



# VILLAGE OF SUN RIVER TERRACE BUILDING & ZONING

## FENCE PERMIT APPLICATION

### INSTRUCTIONS

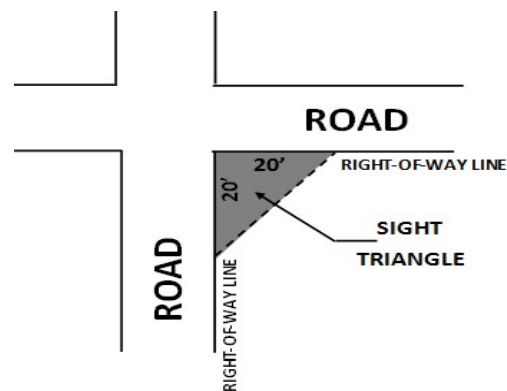
Section 1 and Section 6 to be completed by Owner or Authorized Agent. Please note that if your property is in a subdivision, the covenants and restrictions of that subdivision should be consulted to ensure your project is in compliance. Covenants and restrictions for subdivisions can be obtained from the Kankakee County Recorder of Deeds Office. The Building & Zoning Department does not enforce subdivision covenants and restrictions.

Section 4. The application must be signed by the owner or authorized agent.

### FENCE REGULATIONS

(a) Fences that are open, semisolid or solid are allowed in all districts and yards with the following conditions, unless otherwise regulated herein:

1. All fence posts must be 42" deep.
2. Only open fences which do not exceed four feet in height, are allowed to the front of the principal structure. Open fences may be placed up to a property line provided that fences shall not encroach into right of ways.
3. Semi solid and solid fences, which do not exceed six feet in height, are allowed to the side and rear of the principle structure with the finished side out.
4. On a corner lot, a semisolid or solid fence may be erected, not exceeding six feet in height, in a side yard adjoining a street. Said fence shall not extend beyond the building setback line as defined herein.
5. Fences on corners of vehicular intersections shall comply with diagram A.
6. Fences may be built within or crossing utility easements but are installed at the owner's risk. Fences are not permitted within a drainage easement under any circumstance.
7. Barbed wire and electric fences shall be located not less than ten feet from residential district boundary lines or residential platted subdivision boundaries. Barbed wire and electric fences shall not be located in any residential district or residential platted subdivisions.
8. Only open fences, which do not exceed 12 feet in total height, including barbed and concertina type wire at the top, are allowed in industrial districts on all sides of the principal structure.
9. Fencing for public service facilities, such as communication towers, utility and transportation equipment and control facilities, pipelines, regulation stations, power stations, sewage and water treatment facilities, locations of national security concerns, and locations or uses deemed appropriate by the planning director or his/her designee shall be permitted in any zoning district provided the following requirements are met:
  - a. Fences for these facilities shall not exceed 12 feet in height and are allowed to the maximum height in all yards.
  - b. Barbed and concertina type wire shall be allowed providing it is no lower than 7 feet from the ground level in the R-1, R-2 and RE districts
  - c. Fences on vehicular intersections shall comply with Diagram A
  - d. The fence shall not extend beyond the immediate area of the equipment or structures being protected when practical, as determined by the planning director or his/her designee.



# Fence Worksheet

NAME \_\_\_\_\_ ADDRESS \_\_\_\_\_

Type of fence? Privacy \_\_\_\_\_ Picket \_\_\_\_\_ Chain link \_\_\_\_\_ Other \_\_\_\_\_

Height of fence? \_\_\_\_\_

Where is the fence located? Front \_\_\_\_\_ Back \_\_\_\_\_ Side \_\_\_\_\_

Is the home on a corner lot? \_\_\_\_\_

Is there a drainage easement on your property? \_\_\_\_\_

Gates? How many \_\_\_\_\_ Sizes \_\_\_\_\_

## **SUBMITTAL REQUIREMENT**

1. Plot plan showing home and proposed fence.
2. Fence permit application.
3. Fence permit worksheet.
4. Contractors list.
5. Signed contract or material estimate sheet from distributor (if doing work yourself)

