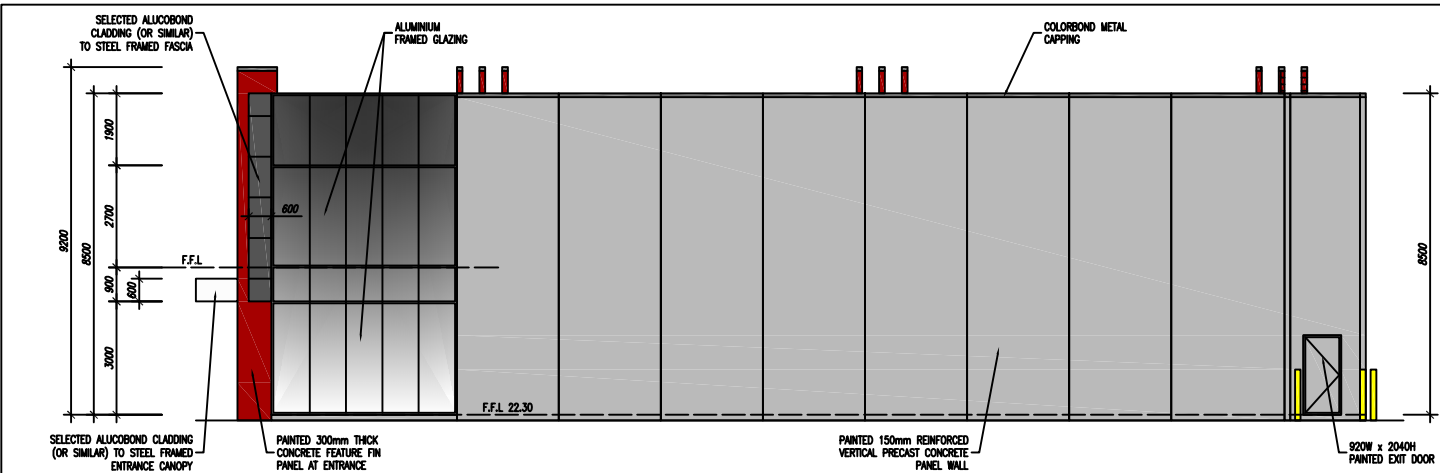


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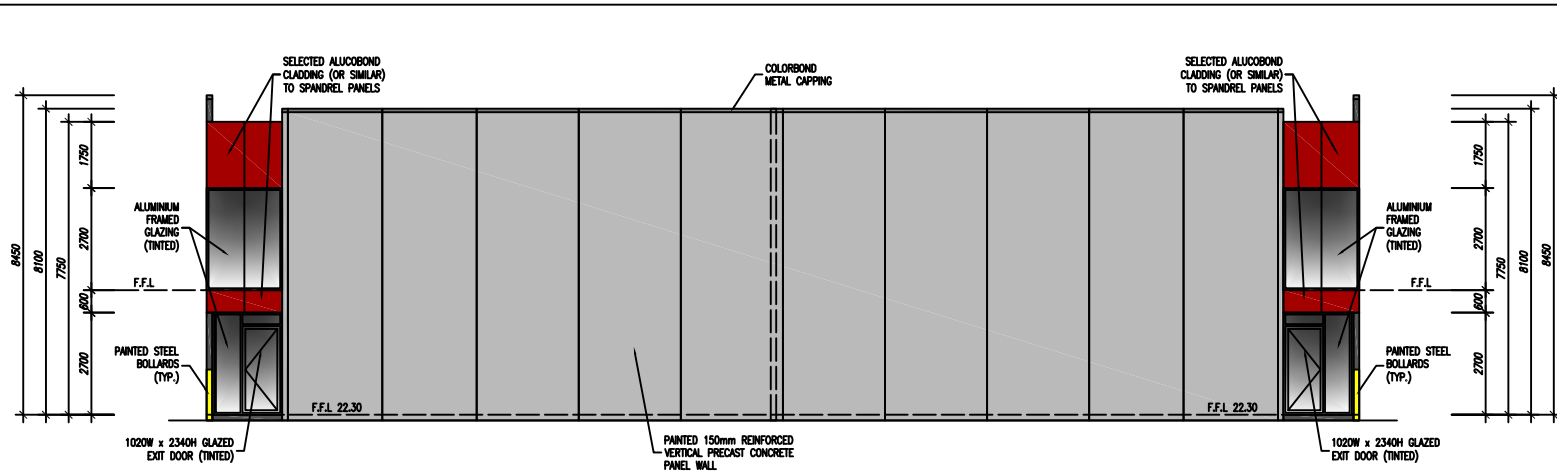
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PROJECT:
PROPOSED DEVELOPMENT AT
LOT 37 COMMERCIAL DRIVE,
PAKENHAM.

