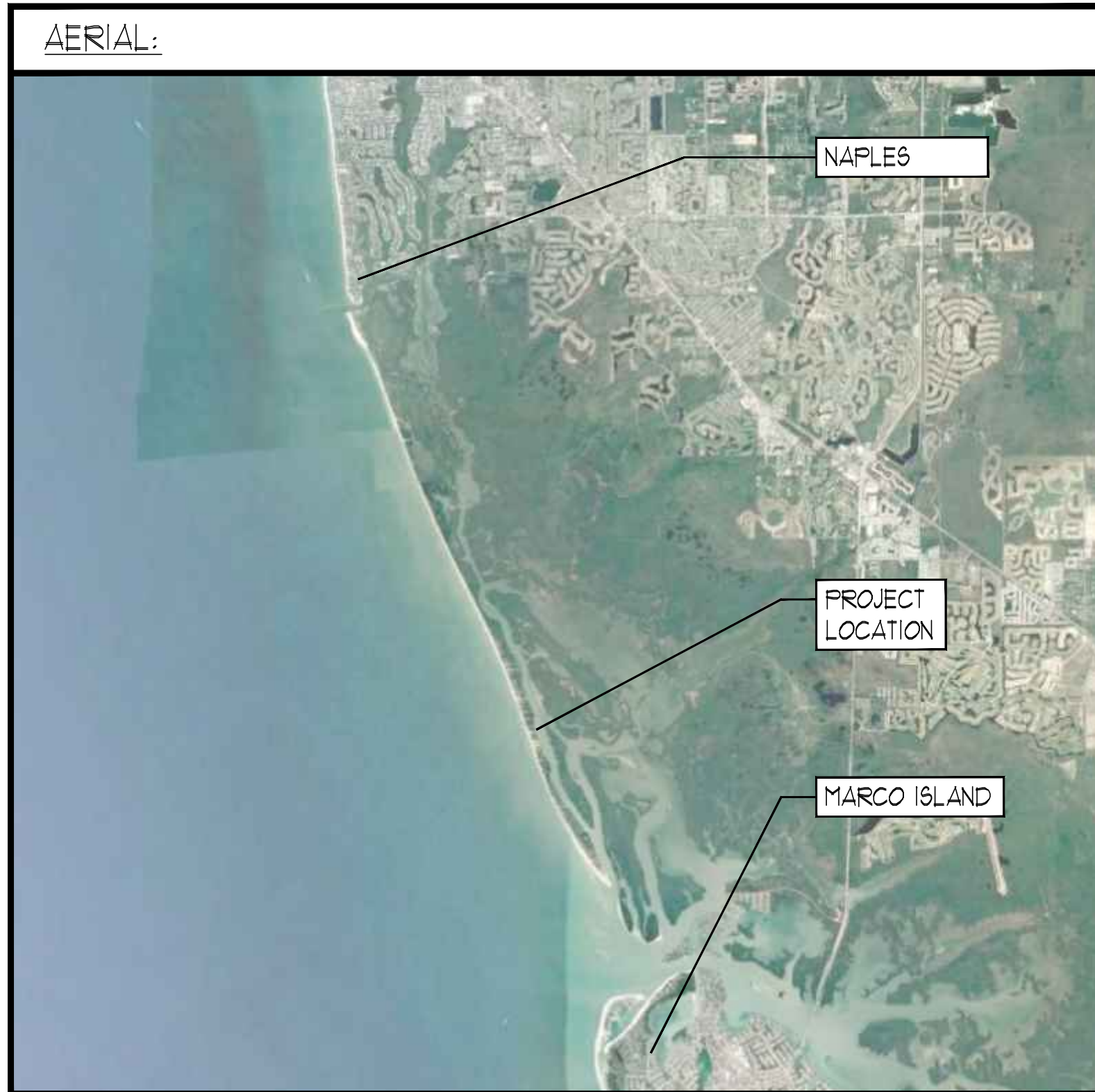
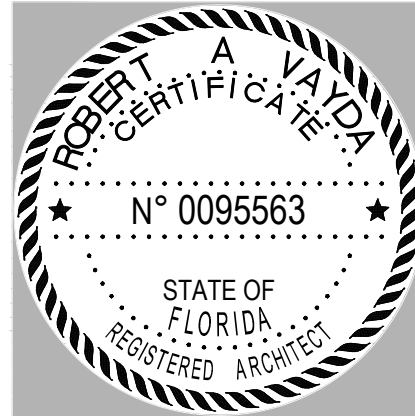


11303 KEEWAYDIN ISLAND
NAPLES FLORIDA



ABV.	ABOVE	LAV.	LAVATORY
ALUM.	ALUMINUM	LIN.	LINEN
ARCH.	ARCHITECTURAL OR ARCHITECT	L.P.	LIQUID PROPANE
BLDG.	BUILDING	L.P.	LOWER POINT
BM.	BEAM	(M)	MEASURE
C.C.C.L.	COASTAL CONSTRUCTION CONTROL LINE	MANUF.	MANUFACTURER
CLG.	CEILING	MAX.	MAXIMUM
C.M.U.	CONCRETE MASONRY UNIT	M.D.	MOTORIZED DRAFPY
CONC.	CONCRETE	MECH.	MECHANICAL
D.D.	DECK DRAIN	MIN.	MINIMUM
DECO.	DECORATIVE	MIRR.	MIRROR
D.E.P.	DEPARTMENT OF ENVIRONMENTAL PROTECTION	NA.V.D.	NORTH AMERICAN VERTICAL DATUM
DISP.	DISPOSAL	O.C.	ON CENTER
DIST.	DISTANCE	(P)	PLATTED
D.S.	DOWN SPOUT	R.D.	ROOF DRAIN
DWG.	DRAWINGS	REF.	REFER
ELEV.	ELEVATION	REF.	REFRIGERATOR
ELEV.	ELEVATOR	RES.	RESIDENCE OR RESIDENTIAL
ELEC.	ELECTRICAL	SECT.	SECTION
ENG.	ENGINEER	S.H.W.R.	SHOWER
EQUIP.	EQUIPMENT	S.P.	SPRING POINT
FF.	FINISHED FLOOR	SPECs.	SPECIFICATIONS
FIN.	FINISHED	STO.	STORAGE
FLR.	FLOOR	STRUCT.	STRUCTURAL
FRZ.	FREEZER	T. & G.	TONGUE AND GROOVE
G.C.	GENERAL CONTRACTOR	T.O.	TOP OF
GWB.	GYPSPUM WALL BOARD	TYP.	TYPICAL
GYP. BD.	GYPSPUM BOARD	U.C.	UNDER COUNTER
HABIT.	HABITABLE	VEST.	VESTIBULE
H.B.	HOSE BIB	W.C.	WATER CLOSET
HDR.	HEADER	WD.	WARMER DRAWER
HP.	HIGH POINT	WH.	WATER HEATER
HYAC.	HEATING, VENTILATING & AIR CONDITIONING	W.C.	WALK IN CLOSET
ID.	INTERIOR DESIGNER		

ARCHITECT SHEET INDEX	GENERAL NOTES	BUILDING DATA	SITE REQUIREMENTS	DESIGN PROFESSIONALS																		
A1 COVER SHEET / STREET ELEVATION A2.0 OVERALL SITE PLAN NOTES AND TIE LINES A21 ENLARGED SITE PLAN A3.0 GROUND FLOOR NOTE AND DIMENSIONS PLANS A31 PAVILION FLOOR PLANS AND ELEVATIONS, A4.0 FIRST FLOOR NOTE AND DIMENSIONS PLANS A5.0 ROOF PLAN A6.0 EXTERIOR ELEVATIONS A7.0 WALL SECTIONS A8.0 DOOR AND WINDOW SCHEDULES AND DETAILS A9.0 MISCELLANEOUS CONSTRUCTION DETAILS E1.0 ELECTRICAL PLANS AND LOAD CALCULATION	<p>1. DO NOT SCALE THESE DRAWINGS, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK ALL DIMENSIONS AND VERIFY THE BUILDING POSITION WITHIN THE SETBACK LINES PRIOR TO COMMENCING CONSTRUCTION.</p> <p>2. FOR ARCHITECTURAL REFERENCE, ELEVATIONS SHOWN HEREFTER ARE BASED ON $\pm 1.0' - 0" = 0'$ EQUAL TO $\pm 1.1'$ NAVD.</p> <p>3. ALL INFORMATION SHOWN HEREON IS TAKEN FROM A SURVEY BY: TERRAQUATIC SURVEYING AND MAPPING, INC. DATED FEBRUARY 5, 2021. PROJECT NUMBER 21-152. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS. ALL EXISTING CONDITIONS ARE NOT NECESSARILY SHOWN HEREON.</p> <p>4. ALL TRADES SHALL BE RESPONSIBLE TO READ ALL DETAILS AND SPECIFICATIONS, AND PLANS - ARCHITECTURAL, STRUCTURAL, MECHANICAL, ETC FOR PROPER COORDINATION. IF ANY CONFLICTS EXIST, THAT TRADE SHALL NOTIFY THE CONTRACTOR OF THE SAME, PRIOR TO CONSTRUCTION.</p> <p>5. THE CONTRACTOR SHALL DIRECT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR WORK WHICH PROCEEDS WITHOUT DUE COURSE AND COORDINATION.</p> <p>6. SMOKE DETECTORS ARE SHOWN ON THE ELECTRICAL PLAN.</p> <p>7. ACCESSIBILITY REQUIREMENTS: ACCESSIBLE BATHROOM DOORS SHALL HAVE A 29" CLEAR OPENING - A 2'-8" DOOR PROVIDES A 29" CLEAR OPENING. ALL BATHROOMS ARE ACCESSIBLE IN THIS FLOOR PLAN.</p> <p>8. EGRESSED WINDOWS ARE SHOWN ON ELEVATIONS (IF APPLICABLE).</p>	<p>1. <u>WIND LOAD DATA:</u> REFER TO DRAWINGS BY SELECT STRUCTURAL ENGINEERING</p> <p>2. ELEVATION OF FIRST HABITABLE FLOOR IS $11.1'$ NAVD.</p> <p>3. AFFLIGABLE FLOOD ZONE: VE-1</p> <p>4. CITY ZONING: A-8T (AGRICULTURAL, SPECIAL TREATMENT)</p> <p>5. BUILDING TYPE OF CONSTRUCTION: 3-B</p> <p>6. <u>SQUARE FOOTAGE CALCULATIONS:</u></p> <table><tr><td>A/C AREA:</td><td>1318 SF.</td></tr><tr><td>NON A/C AREA:</td><td></td></tr><tr><td>COVERED DECK</td><td>624 SF.</td></tr><tr><td>COVERED</td><td>209 SF.</td></tr><tr><td>ELEC ROOM</td><td>61 SF.</td></tr><tr><td>STORAGE</td><td>71 SF.</td></tr><tr><td>CART STORAGE</td><td>1856 SF.</td></tr><tr><td>TOTAL NON A/C AREA:</td><td>2281 SF.</td></tr><tr><td>GROSS AREA:</td><td>4199 SF.</td></tr></table> <p>6. DESIGN COMPLIES WITH SECTION 3109 STRUCTURES SEAWALL OF COASTAL CONSTRUCTION LINE AND R322.3 OF THE EDITION FBC 2020 AND ASCE 24.</p>	A/C AREA:	1318 SF.	NON A/C AREA:		COVERED DECK	624 SF.	COVERED	209 SF.	ELEC ROOM	61 SF.	STORAGE	71 SF.	CART STORAGE	1856 SF.	TOTAL NON A/C AREA:	2281 SF.	GROSS AREA:	4199 SF.	<p>1. <u>REQUIRED BUILDING SETBACKS:</u> (FOR EXISTING NON-CONFORMING LOT) FRONT SETBACK 40'-0" REAR SETBACK 30'-0" SIDE SETBACKS 10'-0" MAXIMUM BUILDING HEIGHT: 35'-0"</p> <p>*****NOTE: DEP PERMIT SHALL DETERMINE WESTERN EXTENT OF STRUCTURE*****</p> <p>2. REFER TO SITE PLAN FOR LOT COVERAGE CALCULATIONS</p>	<p>BUILDER: GULFSHORE HOMES 8881 BRIGANTON LANE, SUITE 101 BONITA SPRINGS, FL 34135 CONTACT: MATT SHULL EMAIL: MSHULL@GULFSHOREHOMES.COM PHONE: (239) 941-7939</p> <p>ARCHITECT: BECK ARCHITECTURAL GROUP, LLC. 804 ANCHOR RODE DR NAPLES, FL 34109 CONTACT: KYLE VAYDA EMAIL: KYLE@BECKARCHITECTURAL.COM PHONE: (239) 431-1686</p> <p>STRUCTURAL ENGINEER: SOUTHERN ENGINEERING OF 50FL 1409 OAK HAMMOCK LANE FORT MYERS, FLORIDA 33905 CONTACT: CHRIS SCOTT MILLER EMAIL: CS1@SOUTHERNENGINEERING.COM PHONE: (239) 788-5592</p> <p>COASTAL ENGINEER: HUNSTON AND MOORE ENGINEERS 5619 STRAND COURT NAPLES, FLORIDA 34110 CONTACT: MATTHEW GOODARD EMAIL: MEGOODARD@HUNSTONANDMOORE.COM PHONE: (239) 594-2021</p> <p>ENVIRONMENTAL ENGINEER: TURRELL, HALL & ASSOCIATES, INC. 3584 EXCHANGE AVENUE NAPLES, FLORIDA 34104 CONTACT: JEFF ROGERS EMAIL: JEFF@THANAPLES.COM PHONE: (239) 643-0166</p>
A/C AREA:	1318 SF.																					
NON A/C AREA:																						
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TOTAL NON A/C AREA:	2281 SF.																					
GROSS AREA:	4199 SF.																					
	<p align="center">RESIDENTIAL CODE INFORMATION</p> <p>ALL RESIDENTIAL CONSTRUCTION SHALL COMPLY WITH 2020 FLORIDA BUILDING CODE, BUILDING, PLUMBING, MECHANICAL, FUEL GAS, THE CODE IS COMPILED WITH THE 2011 ADDITION OF THE NATIONAL ELECTRICAL CODE ADOPTED BY REFERENCE, THE NATIONAL ELECTRICAL CODE IS REFERENCED STANDARD NFPA-70A.</p>		<p align="center">LEGAL DESCRIPTION</p> <p>A PERCEL OF LAND ON KEEWAYDIN ISLAND LYING IN SECTION 23 & 24, TOWNSHIP 51 SOUTH, RANGE 25 EAST, COLLIER COUNTY FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:</p> <p>THE SOUTH 100 FEET OF LOTS 1 AND 2, SOUTH NAPLES SHORES, AS RECORDED IN PLAT BOOK 3 AT PAGE 11 OF THE PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA.</p>																			



Date
5.6.22
7.1.22

Revisions

1. COUNTY COMMENTS & OWNER REV.
2. COUNTY COMMENTS

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE, AND WERE CREATED, EVALUATED, AND DEVELOPED FOR USE IN AND CONNECTION WITH THE SPECIFIC PROJECT NAME OF THIS OFFICE. ANY REUSE, REPRODUCTION, OR DISSEMINATION OF ANY PART OF THIS DRAWING OR ANY INFORMATION CONTAINED HEREIN FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF BECK ARCHITECTURAL GROUP LLC. WRITTEN PERMISSION ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW AND APPROVAL.

