





# Greenhaven Shores Rights of Way & Docks





# 1<sup>st</sup> Dock





# 2<sup>nd</sup> Dock





# 3<sup>rd</sup> Dock

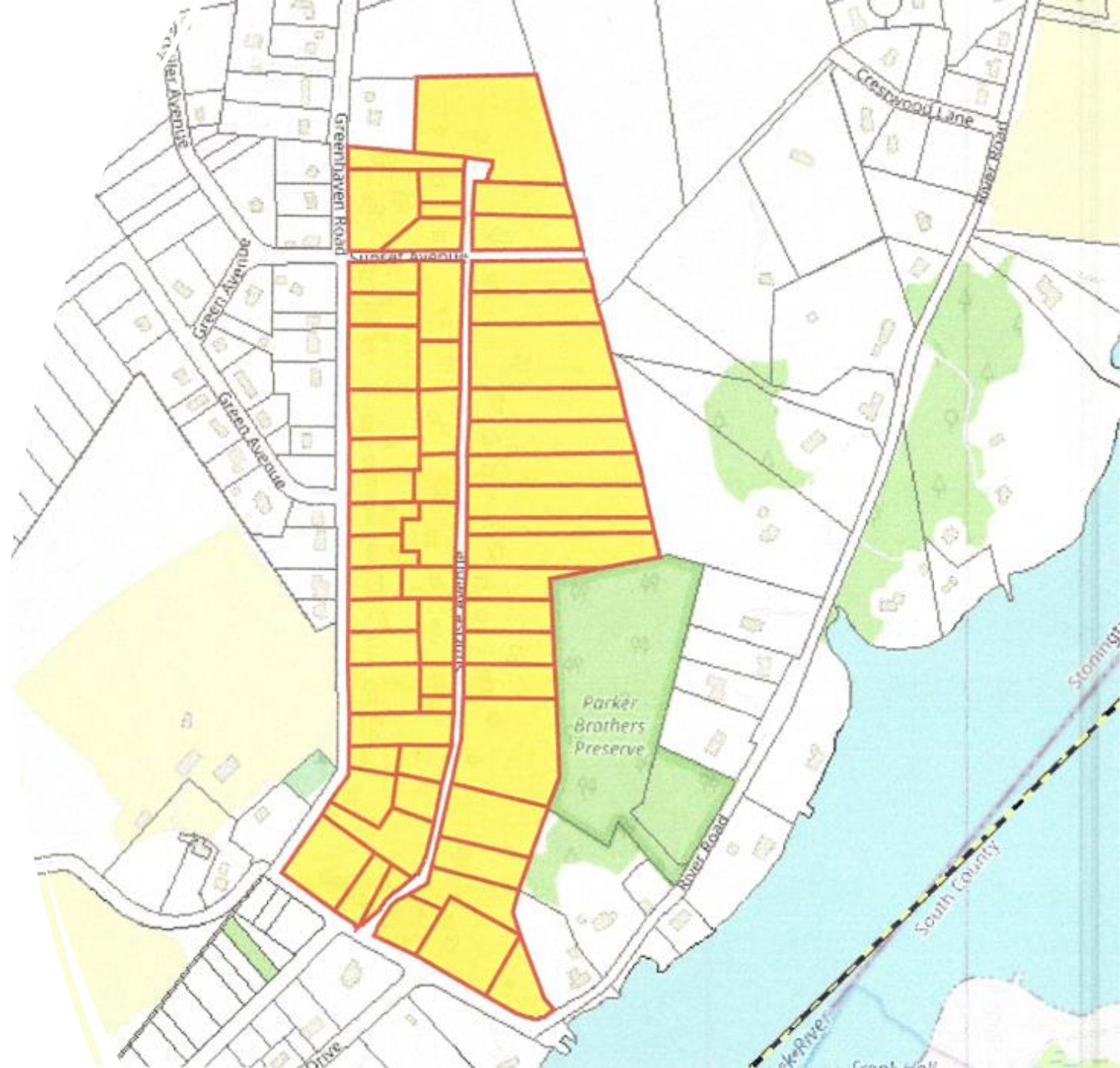




