

GENERAL NOTES:

GN01 DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY.

GN02 THE OWNER/BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING MATERIALS & WORKS CONFORM TO THE NATIONAL CONSTRUCTION CODE NCCS AND BUILDING CODE OF AUSTRALIA BCA, A.S. CODES (CURRENT EDITIONS) BUILDING REGULATIONS, LOCAL BY-LAWS AND TOWN PLANNING REQUIREMENTS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION. UNDER NO CIRCUMSTANCES WILL THIS OFFICE BE LIABLE FOR ANY ERRORS AND OR OMISSIONS UNLESS OTHERWISE SPECIFIED. THE TERM BCA SHALL REFER TO NATIONAL CONSTRUCTION CODE SERIES 2016 BUILDING CODE OF AUSTRALIA VOLUME 2.

GN03 ALL WORKS SHALL COMPLY WITH BUT NOT BE LIMITED TO THE FOLLOWING CURRENT EDITION OF AUSTRALIAN STANDARDS:
A.S. 1288 GLASS IN BUILDINGS – SELECTION AND INSTALLATION.
A.S.1562 DESIGN AND INSTALLATION OF SHEET ROOF & WALL CLADDING. PART 1 METAL
A.S.1684 NATIONAL TIMBER FRAMING CODE.
A.S.1860 INSTALLATION OF PARTICLEBOARD FLOORING.
A.S.2049 ROOF TILES.
AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS
A.S.2050 INSTALLATION OF ROOFING TILES.
A.S.2870 RESIDENTIAL SLABS AND FOOTINGS – CONSTRUCTION
A.S.2904 DAMP-PROOF COURSES AND FLASHINGS.
A.S.2918 FLUE'S
A.S.3500.3 PLUMBING AND DRAINAGE – STORMWATER DRAINAGE
A.S.3600 CONCRETE STRUCTURES.
A.S.3660 PROTECTION OF BUILDINGS AGAINST SUBTERRANEAN TERMITES – PART 1 NEW BUILDINGS
& PART 2 EXISTING BUILDINGS
A.S.3700 MASONRY STRUCTURES.
A.S.3740 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.
A.S.3786 SMOKE ALARMS.
A.S.3959 CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS
A.S.4100 STEEL STRUCTURES.
A.S.4256 PLASTIC ROOF AND WALL CLADDING MATERIALS.

GN04 THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS.

GN05 SOIL CLASSIFICATION – THESE PLANS SHALL BE READ IN CONJUNCTION WITH THE ACCOMPANYING SOIL REPORT. BUILDER SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE WITH ALL REQUIREMENTS MENTIONED IN THE SOIL REPORT

GN06 WHERE THE BUILDING (OTHER THAN CLASS 10A) IS LOCATED IN A DESIGNATED TERMITE INFESTATION AREA THE BUILDING SHALL BE PROTECTED IN ACCORDANCE WITH THE RELEVANT A.S.

GN07 SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES:
I) ALL ROOMS:WITHIN 500MM VERTICAL OF THE FLOOR.
AND FULL HEIGHT GLAZING
II) BATHROOMS: WITHIN 2000MM VERTICAL FROM FFL OR BATH BASE.
SHOWER SCREENS SHALL BE GRADE A SAFETY GLASS.
III) LAUNDRY: WITHIN 1200MM VERTICAL FROM FLOOR AND/OR WITHIN 300MM HORIZONTAL FROM DOORS.
IV) DOORWAY: WITHIN 300MM HORIZONTAL FROM ALL DOORS.
V) IN ADDITION TO ABOVE, ANYWHERE NOTED ON THESE PLANS

GN08 WINDOWS TO BE FLASHED ALL AROUND. WINDOW SIZES ARE NOMINAL ONLY. ACTUAL SIZE VARIES BETWEEN MANUFACTURERS. ALL UPPER STOREY WINDOWS ARE TO HAVE OPENINGS LIMITED TO 125MM OR BE PROVIDED WITH A SCREEN.

GN09 STORMWATER SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY

GN10 SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITY'S REQUIREMENTS.