CARROLL RESIDENCE

11303 KEEWAYDIN ISLAND
NAPLES, FLORIDA 34102



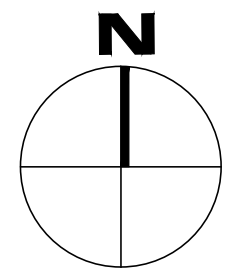
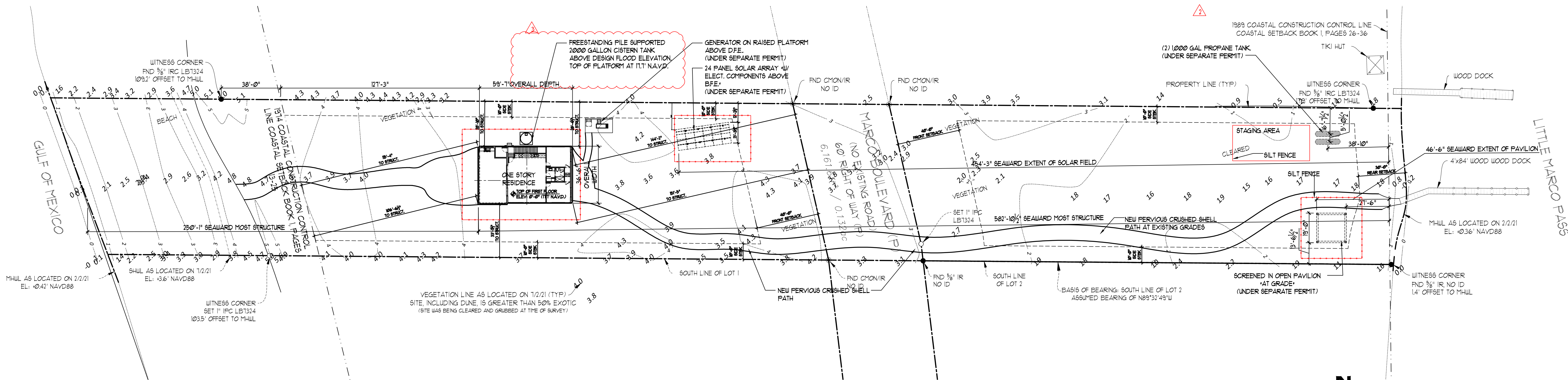
PROJ. #: 2104-03

DRAWN BY: K.A.V.

DATE: 3.1.22

PERMIT SET

A1



OVERALL SITE PLAN

SCALE: 1/32" = 1'-0"

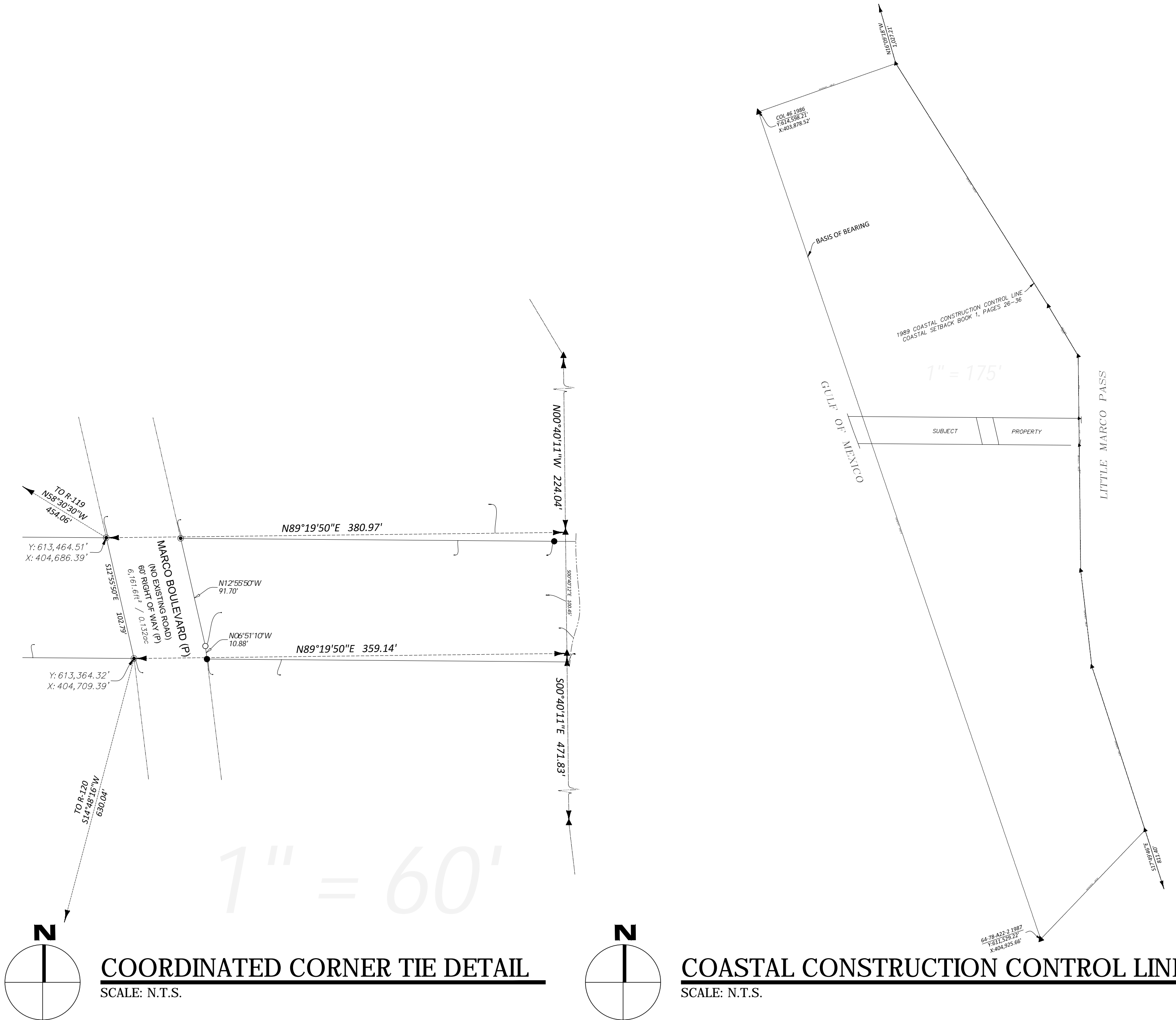
ABBREVIATIONS	
APX	APPROXIMATE
CCOL	COASTAL CONSTRUCTION CONTROL LINE
CCR	COLLIER COUNTY RECORDS
CCOL	COASTAL CONSTRUCTION SETBACK LINE
CMON/IR	CONCRETE MONUMENT WITH IRON ROD
FDEP	FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
FND	FOUND
EXIST	EXISTING
IP	IRON PIPE
IPC	IRON PIPE & CAP
IR	IRON ROD
IRC	IRON ROD & CAP
MHUL	MEAN HIGH WATER LINE
ORB	OFFICIAL RECORDS BOOK
FG	FACE
SHUL	SEASONAL HIGH WATER LINE
TYP	TYPICAL

LEGAL DESCRIPTION
A PARCEL OF LAND ON KEELWAYDIN ISLAND LYING IN SECTIONS 23 & 24, TOWNSHIP 51 SOUTH, RANGE 25 EAST, COLLIER COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: THE SOUTH 100 FEET OF LOTS 1 AND 2, SOUTH NAPLES SHORES, AS RECORDED IN PLAT BOOK 3 AT PAGE 11 OF THE PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA.

AREA CALCULATION
LOT SIZE (SQUARE FEET) = 18,543.4 SF.
ALLOWABLE LOT COVERAGE PER CODE (75%) = 13,908 SF.
ACTUAL LOT COVERAGE =
2,219 SF. (MAIN HOUSE)
1,009 SF. (GENERATOR & SOLAR FIELD)
361 SF. (PAVILION AT GRADE)
3,589 SF. TOTAL DEVELOPED SQ. FT.

SURVEYOR NOTES
1. THIS IS A BOUNDARY SURVEY AS DEFINED IN THE STANDARDS OF PRACTICE FOR SURVEYING AND MAPPING IN CHAPTER 51-11, FLORIDA ADMINISTRATIVE CODE. 2. THIS SURVEY IS CERTIFIED TO JOHN F. CARROLL AND PAMELA S. CARROLL, FIRST AMERICAN TITLE INSURANCE COMPANY, AND COLEMAN, YOVANOVICH & KOESTER, P.A. 3. THIS SURVEY IS INTENDED EXCLUSIVELY FOR THE USE BY THOSE TO WHOM IT IS CERTIFIED. IT IS NOT TO BE USED BY OTHERS FOR CONSTRUCTION, PERMITTING, DESIGN OR ANY OTHER USE WITHOUT THE WRITTEN CONSENT OF TERRAQUATIC, INC. 4. THIS SURVEY, AND ANY REPRODUCTION THEREOF, IS NOT VALID WITHOUT AN ORIGINAL OR VERIFIED DIGITAL SIGNATURE AND SEAL OF A FLORIDA REGISTERED SURVEYOR OR ADDITIONALLY, THIS SURVEY IS NOT VALID IF PRINTED BEARING A DIGITAL SIGNATURE AND SEAL. 5. OTHER THAN THOSE SHOWN ON THE REFERENCED PLAT, NO SEARCH OF THE PUBLIC RECORDS WAS PERFORMED FOR EASEMENTS, ENCUMBRANCES OR OTHER INSTRUMENTS OF RECORD WHICH MAY AFFECT THIS PARCEL OF LAND. 6. THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1 INCH = 40 FEET OR SMALLER. 7. UNDERGROUND UTILITIES WERE NOT LOCATED AS PART OF THIS SURVEY. 8. BEARING AND DISTANCES SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICA DATUM OF 1983, 1980 ADJUSTMENT (NAD83/80), FLORIDA STATE PLANE, ZONE 301, TRANSVERSE MERCATOR PROJECTION IN THE U.S. SURVEY FOOT UNIT OF MEASUREMENT. 9. BEARINGS SHOWN HEREON ARE RELATIVE TO A GRID BEARING OF 918°50'21" BETWEEN COASTAL CONSTRUCTION CONTROL LINE PERMANENT REFERENCE MONUMENTS "COL 46 1986" AND "64-18-A-22-2 1981". 10. GEOGRAPHIC AND PLANE COORDINATES SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983, 1980 ADJUSTMENT (NAD83/80), FLORIDA STATE PLANE, EAST ZONE (9901), TRANSVERSE MERCATOR PROJECTION IN THE U.S. SURVEY FOOT UNIT OF MEASUREMENT. 11. COORDINATES SHOWN HEREON WERE OBTAINED USING REAL TIME KINEMATIC GPS METHODOLOGIES WITH BROADCAST CORRECTIONS FROM THE TRIPBLE VIRTUAL REFERENCE NETWORK (VRS) FROM BASE STATION "FL1/Naples" WITH CHECK IN AT NATIONAL GEODETIC SURVEY (NGS) FIRST ORDER CONTROL MONUMENT "UGGINS RESET" (PID AD5610). 12. UNLESS OTHERWISE NOTED, FIELD BEARINGS AND DISTANCES ARE CONSISTENT WITH THE RECORDED PLAT. 13. GULF OF MEXICO MEAN HIGH WATER ELEVATION OF +0.42' NAVD88 IS REFERENCED TO FDEP TIDE INTERPOLATION POINT NO. 100756, LITTLE MARCO PASS MEAN HIGH WATER ELEVATION OF +0.36' IS REFERENCED TO FDEP TIDE STATION NO. 871-5009. 14. 1974 COASTAL CONSTRUCTION SETBACK LINE PER COASTAL CONSTRUCTION SETBACK BOOK 1, PAGES 13-25, 1989 COASTAL CONSTRUCTION CONSTRUCTION CONTROL LINE PER COASTAL CONSTRUCTION SETBACK LINE BOOK 1, PAGES 23-36, COLLIER COUNTY RECORDS. 15. CONTOURS SHOWN HEREON ARE AT ONE-FOOT INTERVALS RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

ARCHITECT NOTES
G.C. TO COORDINATE REMOVAL OF EXISTING VEGETATION. ALL SCREEN DOORS ARE TO BE SELF LATCHING AND SELF CLOSING. LATCH MECHANISM SHALL BE MOUNTED @ 54". G.C. TO VERIFY ALL EXISTING CONDITIONS ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. NOT ALL EXISTING CONDITIONS ARE NECESSARILY SHOWN ON THIS PLAN. REFER TO SURVEY FOR EXISTING CONDITIONS. REFER TO SITE DRAINAGE PLANS BY CIVIL ENGINEER FOR PROPOSED SITE ELEVATIONS, GRADING, ETC. ALL INFORMATION SHOWN HEREON IS TAKEN FROM A SURVEY BY: TERRAQUATIC SURVEYING AND MAPPING. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS. ALL EXISTING CONDITIONS ARE NOT NECESSARILY SHOWN HEREON.

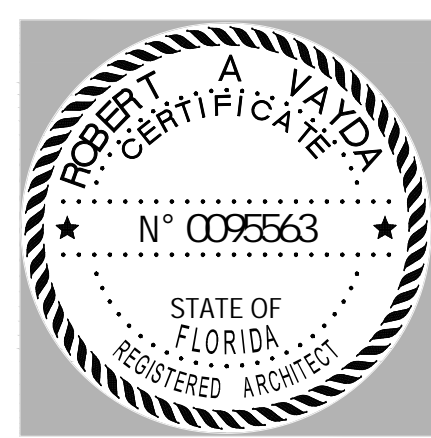


COORDINATED CORNER TIE DETAIL

SCALE: N.T.S.

COASTAL CONSTRUCTION CONTROL LINE TIES

SCALE: N.T.S.



