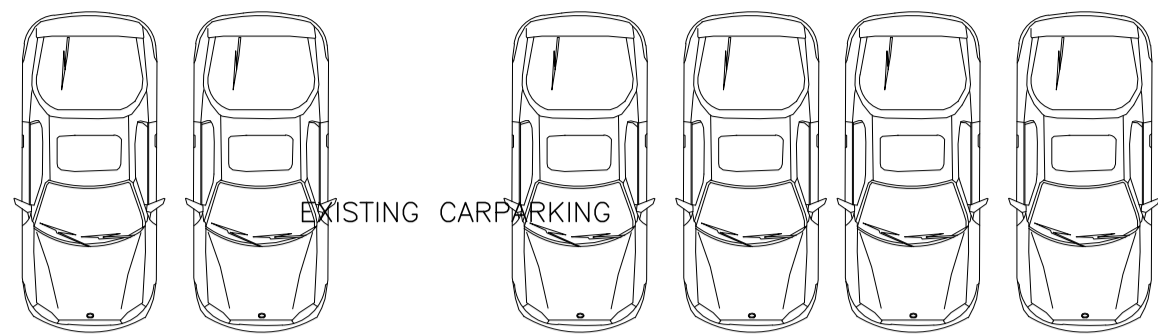
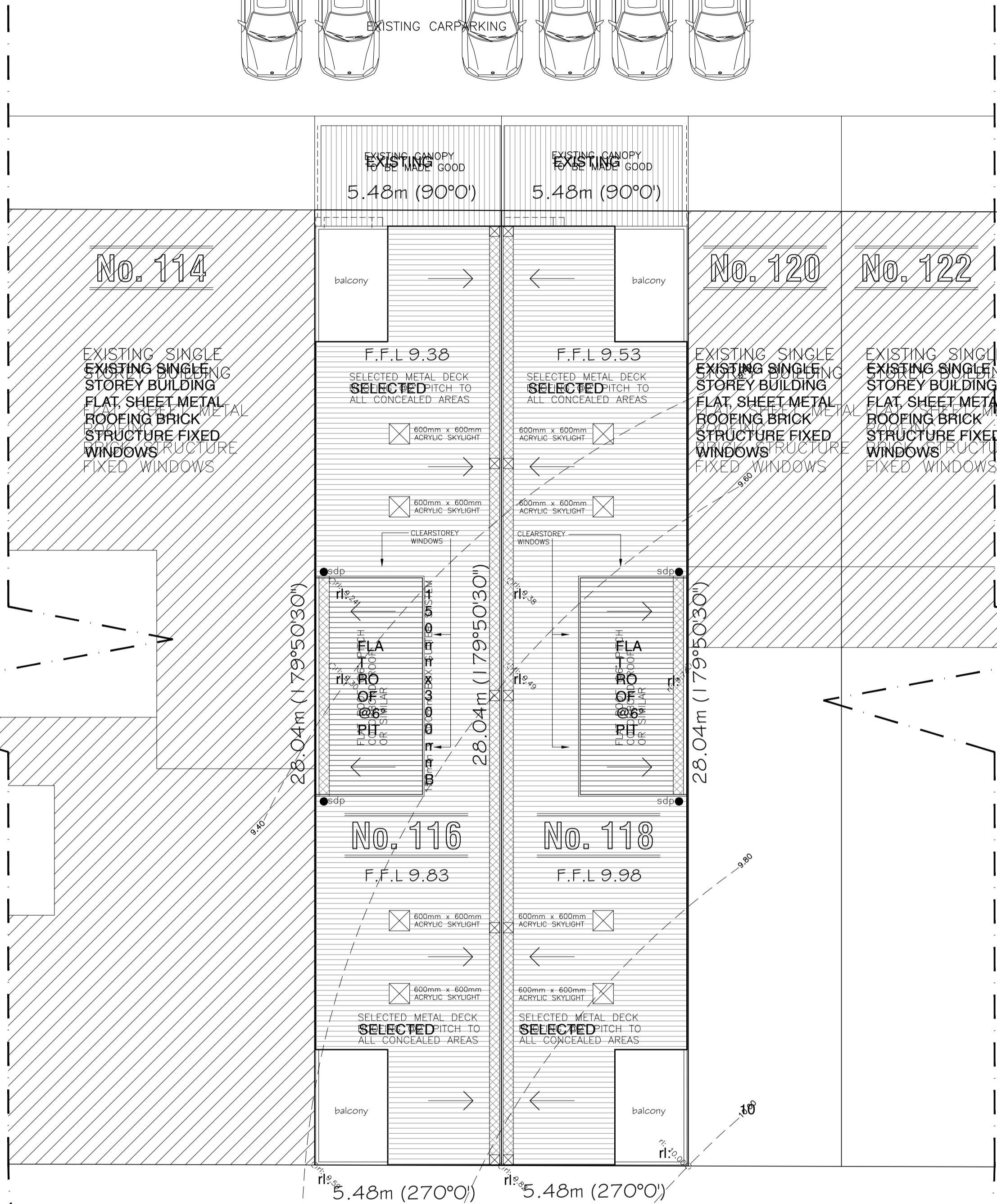


No. 116-118, HANSWORTH STREET, MULGRAVE

HANSWORTH STREET



EXISTING CARPARKING



9m PERIMETER

9m PERIMETER

R.O.W ACCESS

9m PERIMETER

NO SIGNIFICANT VEGETATION EXISTING UPON THIS PARTICULAR LAND WILL BE REMOVED

DIMENSIONS AND LAYOUT OF PROPOSED BUILDING SHALL BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS

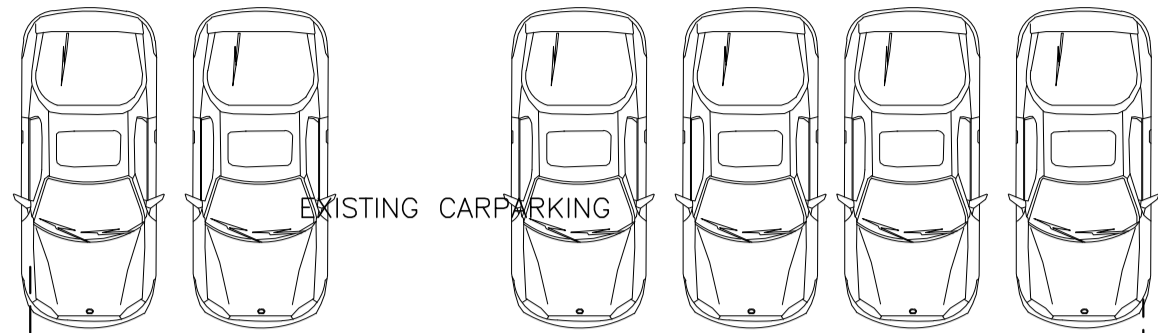
CONNECT ALL DOWNPIPES AND STORMWATER DRAINS TO LEGAL POINT OF DISCHARGE AS DIRECTED BY LOCAL AUTHORITY

REFER TO DRAINAGE AND PAVEMENT DESIGN FOR ALL STORMWATER DETAILS

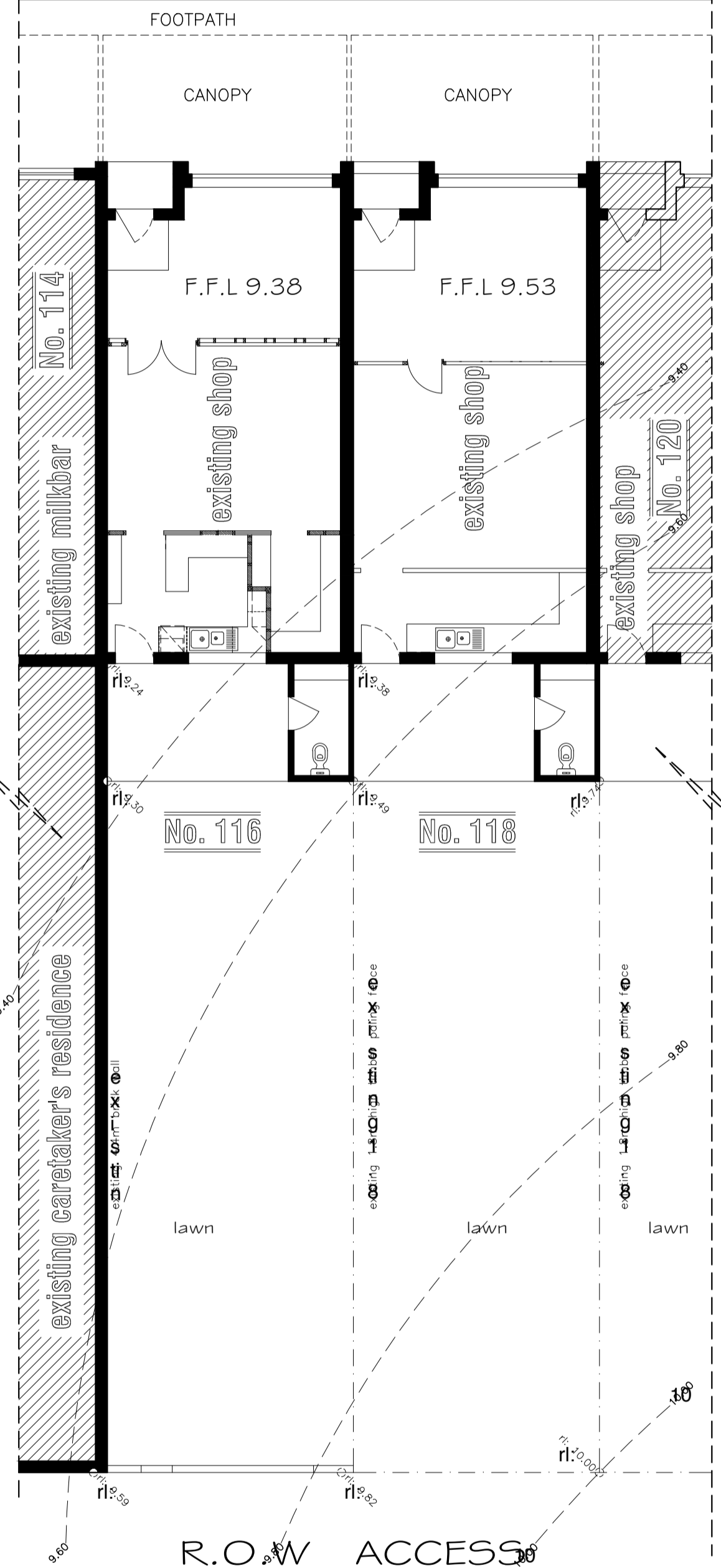
LEGEND:

- Dp DOWNPIPE
- Sdp SPREADER DOWNPIPE
- rwth RAIN WATER HEAD & DP
- 300mm BOX GUTTER SYSTEM
- INTERNAL SUMP

hansworth street



EXISTING CARPARKING



R.O.W ACCESS

EXISTING CONDITIONS

scale : 1:100

BRICKWORK LINTELS									
高度 (mm) (Height)	BRICK WORK	CLEAR SPAN OF OPENING(mm)							
		1000	1200	1500	1800	2100	2400	2700	3000
	500	75x75x6	75x75x6	75x100x6	75x100x6	75x100x6	100x100x6	100x100x6	100x100x6
	1000	75x75x6	75x100x6	75x100x6	75x100x6	100x100x6	100x100x6	100x100x6	150x90x8
	1500	75x100x6	75x100x6	75x100x6	100x100x6	100x100x6	100x100x6	150x90x8	150x90x8
	2000	75x100x6	75x100x6	100x100x6	100x100x6	100x100x6	150x90x8	150x90x8	150x90x8
	2500	75x100x6	75x100x6	100x100x6	100x100x6	100x100x6	150x90x8	150x90x8	150x100x10
	3000	75x100x6	75x100x6	100x100x6	100x100x6	100x100x6	150x90x8	150x100x10	
NOTES: FIRST DIMENSION CORRESPONDS TO THE VERTICAL LINTEL LEG. e.g. 75x100x6LINTEL. 75mm LEG VERTICAL 150mm MIN. END BEARING									

REVISIONS:		
ISSUE	DATE	AMENDMENT
'A'	04/09/2017	PRELIMINARY WORKING DRAWINGS

General Notes:

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All concrete shall comply with AS3600 SAA Concrete Structure Code (latest edition) and shall be minimum 20 MPa unless otherwise specified.

All framing timbers to comply with AS1684.

All ventilation shall conform to the requirements of AS1688.2 : 2002

All windows are timber/aluminium windows, sizes are nominal only. (height x width)

Impervious wall and floor finishes to all wet areas to BCA requirements.

GLAZING

Side panels within 300mm of doorway, glazing less than 1200mm from floor level, greater than 0.5m2 to be grade A safety glass as per AS1288-2006.

Glazing less than 1500mm above shower/bath base, and within 500mm shower enclosure to be safety glass as per AS1288.

Roof and sub-floor access to be determined on site.

WET AREA FLOORS

Proposed finishes to all wet area floors including the laundry to comply with AS 3740-2004.

STAIRS

Stair treads shall be minimum 250mm wide.

Stair risers shall be maximum 190mm high and minimum 115mm.

Provide a continuous balustrading to all landings over 1000mm high and to stairs when more than 5 risers.

Handrails to nosing of stair to be min. 865mm high.

Handrails to landings to be minimum 1000mm high.

Provide 125mm max. clear space between rails & balustrade.

Provide 2030mm head height clearance to staircase measured vertically above nose of treads.

Glass balustrading must comply with AS1288.1 Section 7.

For site classification and footing recommendations refer to soil report.

Areas beneath building shall be treated against termite infestation, if required and shall conform with AS1694 or AS2057, whichever is applicable.

Smoke detectors to AS3786 hard wire to switchboard & battery backup. Smoke detectors to also be interconnected.

Specifications

FOOTING:

Strip footing to engineer's design & specification

Selected sheet flooring

WALLS:

90x45 MGP 10 top and bottom plates (top plates to be doubled or solid blocked).

90x45 MGP 10 studs @ 450 ctrs

100x90 MGP 10 jamb studs

70x35 MGP 10 noggings

42x19 MGP 10 bracing or panel bracing

ROOF:

Selected metal roof @2° pitch

Selected metal roof @6° pitch to clearstorey window

Trussed timber roof

@900mm ctrs to manufacturers specifications

10mm plasterboard lining to internal walls

10mm plasterboard lining to internal ceilings

MUNICIPALITY:--
MONASH CITY COUNCIL

WD01

Unit 25,
1866 Princes Highway
Clayton VIC 3168
(03) 9758 6461
shared@blueprint-design.com.au

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PROJECT:
PROPOSED FOUR (4) APARTMENT DEVELOPMENT TO EXISTING PREMISES WITH ASSOCIATED CARPARKING

AT: No. 116-118,
HANSWORTH ST,
MULGRAVE

FOR : MR. GAB PASCUZZI / MR. JOE TARTAGLIA

REGISTRATION No.- DP-AD21223

DATE: JULY 2017

SCALE: 1:100

SHEET: 1 OF 5

REFERENCE NO:
16-039

DRAWN: J.T/G.T

SITE & ROOF PLAN

scale : 1:100

No. 116-118, HANSWORTH STREET, MULGRAVE

WORKING DRAWINGS

DIMENSIONS AND LAYOUT OF PROPOSED BUILDING SHALL BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS

NOTE:
ALL BALCONIES ARE TO HAVE A 50mm STEP DOWN

PROVIDE FULLY SEALED:
-EXHAUST FANS
-WINDOWS
-EXTERNAL DOORS
-GAPS AROUND FRAMES
-SKYLIGHTS
-UTILITY DOORS

ENSUITE W.C. EXHAUST FAN DISCHARGING AT 25L/S

PROVIDE LIFT-OFF HINGES TO ENSUITE W.C. DOOR

HATCHING DENOTES CHANGES TO EXISTING

HATCHING DENOTES CHANGES TO EXISTING

CLERESTORY WINDOWS		
WIN No.	SIZE (HxW)	DESCRIPTION
CW01	600x1800	AWNING
CW02	600x1800	AWNING
CW03	600x1800	AWNING
CW04	600x1800	AWNING

WINDOW SCHEDULE		
WIN No.	SIZE (HxW)	DESCRIPTION
W01	900x1500	AWNING
W02	1800x600	AWNING
W03	1800x600	AWNING
W04	900x1500	AWNING
W05	2400x1800	SLIDING DOOR UNIT
W06	1800x1800	AWNING
W07	1800x1800	AWNING
W08	2400x1800	SLIDING DOOR UNIT
W09	2400x1800	SLIDING DOOR UNIT
W10	1800x1800	AWNING
W11	1800x1800	AWNING
W12	2400x1800	SLIDING DOOR UNIT

SKYLIGHTS		
WIN No.	SIZE (LxW)	DESCRIPTION
SK01	600x600	FIXED ACRYLIC
SK02	600x600	FIXED ACRYLIC
SK03	600x600	FIXED ACRYLIC
SK04	600x600	FIXED ACRYLIC
SK05	600x600	FIXED ACRYLIC
SK06	600x600	FIXED ACRYLIC
SK07	600x600	FIXED ACRYLIC
SK08	600x600	FIXED ACRYLIC

WET AREAS TO BE IMPERVIOUS TO WATER I.E. WALL SURFACES AND SUBSTRATES: OF SHOWER ENCLOSURES, OR IF UNENCLOSED, WITHIN 1.5m HORIZONTALLY TO A HEIGHT OF 1.8m ABOVE THE FLOOR; AND BEHIND ANY BATH, BASIN, SINK, ETC, IF WITHIN 75mm OF A WALL A HEIGHT OF 150mm ABOVE THE FIXTURE

● DENOTES EXHAUST FAN DISCHARGING AT 10L/S
● SD DENOTES SMOKE DETECTORS TO COMPLY WITH AUSTRALIAN

ALL SHOWERS ARE TO HAVE A 50mm STEP DOWN

REFER TO APPROVED ENERGY RATING REPORT FOR ALL DETAILS

TREADS TO BE MINIMUM P3 SLIP RESISTANCE

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Strip footing to engineer's design & specification
Selected sheet flooring

WALLS:
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90x45 MGP 10 studs @ 450 ctrs