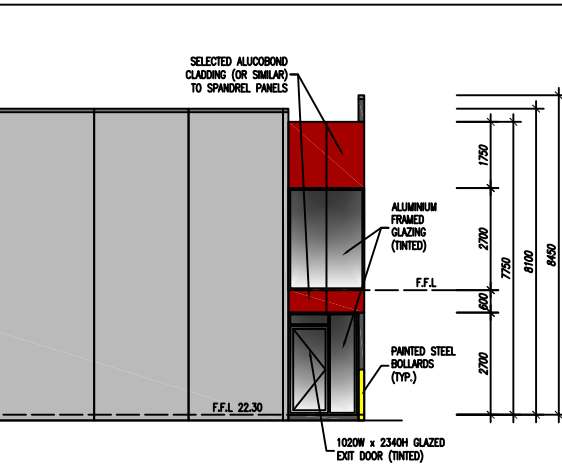
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DRAWING NO: TP 03 OF 03		
SHEET SIZE: A0	REF. NO. 0932 - 17	



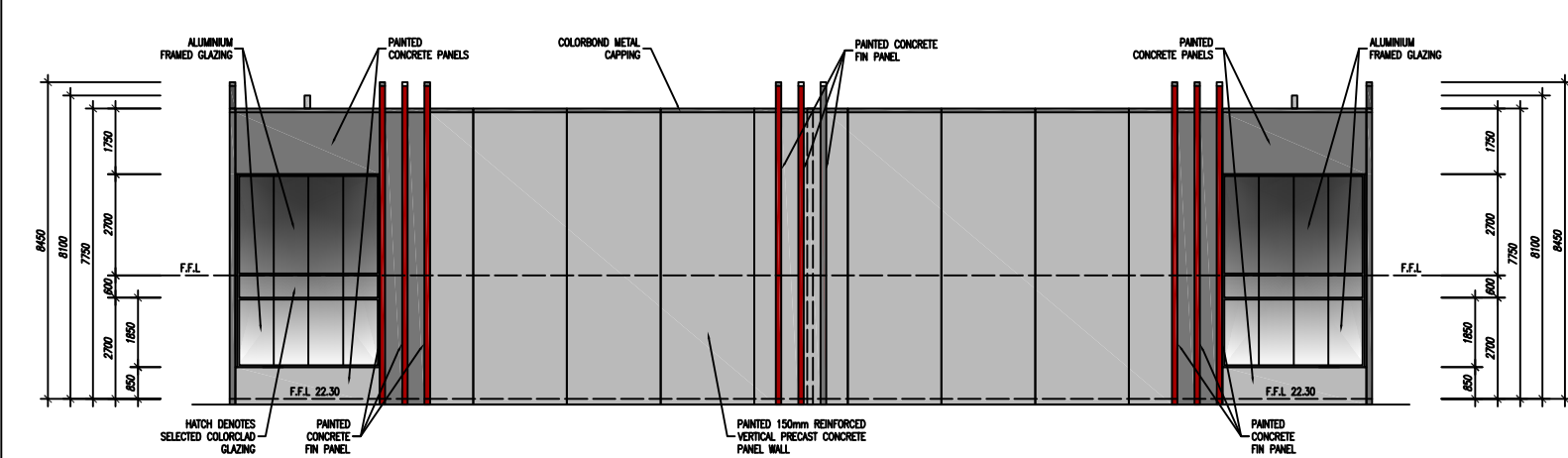
WAREHOUSE 13
WESTERN ELEVATION
Scale 1:200