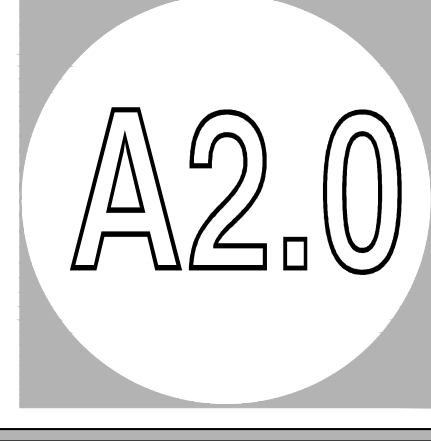
Revisions	Date
1. COUNTY COMMENTS & OWNER REV.	5.6.22
2. COUNTY COMMENTS	7.1.22
3. COUNTY COMMENTS	8.30.22

CARROLL RESIDENCE

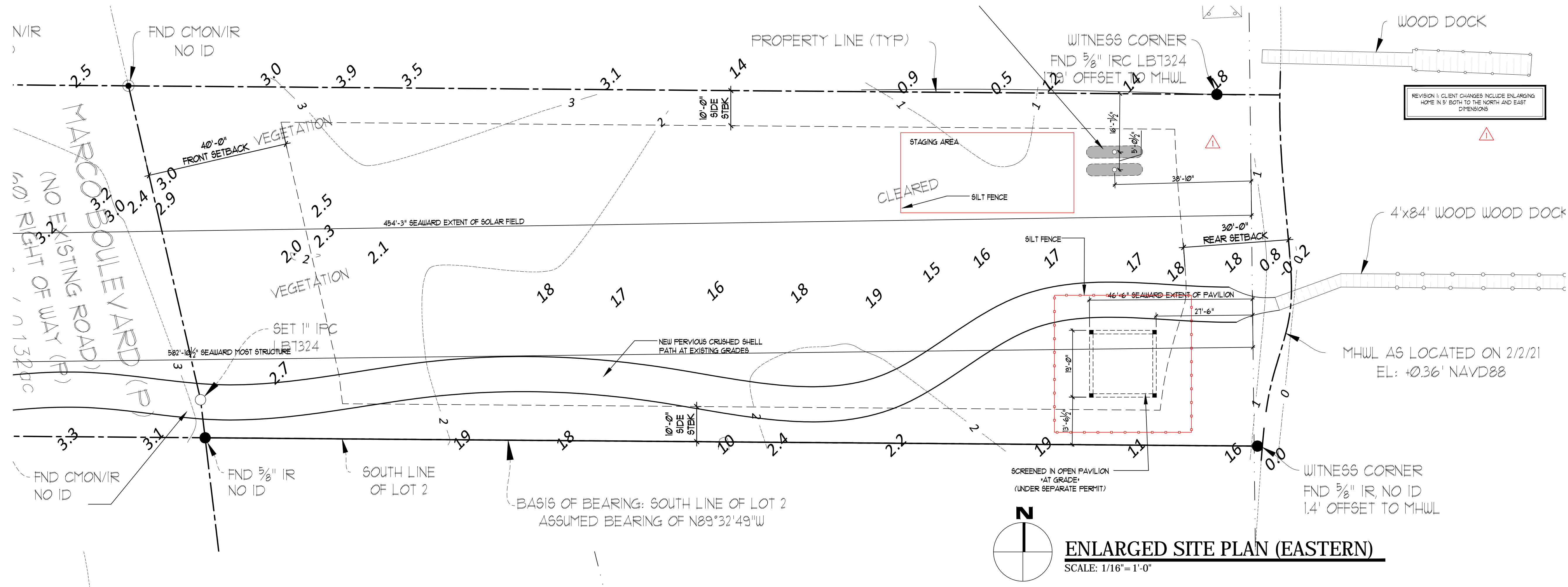
11303 KEELWAYDIN ISLAND
NAPLES, FLORIDA 34102



PROJ. #: 2104-03
DRAWN BY: K.A.V.
DATE: 3.1.22

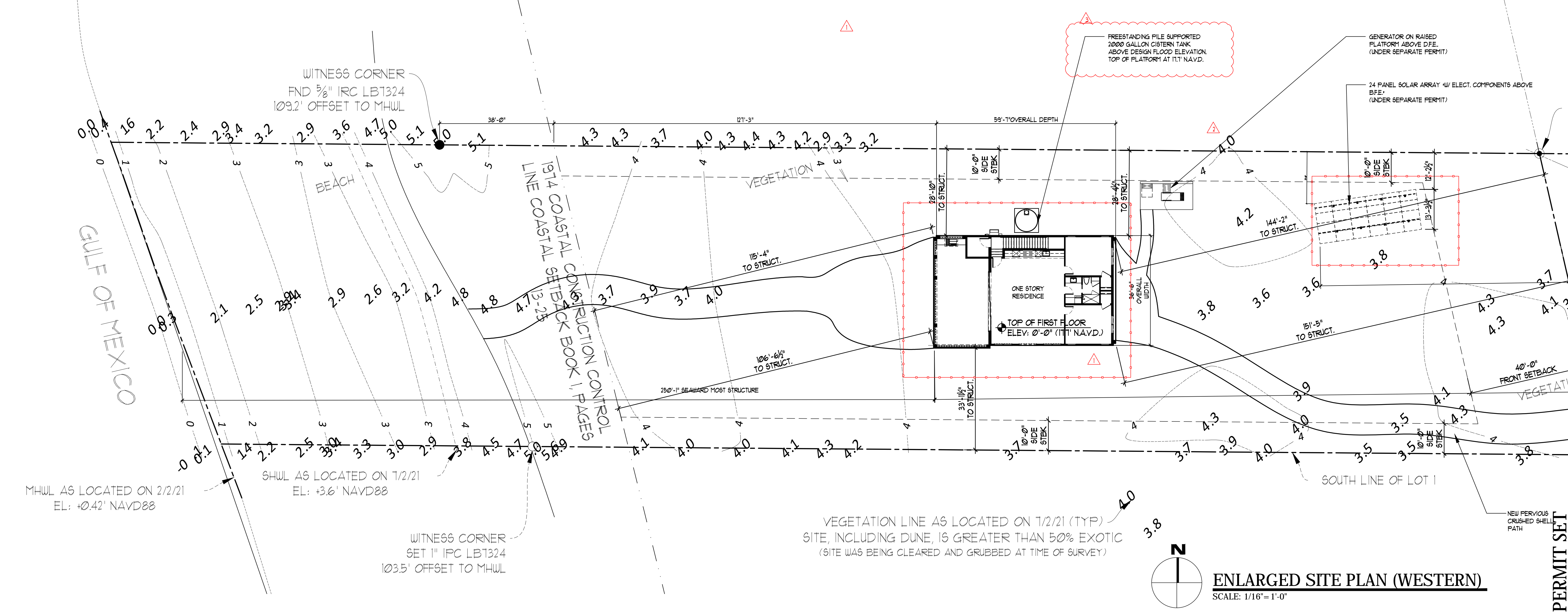


PERMIT SET



SURVEYOR NOTES

- THIS IS A BOUNDARY SURVEY AS DEFINED IN THE STANDARDS OF PRACTICE FOR SURVEYING AND MAPPING IN CHAPTER 5J-11 FLORIDA ADMINISTRATIVE CODE.
- THIS SURVEY IS CERTIFIED TO JOHN F. CARROLL AND PAMELA S. CARROLL, FIRST AMERICAN TITLE INSURANCE COMPANY, AND COLEMAN, TOYANOVICH & KOESTER, P.A.
- THIS SURVEY IS INTENDED EXCLUSIVELY FOR THE USE BY THOSE TO WHOM IT IS CERTIFIED. IT IS NOT TO BE USED BY OTHERS FOR CONSTRUCTION, PERMITTING, DESIGN OR ANY OTHER USE WITHOUT THE WRITTEN CONSENT OF TERRACQUA, INC.
- THIS SURVEY, AND ANY REPRODUCTION THEREOF, IS NOT VALID WITHOUT AN ORIGINAL OR VERIFIED DIGITAL SIGNATURE AND SEAL OF A FLORIDA REGISTERED SURVEYOR. ADDITIONALLY, THIS SURVEY IS NOT VALID IF PRINTED BEARING A DIGITAL SIGNATURE AND SEAL.
- OTHER THAN THOSE SHOWN ON THE REFERENCED PLAT, NO SEARCH OF THE PUBLIC RECORDS WAS PERFORMED FOR EASEMENTS, ENCUMBRANCES OR OTHER INSTRUMENTS OF RECORD WHICH MAY AFFECT THIS PARCEL OF LAND.
- THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1 INCH = 40 FEET OR SMALLER.
- UNDERGROUND UTILITIES WERE NOT LOCATED AS PART OF THIS SURVEY.
- BEARINGS AND DISTANCES SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICA DATUM OF 1983, 1930 ADJUSTMENT (NAD83/30) FLORIDA STATE PLANE, ZONE 301, TRANSVERSE MERCATOR PROJECTION IN THE U.S. SURVEY FOOT UNIT OF MEASUREMENT.
- BEARINGS SHOWN HEREON ARE RELATIVE TO A GRID BEARING OF 58°50'21" BETWEEN COASTAL CONSTRUCTION CONTROL LINE PERMANENT REFERENCE MONUMENTS 'COL. 46 1986' AND '64-18-A-22-2 1981'.
- GEOGRAPHIC AND PLANE COORDINATES SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983, 1930 ADJUSTMENT (NAD83/30) FLORIDA STATE PLANE, EAST ZONE (1981), TRANSVERSE MERCATOR PROJECTION IN THE U.S. SURVEY FOOT UNIT OF MEASUREMENT.
- COORDINATES SHOWN HEREON WERE OBTAINED USING REAL TIME KINEMATIC GPS METHODOLOGIES WITH BROADCAST CORRECTIONS FROM THE TRIMBLE VIRTUAL REFERENCE NETWORK (VRS) FROM BASE STATION 'FL1nap188' WITH CHECK IN AT NATIONAL GEODETIC SURVEY (NGS) FIRST ORDER CONTROL MONUMENT 'JUGGING RESET' (FID A25610).
- UNLESS OTHERWISE NOTED, FIELD BEARINGS AND DISTANCES ARE CONSISTENT WITH THE RECORDED PLAT.
- GULF OF MEXICO MEAN HIGH WATER ELEVATION OF +0.42' NAVD88 IS REFERENCED TO FDEP TIDE INTERPOLATION POINT NO. 100756, LITTLE MARCO PASS MEAN HIGH WATER ELEVATION OF +0.36' IS REFERENCED TO FDEP TIDE STATION NO. 872-5019.
- 1974 COASTAL CONSTRUCTION SETBACK LINE PER COASTAL CONSTRUCTION SETBACK BOOK 1, PAGES 13-25, 1989 COASTAL CONSTRUCTION CONSTRUCTION CONTROL LINE PER COASTAL CONSTRUCTION SETBACK LINE BOOK 1, PAGES 23-36, COLLIER COUNTY RECORDS.
- CONTOURS SHOWN HEREON ARE AT ONE-FOOT INTERVALS RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).



Revisions

Revisions	Date
1. COUNTY COMMENTS & OWNER REV.	5.6.22
2. COUNTY COMMENTS	7.1.22
3. COUNTY COMMENTS	8.30.22

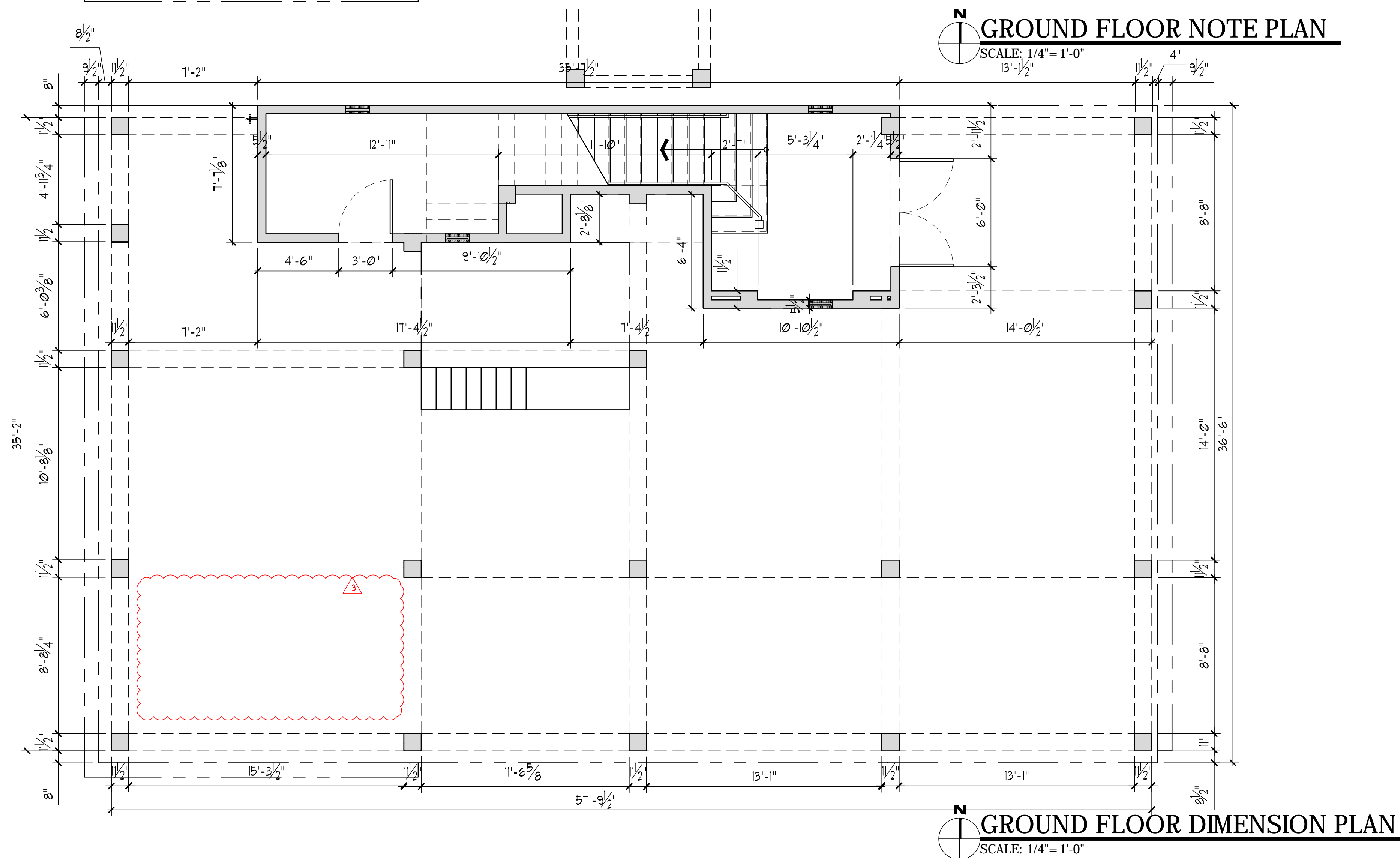
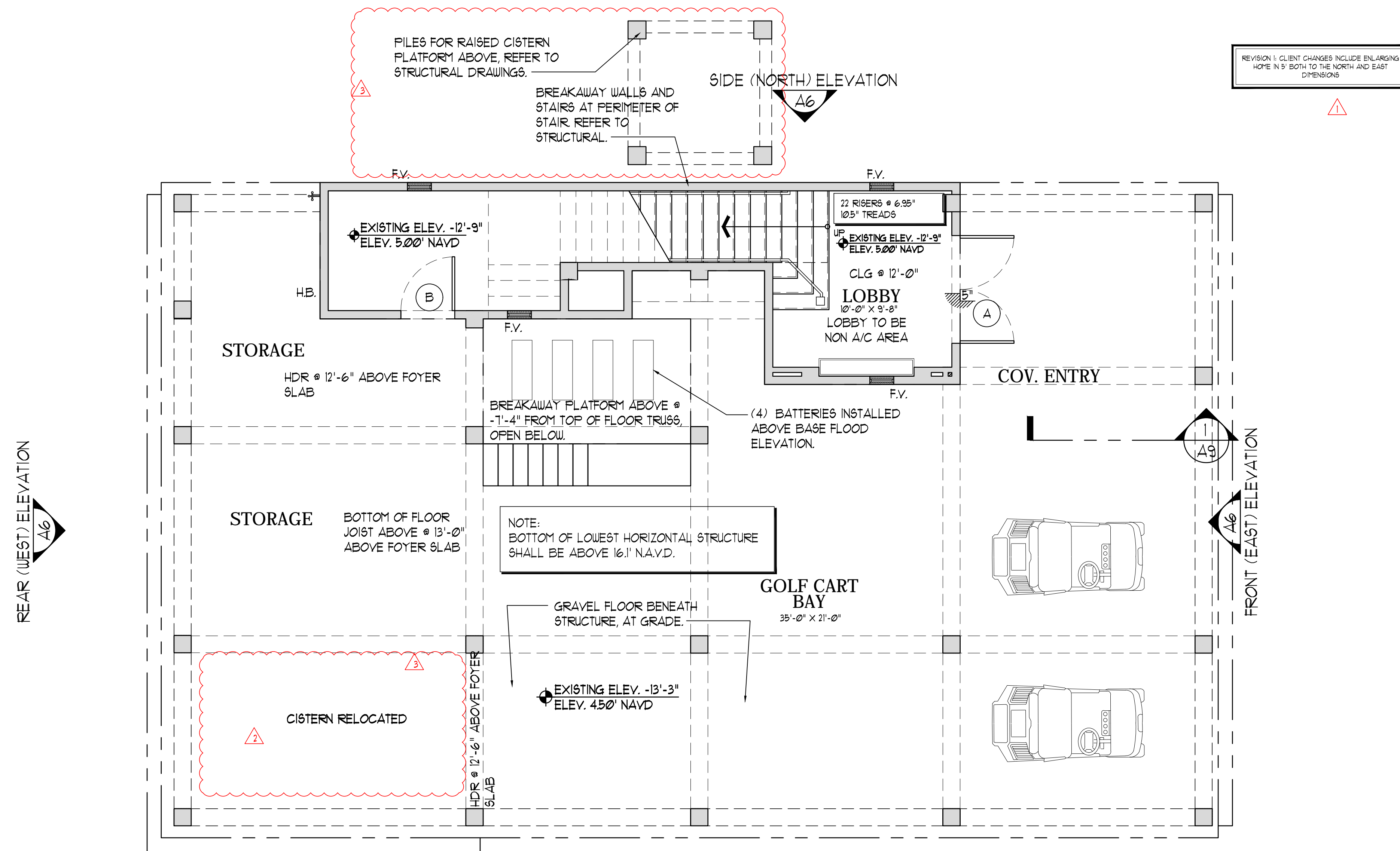
CARROLL RESIDENCE