100x90 MGP 10 jamb studs

70x35 MGP 10 noggings

42x19 MGP 10 bracing or panel bracing

ROOF:
Selected metal roof @2° pitch
Selected metal roof @6° pitch to clearstorey window

Trussed timber roof
@900mm ctrs to manufacturers specifications

10mm plasterboard lining to internal walls
10mm plasterboard lining to internal ceilings

MUNICIPALITY:--
MONASH CITY COUNCIL

WD01

Blueprint

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PROJECT:
PROPOSED FOUR (4) APARTMENT DEVELOPMENT TO EXISTING PREMISES WITH ASSOCIATED CARPARKING

AT: No. 116-118,
**HANSWORTH ST,
MULGRAVE**

FOR : MR. GAB PASCUZZI / MR. JOE TARTAGLIA

REGISTRATION No.- DP-AD21223

DATE: JULY 2017 SCALE: 1:100

SHEET: 2 OF 5 REFERENCE NO:

DRAWN: J.T/G.T. 16-039

GROUND FLOOR PLAN

scale : 1:100

FIRST FLOOR PLAN

scale : 1:100

AREAS :

APARTMENT 1 :	
FLOOR PLAN	: 62.86sqm, 6.76sq
APARTMENT 2 :	
FLOOR PLAN	: 62.86sqm, 6.76sq
APARTMENT 3 :	
FLOOR PLAN	: 65.86sqm, 7.08sq
APARTMENT 4 :	
FLOOR PLAN	: 65.86sqm, 7.08sq

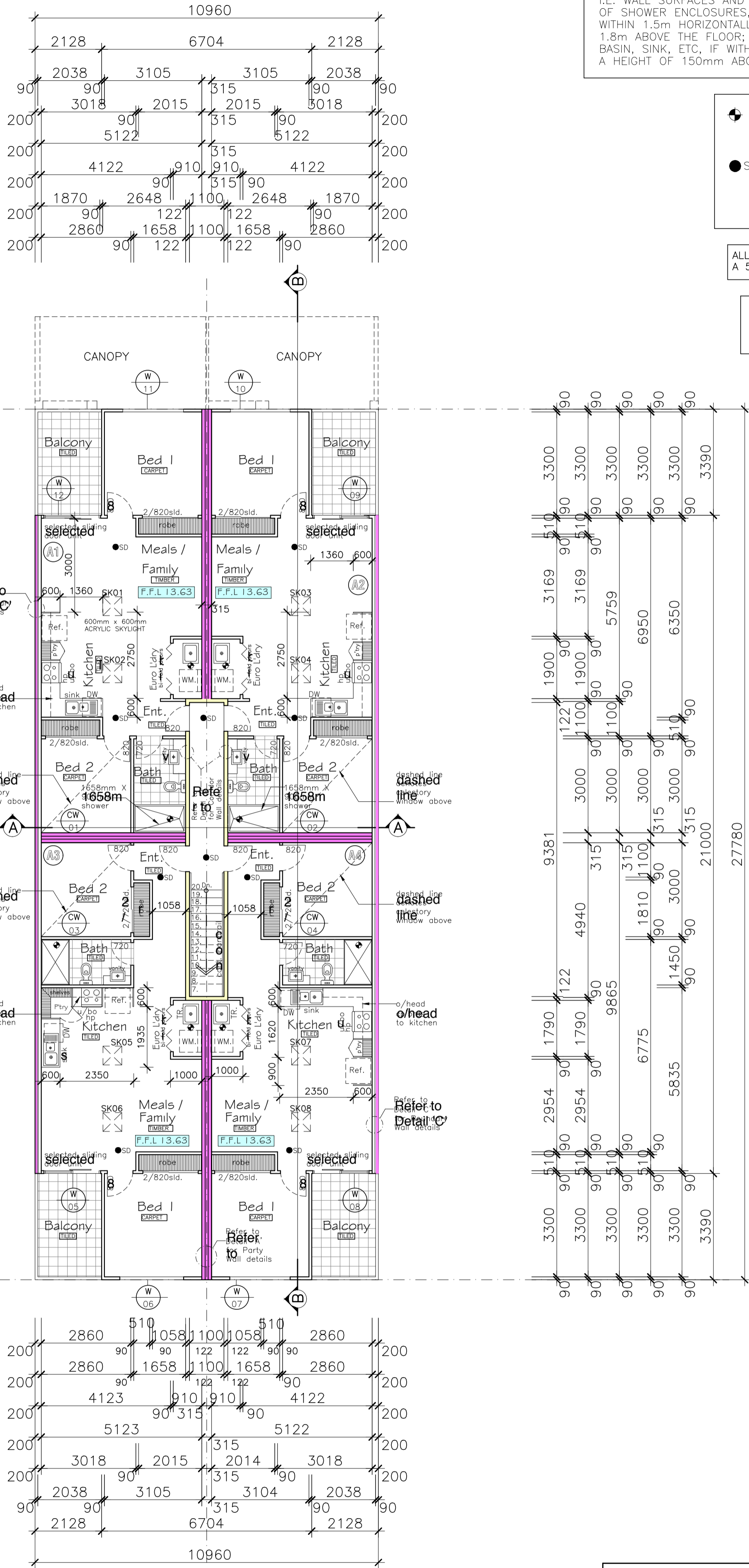
SITE AREA: 300.00sqm

NO. OF UNITS : 4

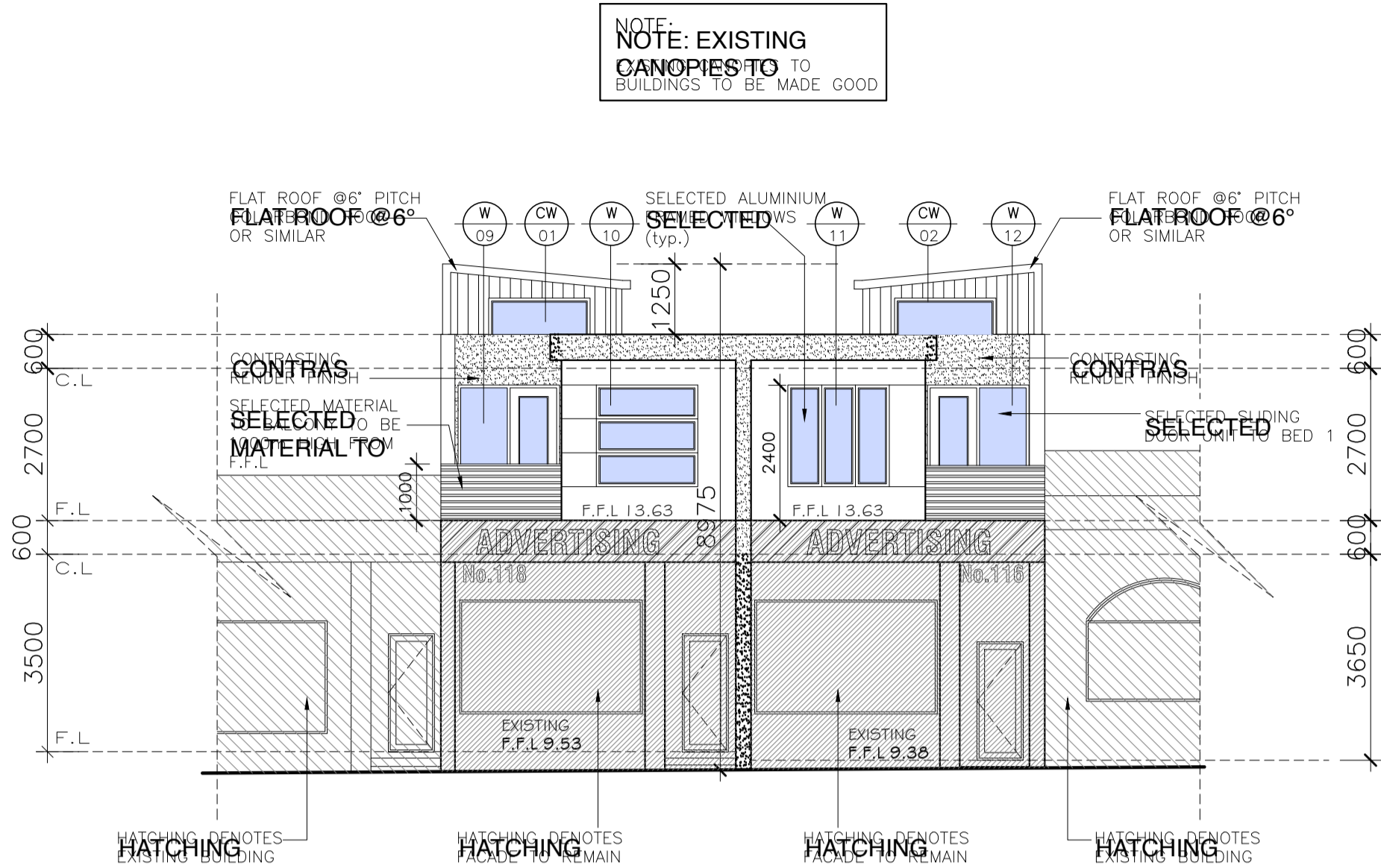
TWO BED APARTMENTS: 4

NO. OF CARSPACES:

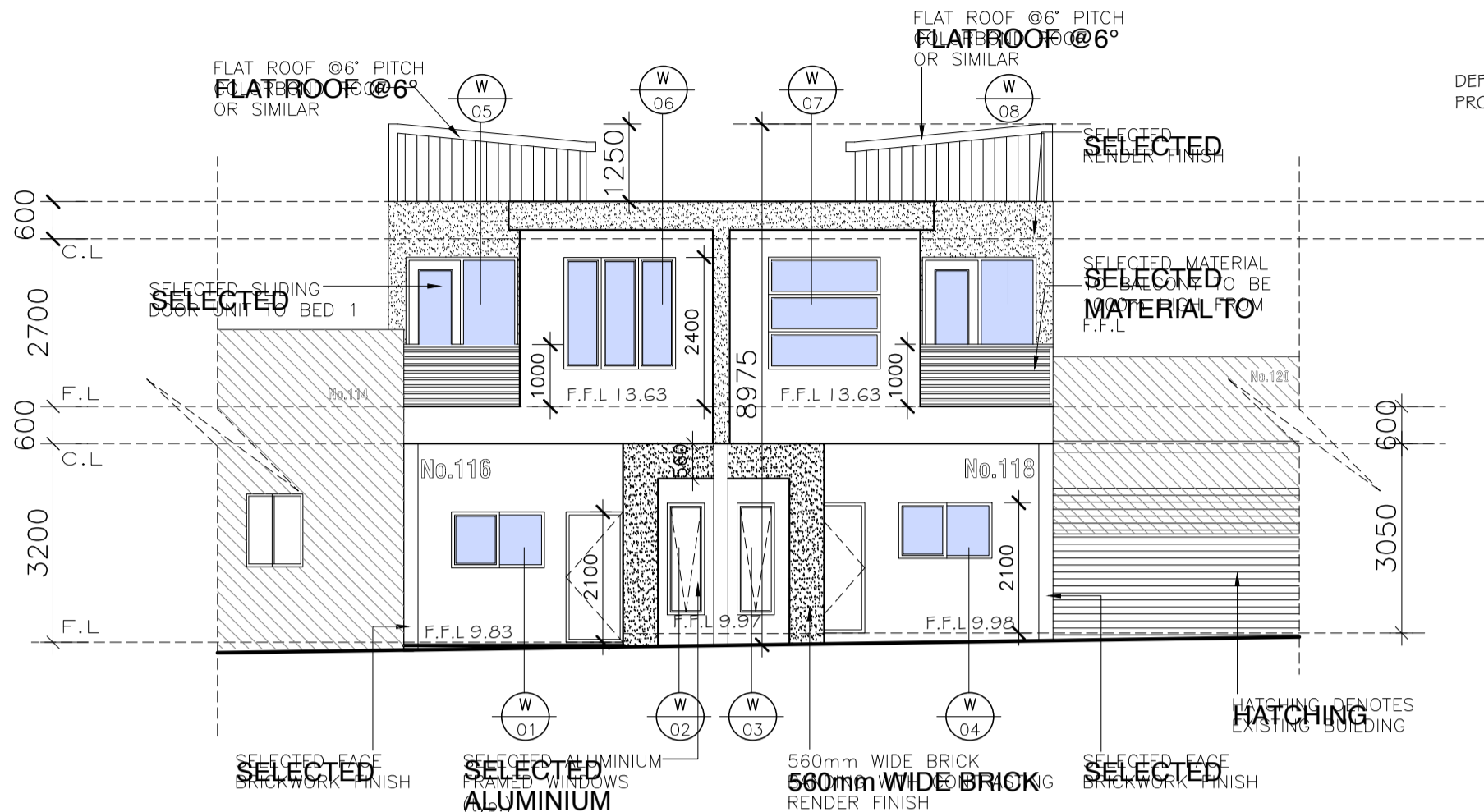
4 PROPOSED CAR SPACES



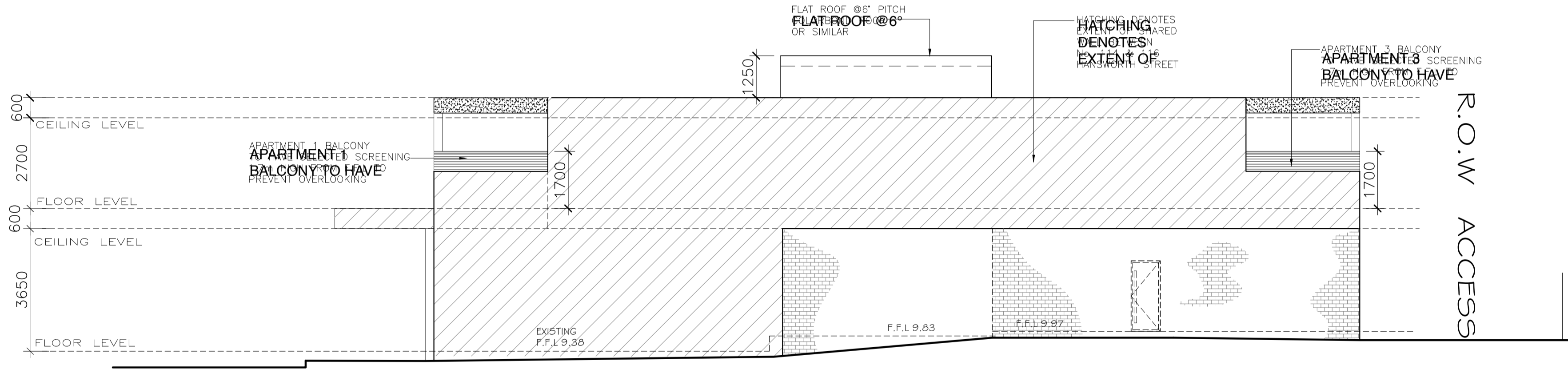
No. 116-118, HANSWORTH STREET, MULGRAVE



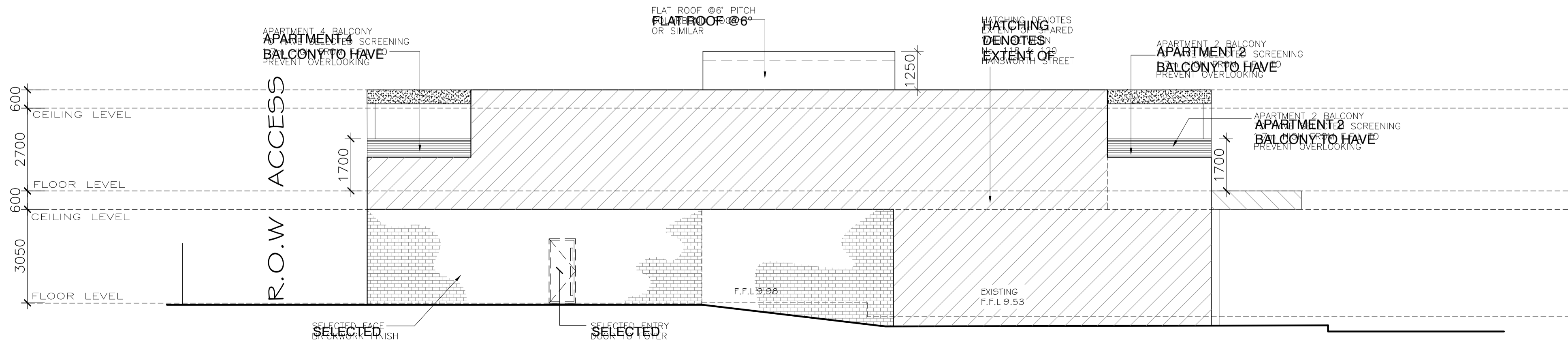
NORTH ELEVATION
scale : 1:100



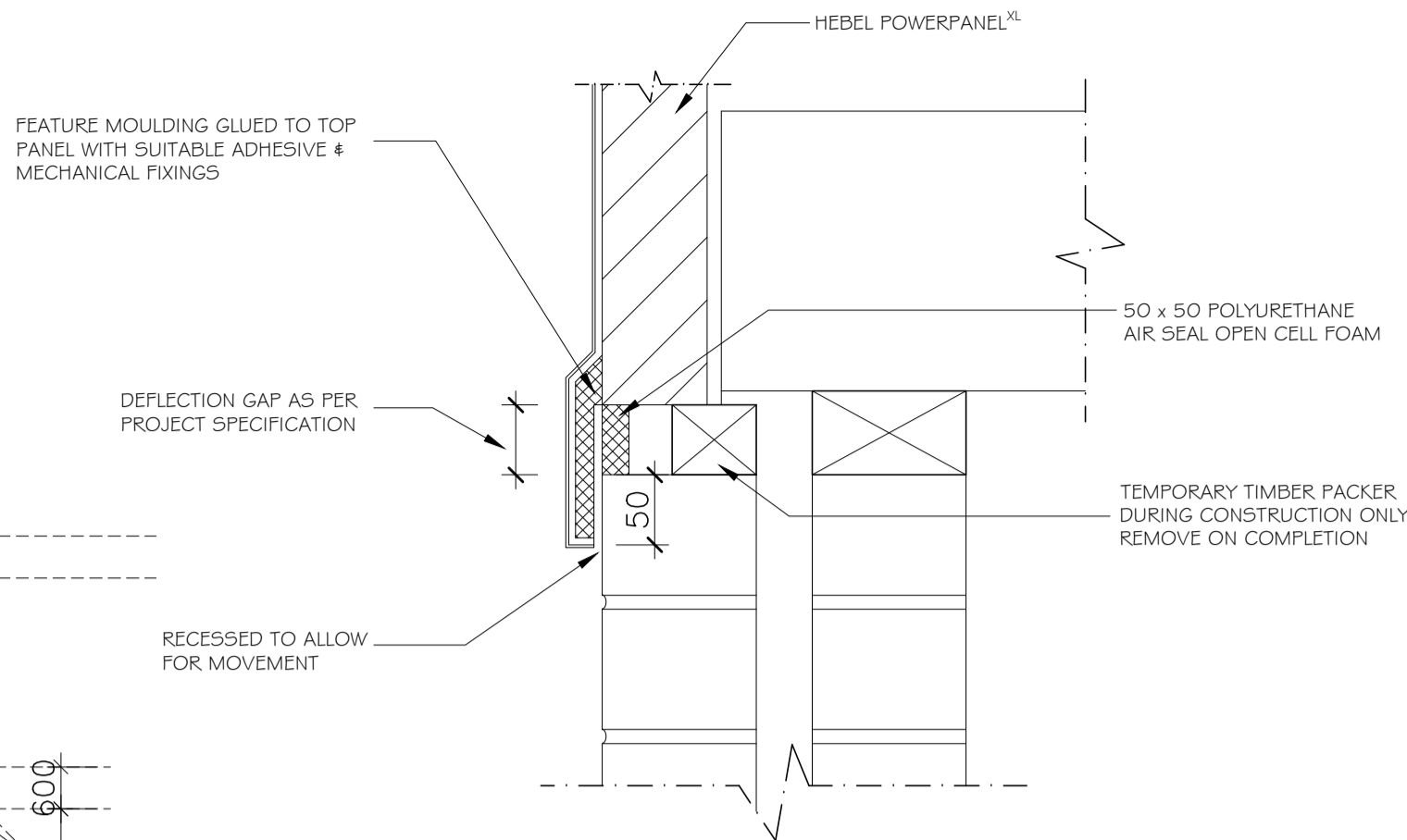
SOUTH ELEVATION
scale : 1:100



WEST ELEVATION
scale : 1:100

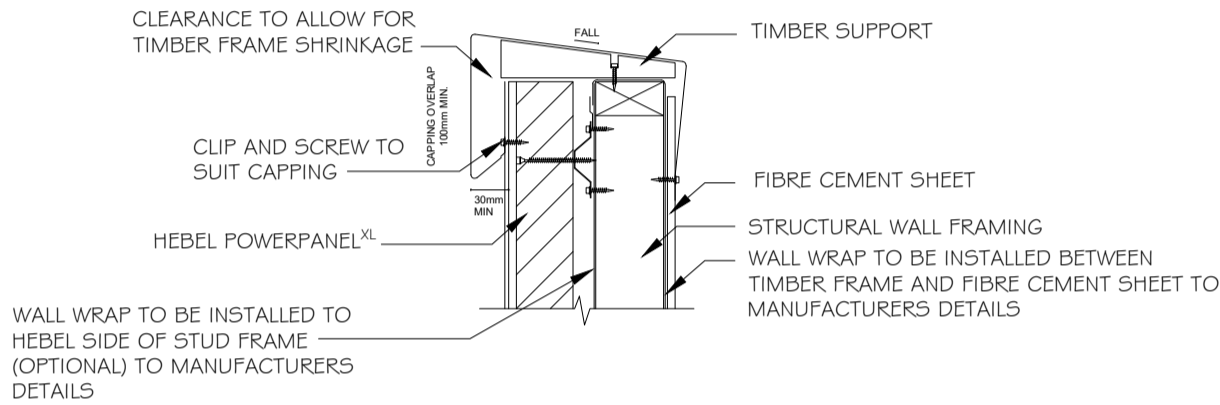


EAST ELEVATION
scale : 1:100



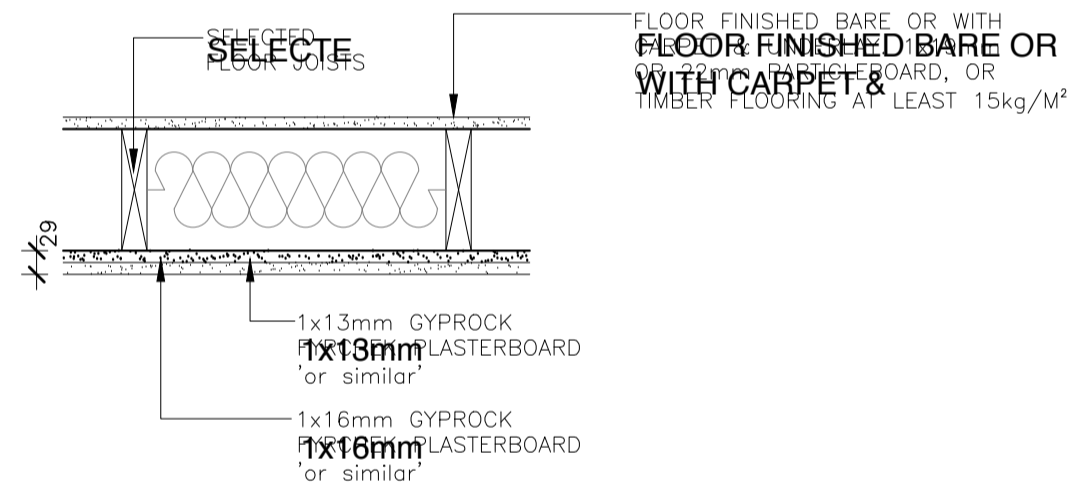
HORIZONTAL CONTROL JOINT - CAVITY BRICKWORK TO HEBEL POWERPANEL XL

not to scale



PARAPET CAPPING DETAIL

not to scale



CSR 622.1 FLOOR / CEILING SYSTEM

not to scale

General Notes:

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Specifications

FOOTING:
Strip footing to engineer's design & specification
Selected sheet flooring

WALLS:
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90x45 MGP 10 studs @ 450 ctrs

100x90 MGP 10 jamb studs

70x35 MGP 10 noggings

42x19 MGP 10 bracing or panel bracing

ROOF:
Selected metal roof @2° pitch

Selected metal roof @6° pitch to clearstorey window

Trussed timber roof

@900mm ctrs to manufacturers specifications

10mm plasterboard lining to internal walls

10mm plasterboard lining to internal ceilings

MUNICIPALITY:—
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PROJECT:
PROPOSED FOUR (4) APARTMENT DEVELOPMENT TO EXISTING PREMISES WITH ASSOCIATED CARPARKING