GN11 FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES & EASEMENTS

GN12 FOR BUILDINGS IN CLOSE PROXIMITY TO THE SEA ENSURE THAT ALL STEEL WORK, BRICK CAVITY TIES, AND STEEL LINTELS, ETC. THAT ARE IMBEDDED OR FIXED INTO MASONRY BE PROTECTED IN ACCORDANCE WITH A.S. 3700 TABLE 2.2. HOT DIPPED GALV. S/LESS STEEL OR CADMIUM COATED.

GN13 ALL WET AREAS TO COMPLY WITH NCCS B.C.A. F1.7, B.C.A. 3.8.1 OR A.S. 3740 WALL FINISHES SHALL BE IMPERVIOUS TO A HEIGHT OF 150MM ABOVE BATHS, BASINS, SINKS AND TROUGHS IF WITHIN 75MM OF THE WALL. AND 1800MM ABOVE FLOOR LEVEL TO SHOWER ENCLOSURES

GN14 PROVIDE WALL TIES TO BRICKWORK AT MAXIMUM 600MM CTRS IN EACH DIRECTION AND WITHIN 300MM OF ARTICULATION JOINTS. PROVIDE FULL HEIGHT ARTICULATION JOINT INSTALLED IN ACCORDANCE WITH TN61 THIRD EDITION FROM CEMENT CONCRETE & AGGREGATES AUSTRALIA OR AS NOMINATED BY ENGINEER

GN15 SUB-FLOOR VENTS TO PROVIDE A RATE OF 7500MM SQ. CLEAR VENTILATION PER 1000MM RUN OF EXTERNAL MASONRY WALL AND 22000MM SQ. CLEAR VENTILATION PER 1000MM RUN OF INTERNAL DWARF WALLS.

GN16 PROVIDE MINIMUM 400MM CLEARANCE FROM BOTTOM OF BEARER TO GROUND LEVEL. THIS CLEARANCE CAN BE REDUCED TO 150MM WITHIN 2.0M OF EXTERNAL WALLS

GN16 PROVIDE MINIMUM 400MM CLEARANCE FROM BOTTOM OF BEARER TO GROUND LEVEL. THIS CLEARANCE CAN BE REDUCED TO 150MM WITHIN 2.0M OF EXTERNAL WALLS

GN17 ENERGY EFFICIENCY REQUIREMENTS FOR NEW CLASS 1 BUILDINGS: UNLESS PERMITTED OTHERWISE, 6 STAR ENERGY EFFICIENCY DESIGNS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AS PROVIDED BY THE ACCREDITED ENERGY RATER WITHOUT ALTERATION. REFER THERMAL INSULATION NOTE ON PLANS

GN18 STAIR REQUIREMENTS,. (OTHER THAN SPIRAL STAIRS)
RISERS. 190MM MAX. 115MM MIN.:. GOING. 355MM MAX.,. 250MM MIN.:. RISERS AND TREADS TO BE CONSTANT IN SIZE THROUGHOUT FLIGHT.

ALL TREADS, LANDINGS AND THE LIKE TO HAVE A SLIP-RESISTANCE CLASSIFICATION OF P3 OR R10 FOR DRY SURFACE CONDITIONS AND P4 OR R11 FOR WET SURFACE CONDITIONS, OR A NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION OF P3 FOR DRY SURFACE CONDITIONS AND P4 FOR WET SURFACE CONDITIONS.

ENSURE MAXIMUM GAP BETWEEN RISERS NOT TO EXCEED 125MM OR USE CLOSED RISERS
PROVIDE CONTINUOUS HANDRAIL 1000MM MIN. HEIGHT TO BALCONIES AND DECKS WHICH ARE 1000MM OR MORE ABOVE GROUND LEVEL.