11303 KEEWAYDIN ISLAND
NAPLES, FLORIDA 34102

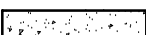
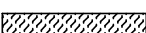
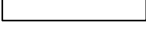



BECK
ARCHITECTURAL GROUP

PROJ. #: 2104-03
DRAWN BY: K.A.V.
DATE: 3.1.22

A2.1



LEGEND

	CONCRETE COLUMN/ WALL. REFER TO STRUCT. PLANS.
	INTERIOR STUD BEARING WALL
	STUD WALL
	TUBULAR STEEL COLUMN. REF. STRUCT. FOR SIZE & LOCATION.
	GANG STUD COLUMN. REF. STRUCT. FOR SIZE & LOCATION.
	FLOOD VENT. SEE PLAN FOR NUMBER & LOCATIONS.

GENERAL NOTES


1. THE G.C. IS TO VERIFY ALL WINDOW AND DOOR ROUGH OPENINGS SIZES WITH INSTALLATION REQUIREMENTS PRIOR TO INSTALL.
2. ALL WINDOWS AND FRENCH DOORS SHALL BE IMPACT RESISTANT, GARAGE DOORS SHALL BE IMPACT RESISTANT, CUSTOM ENTRY DOORS SHALL ALSO BE IMPACT RESISTANT.
3. G.C. PROVIDE SOUND INSULATION FOR ALL INTERIOR WALLS AND CEILINGS, AND INSULATE ALL EXTERIOR WALLS.
4. LANDSCAPING BY OTHERS.
5. A 40" HIGH AFF. (BALCONY) AND 36" HIGH (STAIR) ALUMINUM OR COMPOSITE RAILING SHALL BE CONSTRUCTED SUCH THAT A 4" SPHERE SHALL NOT PASS THROUGH AT ANY POINT (TYP.) (SECTION R312 OF THE FBC 2020). G.C. TO VERIFY HANDRAIL IS INSTALLED TO MEET A CIRCULAR CROSS SECTION WITH A DIAMETER OF 1-1/4" - 2" OR PROVIDE A NONCIRCULAR CROSS SECTION WITH EQUIVALENT GRASP ABILITY PERFORMANCE TO MEET THE FBC 2020 R312.8.3.
6. ALL FIRST FLOOR ELEVATIONS REFERENCED FROM FINISHED CONCRETE SLAB ELEV. 0'-0" (11.1' NAVD.).
7. G.C. TO VERIFY POSITIVE SLOPE OF FINISHED FLOOR INSIDE GARAGE, ENTRY PORCH, PATIO, LANAI, COVERED ENTRY, OUTDOOR LIVING, BALCONIES, AND GARAGES.
8. G.C. TO PROVIDE ICYNENE INSULATION AT THE UNDERSIDE OF ALL ROOF TRUSSES INCLUDING GARAGES, LANAIS, AND BALCONIES IF APPLICABLE. G.C. TO ALSO PROVIDE MAKE UP AIR EQUAL TO ULTRA AIR ADEQUATE FOR THIS SYSTEM. G.C. TO PROVIDE (2) VENTS INSTALLED INSIDE THE GARAGE OPEN TO THE ATTIC SPACE.
9. MAKE UP AIR FOR KITCHEN HOOD WILL BE PROVIDED BY A BROWN UNIVERSAL AUTOMATIC MAKE-UP AIR DAMPER SIZED AT A RATE APPROX. EQUAL TO THE EXHAUST AIR RATE. MAKEUP AIR SYSTEM SHALL BE EQUIPPED WITH MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM AS REQUIRED PER M1503.4.
10. G.C. TO COORDINATE W/ ELECTRICAL DRAWINGS FOR SITE 4 LOCATION OF A/C PADS, POOL EQUIPMENT, ELECTRICAL METER, ELECTRICAL PANELS, & H.B.
11. ALL ELECTRICAL, PLUMBING AND MECHANICAL EQUIPMENT, INCLUDING MINI SPLITS TO BE WALL MOUNTED ABOVE GRADE AND ABOVE ELEVATION 43' NAVD.
12. REFER TO STRUCTURAL DRAWINGS FOR EXACT LOCATION OF STRUCTURAL WALLS, COLUMNS, AND BEAMS.
13. REFER TO ROOF PLAN FOR UET DECK SLOPE / DRAINAGE LOCATIONS.
14. REFER TO INTERIOR DRAWINGS FOR FINAL CEILING HEIGHTS AND INFORMATION.

FLOOD VENT CALCULATIONS	
(1) 8" x 16" SMART VENT	= 200 SQ. FT (FLOOD)
LOBBY / STAIR	
	= 146 SQFT. (2 SMART VENTS)
STORAGE UNDER STAIR	
	= 145 SQFT. (2 SMART VENTS)

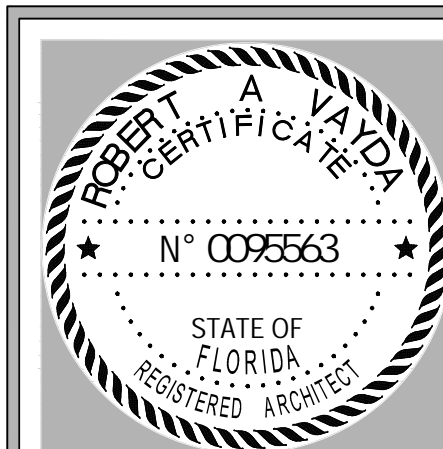
FLOOD RESISTANT MATERIALS

ALL STRUCTURAL & FINISH MATERIALS BELOW THE DESIGN FLOOD ELEVATION (1300' NADVD) SHALL BE CONSTRUCTED APPROVED MATERIALS AS LISTED BELOW FROM FHWA TECHNICAL BULLETIN 2-00 (2010) FLOOD DAMAGE-RESISTANT MATERIAL REQUIREMENTS*

STRUCTURAL MATERIALS	
EXTERIOR WALLS	CONCRETE MASONRY
FLOOR (SLAB)	CONCRETE (C/P)
INTERIOR WALLS	P.T. LUMBER
INTERIOR SHEATHING	NON-PAPER-FACED GYPSUM BOARD
FINISH MATERIALS	
FLOORING	STONE TILE (MORTAR SET)
DOORS/DOORS	DECAY-RESISTANT WOOD***
BATHROOM/TRIM	PVC LUMBER
WATERPROOF TYPE	LATEX OR OIL-BASED
STAIR TREADS	STONE & DECAY-RESISTANT WOOD ***

 ***DECAY-RESISTANT WOOD PER FBC (2010), RESIDENTIAL, R3222 & FHWA TB-2, ALPHA VI REFERENCED FOR ACCEPTABLE DECAY RESISTANT WOOD SPECIES.

PERMIT SET



Revisions	Date
1. COUNTY COMMENTS & OWNER REV.	5.6.22
2. COUNTY COMMENTS	7.1.22
3. COUNTY COMMENTS	8.30.22

CARROLL RESIDENCE

11303 KEEWAYDIN ISLAND
NAPLES, FLORIDA 34102

NAPLES, FLORIDA 34102

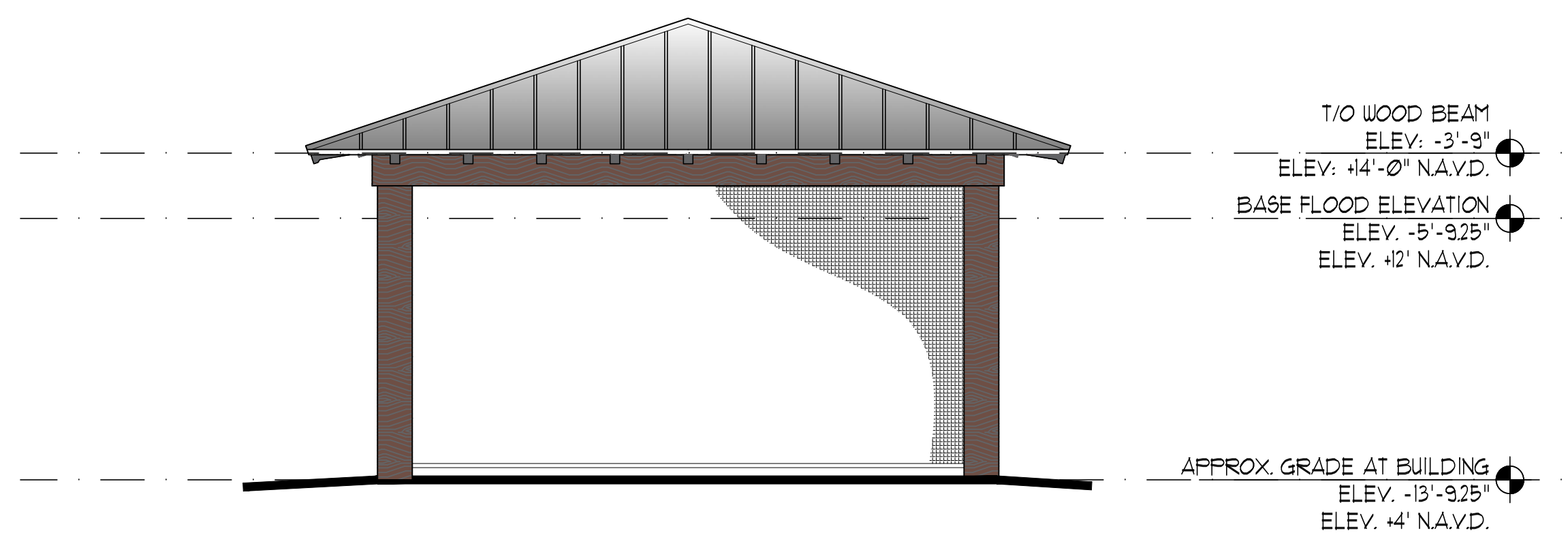
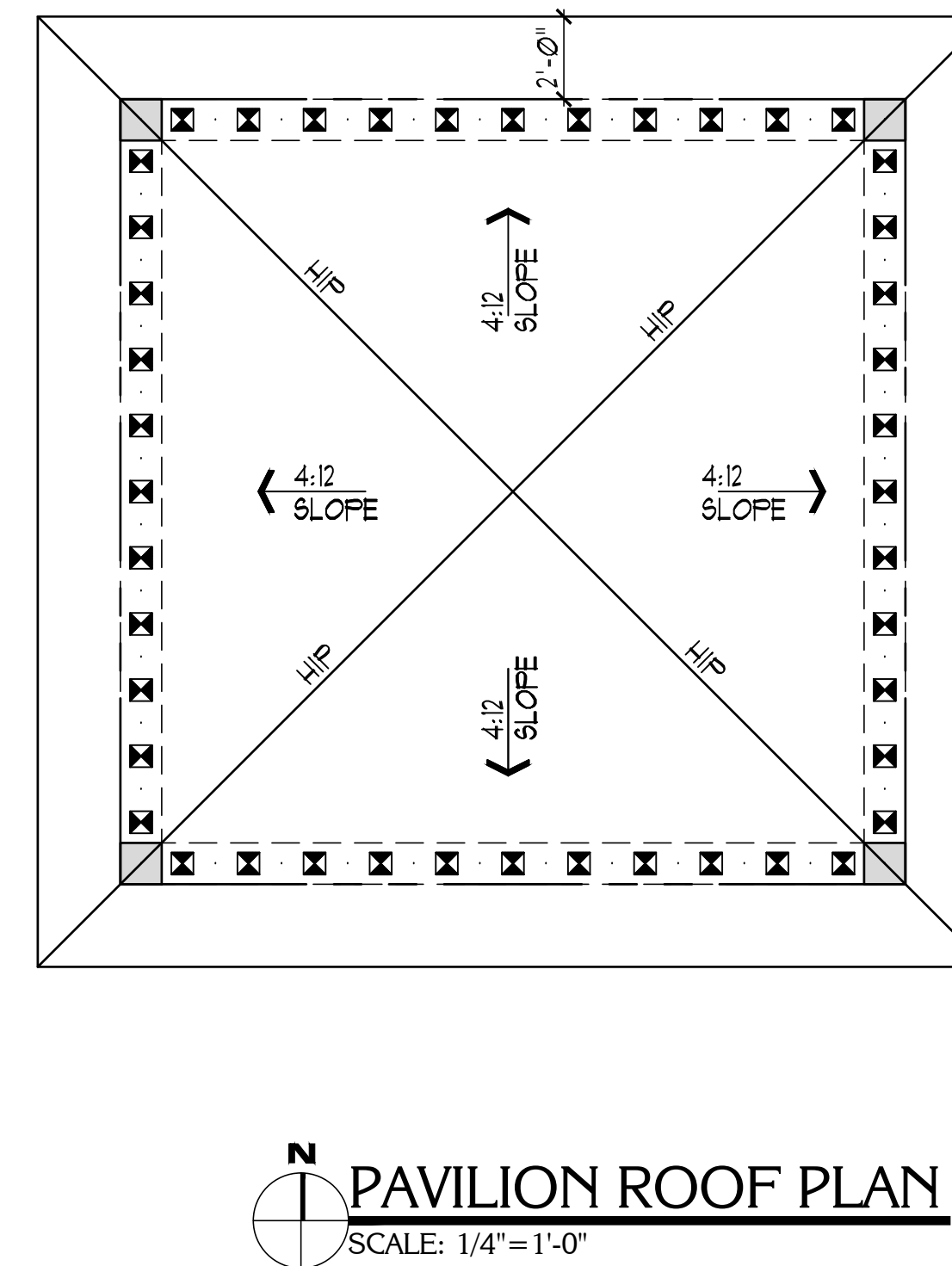
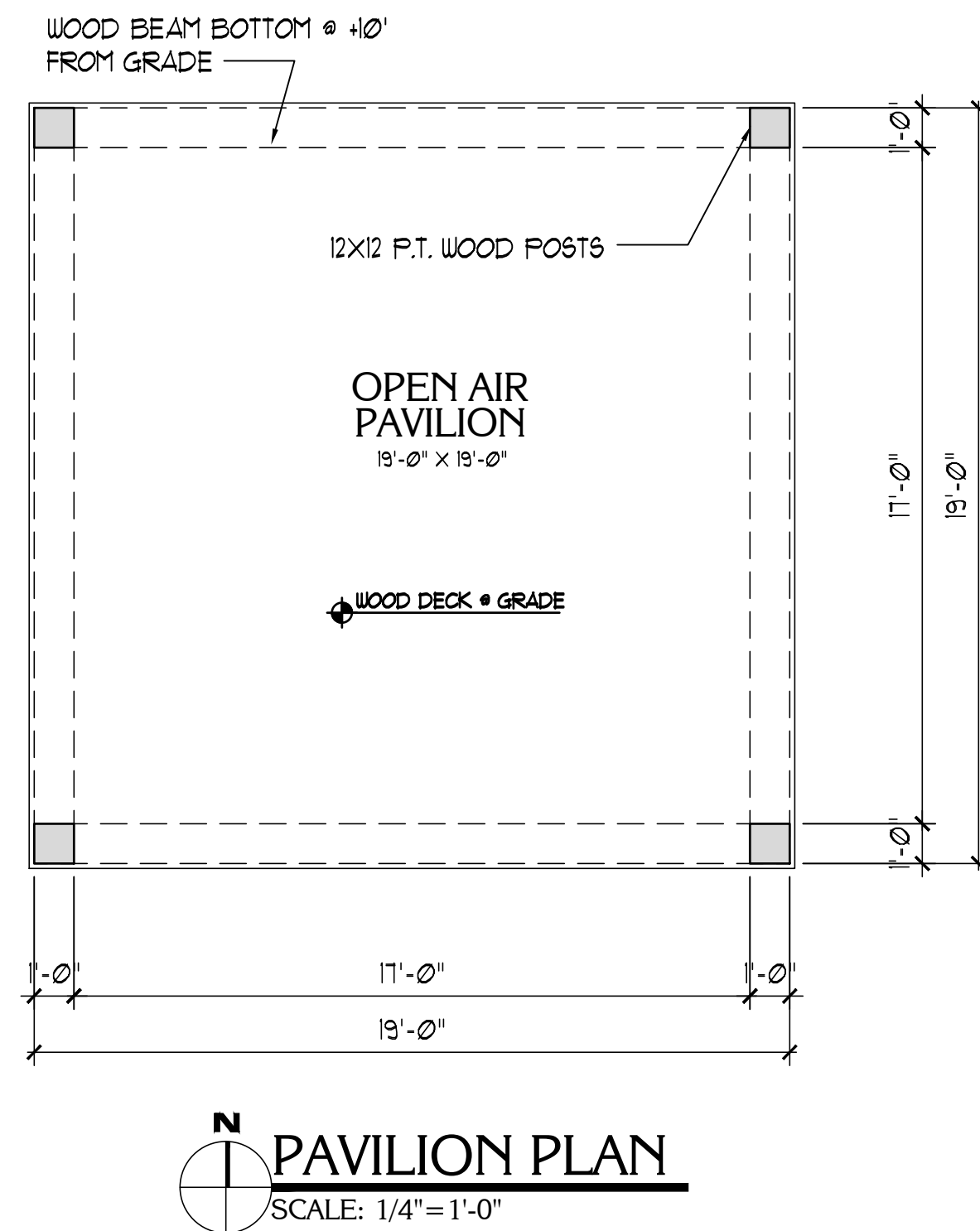