# Greenhaven Shores Section 1

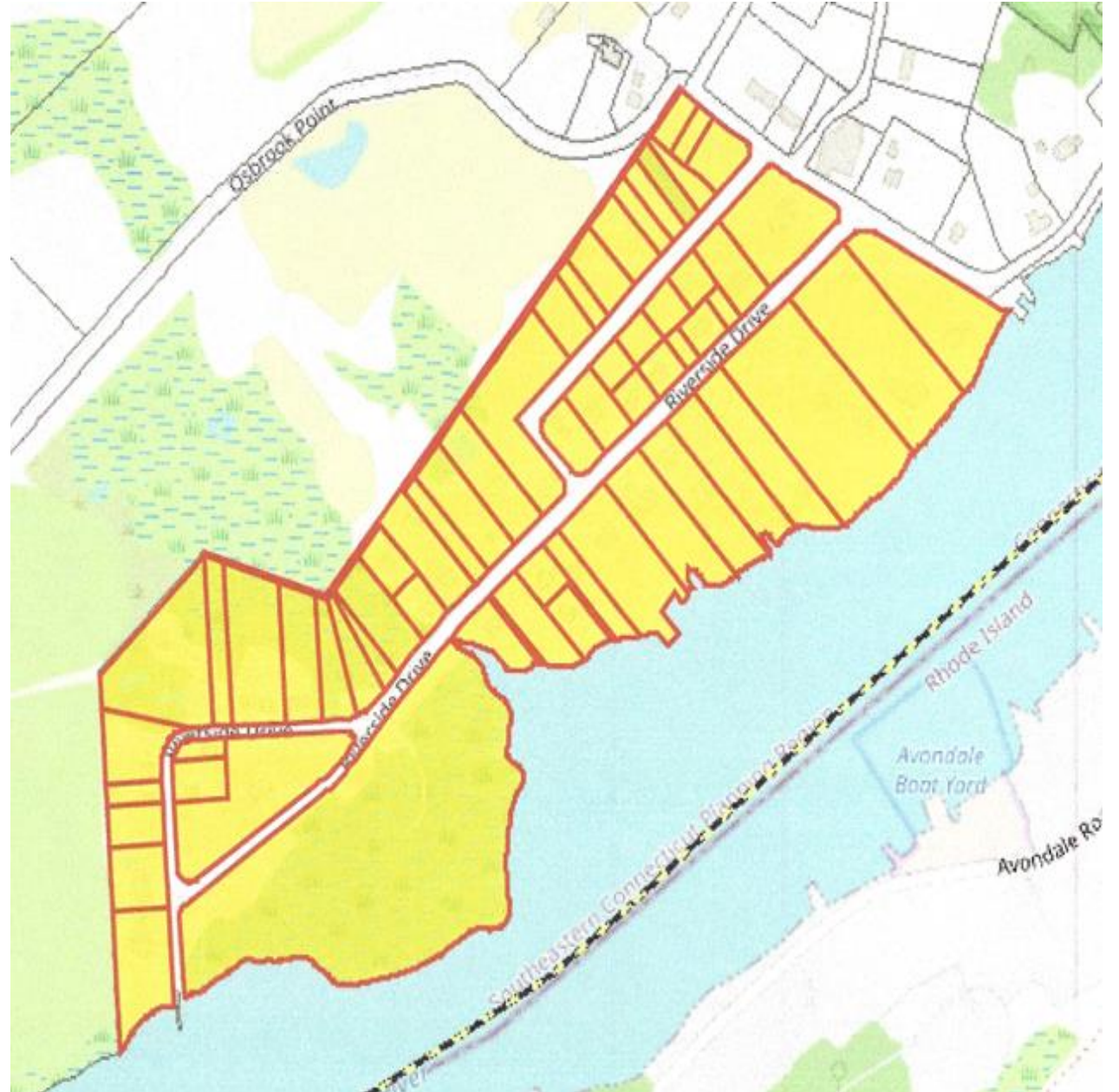
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- Sunrise Avenue
- Sunset Avenue
- Greenhaven RD (East side)