865MM MIN. HEIGHT HANDRAIL ABOVE STAIR NOSINGS AND LANDINGS
MAXIMUM OPENINGS BETWEEN BALUSTERS NOT TO EXCEED 125MM.
ENSURE BALUSTRADE IS NON-CLIMBABLE BETWEEN HEIGHTS OF 150MM AND 760MM WHERE A DECK IS MORE THAN 4M ABOVE GROUND LEVEL

2.0M MIN VERTICAL CLEARANCE ABOVE THE NOSING LINE IS TO BE ACHIEVED FOR ALL STAIRWAYS

GN19 CONCRETE STUMPS.
- 100MM SQ. UP TO 1400MM LONG (1 NO. H.D. WIRE);
- 100MM SQ. 1401MM TO 1800MM LONG (2 NO. H.D. WIRES);
- 125MM SQ. 1801MM TO 3000MM LONG (2 NO. H.D. WIRES).
ALL STUMPS EXCEEDING 1200MM ABOVE GROUND TO BE BRACED

GN20 BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE STABILITY OF NEW AND EXISTING STRUCTURES DURING ALL WORKS.

GN21 THE BUILDER SHALL ENSURE THE GENERAL WATERTIGHTNESS OF ALL NEW AND EXISTING WORKS.

GN22  DENOTES LOCATION OF SMOKE ALARMS TO BE PROVIDED & INSTALLED AT EACH STOREY OR LEVEL IN ACCORDANCE WITH A.S. 3786 AND UNLESS INSTALLED IN AN EXISTING PART OF A CLASS 1, 2 OR 3 BUILDING OR A CLASS 4 PART OF A BUILDING THE SMOKE ALARM SHALL BE HARD WIRED WITH BATTERY BACKUP AND BE INTERCONNECTED TO ALL OTHER SMOKE DETECTORS WITHIN THE DWELLING

GN 23 ALL VENTILATION SHALL CONFORM TO THE REQUIREMENTS OF B.C.A. PARTS 3.8.5 AND F4

GN 24 LIFT-OFF HINGES TO BE USED WHERE A W.C. DOOR OPENS INWARD AND IS WITHIN 1.2M OF THE PAN

GN 25 PRIOR TO STARTING WORKS, BUILDER IS TO CONFIRM THE SITE'S WIND-SPEED RATING AND ENSURE ALL WORKS COMPLY WITH ALL RELEVANT REGULATIONS PERTAINING TO THAT WIND-SPEED

GN 26 BEDROOM WINDOWS WITH OPENINGS LESS THAN 1700MM ABOVE THE FINISHED FLOOR LEVEL AND OPEN FROM A ROOM WITH A FLOOR LEVEL 2000MM OR MORE ABOVE THE SURFACE BELOW MUST:
- BE PERMANENTLY RESTRICTED TO HAVE A MAXIMUM OPENING OF 125MM; OR
- BE PROTECTED BY A SCREEN THAT IS FIXED PERMANENTLY TO THE WINDOW SILL AND WILL RESIST AN OUTWARD HORIZONTAL ACTION OF 250N.

GN 27 THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CUSTOMER AND FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE AUTHOR. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE AUTHOR'S WRITTEN CONSENT DOES SO AT OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE AUTHOR FOR SUCH USE AND/OR RELIANCE.

GN 28 THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS AND UNLESS EXPRESSLY STATED OTHERWISE, ARE PROVIDED ONLY AS GUIDELINES. NO RESPONSIBILITY IS ACCEPTED FOR THEIR USE

GN 29 WHERE A PLANNING PERMIT HAS BEEN ISSUED IT IS THE BUILDER RESPONSIBILITY TO ENSURE THAT ALL CONDITIONS OF THE PLANNING PERMIT ARE COMPLIED WITH.

GN 30 BUILDER TO USE ACCREDITED EXTERNAL WALL SYSTEMS AND PROVIDED COMPLIANCE CERTIFICATE TO RBS – SUCH AS UNITEX OR MASTER WALL POLYSTYRENE INSTALLED AND RENDERED TO MANUFACTURER'S GUIDELINES AND SPECIFICATIONS

GN 31 TERMITE PROTECTION
PROVIDE ANTI-TERMITE TREATMENT UNDER THE BUILDING AREAS IN ACCORDANCE WITH AS 2057, AS 3660.1 AND APPENDIX D, FOR RETICULATED SYSTEMS. BUILDER SHALL PROVIDE "DURSBAN" (HAND SPRAYED ORGANO-PHOSPHATE) OR SIMILAR APPROVED ANTI-TERMITE TREATMENT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARD CODE

GN 32 COPYRIGHT OF THESE PLANS IS THE SOLE PROPERTY OF PETER THOMAS BUILDING DESIGN. COPYING IN WHOLE OR PART WITHOUT WRITTEN CONSENT IS A BREACH OF COPYRIGHT AND WILL INCUR LEGAL ACTION.

