

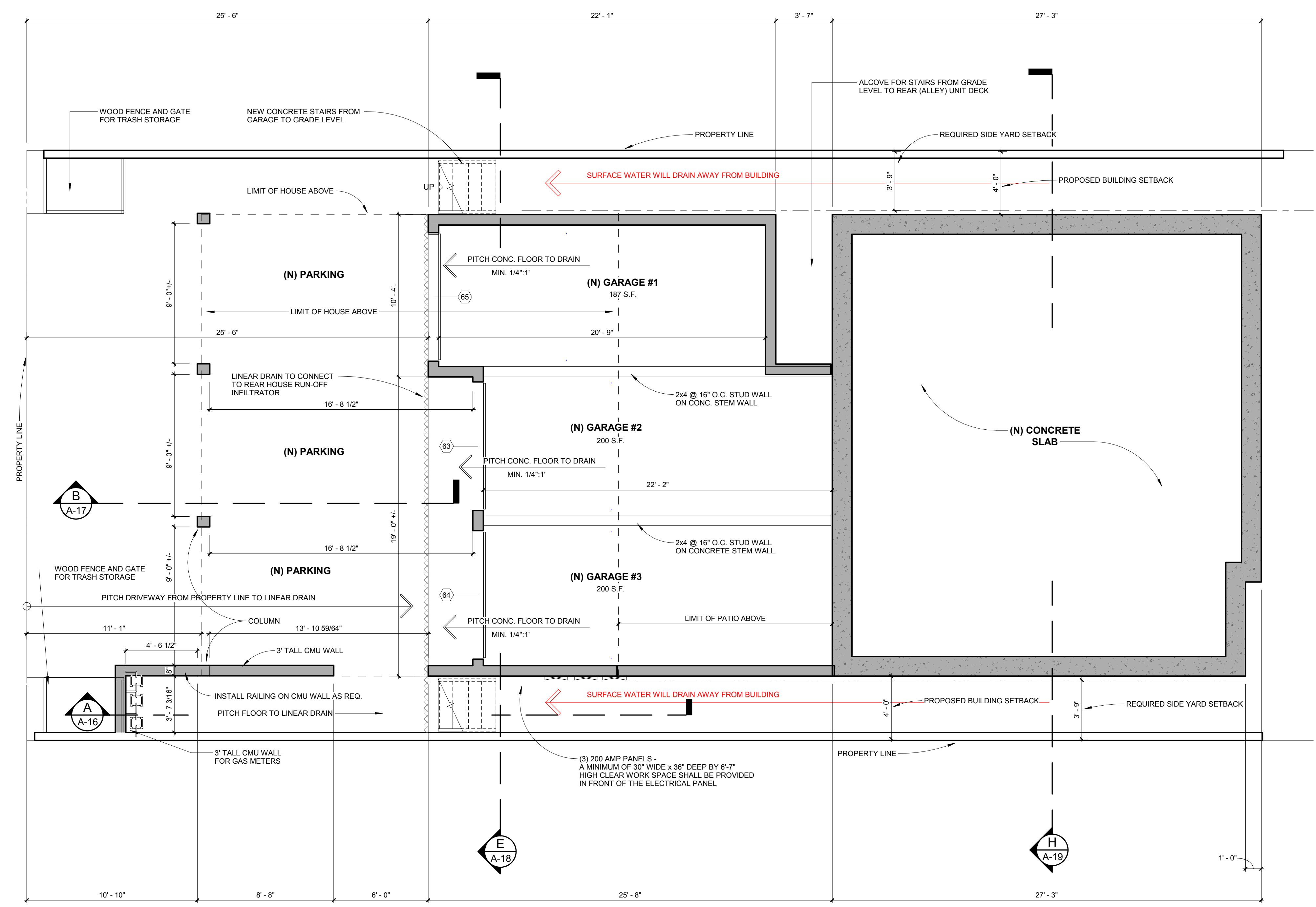
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 JOHN E. RYAN

REVISIONS	BY
1	JR
2	
3	

PROJECT DESIGNER
Jeff Farrell

A Home Remodel For:
924 Dev., LLC
 924 D Avenue, Coronado, Ca 92118
 Sheet Title:
Proposed Parking & Slab Foundation Plans

