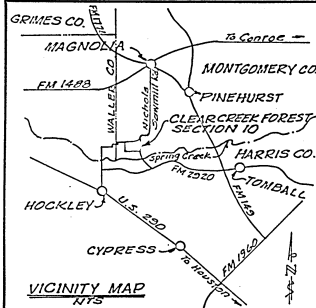
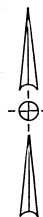




WM. F. RANDALL
A - 453

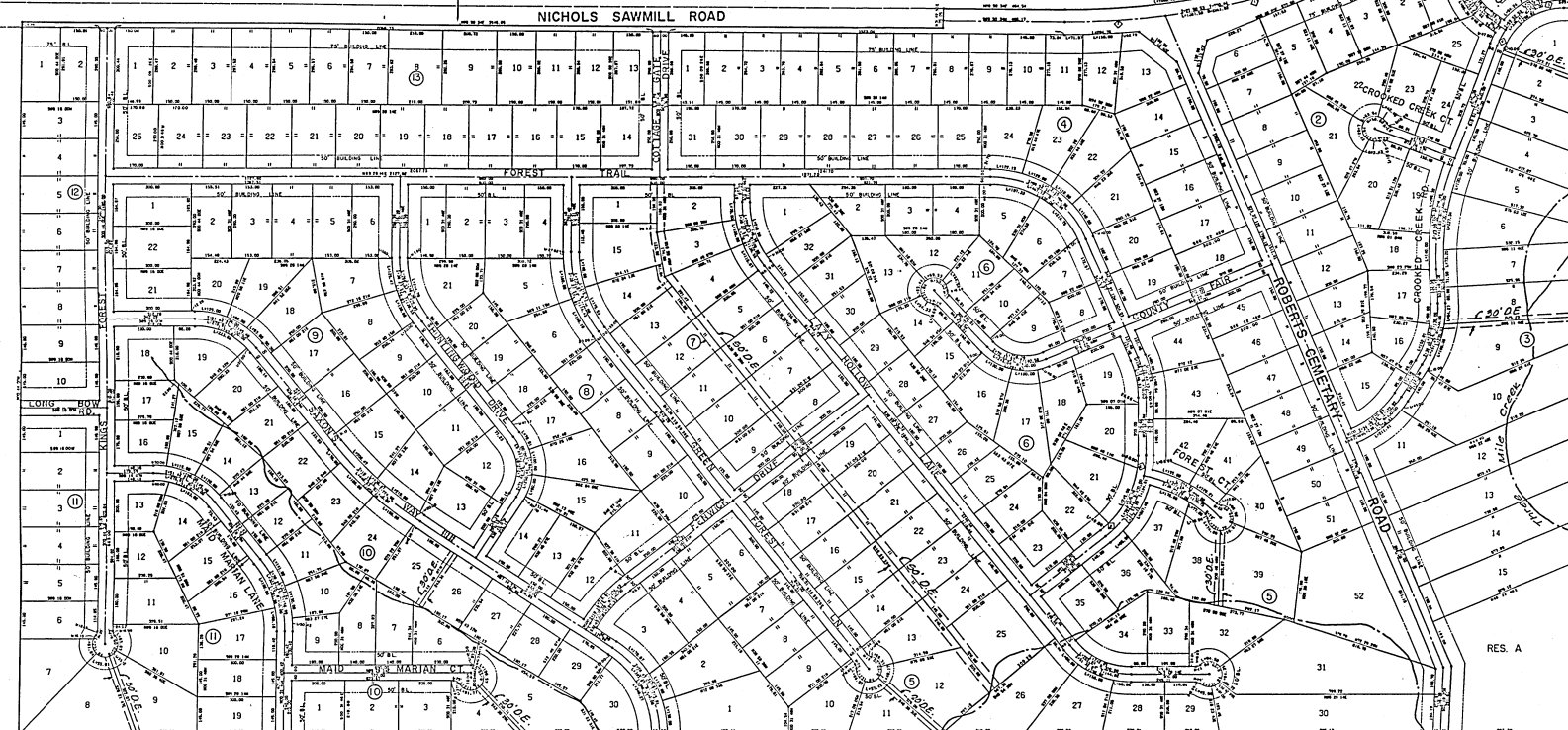
D. M. GOHEEN SURVEY A-234



NO.	DELTA	RADIUS	TANGENT	ARC
1	46.02 11	205.81	320.09	439.67
2	07.48 42	283.50	194.72	388.83
3	15.15 56	171.00	143.34	210.23
4	14.37 27	275.00	35.59	70.19
5	40.74 34	400.00	147.51	288.12
6	11.18 41	400.00	140.70	89.13

7732200

Cabinet B
Sheet 74 0



ABRAHAM

ROBERTS

A - 32

CLEAR CREEK FOREST SECTION TEN

A SUBDIVISION OF 394.1974 ACRES OF LAND
OUT OF THE D.M. GOHEEN SURVEY, A-234

MONTGOMERY COUNTY, TEXAS

300 LOTS 1 RESERVE 13 BLOCKS
SCALE: 1"=300' JUNE, 1977
OWNER: MITCHELL DEVELOPMENT CORPORATION OF THE SOUTHWEST

WILSON WINDLE & ASSOCIATES
CONSULTING ENGINEERS & PLANNERS, HOUSTON TEXAS

Sheet 1 of 4

SUMMARY OF AREAS

STREET RIGHT OF WAYS	49.4666 ac.
LOTS	338.1999 ac.
RESERVE "A"	6.5269 ac.
TOTAL	394.1934 ac.