WAREHOUSE 6
WESTERN ELEVATION
Scale 1:200



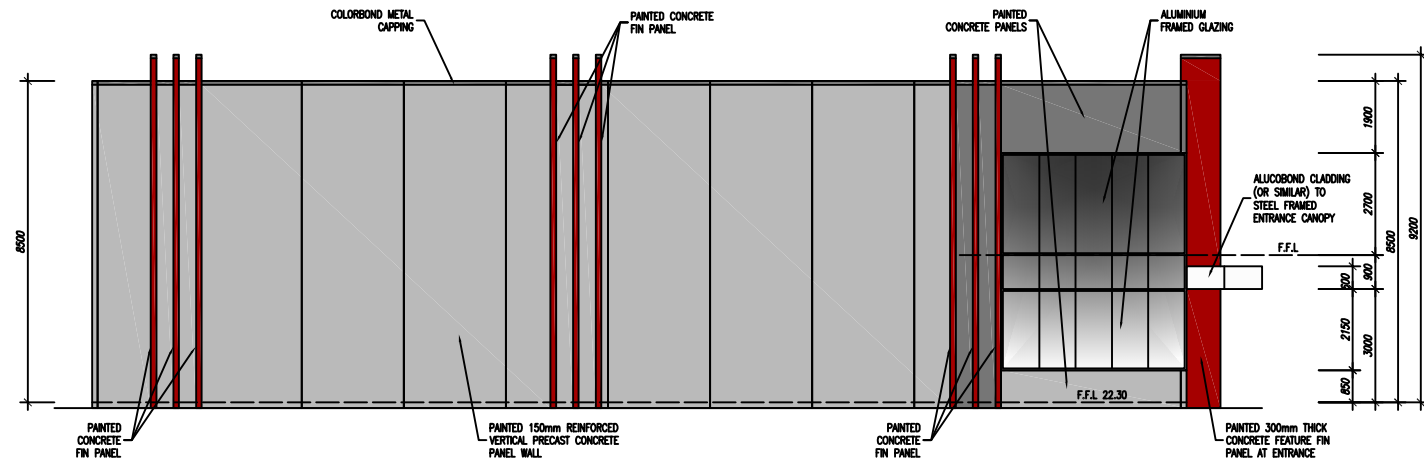
WAREHOUSE 5



WAREHOUSE 1

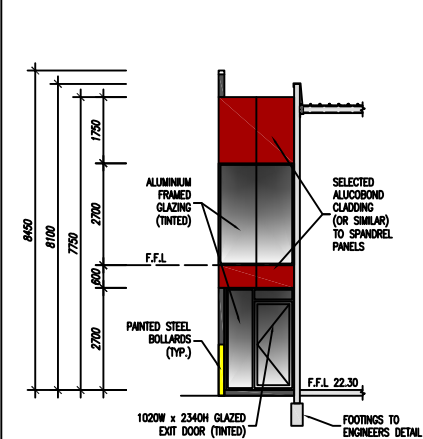
WAREHOUSE 10

EASTERN ELEVATION
Scale 1:200 - VIEW FROM EXPORT DRIVE



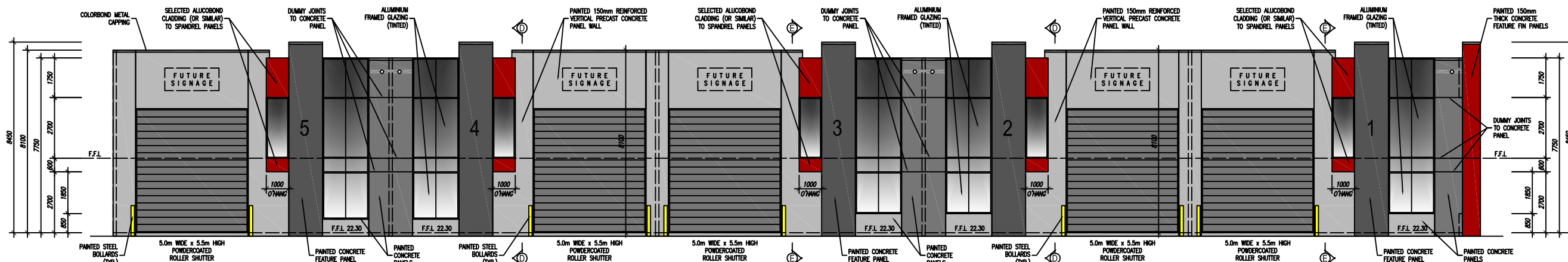
WAREHOUSE 11

EASTERN ELEVATION
Scale 1:200 - VIEW FROM EXPORT DRIVE



WAREHOUSES 2, 4, 8, 10, 15, 17 & 19

ELEVATION VIEW D-D
Scale 1:200



WAREHOUSE 5

WAREHOUSE 4

WAREHOUSE 3