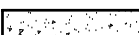
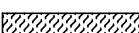
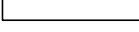



PROJ. #: 2104-033
DRAWN BY: K.A.V.
DATE: 3.122

DRAWN BY: K.A.V.

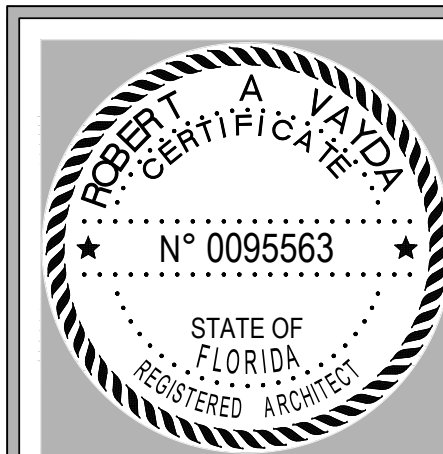
DATE: 3.1.22

A3.0



- # LEGEND
- | | |
|---|--|
|  | CONCRETE COLUMN/ WALL.
REFER TO STRUCT. PLANS. |
|  | INTERIOR STUD BEARING WALL |
|  | STUD WALL |
|  | TUBULAR STEEL COLUMN. REF.
STRUCT. FOR SIZE & LOCATION. |
|  | GANG STUD COLUMN. REF.
STRUCT. FOR SIZE & LOCATION. |
|  | FLOOD VENT. SEE PLAN
FOR NUMBER & LOCATIONS. |

- ## GENERAL NOTES
- I. THE G.C. IS TO VERIFY ALL WINDOW AND DOOR ROUGH OPENING SIZES WITH INSTALLATION REQUIREMENTS PRIOR TO INSTALL.
 2. ALL WINDOWS AND FRENCH DOORS SHALL BE IMPACT RESISTANT. GARAGE DOORS SHALL BE IMPACT RESISTANT. CUSTOM ENTRY DOORS SHALL ALSO BE IMPACT RESISTANT.
 3. G.C. PROVIDE SOUND INSULATION FOR ALL INTERIOR WALLS AND CEILINGS, AND INSULATE ALL EXTERIOR WALLS.
 4. LANDSCAPING BY OTHERS.
 5. A 40" HIGH (BALCONY) AND 36" HIGH (STAIR) ALUMINUM OR COMPOSITE RAILING SHALL BE CONSTRUCTED SUCH THAT A 4" SPHERE SHALL NOT PASS THROUGH AT ANY POINT (TYP.) (SECTION R312 OF THE FBC 2020).
 6. G.C. TO VERIFY HANDRAIL IS INSTALLED TO MEET A CIRCULAR CROSS SECTION WITH A DIAMETER OF 1 1/4" - 2" OR PROVIDE A NONCIRCULAR CROSS SECTION WITH EQUIVALENT GRASP ABILITY PERFORMANCE TO MEET THE FBC 2020 R313.1.3.
 6. ALL FIRST FLOOR ELEVATIONS REFERENCED FROM FINISHED CONCRETE SLAB ELEV. 0'-0" (1"1/2" NAVD).
 7. G.C. TO VERIFY POSITIVE SLOPE OF FINISHED FLOOR TO ENSURE PROPER DRAINAGE AT LAVA COVERED TERRACE, OUTDOOR LIVING, BALCONIES, AND GARAGES.
 8. G.C. TO PROVIDE IGYCENE INSULATION AT THE UNDERSIDE OF ALL ROOF TRUSSES INCLUDING GARAGES, LANAIS, AND BALCONIES IF APPLICABLE. G.C. TO ALSO PROVIDE MAKE UP AIR EQUAL TO ULTRA AIR ADEQUATE FOR THIS SYSTEM. G.C. TO PROVIDE (2) VENTS INSTALLED INSIDE THE GARAGE OPEN TO THE ATTIC SPACE.
 9. MAKE UP AIR FOR KITCHEN HOOD WILL BE PROVIDED BY A BROWN UNIVERSAL AUTOMATIC MAKE-UP AIR DAMPER INSTALLED AT A RATE APPROX. EQUAL TO THE EXHAUST AIR RATE. MAKEUP AIR SYSTEM SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM AS REQUIRED PER M1503.4.
 10. G.C. TO COORDINATE W/ ELECTRICAL DRAWINGS FOR SIZE 4 LOCATION OF A/C PADS, POOL EQUIPMENT, ELECTRICAL METER, ELECTRICAL PANELS 4 HB.
 11. ALL ELECTRICAL, PLUMBING AND MECHANICAL EQUIPMENT TO BE WALL MOUNTED ABOVE GRADE AND ABOVE ELEVATION +3' NAVD.
 12. REFER TO STRUCTURAL DRAWINGS FOR EXACT LOCATION OF STRUCTURAL WALLS, COLUMNS, AND BEAMS.
 13. REFER TO ROOF PLAN FOR WET DECK SLOPE / DRAINAGE LOCATIONS.
 14. REFER TO INTERIOR DRAWINGS FOR FINAL CEILING HEIGHTS AND INFORMATION.



Date _____

Revisions

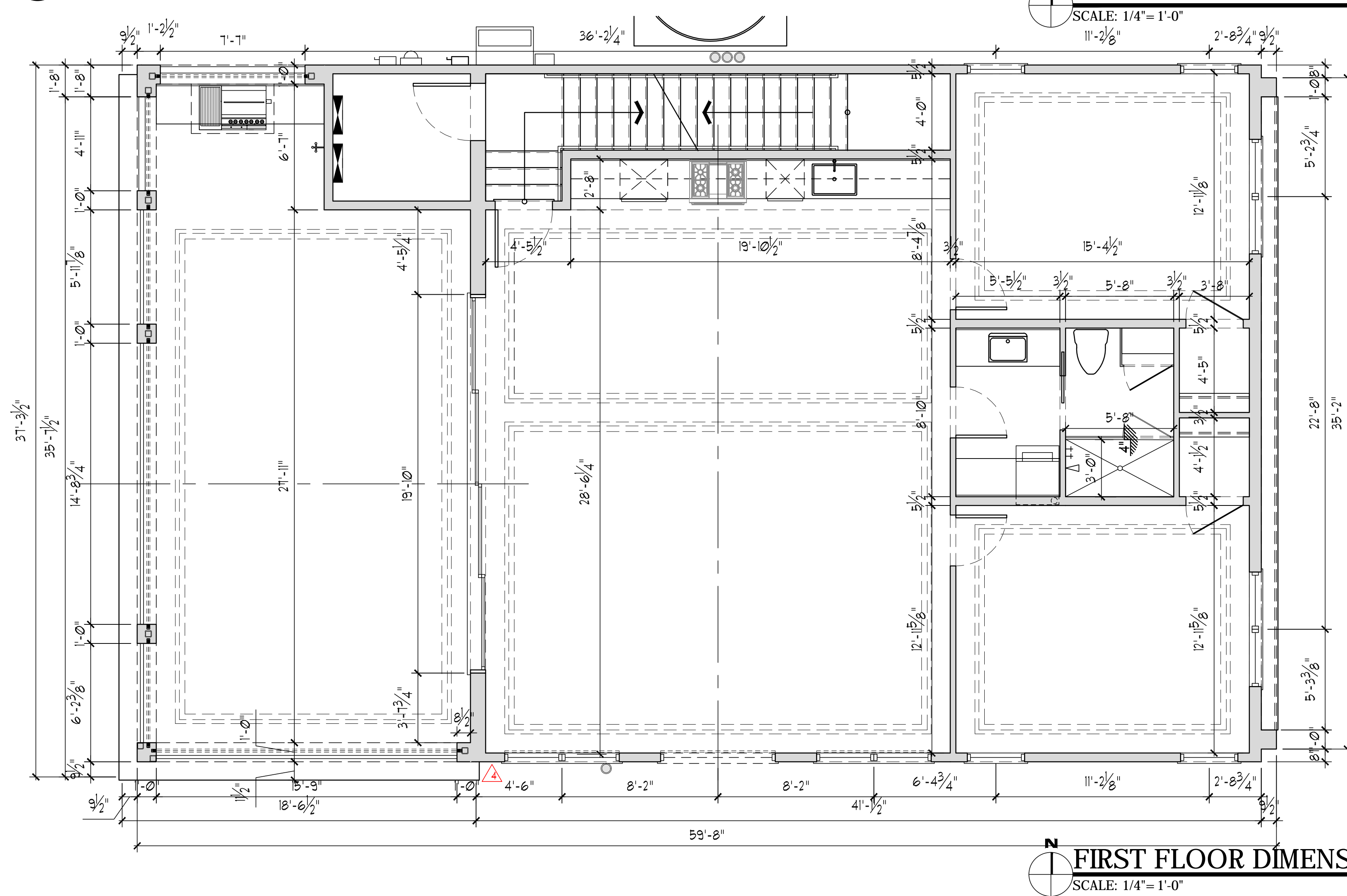
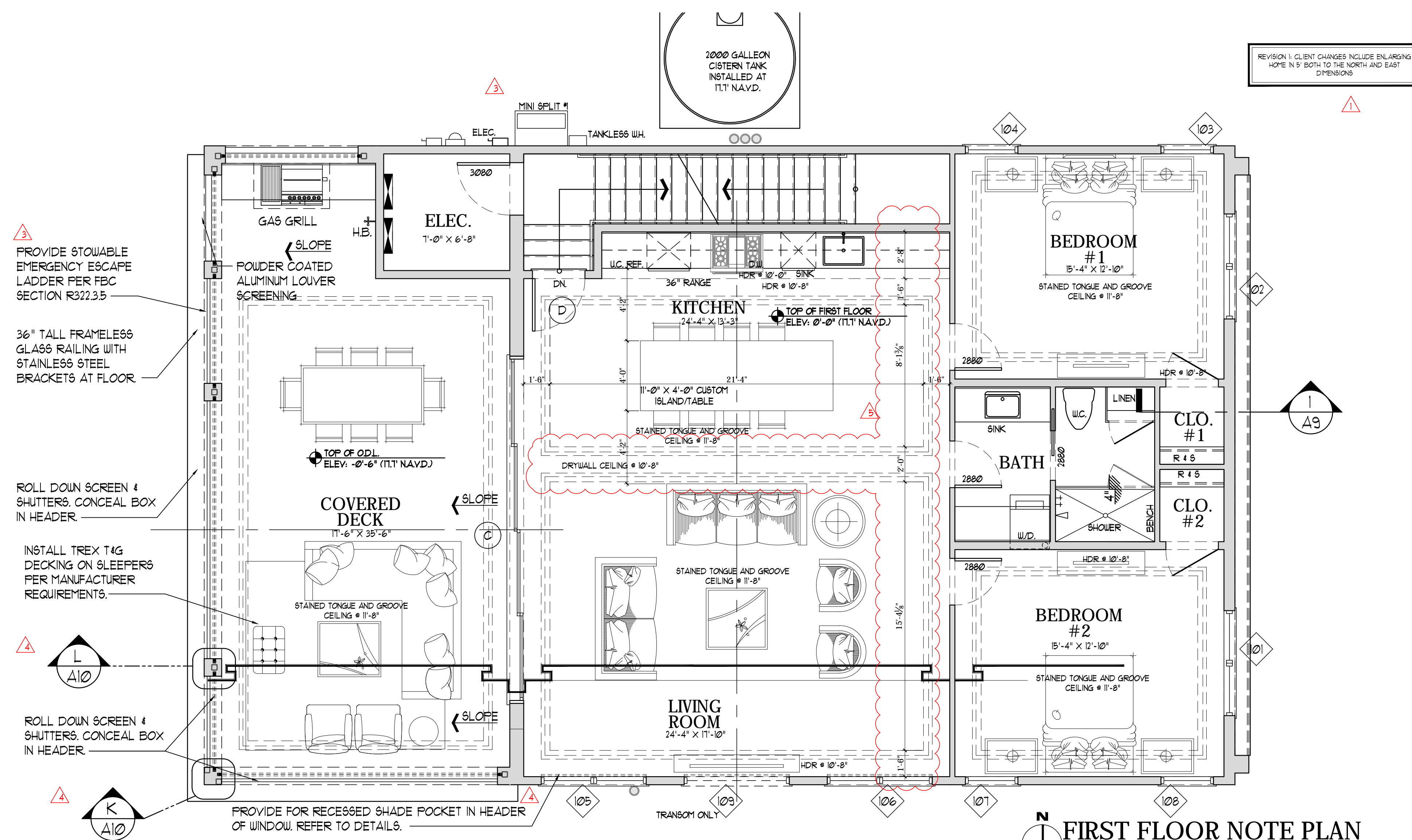
CARROLL RESIDENCE

11303 KEEWAYDIN ISLAND
NAPLES, FLORIDA 34102



PROJ. #: 2104-03
DRAWN BY: K.A.V.
DATE: 3.122

A3.1



LEGEND	
	CONCRETE COLUMN WALL. REFER TO STRUCT. PLANS.
	INTERIOR STUD BEARING WALL.
	STUD WALL.
	TUBULAR STEEL COLUMN, REF. STRUCT. FOR SIZE & LOCATION.
	GANG STUD COLUMN, REF. STRUCT. FOR SIZE & LOCATION.
	FLOOD VENT. SEE PLAN FOR NUMBER & LOCATIONS.