130740001

STATE OF TEXAS
COUNTY OF MONTGOMERY

We, Edward Dreiss and David Bumgardner, Vice President and Assistant Secretary, respectively, of Mitchell Development Corporation of the Southwest, Owner of the property subdivided in the above and signed by the undersigned authority, do hereby make subdivision of said property for and on behalf of said Mitchell Development Corporation, and do hereby dedicate to the public use all easements thereon shown and designate said subdivision CLEAR CREEK FOREST SECTION 10, lots 13 through 16, in the D.M. Goheen Survey, A-234, Montgomery County, Texas, and on behalf of said Mitchell Development Corporation of the Southwest, dedicate to public use all easements shown thereon.

There are dedicated for utilities the following easements:

1. An unobstructed aerial easement five (5) feet wide from a plane twenty (20) feet above the ground, adjacent to all utility easements and streets shown hereon.
2. A twenty (20) foot utility easement along the rear or sides of lots which and on all rear lot lines which are common with and about other lots within the subdivision.
3. A twenty (20) foot utility easement along the rear or sides of lots which abut the boundary of the subdivision.
4. A ten (10) foot utility easement across the front of all lots where they abut the street right-of-way.

There is dedicated a drainage easement fifteen (15) feet wide on each side of the center line of any and all gullies, ravines, draws, sloughs, or other natural drainage courses.

The drainage of septic tanks into road, street, alley or other public ditches, either directly or indirectly, is strictly prohibited.

Drainage structures under private driveways shall have a net drainage opening area of sufficient size to permit the free flow of water without backwater, and shall be a minimum of one and three quarters square feet (1 3/4 Diameter pipe culvert). Culverts or bridges must be used for driveways and/or walks.

In testimony whereof, Mitchell Development Corporation of the Southwest, has caused these presents to be signed by Edward Dreiss, its Vice President thereunto authorized, attested by David Bumgardner, its Assistant Secretary, and its corporate seal thereunto affixed this day of June, 1977.

ATTEST: David Bumgardner BY: Edward Dreiss
Assistant Secretary Vice President

STATE OF TEXAS
COUNTY OF MONTGOMERY

Before me, the undersigned authority, on this day personally appeared Edward Dreiss, Vice President and David Bumgardner, Assistant Secretary of Mitchell Development Corporation of the Southwest, known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and consideration therein expressed in the capacity therein and herein set out, and as the act and deed of said corporation.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 24th day of June, 1977.

Notary Public in and for Montgomery County, Texas
My Commission Expires June 1, 1978

I, Wilson Windle, an authorized under the laws of the State of Texas to practice the profession of engineering and being duly sworn, depose and say that I am a duly licensed Professional Engineer in the State of Texas, and that I have personally supervised the survey of the property made under my supervision on the ground; that all boundary corner block corners, angle points, points of curvature and other points of reference have been marked with iron pipes or rods having an outside diameter of not less than 5/8" inch and a length of not less than three (3) feet; and that the plat boundary corners have been tied to the nearest survey corner.

Wilson Windle
Wilson Windle, Professional Engineer
Texas Registration No. 16352

I, B.W. Cooper, County Engineer of Montgomery County, do hereby certify that the plat of this subdivision complies with all of the existing rules and regulations of this office as adopted by the Montgomery County Commissioners' Court.

I further certify that the plat of this subdivision complies with requirements for internal subdivision drainage as adopted by Commissioners' Court; however, no certification is hereby given as to the effect of drainage from this subdivision on the intercepting drainage artery or parent stream or on any other area or subdivision within the watershed.

B.W. Cooper
B.W. Cooper - County Engineer

APPROVED BY Commissioners' Court of Montgomery County, Texas, this 24th day of JUNE, 1977.

R.L. Garner
R.L. Garner, Commissioner
Precinct 1

H.D. Alley
H.D. Alley, Commissioner
Precinct 2

H.D. Alley Judge Pro Tem
Lynn Coker, County Judge

Joe Corley
Joe Corley, Commissioner
Precinct 3

D.A. Wells
D.A. Wells, Commissioner
Precinct 4

I, Roy Harris, Clerk of the County Court of Montgomery County, Texas, do hereby certify that the attached plat with its certification of adoption was filed for registration in my office on June 24th, 1977, at 2:20 o'clock P.M., and duly recorded on July 6th, 1977, at 10:00 o'clock, A.M., in Cabinet B, Sheet 75B, of record of Plat of said county.

WITNESS my hand and seal of office, at Conroe, the day and date last above written.

Roy Harris
Roy Harris, Clerk, County Court,
Montgomery County, Texas

By Debbie Hayes Deputy

Cabinet B
Sheet 75B

CLEAR CREEK FOREST SECTION TEN

A SUBDIVISION OF 394.1934 ACRES OF LAND
OUT OF THE D.M. GOHEEN SURVEY, A-234
MONTGOMERY COUNTY, TEXAS

300 LOTS
13 BLOCKS
RESERVE
JUNE, 1977

OWNER: MITCHELL DEVELOPMENT CORPORATION OF THE SOUTHWEST

WILSON WINDLE & ASSOCIATES

CONSULTING ENGINEERS & PLANNERS, HOUSTON, TEXAS