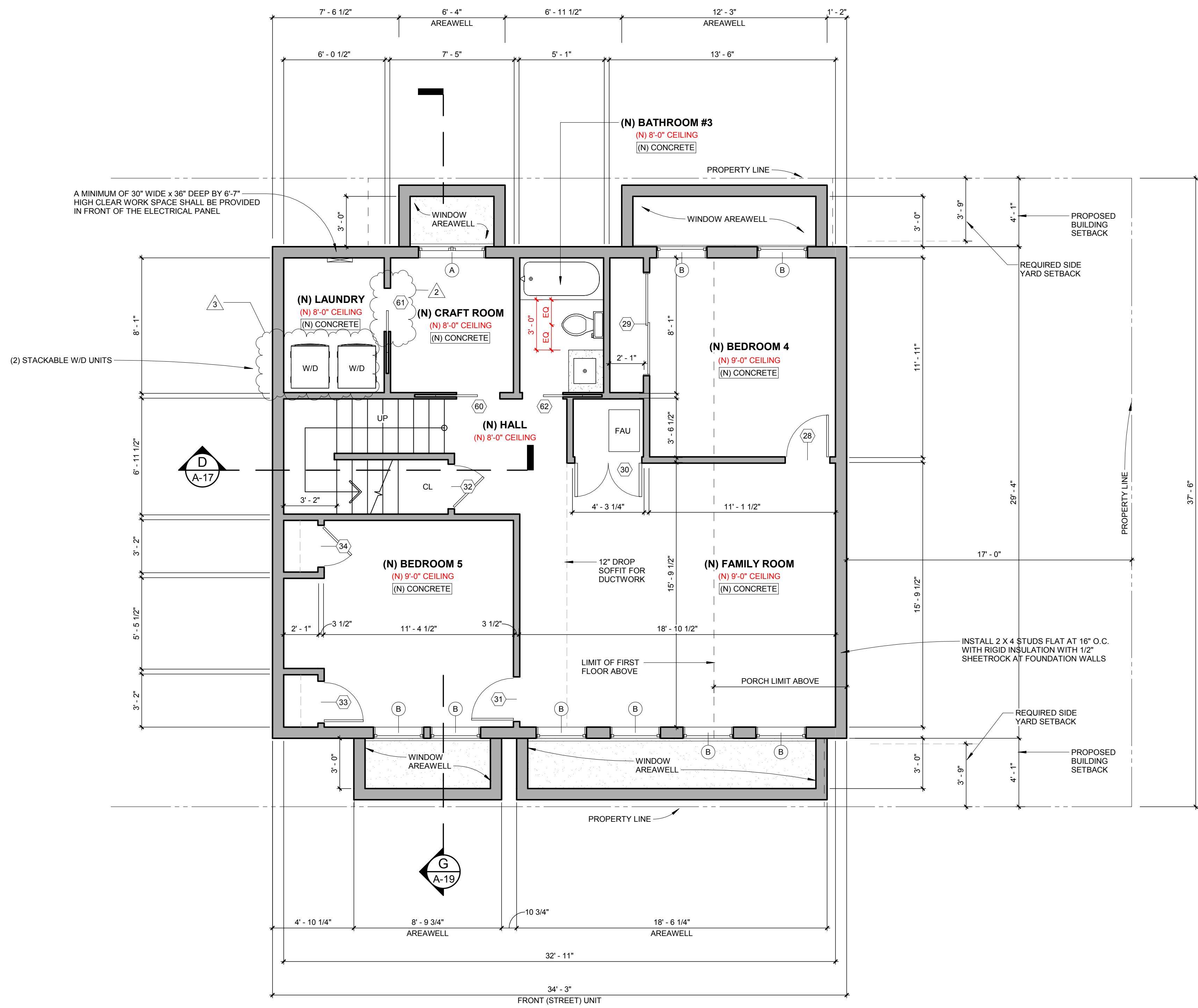
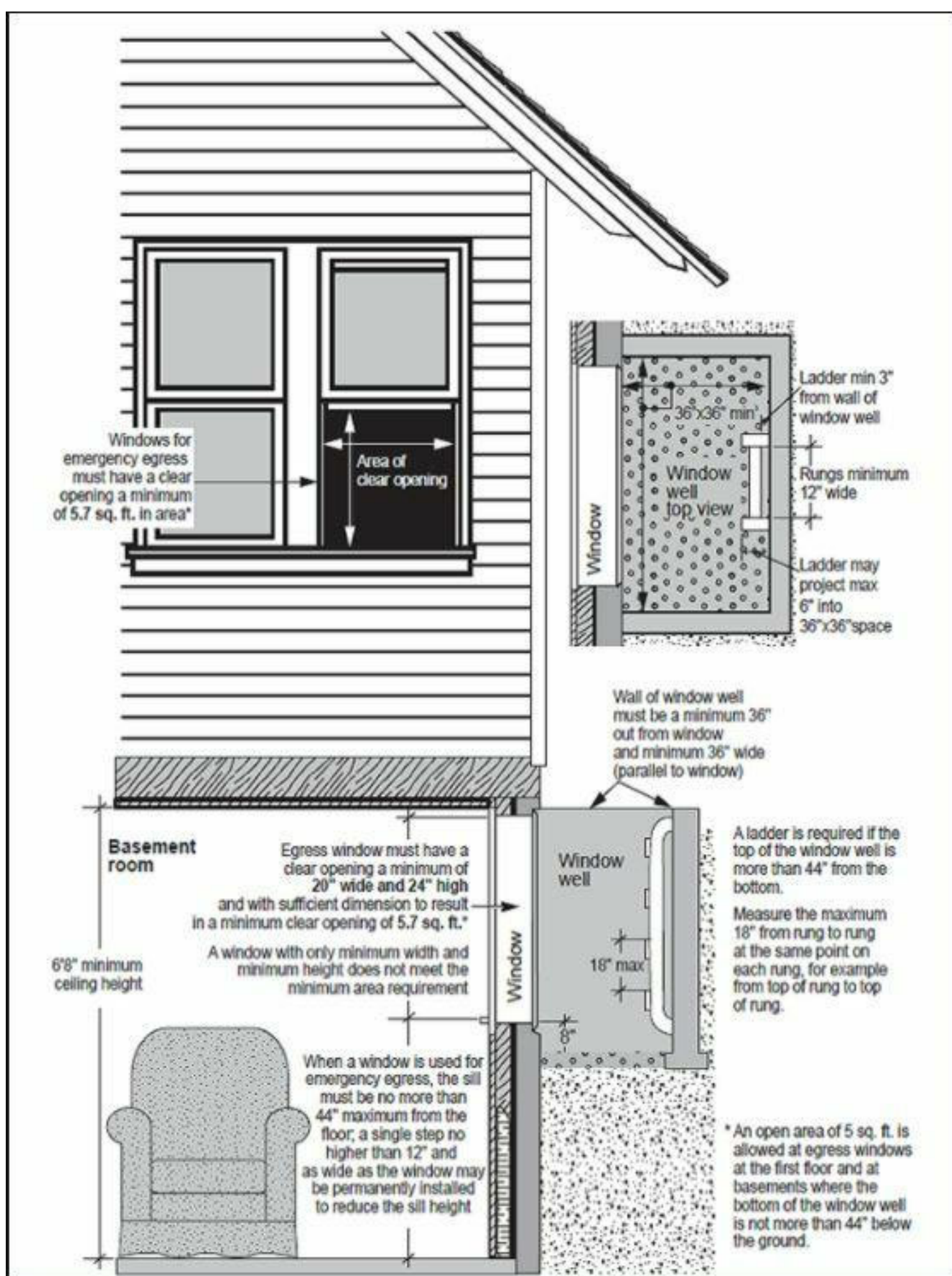
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DATE / TIME 9/4/2021 7:18:56 PM
PROJECT NUMBER 19-028
JOB NAME D Condo's
SHEET