WAREHOUSE 2

WAREHOUSE 1

SOUTHERN ELEVATION
Scale 1:200

NOTE:
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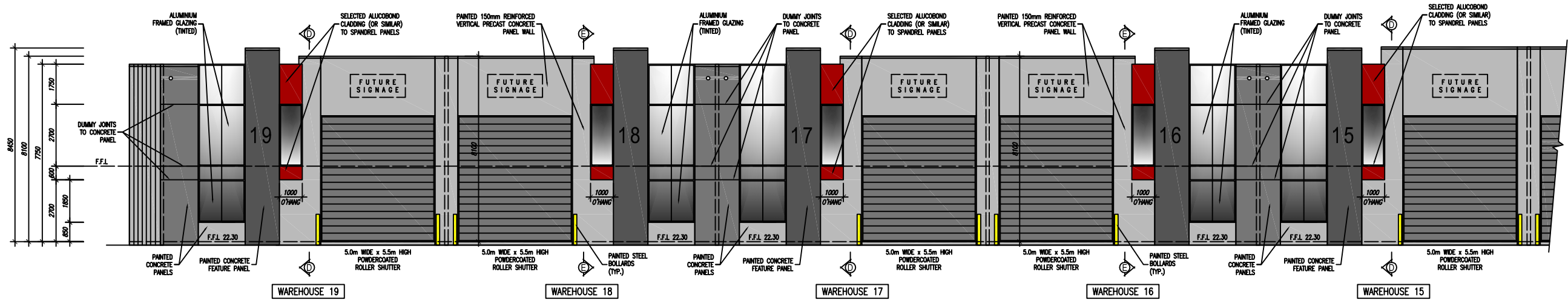
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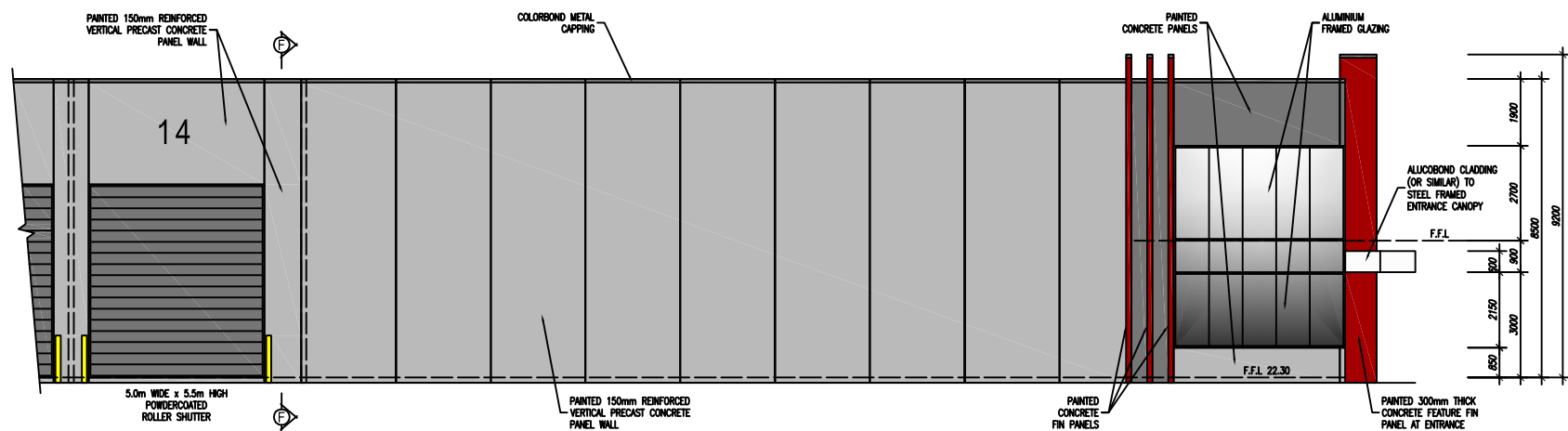
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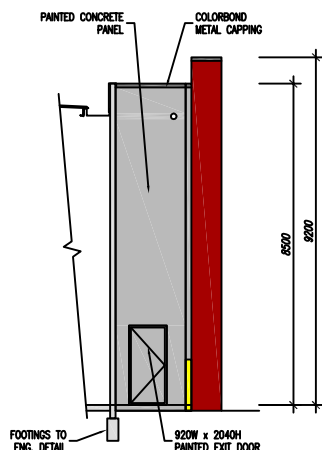
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DRAWING NO:	COLOUR - 01	
SHEET SIZE: A3	REF. NO. 0932 - 17	