REVISIONS:

NO.	DATE:	DESCRIPTION:
(A)	14/05/2018	RBS RFI ITEMS – FOR BUILDING PERMIT ISSUE

PROJECT:

18 GLEN PARK ROAD
BAYSWATER NORTH

DRAWING:

GENERAL NOTES



Peter Thomas
Building Design

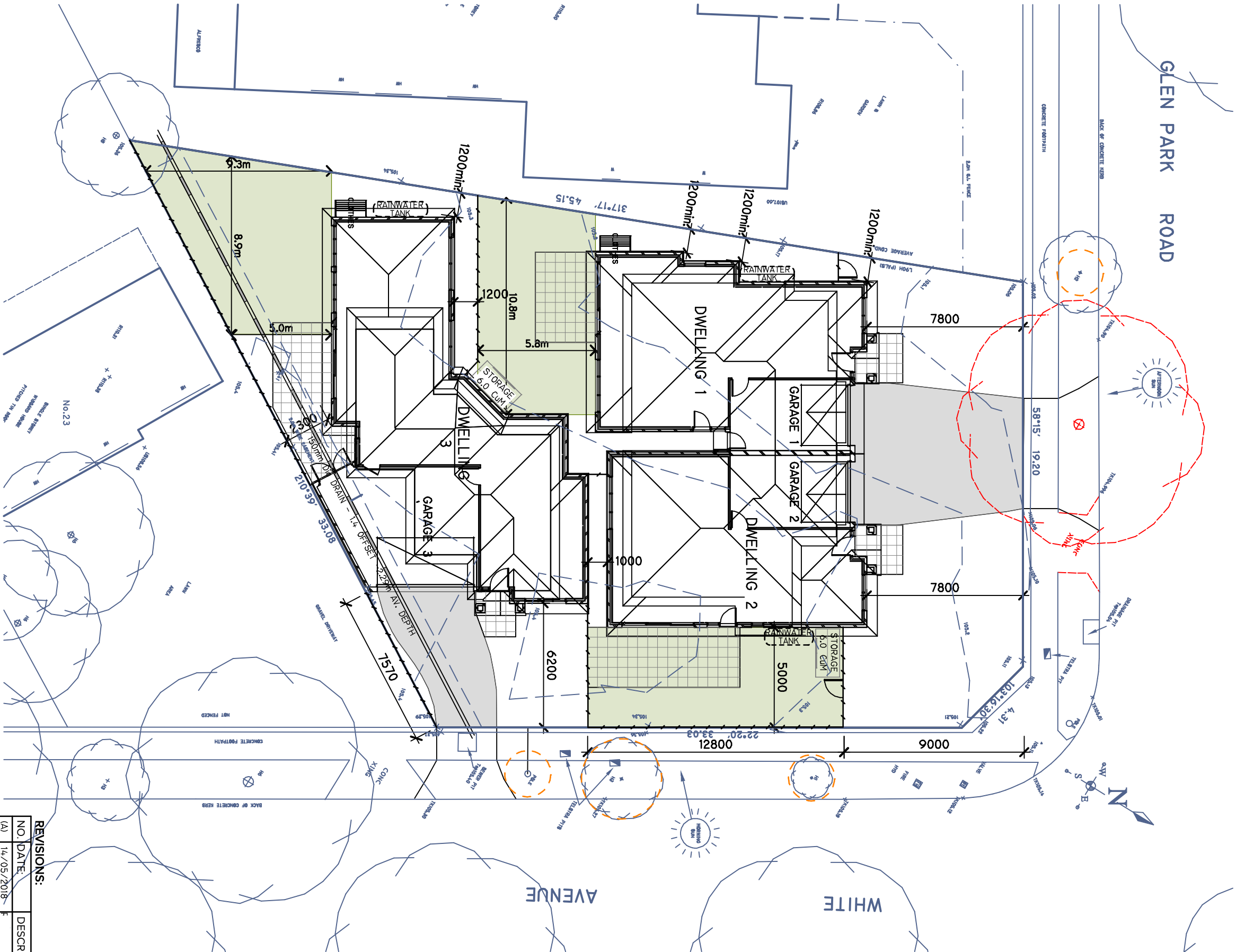
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PROPOSED SITE PLAN
SCALE 1:200