# **Greenhaven Shores Section 2**

**Riverside Drive  
Elizabeth Drive  
Greenhaven Rd  
(South Side)**

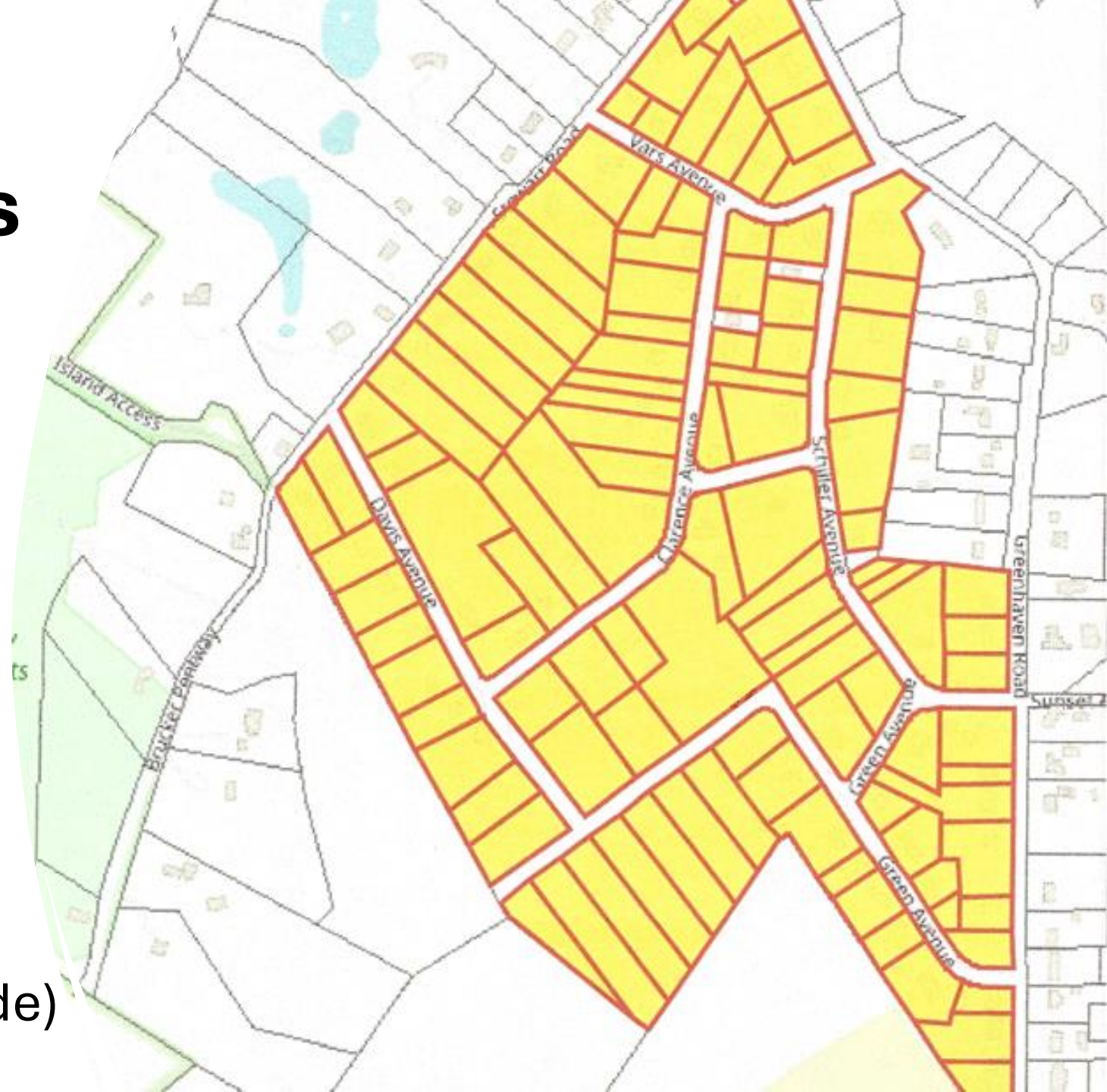




# Greenhaven Shores Section 3

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- Green Avenue
- Schiller Avenue
- Vars Avenue
- Clarence Avenue
- Davis Avenue
- Stewart Avenue (East Side)
- Greenhaven Road (Between Stewart and Schiller (West Side))