**VILLAGE OF SUN RIVER TERRACE BUILDING & ZONING  
FENCE PERMIT APPLICATION**

Date Received: \_\_\_\_\_ Add-On:  Date of Add-On: \_\_\_\_\_  
Building Permit Fee: \_\_\_\_\_ Admin. Fee: \_\_\_\_\_ Total Fee: \_\_\_\_\_  
Date Issued: \_\_\_\_\_ Paid: \_\_\_\_\_ Permit No.: \_\_\_\_\_

Applicant to complete this section:

**SECTION 1: OWNER INFORMATION**

Name: \_\_\_\_\_  
Telephone: \_\_\_\_\_ Email: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
Site Address: \_\_\_\_\_  
Contact Person: \_\_\_\_\_ Telephone: \_\_\_\_\_  
Email: \_\_\_\_\_  
Will the homeowner be performing the work themselves? Yes \_\_\_ No \_\_\_

**SECTION 2: PROPERTY INFORMATION**

PI No: \_\_\_\_\_ Township: \_\_\_\_\_  
Floodway/Floodplain: \_\_\_\_\_ Date: \_\_\_\_\_ Initials: \_\_\_\_\_  
Subdivision: \_\_\_\_\_ Block No.: \_\_\_\_\_ Lot No: \_\_\_\_\_  
Zoning District: \_\_\_\_\_ Check PI File: Date: \_\_\_\_\_ Initials: \_\_\_\_\_

**SECTION 3: PROJECT INFORMATION**

Project Description: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Signed Contract (Attach): \_\_\_\_\_ Total Value: \_\_\_\_\_  
Material: \_\_\_\_\_ Labor: \_\_\_\_\_ Material: \_\_\_\_\_

**SECTION 4: AUTHORIZATION**

As the owner or authorized agent of the above described property, I hereby authorize the addition of the above described improvements and work that will be performed by the contractors listed or by myself. The information provided is accurate to the best of my knowledge.

\_\_\_\_\_  
(Signature of Owner or Authorized Agent)

Application Taken By: \_\_\_\_\_

**SECTION 5: PLAN/ APPLICATION REVIEW**

Application Reviewed By: \_\_\_\_\_ Approved:  Denied:

If denied, state reason why: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**SECTION 6: CONTRACTOR INFORMATION**

Permit# \_\_\_\_\_

Owners Name: \_\_\_\_\_ Type of Construction: \_\_\_\_\_

If the contractor's list should change at any time during the project, a revised list shall be submitted to the Building & Zoning Department

Trade: _____	License # _____
Contractor: _____	Signed Aff.    ___ Yes ___ No
	Gen. Lib.        ___ Yes ___ No
Phone #: _____	Work Comp     ___ Yes ___ No
	Bond              ___ Yes ___ No

Trade: _____	License # _____
Contractor: _____	Signed Aff.    ___ Yes ___ No
	Gen. Lib.        ___ Yes ___ No
Phone #: _____	Work Comp     ___ Yes ___ No
	Bond              ___ Yes ___ No

Trade: _____	License # _____
Contractor: _____	Signed Aff.    ___ Yes ___ No
	Gen. Lib.        ___ Yes ___ No
Phone #: _____	Work Comp     ___ Yes ___ No
	Bond              ___ Yes ___ No

Trade: _____	License # _____
Contractor: _____	Signed Aff.    ___ Yes ___ No
	Gen. Lib.        ___ Yes ___ No
Phone #: _____	Work Comp     ___ Yes ___ No
	Bond              ___ Yes ___ No

Roofing: _____	License # _____
Phone #: _____	Signed Aff.    ___ Yes ___ No
	Gen. Lib.        ___ Yes ___ No
State License #: <u>104-</u>	Work Comp     ___ Yes ___ No
	Bond              ___ Yes ___ No
	Expiration _____

Plumbing: _____	License # _____
Phone #: _____	Signed Aff.    ___ Yes ___ No
	Gen. Lib.        ___ Yes ___ No
State License #: <u>058-</u>	Work Comp     ___ Yes ___ No
	Bond              ___ Yes ___ No
State Registration #: <u>055-</u>	Expiration: _____
	Expiration: _____

Date Received: \_\_\_\_\_ Date Approved: \_\_\_\_\_ Approved By: \_\_\_\_\_