**CONSULTANTS &
REFERENCED DOCUMENTS:**

ALL DOCUMENTATION ARE TO BE READ IN CONJUNCTION WITH

TOWN PLANNING PERMIT:
MAROONDAH CITY COUNCIL
REF: M-2017/535

GEOLOGICAL REPORT:
GEOCORE P/L
REF:

STRUCTURAL ENGINEERING:
MARK STELLER & ASSOCIATES P/L
REF: AS4-132

LAND SURVEYOR:
BRIAN MOXHAM LAND SURVEYOR
Reestablishment SURVEY TO
BE PREPARED PRIOR TO SETOUT
AND PROVIDED TO RBS AT FOOTING
INSPECTION

SITE NOTES:

SITE SOIL CLASSIFICATION IS CLASS 'P'.
REFER TO SOIL REPORT FOR RECOMMENDATIONS

SITE IS TERMITE PRONE AND REQUIRES TERMITE PROTECTION

DESIGNATED WIND SPEED FOR THIS PROPERTY IS:
33M/S CLASSIFICATION N2

THIS SITE IS NOTE DESIGNATED BUSHFIRE PRONE

THIS SITE IS NOT DESIGNATED FLOOD PRONE

LANDSCAPE DESIGN:
JUSTIN HUTCHISON
LANDSCAPE DESIGN
REF: 2209

IT IS THE BUILDERS RESPONSIBILITY TO CHECK
COMPLIANCE WITH ALL DOCUMENTS. IF DISCREPANCIES
ARISES, THE BUILDER IS TO CONTACT THIS OFFICE.