GENERAL NOTES	
1.	THE G.C. IS TO VERIFY ALL WINDOW AND DOOR ROUGH OPENING SIZES WITH INSTALLATION REQUIREMENTS PRIOR TO INSTALL.
2.	ALL WINDOWS AND FRENCH DOORS SHALL BE IMPACT RESISTANT. GARAGE DOORS SHALL BE IMPACT RESISTANT. CUSTOM ENTRY DOORS SHALL ALSO BE IMPACT RESISTANT.
3.	G.C. PROVIDE SOUND INSULATION FOR ALL INTERIOR WALLS AND CEILINGS, AND INSULATE ALL EXTERIOR WALLS.
4.	LANDSCAPING BY OTHERS.
5.	A 40" HIGH AFF. (BALCONY) AND 36" HIGH (STAIR) ALUMINUM OR COMPOSITE RAILING SHALL BE CONSTRUCTED SUCH THAT A 4" SPHERE SHALL NOT PASS THROUGH AT ANY POINT (TYP.) (SECTION R312 OF THE FBC 2020). G.C. TO VERIFY HANDRAIL IS INSTALLED TO MEET A CIRCULAR CROSS SECTION WITH A DIAMETER OF 1-1/4" - 2" OR PROVIDE A NONCIRCULAR CROSS SECTION WITH EQUIVALENT GRASP ABILITY PERFORMANCE TO MEET THE FBC 2020 R311.8.3.
6.	ALL FIRST FLOOR ELEVATIONS REFERENCED FROM FINISHED CONCRETE SLAB ELEV. 0'-0" (11'1" NAVD).
7.	G.C. TO VERIFY POSITIVE SLOPE OF FINISHED FLOOR TO ENSURE PROPER DRAINAGE AT LANAIS, COVERED ENTRY, OUTDOOR LIVING, BALCONIES, AND GARAGES.
8.	G.C. TO PROVIDE CYTENE INSULATION AT THE UNDERSIDE OF ALL ROOF TRUSSES INCLUDING GARAGES, LANAIS, AND BALCONIES IF APPLICABLE. G.C. TO ALSO PROVIDE MAKE UP AIR EQUAL TO ULTRA AIR ADEQUATE FOR THIS SYSTEM. G.C. TO PROVIDE (2) VENTS INSTALLED INSIDE THE GARAGE OPEN TO THE ATTIC SPACE.
9.	MAKE UP AIR FOR KITCHEN HOOD WILL BE PROVIDED BY A BROAN UNIVERSAL AUTOMATIC MAKE-UP AIR DAMPER SIZED AT A RATE APPROX. EQUAL TO THE EXHAUST AIR RATE. MAKEUP AIR SYSTEM SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM AS REQUIRED PER M1503.4.
10.	G.C. TO COORDINATE W/ ELECTRICAL DRAWINGS FOR SIZE & LOCATION OF A/C PADS, POOL EQUIPMENT, ELECTRICAL METER, ELECTRICAL PANELS & H.B.
11.	ALL ELECTRICAL, PLUMBING AND MECHANICAL EQUIPMENT, INCLUDING MINI SPLITS TO BE WALL MOUNTED ABOVE GRADE AND ABOVE ELEVATION 4'3" NAVD.
12.	REFER TO STRUCTURAL DRAWINGS FOR EXACT LOCATION OF STRUCTURAL WALLS, COLUMNS, AND BEAMS.
13.	REFER TO ROOF PLAN FOR UET DECK SLOPE / DRAINAGE LOCATIONS.
14.	REFER TO INTERIOR DRAWINGS FOR FINAL CEILING HEIGHTS AND INFORMATION.

ROBERT A. VALEDA
N° 0095563
STATE OF FLORIDA
REGISTERED ARCHITECT

Date
5.6.22
8.30.22
1.17.23
2.28.23

Revisions
1. COUNTY COMMENTS & OWNER REV.
2. COUNTY COMMENTS
3. SCREEN/SHUTTER COLUMN REV.
4. SCREEN/SHUTTER COLUMN REV.
5. CEILING REV.

ALL REVISIONS, AMENDMENTS, AND ADDITIONS TO THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT. ANY REVISIONS TO THESE DRAWINGS SHALL BE MADE BY THE ARCHITECT. ANY REVISIONS TO THESE DRAWINGS SHALL BE MADE BY THE ARCHITECT. ANY REVISIONS TO THESE DRAWINGS SHALL BE MADE BY THE ARCHITECT.

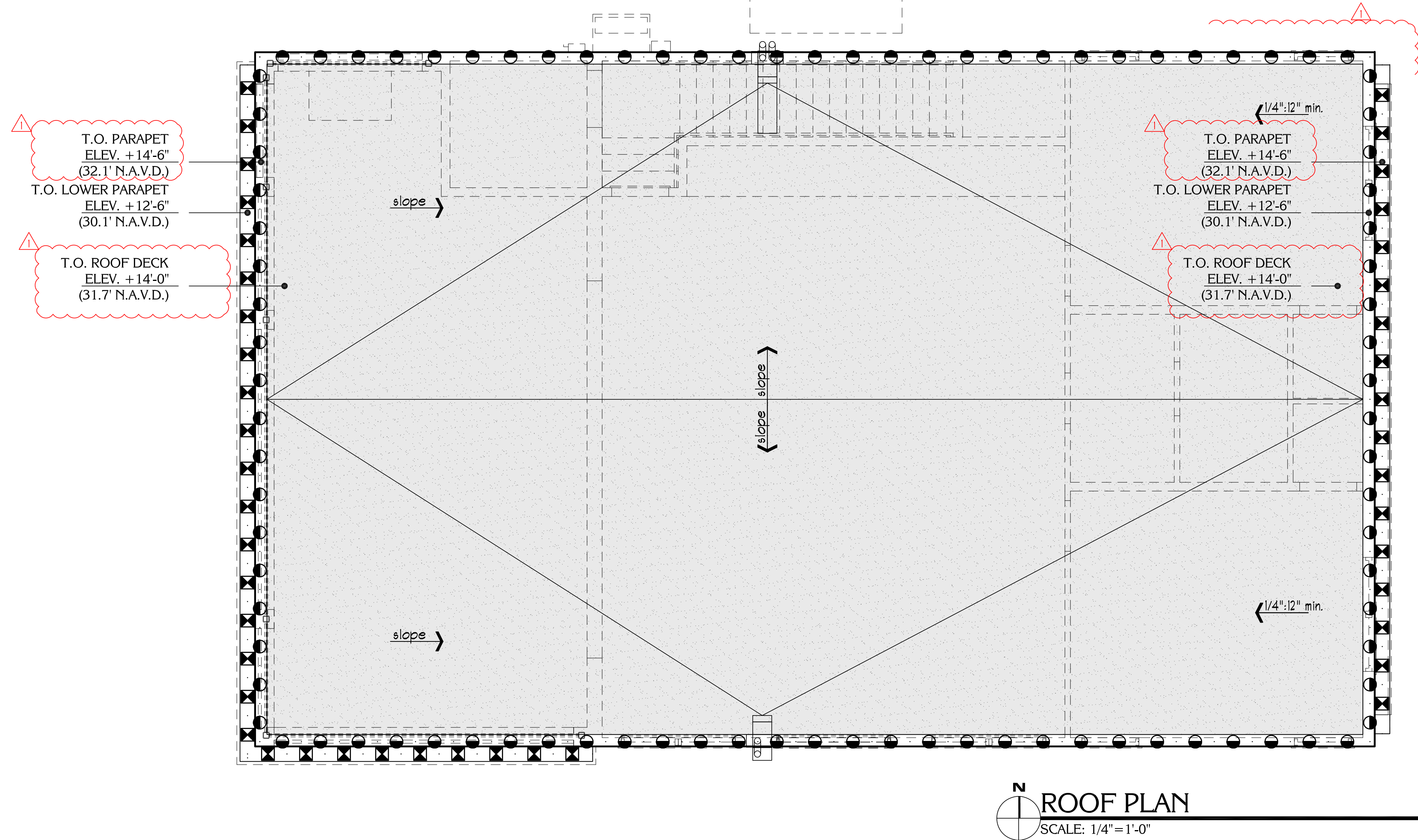
CARROLL RESIDENCE
11303 KEEWAYDIN ISLAND
NAPLES, FLORIDA 34102

BECK
ARCHITECTURAL GROUP

PROJ. #: 2104-03
DRAWN BY: K.A.V.
DATE: 3.1.22

A4.0

PERMIT SET



BEAM SCHEDULE	
	T.O. PARAPET @ ELEV. +14'-6"
	T.O. PARAPET @ ELEV. +12'-6"

LEGEND	
	CRICKETS, BY G.C.
	FLAT ROOF, SLOPE 1/4" = 1'-0" MIN.
	TYP. ROOF DRAIN
	TYP. OVERFLOW ROOF DRAIN
	TYP. ROOF SCUPPER W/ DOWNSPOUTS
	TYP. ROOF SCUPPER W/ DOWNSPOUTS

ROOF NOTES	
1.	SEE FLOOR PLAN FOR CEILING'S INFORMATION.
2.	G.C. SHALL CONFIRM ALL STRUCTURAL COLUMNS AND BEAM SIZE, LOCATION AND REINFORCEMENT WITH STRUCTURAL ENGINEERS DRAWINGS PRIOR TO CONSTRUCTION.
3.	G.C. TO VERIFY POSITIVE SLOPE AT FINISHED FLOOR TO ENSURE PROPER DRAINAGE AT LANAIS, COVERED ENTRY, OUTDOOR LIVING, BALCONIES, AND GARAGE.
4.	G.C. TO PROVIDE ICYNENE INSULATION AT THE UNDERSIDE OF ALL ROOF SLABS INCLUDING GARAGES, LANAIS, AND BALCONIES IF APPLICABLE. G.C. TO ALSO PROVIDE MAKE UP AIR EQUAL TO ULTRA AIR ADEQUATE FOR THIS SYSTEM. G.C. TO PROVIDE (2) VENTS INSTALLED INSIDE THE GARAGE OPEN TO THE ATTIC SPACE.
5.	REFER TO STRUCTURAL DRAWINGS FOR EXACT LOCATION OF STRUCTURAL COLUMNS.

ROOF SPECIFICATION	
FLAT ROOF DECKS ALL FLAT ROOF DECKS ARE TO HAVE ROOFING MEMBRANE (45 MIL MINIMUM) OVER ISOBOARD TAPERED INSULATION. THE TAPERED INSULATION SHALL PROVIDE POSITIVE DRAINAGE TO ROOF DRAINS WITH A MINIMUM 1/4"/1'-0" SLOPE. ROOFING MEMBRANE INSTALLED PER MANUFACTURER'S SPECIFICATIONS WITH A 20 YEAR WARRANTY	



Date
5.6.22

Revisions
1. COUNTY COMMENTS & OWNER REV.

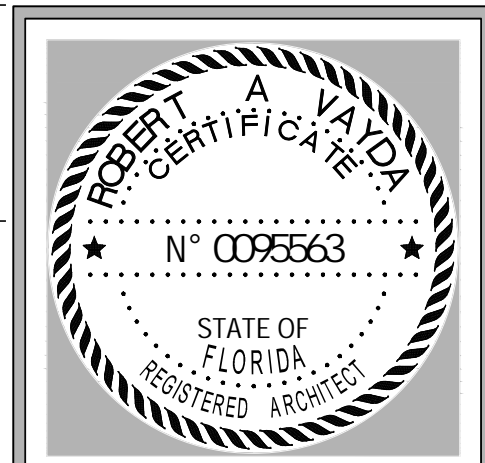
CARROLL RESIDENCE
11303 KEEWAYDIN ISLAND
NAPLES, FLORIDA 34102



PROJ. #: 2104-03
DRAWN BY: K.A.V.
DATE: 3.1.22



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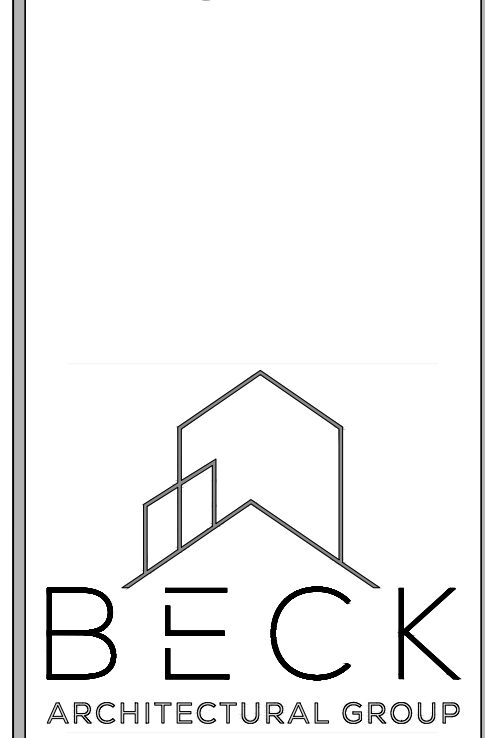


Date
5.6.22
8.30.22

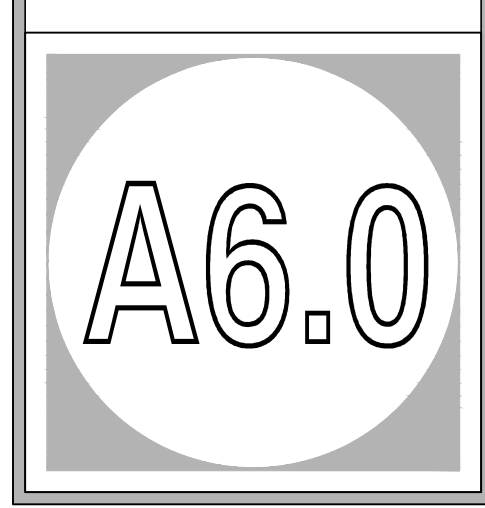
Revisions
1. COUNTY COMMENTS & OWNER REV.
3. COUNTY COMMENTS