AT: No. 116-118,
HANSWORTH ST,
MULGRAVE

FOR : MR. GAB PASCUZZI / MR. JOE TARTAGLIA

REGISTRATION No.— DP-AD21223

DATE: JULY 2017

SHEET: 3 OF 5

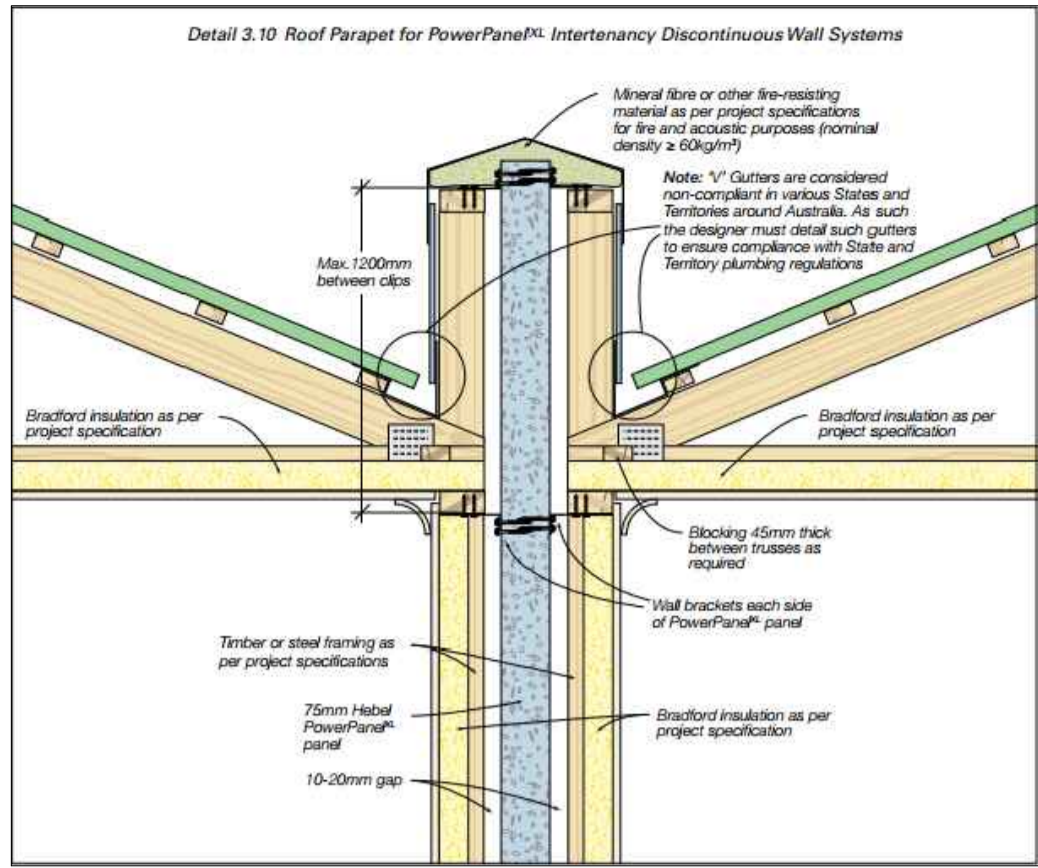
DRAWN: J.T/G.T

SCALE: 1:100

REFERENCE NO: 16-039

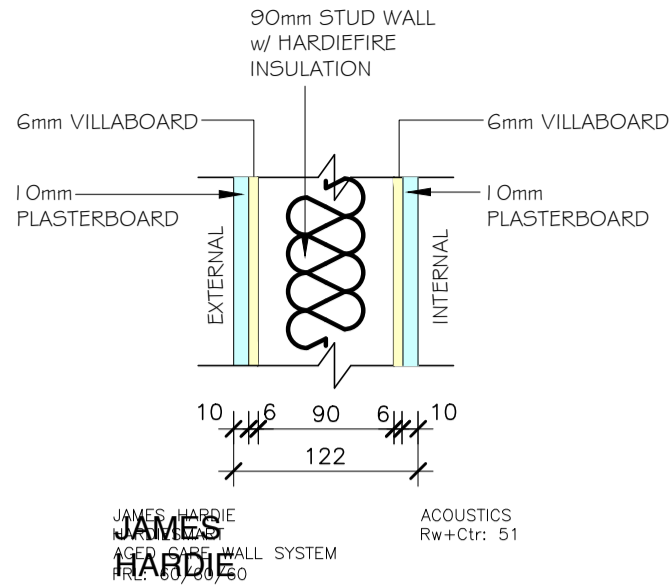
WORKING DRAWINGS

No. 116-118, HANSWORTH STREET, MULGRAVE



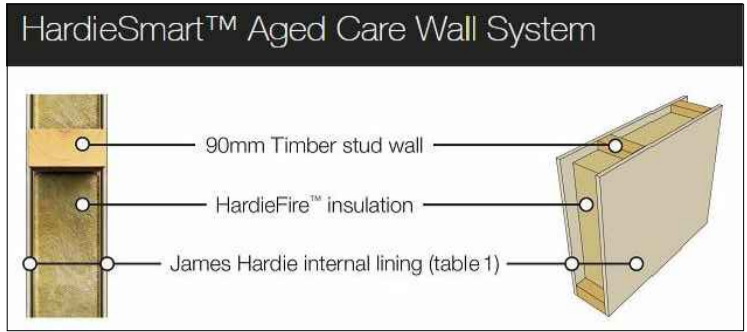
DETAIL 'A'
HEBEL POWER PANEL DETAIL

not to scale



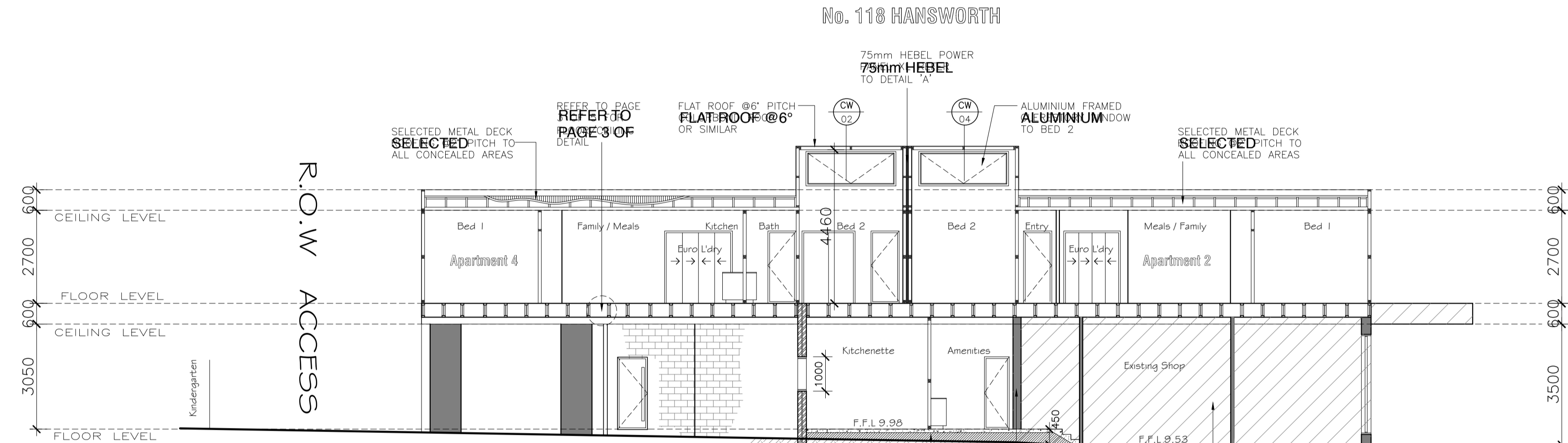
DETAIL 'B'
CORRIDOR WALL SYSTEM

not to scale

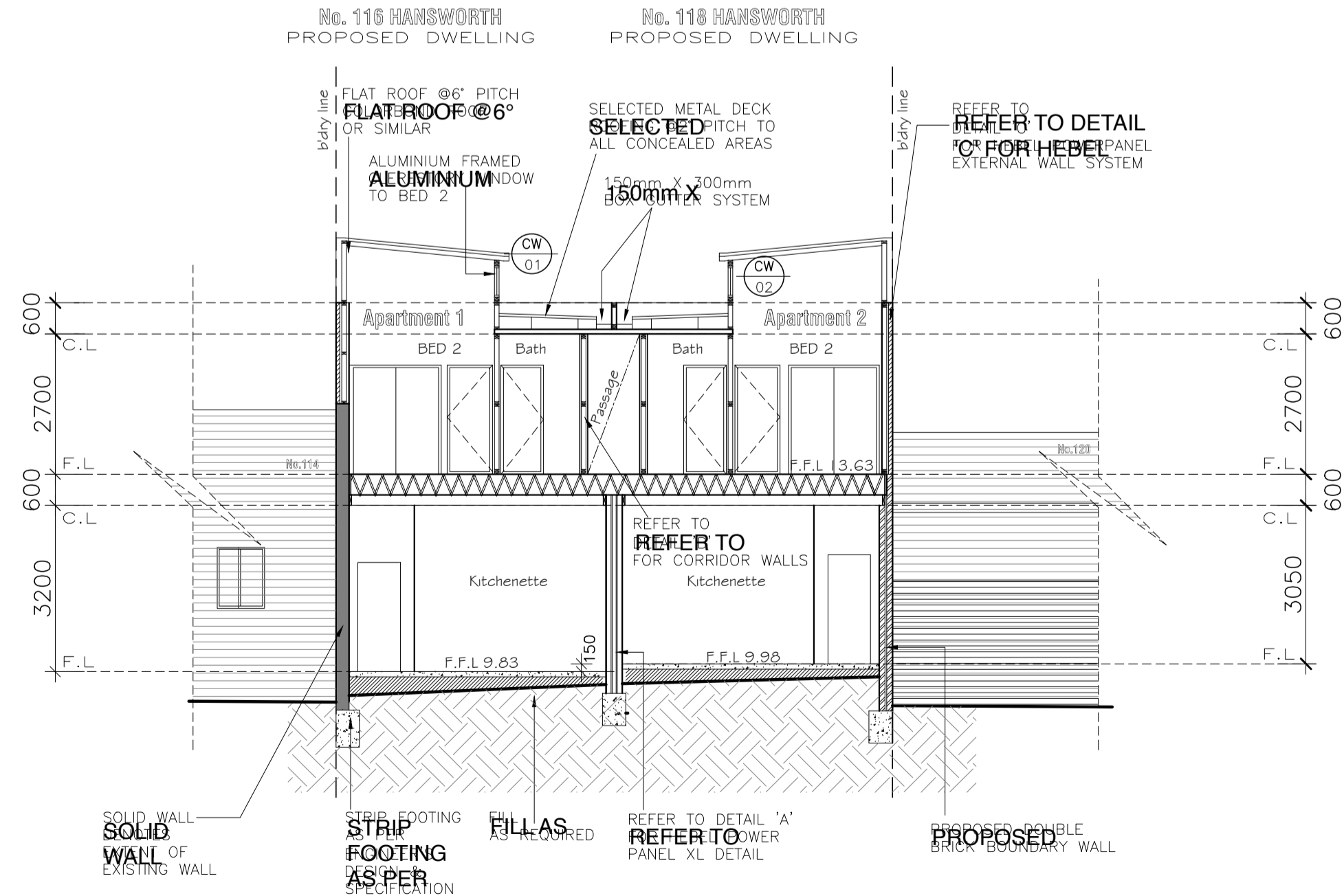


DETAIL 'C'
POWER PANEL XL
EXTERNAL WALL SYSTEM

not to scale



SECTION B-B
scale : 1:100



SECTION A-A
scale : 1:100

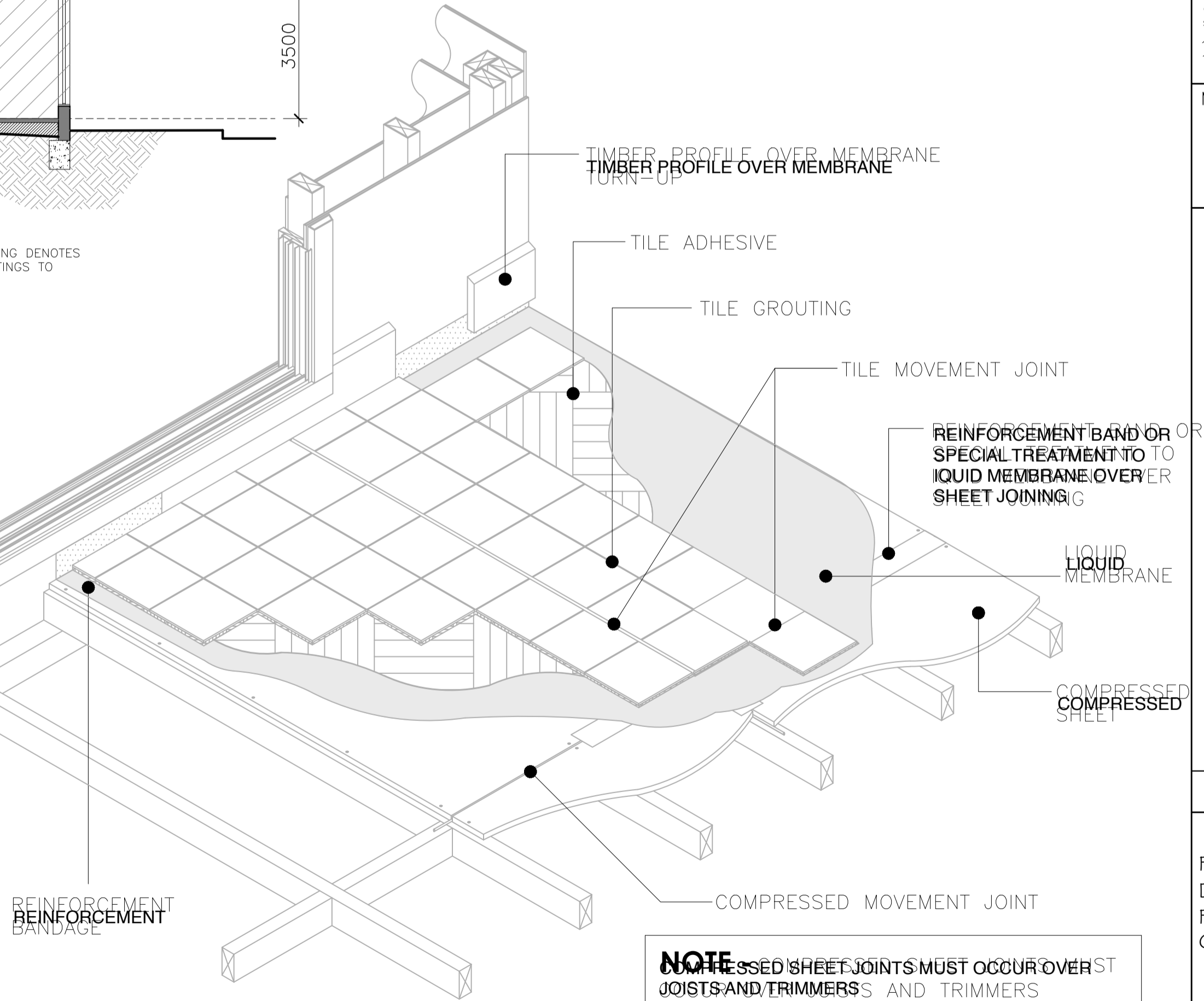
NOTE:
FOOTINGS NOT TO
ENCROACH TITLE BOUNDARY

SOIL CLASSIFICATION
REFER TO SOIL REPORT

REFER TO ENGINEER'S
SPECIFICATIONS FOR ALL
FOOTINGS, PAD FOOTING,
BEAM SIZES & LOCATIONS

REFER TO ENGINEER'S COMPUTATIONS
AND STRUCTURAL DRAWINGS FOR ALL
FOOTING AND BEAM DETAILS

UPPER STOREY:
400x50 Posi-Struts to manufacturers specifications
Double under parallel stud walls
Provide solid blocking @ 1800mm ctrs



INSTALLATION
(BALCONY AREAS)

not to scale

REVISIONS:		
ISSUE	DATE	AMENDMENT
'A'	04/09/2017	PRELIMINARY WORKING DRAWINGS

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PROJECT:
PROPOSED FOUR (4) APARTMENT
DEVELOPMENT TO EXISTING
PREMISES WITH ASSOCIATED
CARPARKING

AT: No. 116-118,
HANSWORTH ST,
MULGRAVE

FOR : MR. GAB PASCUZZI / MR. JOE TARTAGLIA

REGISTRATION No.- DP-AD21223

DATE: JULY 2017 SCALE: 1:100

SHEET: 4 OF 5 REFERENCE NO:

DRAWN: J.T/G.T. 16-039

No. 116-118, HANSWORTH STREET, MULGRAVE

