



VILLAGE OF SUN RIVER TERRACE BUILDING & ZONING

DECK PERMIT APPLICATION

INSTRUCTIONS

Section 1 and Section 6 to be completed by Owner or Authorized Agent. Please note that if your property is in a subdivision, the covenants and restrictions of that subdivision should be consulted to ensure your project is in compliance. Covenants and restrictions for subdivisions can be obtained from the Kankakee County Recorder of Deeds Office. The Building & Zoning Department does not enforce subdivision covenants and restrictions.

Section 4. The application must be signed by the owner or authorized agent.

DECK REGULATIONS

1. Post holes must be 42" deep.
2. Post shall be imbedded in concrete a minimum of 12" or use manufactured connectors to prevent lateral displacement.
3. Beams shall bear on posts
 - a. Min. 4x4 if setting on top, using connectors to resist uplift
 - b. Minimum 6x6 if notching in w/ min. (2) ½" through bolts w/washer
4. Ledger boards shall be fastened with ½" x 3" lag screws w/washers staggered 2" from top and bottom, 16" o.c.
5. Joists shall bear on 1 ½" wood or steel (joist hangers) minimum
6. Maximum joist spans:

16" o.c.		24"	
2x6	8'-8" – one row solid bridging	2x6	7'-2" – one row solid bridging
2x8	11'-1" – one row solid bridging	2x8	9'-1" – one row solid bridging
2x10	13'-7" – one row solid bridging	2x10	11'-1" - one row solid bridging
2x12	15'-9" – two rows solid bridging	2x12	12'-10" – two rows solid bridging
7. Stairways shall not be less than 36" in clear width above the permitted handrail height. Maximum riser height is 7 ¾" and minimum tread depth is 10"
8. Railings or guardrails are required if deck is 30" or more above finished grade. Guardrails must be a minimum of 36" in height. Posts or spindles shall not allow a 4" sphere to pass through, or be installed in a horizontal manner that results in a ladder effect.
9. Railings along stairways are to be 34"-38" in height, measured from the nose of the treads and not allow a 4 3/8" sphere to pass between them. There must be a grippable handrail on at least one side with a cross section of 1 ¼"- 2" which must terminate at a newel or wall. Bottom rails shall be installed to prevent 6" sphere from passing through the stair tread and rail.

Deck Worksheet

NAME _____ ADDRESS _____

Deck size? _____ x _____

Height above ground? _____

Is the deck attached to the house? _____

Depth of holes? _____

Size of posts? _____

Spacing of posts? _____

Size of beams? _____

Are they supported on the posts or notched in? _____

Size of floor joists? _____

Span of floor joists? _____

O.C. of floor joists? _____

Is there a railing? _____

Railing height above deck? _____

Space between posts/spindles? _____

Are there stairs? _____

Stair width? _____

Tread width? _____

Risers? _____

Handrail height? _____

SUBMITTAL REQUIREMENTS

1. Plot plan showing home and proposed deck.
2. Deck permit application.
3. Deck permit worksheet.
4. Contractors list.
5. Deck cross section.
6. Deck framing plan.
7. Signed contract or material estimate sheet from distributor (if doing the work yourself).

SIZE
DECKING

SAMPLE
FRAMING PLAN

Ledger attached to
house

STAIRS: Show location;
pier locations; rise /tread;
handrails.

Indicate
JOIST
SIZE &
SPACING
16" O.C.