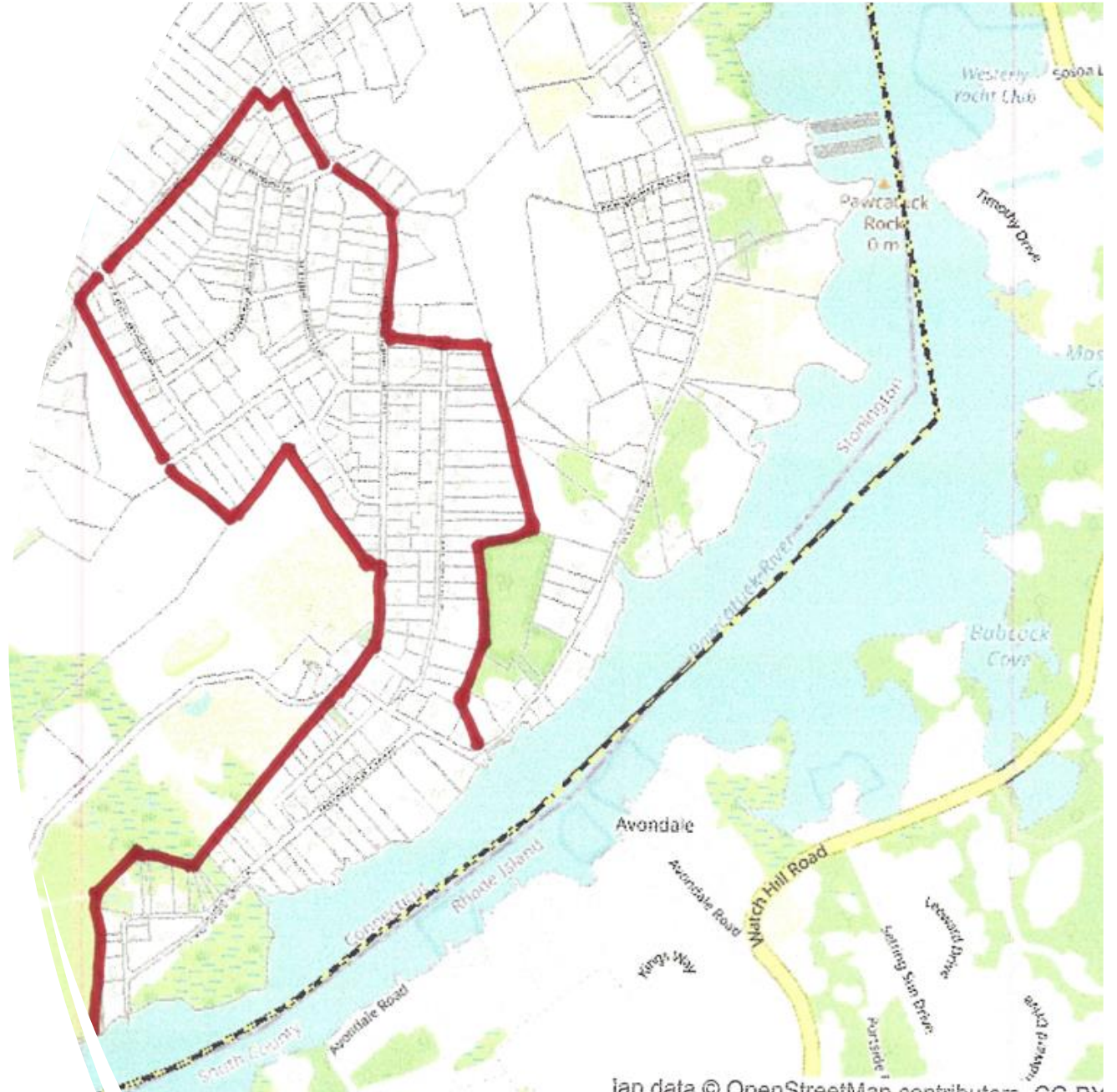




# Greenhaven Shores Sections 1, 2, 3

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- The lots inside the red line are the only lots that have a **Right of Way** to the **3 Docks** and the Pawcatuck River.





AUG 14, 1935

\*\*\*\*\*  
100 PRESENTS

*Valued at \$500.00*  
GIVEN AWAY FREE DAILY

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**ABSOLUTE  
AUCTION SALE  
OF  
CHOICE BUILDING PLOTS**

Comprising a Part of the Property known as

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**GREENHAVEN SHORES**

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**ONE WEEK'S SALE**

Commencing SATURDAY, AUGUST 17th,  
At 2:30 P. M.

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*Sale will be held on the property*

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**GREENHAVEN SHORES**

Is located in Lower Pawcatuck, on the west bank of the Pawcatuck River,  
some 2 1/2 miles from the center of Westerly on Mechanic street.