PARKING LEVEL & SLAB FOUNDATION PLAN

1/4" = 1'-0"

△ PRIOR TO THE CONTRACTOR REQUESTING A BUILDING DEPARTMENT FOUNDATIONS INSPECTION, THE SOILS ENGINEER SHALL ADVISE THE BUILDING OFFICIAL IN WRITING THAT:
 A) THE BUILDING PAD WAS PREPARED IN ACCORDANCE WITH THE SOILS REPORT
 B) THE UTILITY TRENCHES HAVE BEEN PROPERLY BACKFILLED AND COMPACTED
 C) THE FOUNDATION EXCAVATIONS, THE SOILS EXPANSIVE CHARACTERISTICS AND BEARING CAPACITY CONFORM TO THE SOILS REPORT



PROPOSED BASEMENT PLAN

1/4" = 1'-0"

PRIOR TO THE CONTRACTOR REQUESTING A BUILDING DEPARTMENT FOUNDATIONS INSPECTION, THE SOILS ENGINEER SHALL ADVISE THE BUILDING OFFICIAL IN WRITING THAT:

- A) THE BUILDING PAD WAS PREPARED IN ACCORDANCE WITH THE SOILS REPORT
- B) THE UTILITY TRENCHES HAVE BEEN PROPERLY BACKFILLED AND COMPACTED
- C) THE FOUNDATION EXCAVATIONS, THE SOILS EXPANSIVE CHARACTERISTICS AND BEARING CAPACITY CONFORM TO THE SOILS REPORT

WALL LEGEND

(E) TO REMAIN	---
(E) DEMO'D WALLS	- - - - -
(N) 2 x 6 WALLS	▨▨▨▨
(N) 2 x 4 WALLS	▨▨▨▨
(N) WALLS W/ INSULATION	▨▨▨▨

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1	12-17-2020 JR
2	02-25-2021 JR
3	08-23-2021 JR

PROJECT DESIGNER
Jeff Farrell

A Home Remodel For:
924 Dev., LLC
924 D Avenue, Coronado, Ca 92118
Sheet Title:
Proposed Basement Plan

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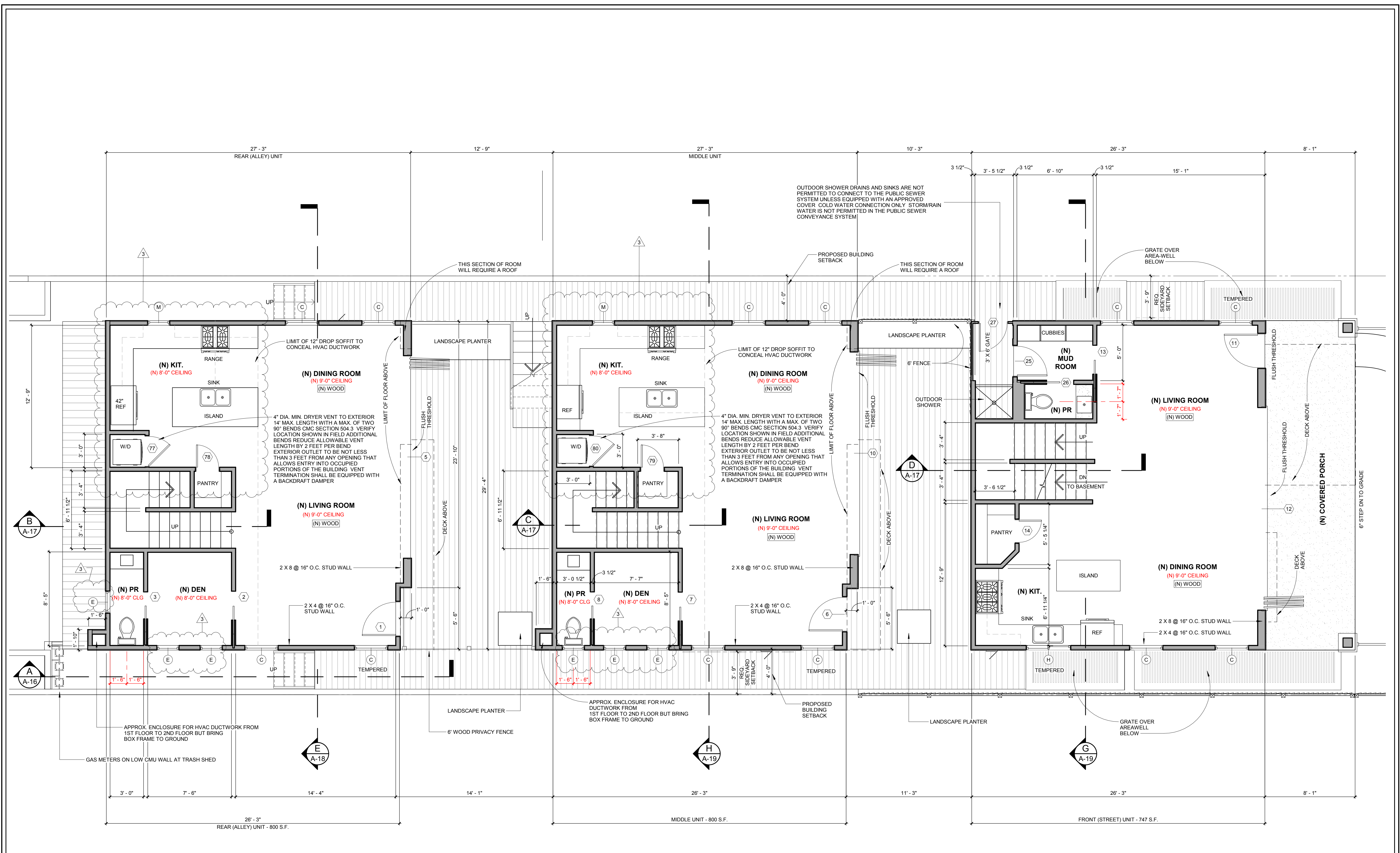
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PROJECT DESIGNER
Jeff Farrell