POST & BEAM
ASSEMBLY

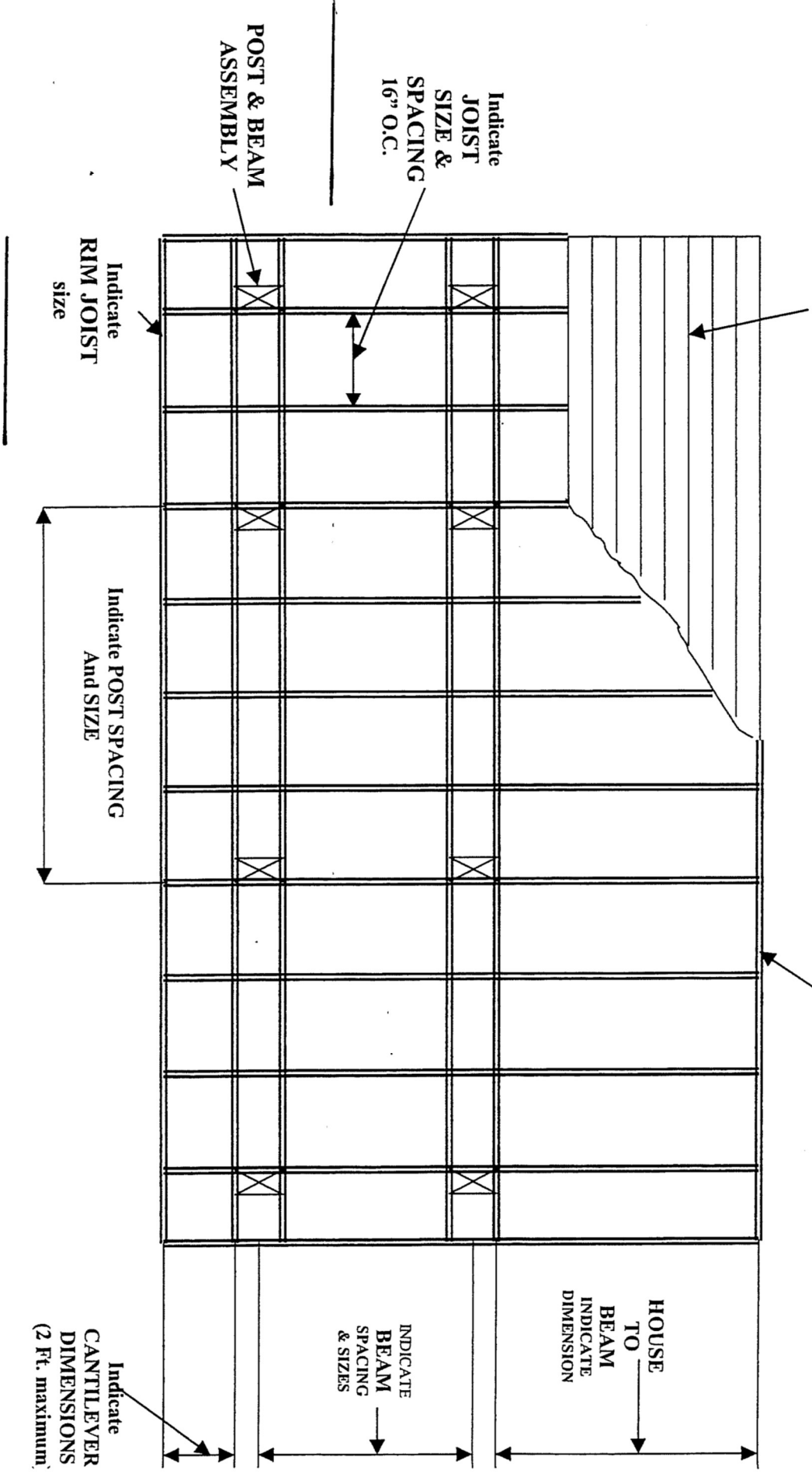
Indicate
RIM JOIST
size

Indicate POST SPACING
And SIZE

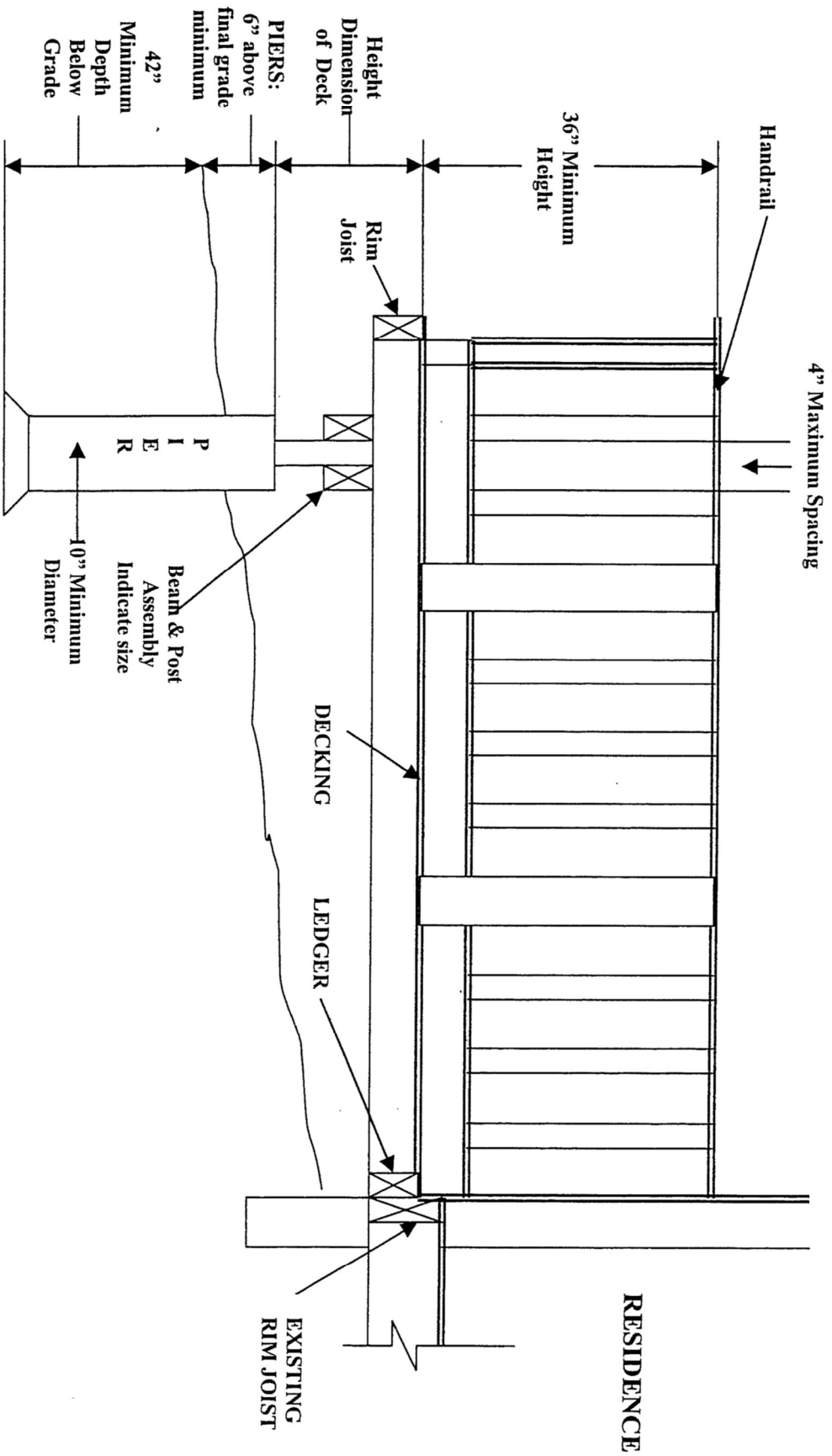
HOUSE
TO
BEAM
INDICATE
DIMENSION

INDICATE
BEAM
SPACING
& SIZES

Indicate
CANTILEVER
DIMENSIONS
(2 Ft. maximum)



DECK - SAMPLE
CROSS SECTION





**VILLAGE OF SUN RIVER TERRACE BUILDING & ZONING
DECK PERMIT APPLICATION**

Date Received: _____ Add-On: Date of Add-On: _____
Building Permit Fee: _____ Admin. Fee: _____ Total Fee: _____
Date Issued: _____ Paid: _____ Permit No.: _____

Applicant to complete this section:

SECTION 1: OWNER INFORMATION

Name: _____
Telephone Number: _____ Email: _____
Current Address: _____
Site Address: _____
Contact Person: _____ Telephone Number: _____
Email: _____
Will the homeowner be performing the work themselves? Yes _____ No _____

SECTION 2: PROPERTY INFORMATION

PI No: _____ Township: _____
Floodway/Floodplain: _____ Date: _____ Initials: _____
Subdivision: _____ Block No.: _____ Lot No: _____
Zoning District: _____ Check PI File: Date: _____ Initials: _____

SECTION 3: PROJECT INFORMATION

Project Description: _____

Signed Contract (Attach): _____ Total Value: _____
Material: _____ Labor: _____ Other: _____

SECTION 4: AUTHORIZATION

As the owner or authorized agent of the above described property, I hereby authorize the addition of the above described improvements and work that will be performed by the contractors listed or by myself. The information provided is accurate to the best of my knowledge.