ELECTRICAL NOTES
* LOCATION OF ELECTRICAL POINTS ARE APPROXIMATE ONLY, AND ARE SUBJECT TO POSITION OF STRUCTURAL MEMBERS ON PLAN.
* ARTIFICIAL LIGHTING TO COMPLY WITH B.C.A. PART 3.12.5.5.
* ARTIFICIAL LIGHTING AROUND THE PERIMETER OF THE BUILDING MUST BE CONTROLLED BY A DAYLIGHT SENSOR; OR HAVE AND AVERAGE LIGHT SOURCE EFFICIENCY OF NOT LESS THAN 40 LUMENS/W.
* PROVIDE COLD WATER POINT IN CEILING SPACE FOR EVAPORATIVE COOLING UNIT.
* ALL WIRING TO BE INSTALLED IN ACCORDANCE WITH FIBRE OPTIC NETWORK FOR FUTURE CONNECTION.

LEGEND			
	CEILING LIGHT BATTEN HOLDER		TELEPHONE POINT
	DOUBLE GPO – 300mm		TELEVISION POINT
	DOUBLE GPO – 1100mm		EXHAUST FAN
	DOUBLE GPO – 1350mm		SMOKE DETECTOR
	SINGLE GPO – 300mm		H.W.S. HOT WATER SYSTEM
	SINGLE GPO – 1100mm		SINGLE GPO – FOR MICROWAVE
	SINGLE GPO – 1350mm		DUCTED HEATING POINT
	EXTERNAL WALL MOUNTED LIGHT		LIGHT OUTLET & SINGLE G.P.O. IN ROOF SPACE
	550 x 550 mm MANHOLE		DOWNLIGHT LED – (CEILING MOUNT)
	SINGLE GPO – FOR DISHWASHER		HEATER/FAN/LIGHT – 4 GLOBE VENTED TO ATMOSPHERE
	EXTERNAL DOUBLE GPO – 300mm		SENSOR LIGHT

ARTIFICIAL LIGHTING	LIGHT FITTING	WATTS	NUMBER	TOTAL WATTS
CLASS 1 BUILDING – (max. Allowable wattage 5 W/m²)	LIGHT BATTEN HOLDER (CEILING MOUNT) – (C.F.L.)	15	0	0
	DOWNLIGHTS (CEILING MOUNT) – (LED)	11	4	44
		0	0	0
CLASS 1 BUILDING TOTAL		21.86m²	109.30	44
VERANDAH OR BALCONY – (max. Allowable wattage 4 W/m²)	DOWNLIGHTS (CEILING MOUNT) – (LED)	11	0	0
	Porch & Alfresco TOTAL	00.00m²	00.00	0
CLASS 10 BUILDING – (max. Allowable wattage 3 W/m²)	LIGHT BATTEN HOLDER (CEILING MOUNT) – (C.F.L.)	15	2	30
	CLASS 10 BUILDING TOTAL	104.37m²	313.11	30