REVISIONS:	
NO.	DATE
(A)	14/05/2018

PROJECT:
18 GLEN PARK ROAD
BAYSWATER NORTH

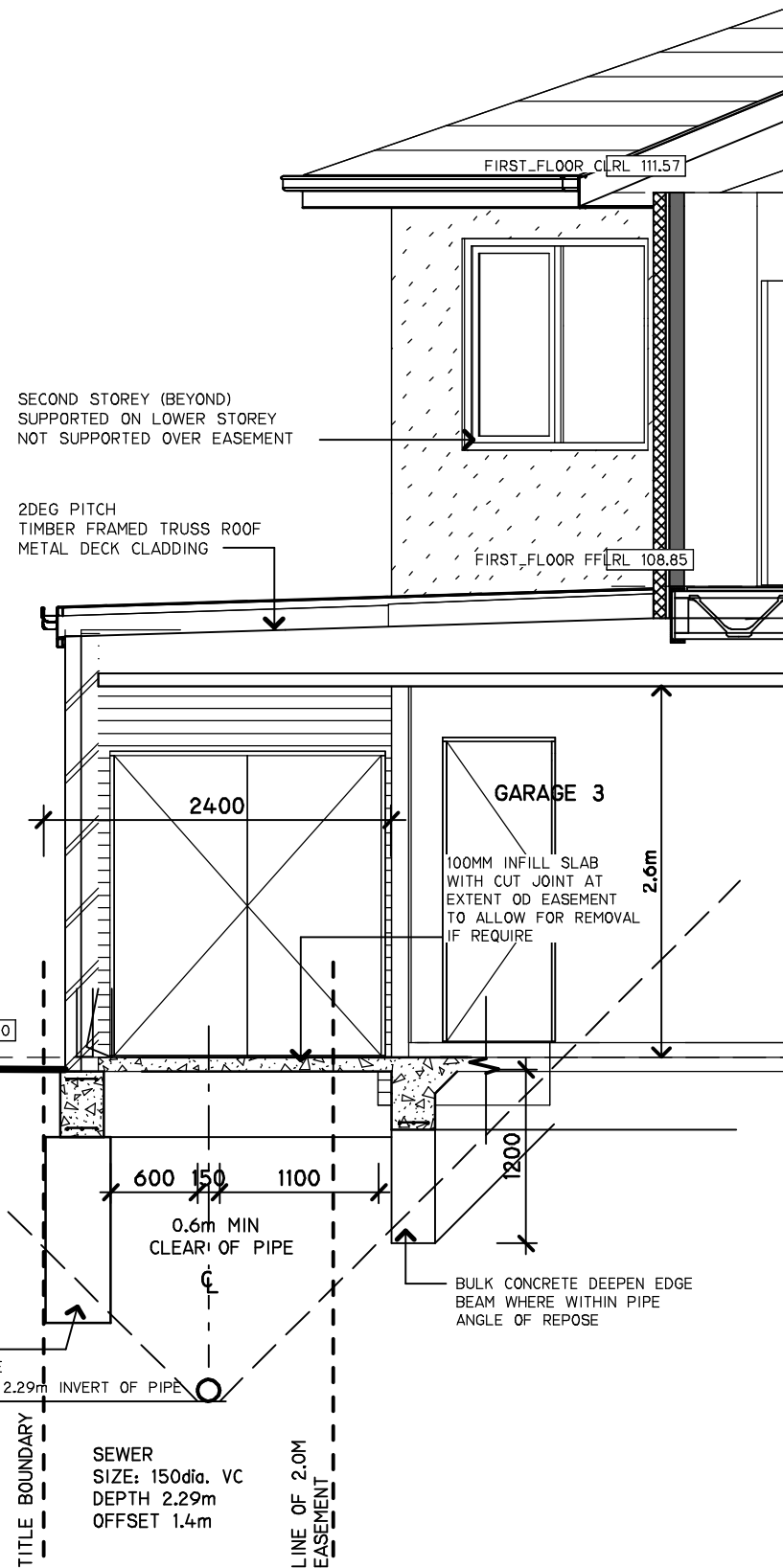
DRAWING:
SITE PLAN



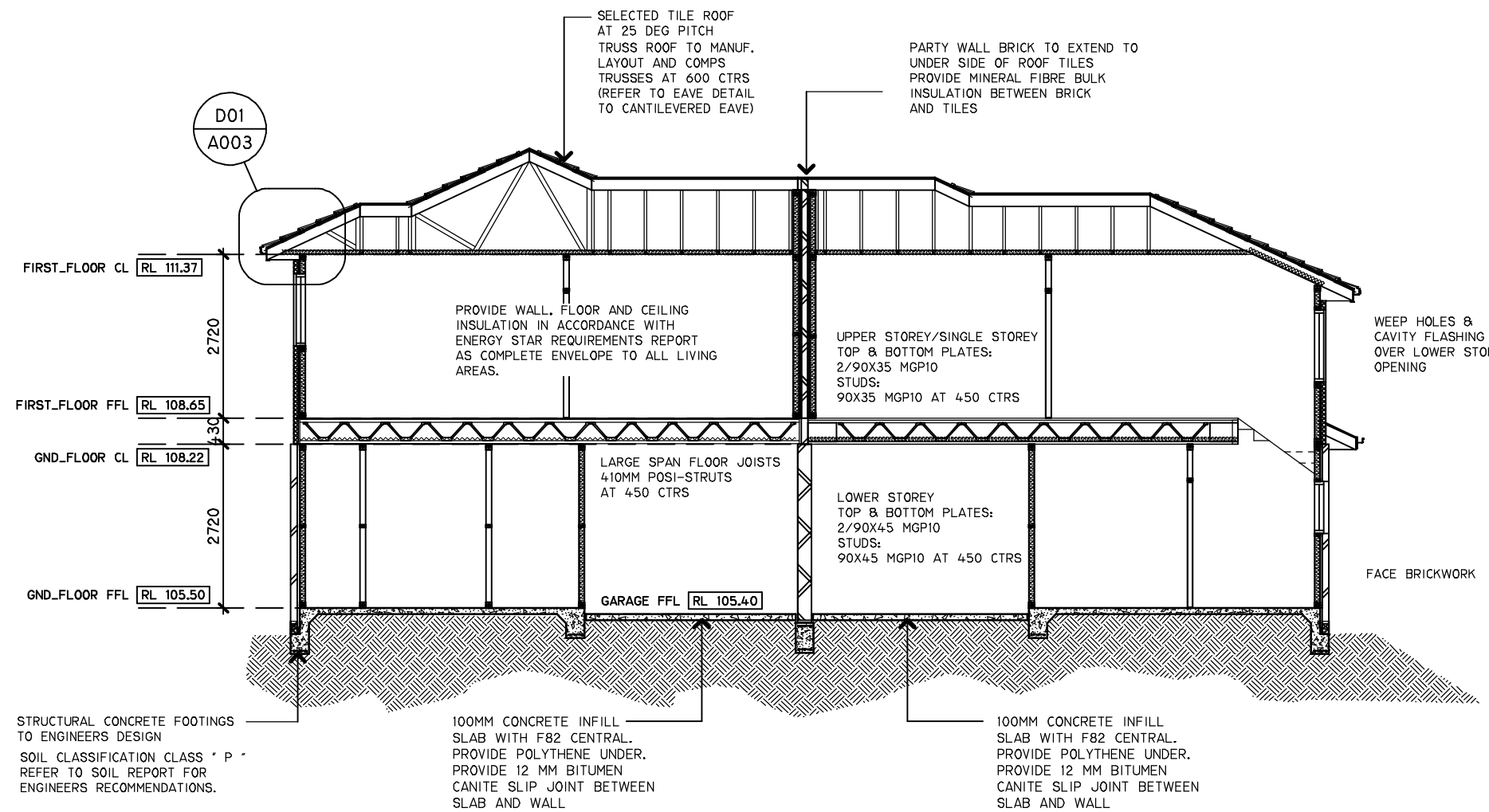
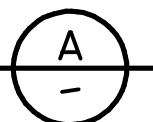
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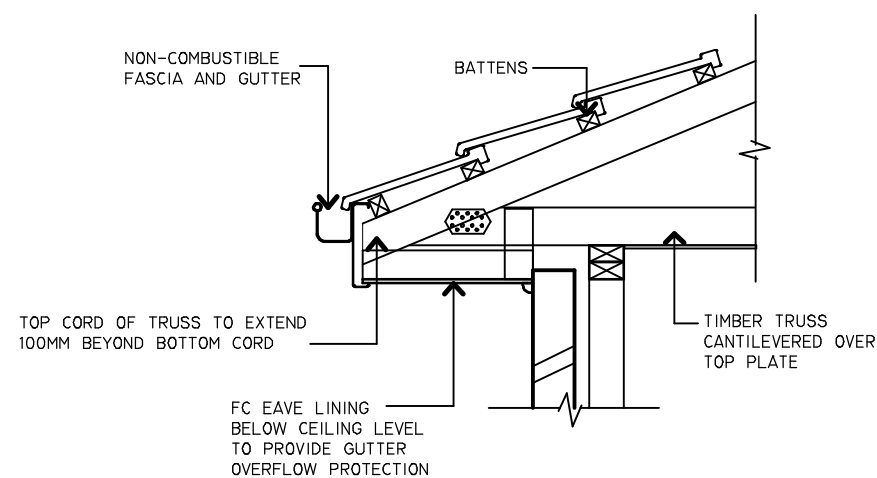
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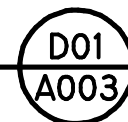
ANGLE OF REPOSE
SCALE 1:50



TYPICAL SECTION PLAN
DWELLING 1 & 2 SCALE 1:100



DETAIL: CANTILEVERED EAVE
SCALE 1:20



REVISIONS:

NO.	DATE:	DESCRIPTION:
(A)	14/05/2018	RBS RFI ITEMS - FOR BUILDING PERMIT ISSUE

PROJECT:
18 GLEN PARK ROAD
BAYSWATER NORTH

DRAWING:
SECTION AND DETAILS



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