\*\*\*\*\*

PRESENTS CONSIST OF

<i>Ladies' &amp; Gentlemen's Watches</i>	<i>Lemaire Field and Marine Glasses</i>
<i>Silver Dinner Sets, 37 Pieces,</i>	<i>Lemaire Pearl Opera Glasses</i>
<i>Elegant Tea Sets, 6 Pieces,</i>	<i>Articles in Cut Glass</i>
<i>Rare Vases</i>	<i>Artistic Bric-a-brac</i>
<i>Imported Rugs</i>	<i>Mexican Linen Drawn Work</i>
<i>Novelties in Leather Goods</i>	<i>French Tapestries</i>
<i>Fine Imported French Clocks</i>	<i>Novelties in Sterling Silver</i>
<i>Imported Game, Berry, Tea, Chocolate, Cake and other rare China Sets;</i>	
<i>And many other articles too numerous to mention.</i>	

Remember—no trash. All valuable gifts, and GIVEN AWAY FREE whether you purchase or not.

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WHY THE PRESENTS ARE GIVEN AWAY

Simply as an advertisement; to have the people attend our Sales; see for themselves how desirable our Tract is; the money we have expended on same; the improvements we have made, and the desirability of our tract for a home, investment, or speculation. We POSITIVELY GIVE AWAY THESE PRESENTS FREE, whether you buy or not.

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HOW THE PRESENTS ARE GIVEN AWAY

Every man or woman who attends these sales will receive a ticket FREE, entitling him to participate in the Grand Distribution of all these Presents, which will be given away free every few minutes during the sale.

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A WORD TO THE LADIES!

The ladies are especially invited to attend our sales. We make special provision for their comfort, and from our Auction Sales heretofore this is so well known that usually we have many hundreds who come each day and come again, and who carry away valuable souvenirs and pleasant recollections of the occasion.

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REMEMBER

Every lot is to be sold on Easy Terms,  
if desired.

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REMEMBER

Every lot will be sold, at your price  
—not ours.

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SALE WILL BE CALLED AT 2:30 P. M. SHARP

Our object in holding this sale for one week is the fact that intending purchasers cannot always find it convenient to be present on a specified day. Then again, over three-fourths of our time is consumed in giving away the presents, leaving us only about one hour of each day for actual selling.



# Westerly Sun Aug 14, 1935

## Greenhaven Shores

### A Card to the Public

From L. H. Green, Owner and Developer

"GREENHAVEN SHORES" is the name I have given to the 180 acre tract of land I purchased over a year ago, then known as the "Davis Farm," and which I have been informed has been in possession of the Davis family some two hundred years.

"Greenhaven Shores" is located in Lower Pawcatuck, some 2½ miles from the center of Westerly; is in the State of Connecticut, but only divided from the State of Rhode Island by the Pawcatuck River. Its northerly boundary is directly opposite Avondale. Its southern boundary is opposite Watch Hill. It has a frontage on the Pawcatuck River of about one mile, and more than a mile frontage on the main highway running from Lower Pawcatuck to Stonington. To reach GREENHAVEN SHORES leave Westerly at Mechanic Street. Continue on same until the road ends—at my dock. You then have reached GREENHAVEN SHORES. Turn to the right, and within 500 feet is my residence where with my wife I am residing for my second year. Stop and visit us, and we will be glad to show you our remodeled old Farm House, and either my agents or myself will take you over the property if you desire, explaining to you our reasons for developing same. The property is high and slightly rolling, and from nearly every point of GREENHAVEN SHORES can be obtained a perfect view of Avondale, Watch Hill, Little Narragansett Bay, Long Island Sound and vicinity.

### Greenhaven Shores

Not the usual layout of a subdivision—but planned to be a town site, and a community within itself eventually. Every plot will be wisely restricted as to the cost of buildings to be erected and a building line established on each street or avenue. I am building three docks on the waterfront and every purchaser of a lot will have access to these docks, where they can land their boats, go bathing, or fish. And, by the way, there are many of the smaller fish taken here, and in their season blue-shelled crabs and eels furnish good sport. Good oysters are plentiful also in front of every lot facing the water.

### Greenhaven Shores

Is a subdivision of the J. Daniel Davis Farm, consisting of some 180 acres of land. It is situated in Lower Pawcatuck (so-called) in the town of Stonington, Connecticut.

It has been laid out in three different sections, known as sections No. 1, 2 and 3.

Section No. 1, comprising some 42 acres, is subdivided into some 140 large plots, 30 of which are reserved with the house and outbuildings. The balance of the lots will be for sale, and will appeal to those of limited means.

Section No. 2, which comprises some 60 acres, is our choicest waterfront property, and extends nearly one mile along the Pawcatuck River and Little Narragansett Bay, at its widest part, and on deep water. Three piers or docks have been built on the

waterfront to be used in common by purchasers of plots in GREENHAVEN SHORES.