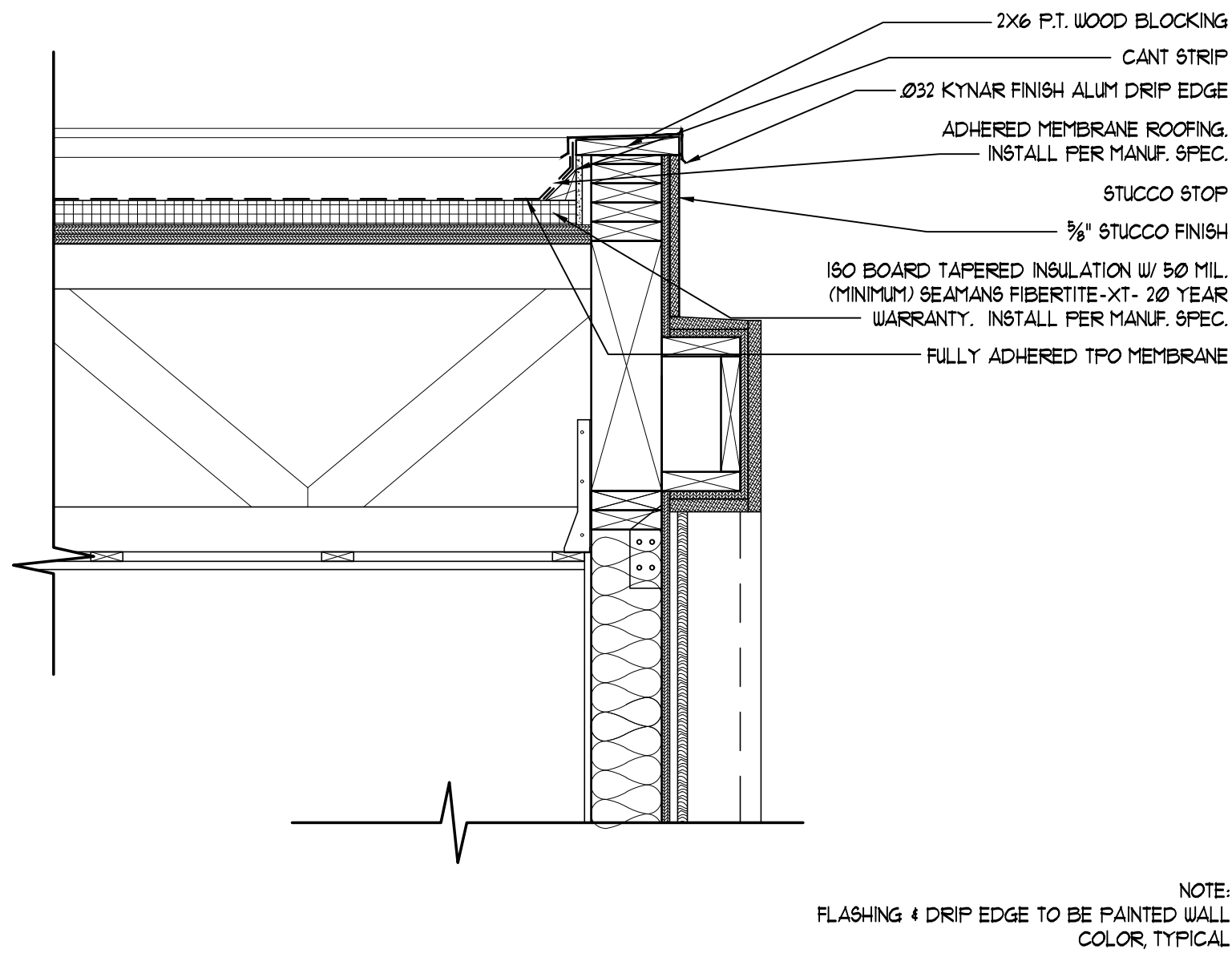
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CARROLL RESIDENCE
11303 KEEWAYDIN ISLAND
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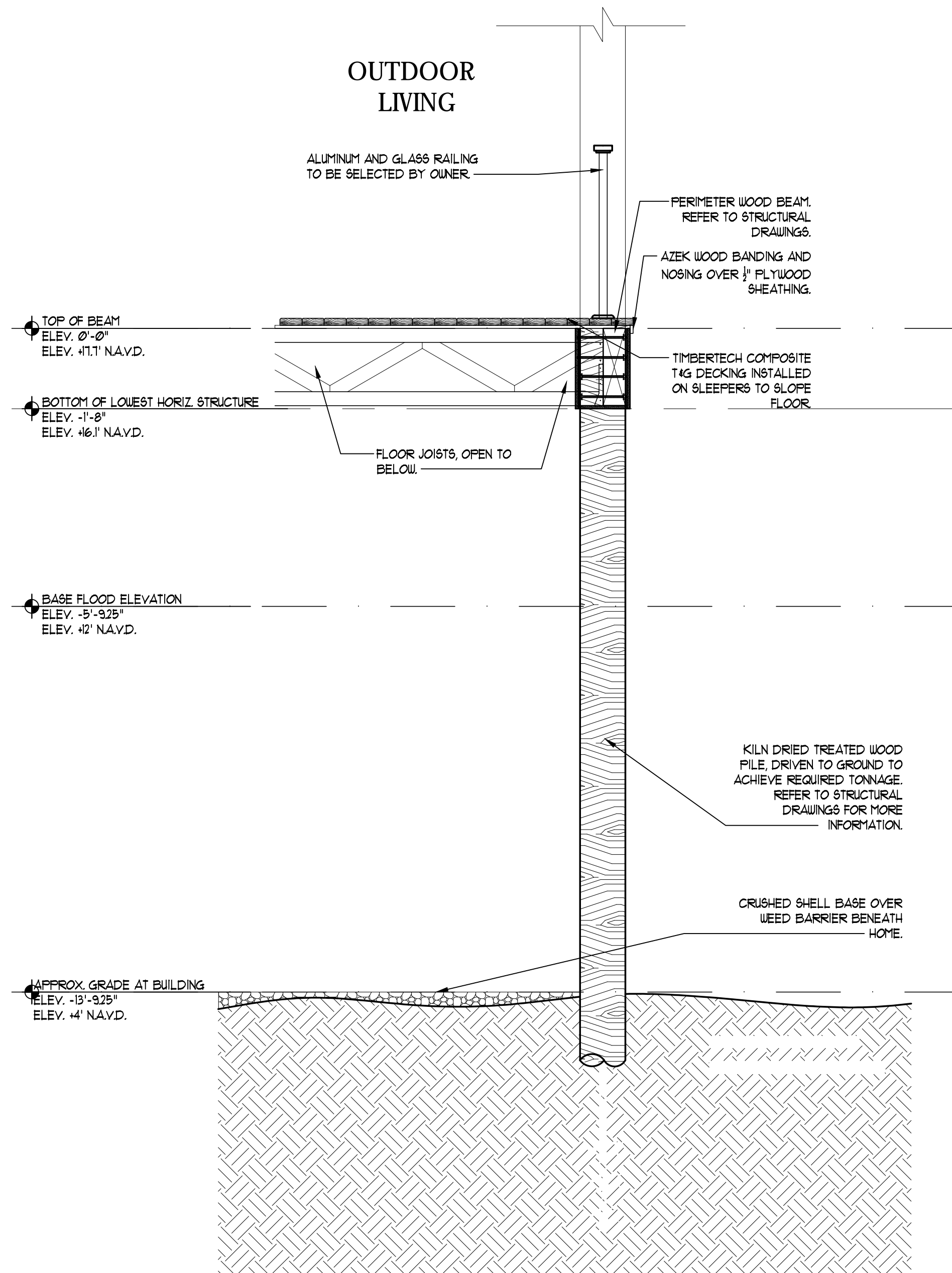




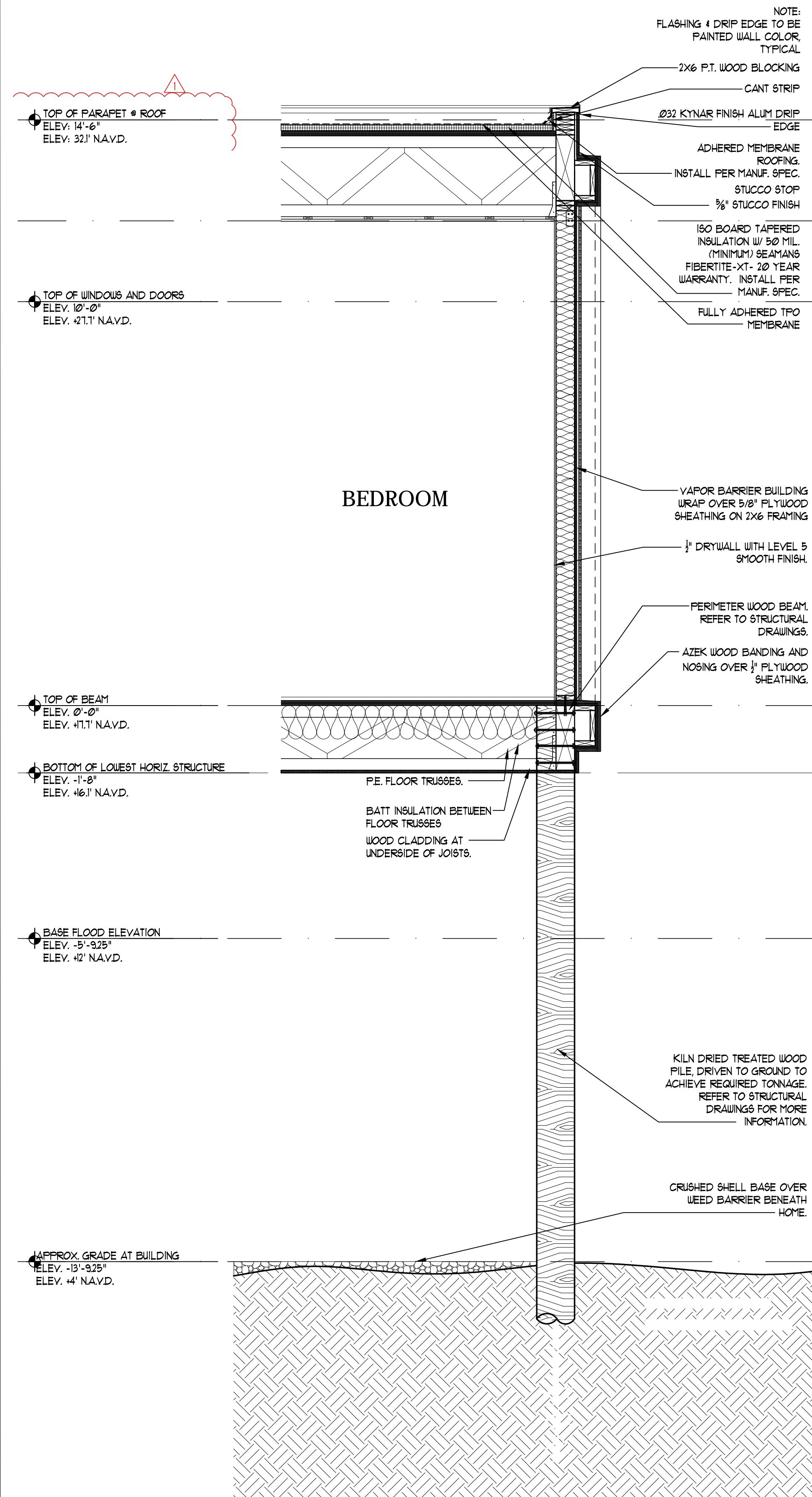
A TYPICAL OVERHANG DETAIL
SCALE: 1"= 1'-0"

TOP OF PARAPET + ROOF
ELEV. 14'-6"
ELEV. 32' NAVD.

TOP OF WINDOWS AND DOORS
ELEV. 10'-0"
ELEV. 42' NAVD.



WS-2 WALL SECTION 2
SCALE: 1/2"= 1'-0"



WS-1 WALL SECTION 1
SCALE: 1/2"= 1'-0"



Date
8/8/2023
11/17/23

Revisions
1. COUNTY COMMENTS & OWNER REV.
4. SCREENSHUTTER COLUMN REV.

CARROLL RESIDENCE

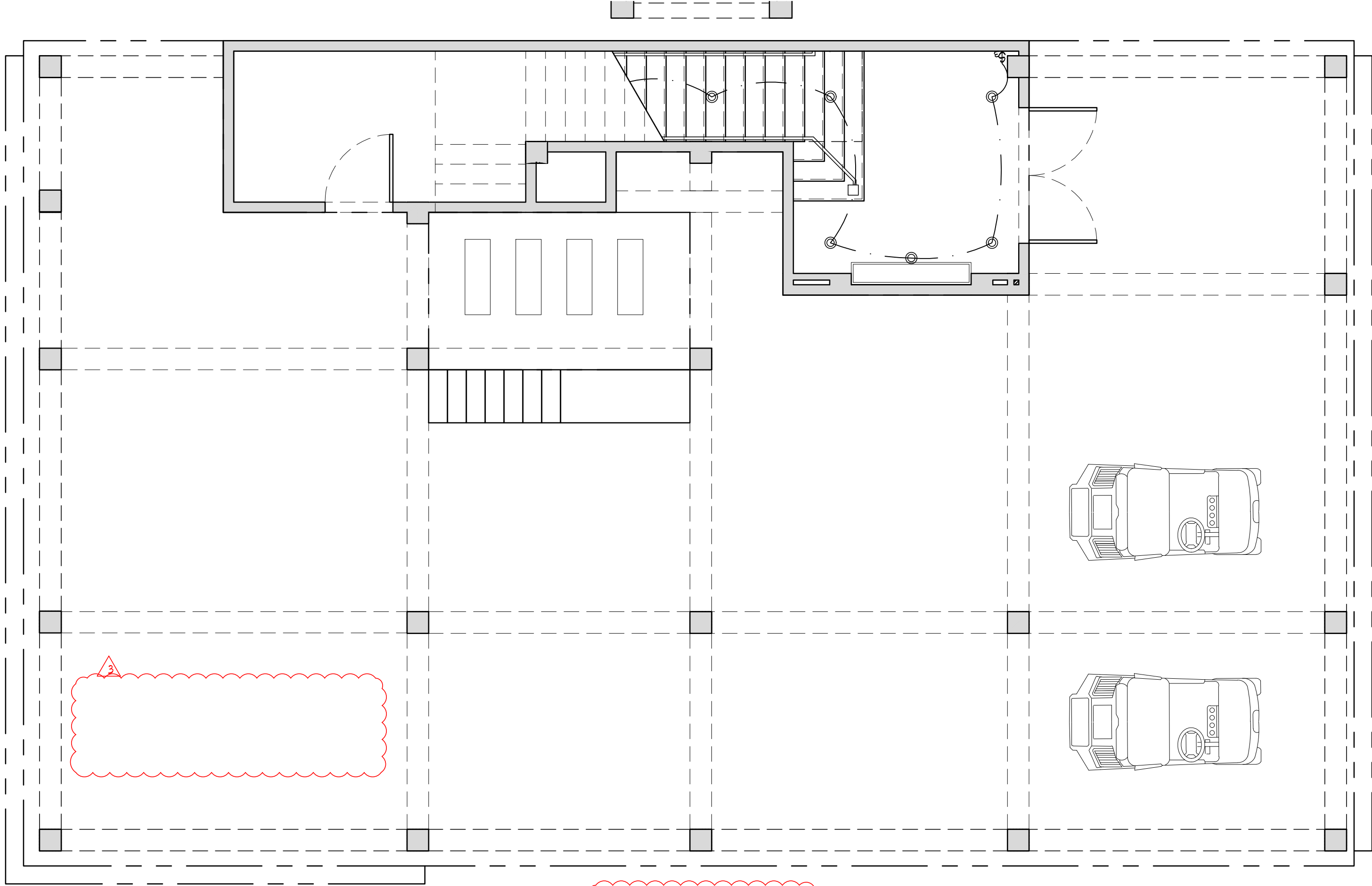
11303 KEEWAYDIN ISLAND
NAPLES, FLORIDA 34102



PROJ. #: 2104-03
DRAWN BY: K.A.V.
DATE: 3.1.22



PERMIT SET



- ELECTRICAL SPECS.
1. DRAWINGS ARE DIAGNOSTIC AND SHALL NOT BE SCALED. REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS REQUIRED FOR COMPLETE AND ACCEPTABLE WORKING INSTALLATION.

2. ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE AND SHALL COMPLY WITH ALL LOCAL RULES AND ORDINANCES HAVING JURISDICTION.

3. MINIMUM WIRE SIZE SHALL BE 10 AWG, UNLESS OTHERWISE NOTED. ALL CONDUCTORS SHALL BE COPPER WITH THIN OR THIN INSULATION.

4. ALL MATERIAL SHALL BE NEW AND BEAR THE UNDERWRITERS LABEL (UL) WHERE APPLICABLE.

5. THE ELECTRICAL SYSTEM SHALL BE COMPLETELY AND EFFECTIVELY GROUNDED AS REQUIRED IN ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE.

6. THE ELECTRICAL, TELEPHONE, AND CABLE TELEVISION INSTALLATIONS SHALL MEET ALL REQUIREMENTS BY THE LOCAL UTILITY COMPANIES.

7. ALL DISCONNECT SWITCHES SHALL BE RATED FOR 100,000 A.I.C. UNLESS OTHERWISE NOTED. ALL FUSES SHALL BE RATED FOR 100,000 A.I.C. AND SHALL BE CURRENT LIMITING.

8. OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS. PLASTIC BOXES MAY BE USED IN LIEU OF THE STEEL BOX AS PERMITTED BY LOCAL CODES. IN DAMP OR WET LOCATIONS BOXES SHALL BE MADE FROM CAST ALLOY WITH THREADED HUBS. SPECIAL ENCLOSURES ARE REQUIRED FOR OTHER CLASSIFIED AREAS.

9. SEPARATE WIRE AND CONDUIT SYSTEM MAY BE SUBSTITUTED WITH FACTORY FABRICATED ASSEMBLY ON INSULATED CONDUCTORS IN A FLEXIBLE METALLIC ENCLOSURE (FMC CABLE) WHERE PERMITTED BY LOCAL CODES. PROVIDE BGD ALTERNATE.

10. MOTOR STARTERS SHALL BE MANUAL OR MAGNETIC WITH OVERLOAD RELAYS IN EACH HOT LEG. IT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO PROVIDE ALL STARTERS AS REQUIRED BY CODE.

11. ELECTRICAL CONTRACTOR IS TO FURNISH AND INSTALL DISCONNECT SWITCHES, OVER CURRENT PROTECTION, AND WIRING FOR THE AIR CONDITIONING SYSTEM AS PER MANUFACTURER RECOMMENDATIONS. CONTROLS ARE TO BE SUPPLIED BY THE AIR CONDITIONING CONTRACTOR AND CONNECTED BY THE ELECTRICAL CONTRACTOR.

12. ALL EXTERIOR RECEPTACLES SHALL BE WEATHERPROOF AND GFI.

13. ALL EXTERIOR DISCONNECT SWITCHES SHALL BE WEATHERPROOF.

14. ALL 120V, 15 AND 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DUELING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, GREAT ROOMS, PORCHES, LIBRARIES, DINING BEDROOMS, BATHS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS SHALL BE PROTECTED BY AFCI CIRCUIT BREAKERS AS REQUIRED BY NEC 210.2.

15. REFER TO DEVICE INSTALLATION DIAGRAM FOR SUGGESTED PLACEMENT OF DEVICES.

16. RECEPTACLES AND/OR JUNCTION BOXES SHALL NOT BE PLACED IN A BACK TO BACK CONFIGURATION.

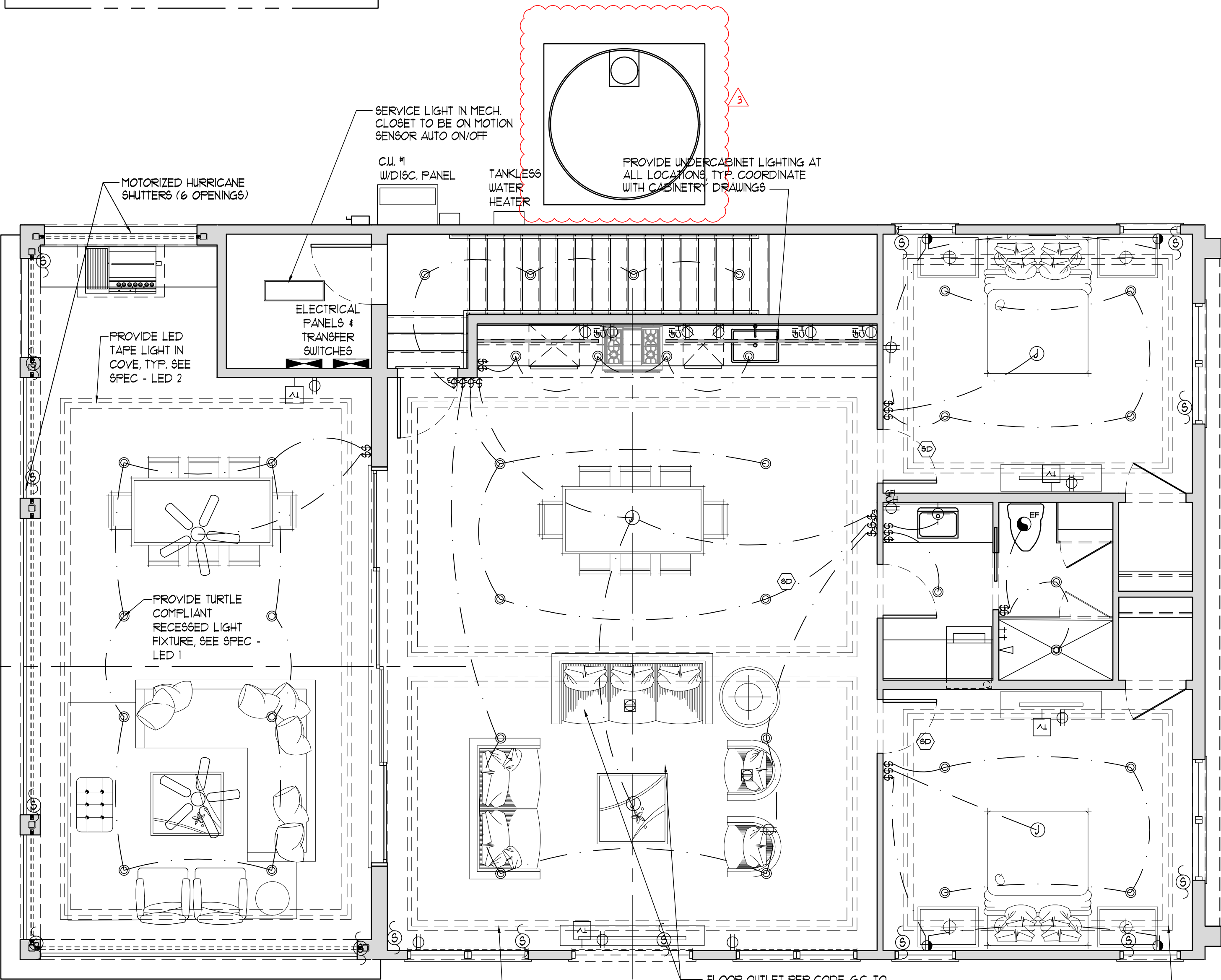
17. ALL RECESSED CANS MUST BE IC RATED FIXTURES WITH NO BULBS LARGER THAN 75 WATTS.

18. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER.

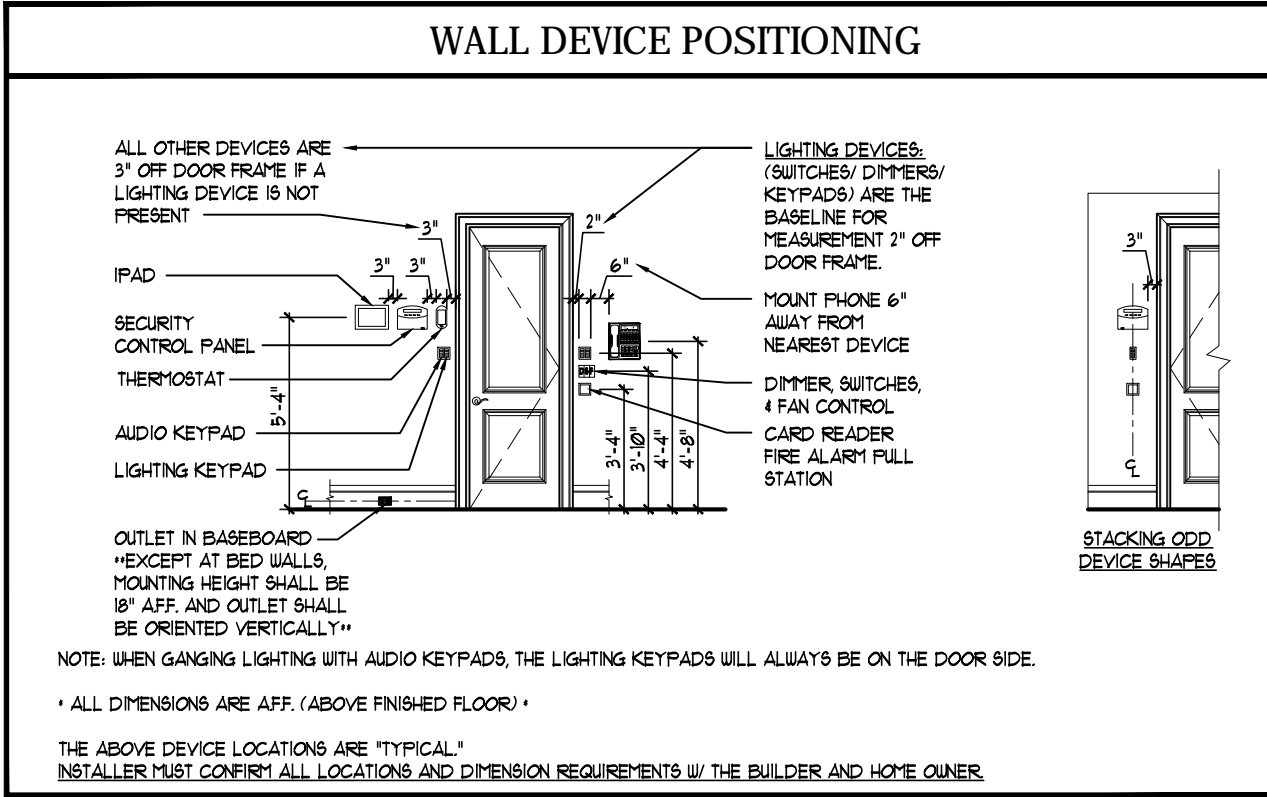
19. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.

20. THE ELECTRICAL CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN (1) YEAR FROM THE DATE OF ACCEPTANCE. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE, AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.




































21. G.C. TO COORDINATE LOCATIONS OF ALL LIGHTS, SWITCHES & OUTLET LOCATIONS WITH HOMEOWNER.



FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



SERVICE LOAD CALCULATIONS	
1336 SF. @ 3 WATT/SF.	3408
(1) REFRIGERATOR @ 15	15
FREEZER @ 15	15
(1) DISHWASHER @ 15	15
GAS WATER HEATER	0.0
WASHER @ 15	15
GAS DRYER	0.0
	3,414 KW
FIRST 10,000 WATTS @ 100%	3.4
BALANCE @ 40%	0.0
20 KW AC HEAT @ 65%	14.0
TOTAL	17.4 KW
EXTERIOR LIGHTING	2.0
	19.4 KW
TOTAL LOAD:	
19.4 KW / 240 VOLTS = 83 AMPS	
TOTAL DEMAND LOAD	
SERVICE CONNECTORS BY FF4L	

ELECTRICAL SYMBOLS LEGEND					
	WALL OR CEILING MOUNTED LIGHT FIXTURE		220 VOLT RECEPTACLE		PUSH BUTTON WALL SWITCH AT 48" AFF.
	AUTOMATIC LIGHT		DUPLEX OUTLET		DOOR CHIME BUTTON (LIGHTED)
	WALL OR CEILING MOUNTED EXT. LIGHT FIXTURE		DUPLEX OUTLET - HALF SWITCHED		DOOR CHIME W/ TRANSFORMER
	RECESSED LIGHT FIXTURE		DUPLEX OUTLET AT COUNTER HEIGHT		MOTORIZED WINDOW SHADE
	VAPOR RESISTANT RECESSED LIGHT FIXTURE		GFI DUPLEX OUTLET AT COUNTER HEIGHT		FLOOD LIGHT
	RECESSED LIGHT FIXTURE W/ DIRECTIONAL TRIM		GFI DUPLEX OUTLET		ELECTRIC METER
	SURFACE MOUNTED LED FIXTURE		WEATHER PROOF DUPLEX OUTLET		ELECTRIC PANEL
	JUNCTION BOX		FLOOR RECEPTACLE OUTLET		STEP LIGHT
	CABINET LIGHTING		CABLE TELEVISION JACK		DISCONNECT
	CEILING FAN WITH LIGHT		TELEPHONE JACK		
	EXHAUST FAN VENTED TO EXTERIOR		WALL SWITCH AT 48" AFF.		
	SMOKE & CARBON MONOXIDE DETECTOR		3-WAY WALL SWITCH AT 48" AFF.		
			3-WAY WALL SWITCH W/ DIMMER AT 48" AFF.		
			DIMMER WALL SWITCH AT 48" AFF.		

PERMIT SET

ROBERT A. VANDA
N° 00955663
STATE OF FLORIDA
REGISTERED ARCHITECT

Revisions
1. COUNTY COMMENTS & OWNER REV.
3. COUNTY COMMENTS

Date
5.6.22
8.30.22

CARROLL RESIDENCE

11303 KEEWAYDIN ISLAND
NAPLES, FLORIDA 34102

BECK
ARCHITECTURAL GROUP

PROJ. #: 2104-03
DRAWN BY: K.A.V.
DATE: 3.122

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