(Signature of Owner or Authorized Agent)

Application Taken By: _____

SECTION 5: PLAN/ APPLICATION REVIEW

Application Reviewed By: _____ Approved: Denied:

If denied, state reason why: _____

SECTION 6: CONTRACTOR INFORMATION

Permit# _____

Owners Name: _____ Type of Construction: _____

If the contractor's list should change at any time during the project, a revised list shall be submitted to the Planning Department

Trade: _____	License # _____
Contractor: _____	Signed Aff. <input type="checkbox"/> Yes <input type="checkbox"/> No _____
Phone #: _____	Gen. Lib. <input type="checkbox"/> Yes <input type="checkbox"/> No _____
	Work Comp <input type="checkbox"/> Yes <input type="checkbox"/> No _____
	Bond <input type="checkbox"/> Yes <input type="checkbox"/> No _____

Trade: _____	License # _____
Contractor: _____	Signed Aff. <input type="checkbox"/> Yes <input type="checkbox"/> No _____
Phone #: _____	Gen. Lib. <input type="checkbox"/> Yes <input type="checkbox"/> No _____
	Work Comp <input type="checkbox"/> Yes <input type="checkbox"/> No _____
	Bond <input type="checkbox"/> Yes <input type="checkbox"/> No _____

Trade: _____	License # _____
Contractor: _____	Signed Aff. <input type="checkbox"/> Yes <input type="checkbox"/> No _____
Phone #: _____	Gen. Lib. <input type="checkbox"/> Yes <input type="checkbox"/> No _____
	Work Comp <input type="checkbox"/> Yes <input type="checkbox"/> No _____
	Bond <input type="checkbox"/> Yes <input type="checkbox"/> No _____

Trade: _____	License # _____
Contractor: _____	Signed Aff. <input type="checkbox"/> Yes <input type="checkbox"/> No _____
Phone #: _____	Gen. Lib. <input type="checkbox"/> Yes <input type="checkbox"/> No _____
	Work Comp <input type="checkbox"/> Yes <input type="checkbox"/> No _____
	Bond <input type="checkbox"/> Yes <input type="checkbox"/> No _____

Trade: _____	License # _____
Contractor: _____	Signed Aff. <input type="checkbox"/> Yes <input type="checkbox"/> No _____
Phone #: _____	Gen. Lib. <input type="checkbox"/> Yes <input type="checkbox"/> No _____
	Work Comp <input type="checkbox"/> Yes <input type="checkbox"/> No _____
	Bond <input type="checkbox"/> Yes <input type="checkbox"/> No _____

Roofing: _____	License # _____
Phone #: _____	Signed Aff. <input type="checkbox"/> Yes <input type="checkbox"/> No _____
	Gen. Lib. <input type="checkbox"/> Yes <input type="checkbox"/> No _____
	Work Comp <input type="checkbox"/> Yes <input type="checkbox"/> No _____
	Bond <input type="checkbox"/> Yes <input type="checkbox"/> No _____
State License #: <u>104-</u>	Expiration _____

Plumbing: _____	License # _____
Phone #: _____	Signed Aff. <input type="checkbox"/> Yes <input type="checkbox"/> No _____
	Gen. Lib. <input type="checkbox"/> Yes <input type="checkbox"/> No _____
	Work Comp <input type="checkbox"/> Yes <input type="checkbox"/> No _____
	Bond <input type="checkbox"/> Yes <input type="checkbox"/> No _____
State License #: <u>058-</u>	Expiration: _____
State Registration #: <u>055-</u>	Expiration: _____

Date Received: _____ Date Approved: _____ Approved By: _____