Every real estate dealer who has visited GREENHAVEN SHORES tells us he knows of no better or more choicest waterfront anywhere within several miles. These plots will appeal to those who can afford and desire the best in waterfront property.

Section No. 3. No plots in this tract will be offered for sale, as it will take us several months to develop same. They are the furthest away from the waterfront, and will appeal to those desiring large plots at very low prices where the man of moderate means—the working man—can build a modest house or bungalow.

Every lot or plot in our tract is practically a waterfront lot. Everyone who purchases a lot of us—no matter if only \$1.00 is paid for same—has the use of our three piers, which can be used for bathing, fishing, or landing of boats.

### Ladies!

### Ladies!

You are vitally interested in the selection of a home site, and should take advantage of this opportunity to invest in this ideal location. In fact, we find in our past experience, that your judgment in selecting a site for a home is of the best.

### Has It Ever Occurred to You?

That the wealth of the world is based upon Real Estate in some form or other, and it is high time financiers and speculators recognized this fact? Real Estate is the only commodity of which there can not be any overproduction. There is the same amount of land in the world today as there ever was or ever will be, and yet the population of the world is steadily growing. So that the only increase in land will be in value. Don't let this opportunity to buy a site for a home in this ideal location get away from you.

### Investors and Speculators!

It is an acknowledged fact that no investment before the public today offers such immense profits with absolute safety to the principal as Real Estate. As Senator Jones has said, "There is one way to get rich, and only one way. Buy outside or suburban property near a growing and prosperous community, and hold on to it until it becomes inside property. The profits will surpass those of any gold mine, oil well, or stock speculation. Most important of all, the money invested is always safe and sure."

### Builders, Home-Seekers and Speculators

We wish to impress upon your minds the fact that if you buy at this sale at Public Auction, you do not have to pay a fancy price made by somebody else; you pay just what you think they are worth to you as a bargain, to resell, or to use for your own purpose. We really believe that every lot sold at this sale can be resold at double the price paid, in a short time. If every lot in this tract was built on, with suitable houses, the houses could be sold or rented to good advantage.

### Easy Terms!

### Easy Terms!

Easy terms will be made. Only 10 per cent down at time of sale, 10 per cent within ten days, and the balance can be made in monthly payments extending over a period which will be announced before the sale, or discount will be given for cash. The Title is absolutely perfect.



# Westerly Sun

## August 14th 1935

### Greenhaven Shores

Is a subdivision of the J. Daniel Davis Farm, consisting of some 180 acres of land. It is situated in Lower Pawcatuck (so-called) in the town of Stonington, Connecticut.

It has been laid out in three different sections, known as sections No. 1, 2 and 3.

*Section No. 1*, comprising some 42 acres, is subdivided into some 140 large plots, 30 of which are reserved with the house and outbuildings. The balance of the lots will be for sale, and will appeal to those of limited means.

*Section No. 2*, which comprises some 60 acres, is our choicest waterfront property, and extends nearly one mile along the Pawcatuck River and Little Narragansett Bay, at its widest part, and on deep water. Three piers or docks have been built on the

## Greenhaven Shores

Is a subdivision of the J Daniel Davis farm, consisting of some 180 acres of land. It is situated in lower pocket (so-called) in the Town of Stonington, Connecticut.

It has been laid out in three different sections, known as sections #1, 2 and 3.

***Section #2***, which comprises some 60 acres is our choicest waterfront property, an extends nearly one mile along the pocket duck river and little Narragansett Bay, at its widest part, and on the deep water. ***Three piers or docks have been built on the waterfront to be used in common by purchasers of plots in Greenhaven Shores.***



waterfront to be used in common by purchasers of plots in *GREENHAVEN SHORES*.

Every real estate dealer who has visited *GREENHAVEN SHORES* tells us he knows of no better or more choice waterfront anywhere within several miles. These plots will appeal to those who can afford and desire the best in waterfront property.

*Section No. 3.* No plots in this tract will be offered for sale, as it will take us several months to develop same. They are the furthest away from the waterfront, and will appeal to those desiring large plots at very low prices where the man of moderate means—the working man—can build a modest house or bungalow.

Every lot or plot in our tract is practically a waterfront lot. Everyone who purchases a lot of us—no matter if only \$1.00 is paid for same—has the use of our three piers, which can be used for bathing, fishing, or landing of boats.