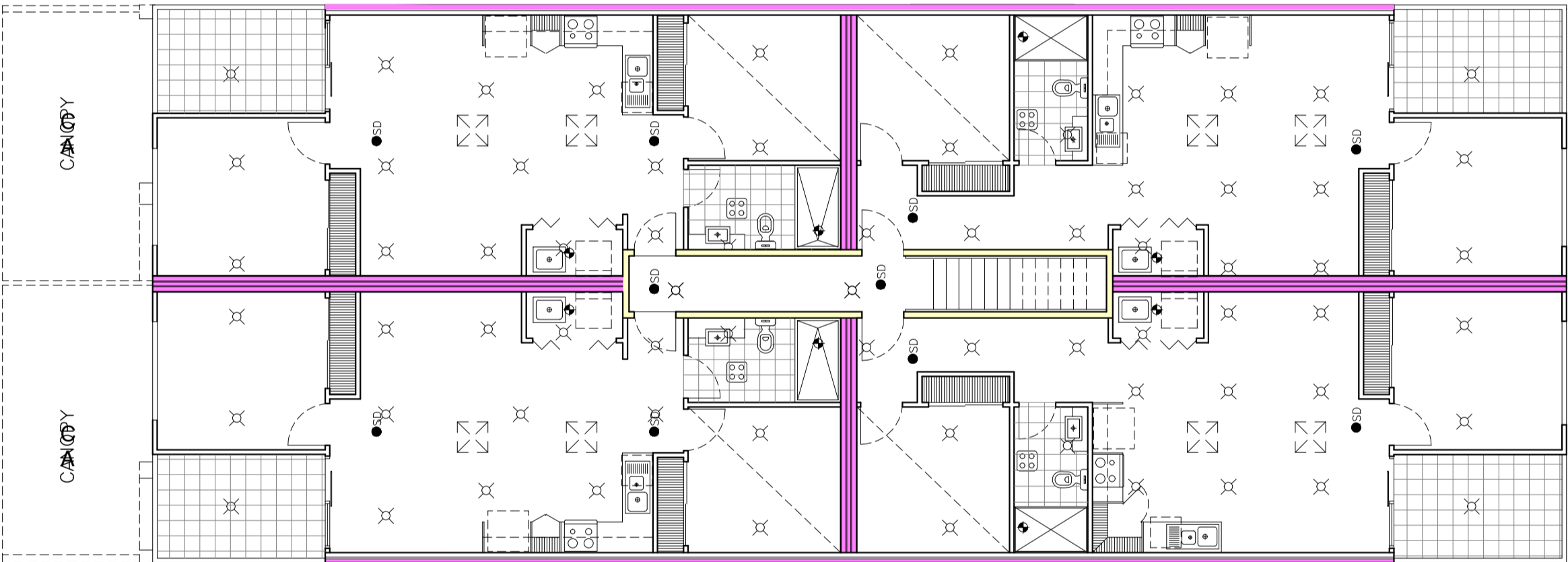
COMMON AREAS PARKING SPACE & FOYERS

GROUND & FIRST FLOOR : 21.86sqm
FOYERS : 21.86sqm GROUND : 37sqm

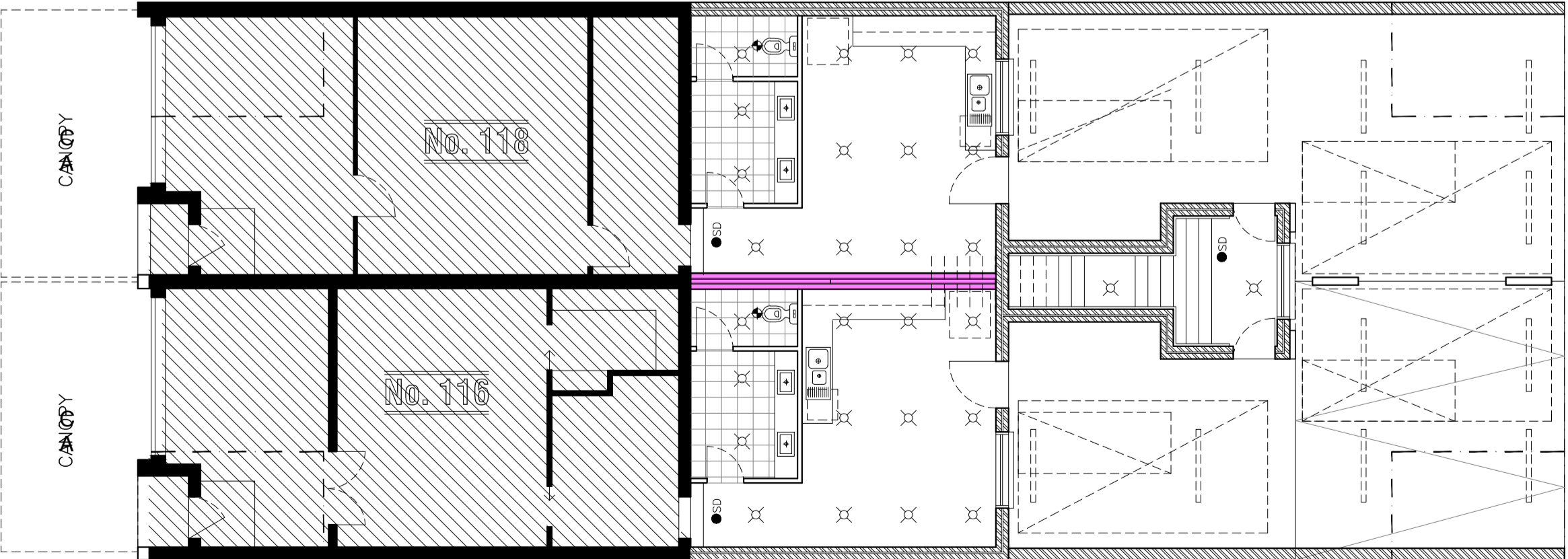
ARTIFICIAL LIGHTING	LIGHT FITTING	WATTS	NUMBER	TOTAL WATTS
CLASS 2-4 BUILDING – (max. Allowable wattage 8 W/m²)	LIGHT BATTEN HOLDER (CEILING MOUNT) – (C.F.L.)	15	0	0
	DOWNLIGHTS (CEILING MOUNT) – (LED)	11	26	286
		0	0	0
CLASS 1 BUILDING TOTAL		47.28m²	378.24	286
CLASS 1 BUILDING – (max. Allowable wattage 5 W/m²)	DOWNLIGHTS (CEILING MOUNT) – (LED)	11	2	22
	Amenities & WC	18.40m²	92.00	22
CLASS 10 BUILDING – (max. Allowable wattage 3 W/m²)	LIGHT BATTEN HOLDER (CEILING MOUNT) – (C.F.L.)	15	0	0
	CLASS 10 BUILDING TOTAL	00.00m²	0	0

GROUND FLOOR SPACE scale : 1:100

116 HANSWORTH STREET : 21.86sqm
118 HANSWORTH STREET : 23.64sqm Amenities & WC : 8.20sqm



FIRST FLOOR ARTIFICIAL LIGHTING PLAN scale : 1:100



GROUND FLOOR ARTIFICIAL LIGHTING PLAN scale : 1:100

ARTIFICIAL LIGHTING	LIGHT FITTING	WATTS	NUMBER	TOTAL WATTS
CLASS 1 BUILDING – (max. Allowable wattage 5 W/m²)	LIGHT BATTEN HOLDER (CEILING MOUNT) – (C.F.L.)	15	0	0
	DOWNLIGHTS (CEILING MOUNT) – (LED)	11	36	396
		0	0	0
CLASS 1 BUILDING TOTAL		128.28m²	641.40	396
VERANDAH OR BALCONY – (max. Allowable wattage 4 W/m²)	DOWNLIGHTS (CEILING MOUNT) – (LED)	11	2	22
	Porch & Alfresco TOTAL	7.18m²	28.72	22
CLASS 10 BUILDING – (max. Allowable wattage 3 W/m²)	LIGHT BATTEN HOLDER (CEILING MOUNT) – (C.F.L.)	15	0	0
	CLASS 10 BUILDING TOTAL	0.00m²	0.00	0

APARTMENTS 1 & 3 scale : 1:100

116 HANSWORTH STREET : 21.86sqm
118 HANSWORTH STREET : 23.64sqm
APARTMENT 1 : 62.61sqm Balcony : 11.18sqm

ARTIFICIAL LIGHTING	LIGHT FITTING	WATTS	NUMBER	TOTAL WATTS
CLASS 1 BUILDING – (max. Allowable wattage 5 W/m²)	LIGHT BATTEN HOLDER (CEILING MOUNT) – (C.F.L.)	15	0	0
	DOWNLIGHTS (CEILING MOUNT) – (LED)	11	36	396
		0	0	0
CLASS 1 BUILDING TOTAL		128.28m²	641.40	396
VERANDAH OR BALCONY – (max. Allowable wattage 4 W/m²)	DOWNLIGHTS (CEILING MOUNT) – (LED)	11	2	22
	Porch & Alfresco TOTAL	7.18m²	28.72	22
CLASS 10 BUILDING – (max. Allowable wattage 3 W/m²)	LIGHT BATTEN HOLDER (CEILING MOUNT) – (C.F.L.)	15	0	0
	CLASS 10 BUILDING TOTAL	22.70m²	68.10	0

APARTMENTS 2 & 4 scale : 1:100

116 HANSWORTH STREET : 21.86sqm
118 HANSWORTH STREET : 23.64sqm
APARTMENT 2 : 62.61sqm Balcony : 11.18sqm

MUNICIPALITY:–
MONASH CITY COUNCIL

WD01

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PROJECT:
PROPOSED FOUR (4) APARTMENT
DEVELOPMENT TO EXISTING
PREMISES WITH ASSOCIATED
CARPARKING

AT: No. 116-118,
HANSWORTH ST,
MULGRAVE

FOR : MR. GAB PASCUZZI / MR. JOE TARTAGLIA

REGISTRATION No.– DP-AD21223

DATE: JULY 2017

SCALE: 1:100

SHEET: 5 OF 5

REFERENCE NO:

DRAWN: J.T/G.T

16-039

REVISIONS:		
ISSUE	DATE	AMENDMENT
'A'	04/09/2017	PRELIMINARY WORKING DRAWINGS

WORKING DRAWINGS