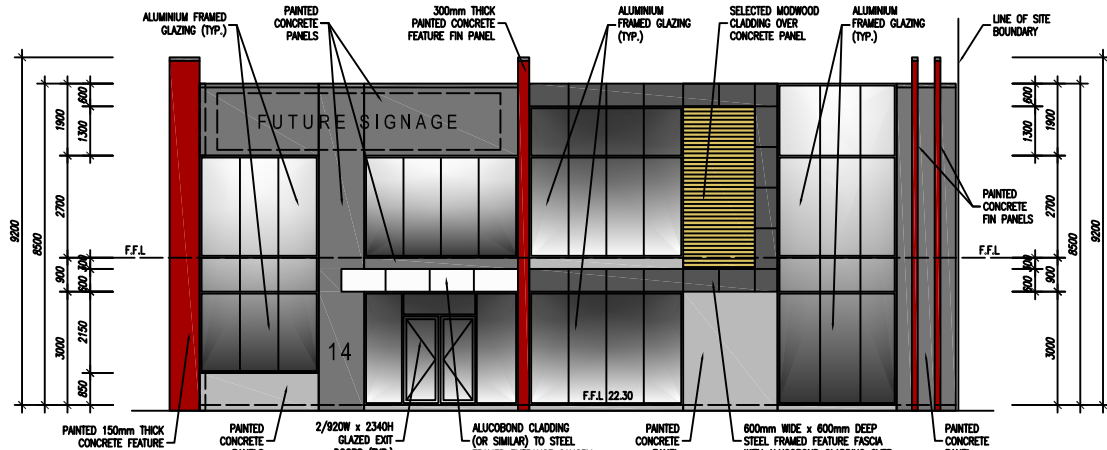
PART EASTERN ELEVATION
Scale 1:200



PART EASTERN ELEVATION
Scale 1:200

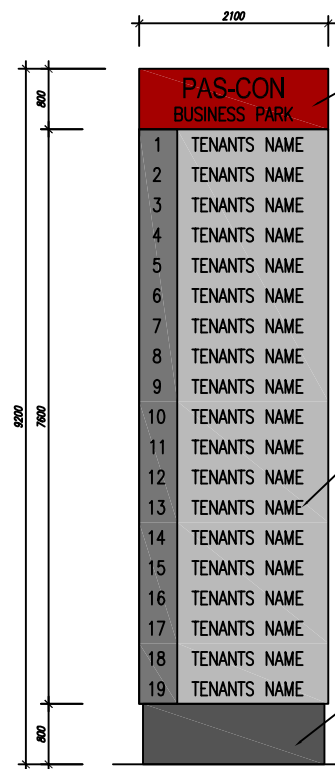


WAREHOUSE 14
ELEVATION VIEW F-F
Scale 1:100

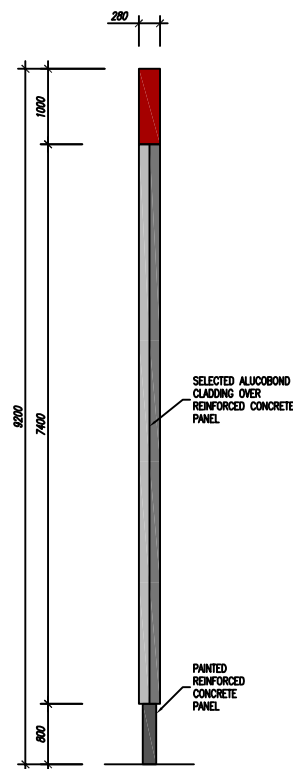


WAREHOUSE 14
NORTHERN ELEVATION
Scale 1:200 - VIEW FROM COMMERCIAL DRIVE

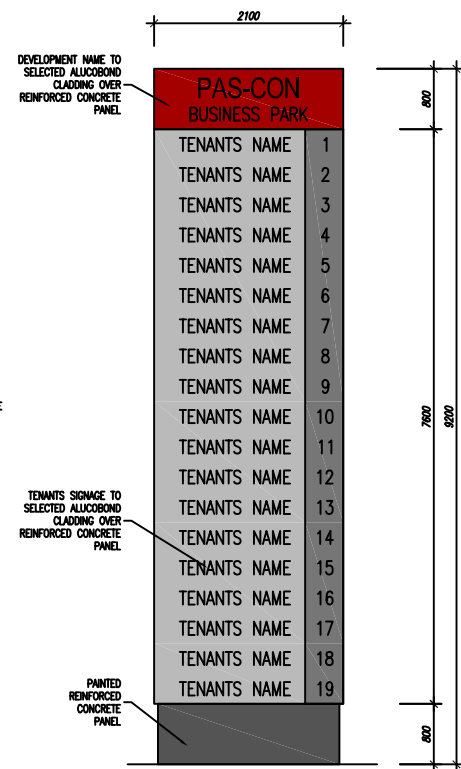
SCHEDULE OF FINISHES					
NIGHT SKY BLK DULUX - C25	SELECTED CONCRETE PANELS WITH ROLLED ON PAINT FINISH		WHITE 16 ALUCOBOND - 101	SELECTED ALUCOBOND CLADDING TO STEEL FRAMED FASCIAS	
WINDSPRAY D DULUX - C18	POWDER COATED ROLLER DOORS, COLORBOND METAL CAPPING, EAVES GUTTERS & DOWN PIPES AND SELECTED CONCRETE PANELS WITH ROLLED ON PAINT FINISH		RED ALUCOBOND - 201	SELECTED ALUCOBOND CLADDING TO STEEL FRAMED FASCIAS AND SELECTED CONCRETE PANELS WITH ROLLED ON PAINT FINISH	
SHALE GREY W DULUX - C4	SELECTED CONCRETE PANELS WITH ROLLED ON PAINT FINISH		ANTHRAZIT GREY ALUCOBOND - 105	SELECTED ALUCOBOND CLADDING TO STEEL FRAMED FASCIAS	



WESTERN ELEVATION
Scale 1:100 - SIGNAGE PANEL



NORTHERN ELEVATION
Scale 1:100 - SIGNAGE PANEL
(SOUTHERN ELEVATION SIMILAR)



EASTERN ELEVATION
Scale 1:100 - SIGNAGE PANEL

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SCALE: VARIES	DATE: SEPT '17	ISSUE: A
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