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# L. H. Green letter August 21, 1936

New York Office  
Room 655  
Marbridge Building

## MAIN OFFICE OF L. H. GREEN

Owner and Developer of  
GREENHAVEN SHORES

Westerly, R. I.

R. F. D. No. 2

Telephone Westerly 2232

Palm Beach Office  
Main Street  
Palm Beach, Florida

Westerly, R. I. August 21, 1936.

GREENHAVEN SHORES is a subdivision of the old Davis Farm of 180 acres of land, situated on the Pawcatuck River and Little Narragansett Bay with a waterfront of one mile and opposite Watch Hill, R. I. It is located two and one-half miles from Westerly, R. I., in the Town of Stonington, County of New London, State of Connecticut.

Over \$75,000.00 has been spent in building wide streets and avenues through the property and otherwise beautifying and improving same.

The tract has been laid out in a Park system in large plots averaging a frontage of fifty feet and a depth of three hundred feet.

Three private docks have been built to which every purchaser in Greenhaven Shores has access to and the use of same.

It is the intention to make of Greenhaven Shores an ideal community. The property is wisely restricted, a small area laid out for business purposes.

The property is free and clear of all encumbrances. The owner does not desire or expect to derive any profit on sale of this property and therefore will sell plots as low as \$50.00 and upwards on easy terms if desired.

For further information address

**L. H. GREEN**  
R. F. D. No. 2  
Westerly, R. I.

Mr. Lewis  
c/o Rossi & Lewis  
58 High Street,  
Westerly, R.I.

Dear Mr. Lewis:

I received your bill of recent date which is entirely satisfactory to me but before paying same I would like to remind you of the fact that about a year ago I credited you with \$50.00 on account for which you were to select a lot or lots in this tract and as you may select a lot that will amount to more than \$50.00, I would like to adjust this matter with you at your earliest convenience as I do not care to wait any longer for you to select the lot or lots that you wish. Let us adjust this matter as soon as possible. I am,

Very sincerely yours,

L. H. Green

LHG:my.

Three private docks  
have been built to  
which every purchaser  
in Greenhaven Shores  
has access to and the  
use of same.

# Mission Statement

**The primary goal of the Greenhaven Shores Property Owners Association, originally organized in 1989, is to protect our rights-of-way to the river. The secondary goal is to provide an organizational structure to properly maintain the rights-of-way and to facilitate repairs or improvements to the infrastructure (docks, ramps, etc.)**



# MEMBERSHIP

## • SECTION 1. PROPERTY OWNERS

- Membership shall be limited to property owners in Greenhaven Shores, Sections One, Two and Three.
- The definition of a property owner is: All persons who are deeded owners of property in Greenhaven Shores, Sections One, Two and Three.
- Property Owner Membership and Voting Eligibility: Property owners may become members of the Association upon payment of the membership dues for the current fiscal year. In the case of property jointly owned, only one such joint owner shall be entitled to vote on any matter that comes before the membership. No one person, by virtue of his or her ownership of more than one parcel of property, shall be entitled to more than one vote.

## SECTION 2. CLASSES

- Membership shall be composed of three classes: Charter, Regular or Honorary.
- 1. CHARTER: Property owner who attained membership with this organization by Dec. 31, 2024
- 2. REGULAR: Property owners who join the organization after Dec.31, 2024. The status of Regular members will be reviewed by the executive board every two years for possible change of status.
- 3. HONORARY: Property owners who, because of financial or other hardships, may have all dues and fees waived at the discretion of the Executive Board. Honorary members shall be considered members in good standing. A review of the status of Honorary members will be conducted by the executive board once every year.



# What does it matter??

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- I don't own a boat.
- I don't need a mooring.
- **The Right-of Way adds value to your home.**

BERKSHIRE  
HATHAWAY  
HomeServices

New England  
Properties

To: Greenhaven Shore Association owners

This letter is to present to you the information of the benefits that joining the Association will provide. Based on the map provided, property owners have the rights of way to 3 areas. These areas bring value to the homeowners in the means of dollars for resale in the amount of approximately 10-35K, increasing the value of the homes compared to homes without water rights of way in the same neighborhood.

Tracy O'Donnell

Realtor

Berkshire Hathaway Home Services

Mystic, Ct

# FEES AND DUES

**The annual dues for Charter Members shall be \$150. To be a Charter Member the fee must be paid by December 31, 2024.**