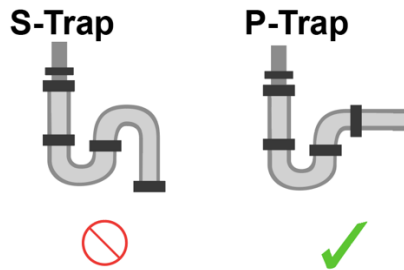




BUYING A HOME CHECK LIST - WHAT TO DO AND LOOK FOR:

- Run all taps in the house & look for any leaks under the sink.
- Check for proper venting: Cheater vent and S trap drain. (See Photo below.)
 - S Trap = Wrong! you **DON'T** want this.



- Fill sink ½ way and unplug.
 - Cyclone on both sides = Healthy drain.
 - Slow = May need to be serviced.
- Do the same for the bathtubs.
- Check the floor drain and check for a flood prevention valve. (*Located in the mechanical room*)
- Check for sump pit. If one is installed ask your realtor if there were permits pulled for this.
- Newer bathroom in the basement – Check for:
 - Back water valve (*That protects the bathroom group.*) It's a **CODE REQUIREMENT.**
 - Were permits pulled for this addition?
- Check the main sewer clean out in the basement. (*Usually located at the front of the house by the main water shut off.*)
 - If you see 2 caps side by side, this usually means that there is a building trap. These are typically found in Victorian homes & houses built pre 1960. These are usually the main cause of sewer back-ups in these homes.
- Does the house have a main line back water valve?
 - **Is it the correct one:** You should see a grey rectangle cap on the floor where the main cleanout access would be, this is a normally OPEN valve that closes if the main sewer is backing up.
 - **Is it the wrong one:** If you see a round flat black cover, this is the wrong style of BWV and should never be covered as you would need access to this if a back-up occurs.
- Spray water around the overflow in the bathtub and on the tub surround to see if anything is leaking.
- Try and “wiggle” the toilets. If they move then there is probably an issue with how it was mounted and could cause leaks / smells.

CHECK OUR WEBSITE FOR REMEDIES TO SERVICE ON YOUR OWN TO SAVE YOURSELF THE MONEY AND HASSLE OF EMERGENCY SERVICE CALLS.