A Home Remodel For:
924 Dev., LLC
 924 D Avenue, Coronado, Ca 92118
 Sheet Title:
Proposed First Floor Plans

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 SHEET
A-8
 OF 80 SHEETS



PROPOSED FIRST FLOOR PLANS

1/4" = 1'-0"

NOTES:
 PENETRATIONS OF FIRE-RESISTIVE WALL, FLOOR-CEILINGS SHALL BE PROTECTED AS REQUIRED IN SECTION CRC SECTION R302.4

HANDRAILS:
 A. SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH STAIRWAY WITH FOUR OR MORE RISERS.
 B. HANDRAILS AND EXTENSIONS SHALL BE 34" TO 38" ABOVE NOSING OF TREADS AND BE CONTINUOUS.
 C. THE HANDGRIP PORTION OF ALL HANDRAILS SHALL BE NOT LESS THAN 1 1/4 INCHES NOR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION.
 D. HANDRAILS ADJACENT TO WALLS SHALL HAVE AT LEAST 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.
 E. ENDS OF HANDRAILS SHALL BE RETURNED OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS.

WALL LEGEND

- (E) TO REMAIN
- (E) DEMO'D WALLS
- (N) 2 x 6 WALLS
- (N) 2 x 4 WALLS
- (N) WALLS W/ INSULATION

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 John E. Ryan

REVISIONS	BY
1	JR
2	JR
3	JR

PROJECT DESIGNER
 Jeff Farrell

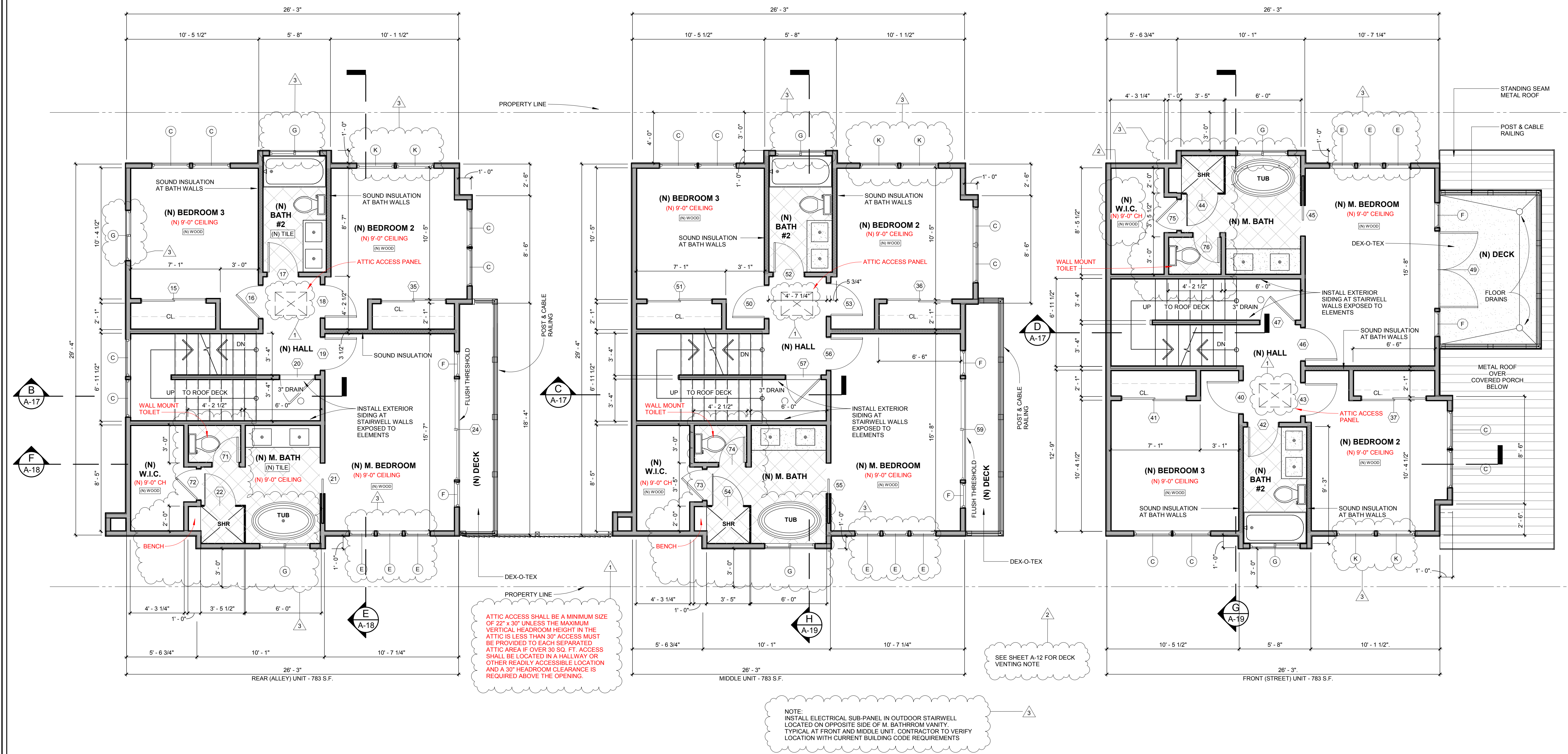
A Home Remodel For:
924 Dev., LLC
 924 D Avenue, Coronado, Ca 92118
 Sheet Title:
Proposed Second Floor Plans

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PROJECT NUMBER
 19-028

SHEET
A-9
 OF 80 SHEETS



PROPOSED SECOND FLOOR PLANS

1/4" = 1'-0"

GENERAL NOTES:

1. ALL OUTDOOR PATIOS TO PITCH 1/4"/1'-0" MINIMUM AWAY FROM HOUSE
2. ALL TRANSITIONS BETWEEN TILE FLOORS AND WOOD FLOORS TO HAVE A MARBLE THRESHOLD
3. ALL EXTERIOR WALLS TO BE 2 X 4 @ 16" O.C. UNLESS OTHERWISE NOTED
4. ALL DOORS TO DECK STAIRS SHALL HAVE 3" CURB MINIMUM FOR WATER PROTECTION

WALL LEGEND

- (E) TO REMAIN
- (E) DEMO'D WALLS
- (N) 2 x 6 WALLS
- (N) 2 x 4 WALLS
- (N) WALLS W/ INSULATION

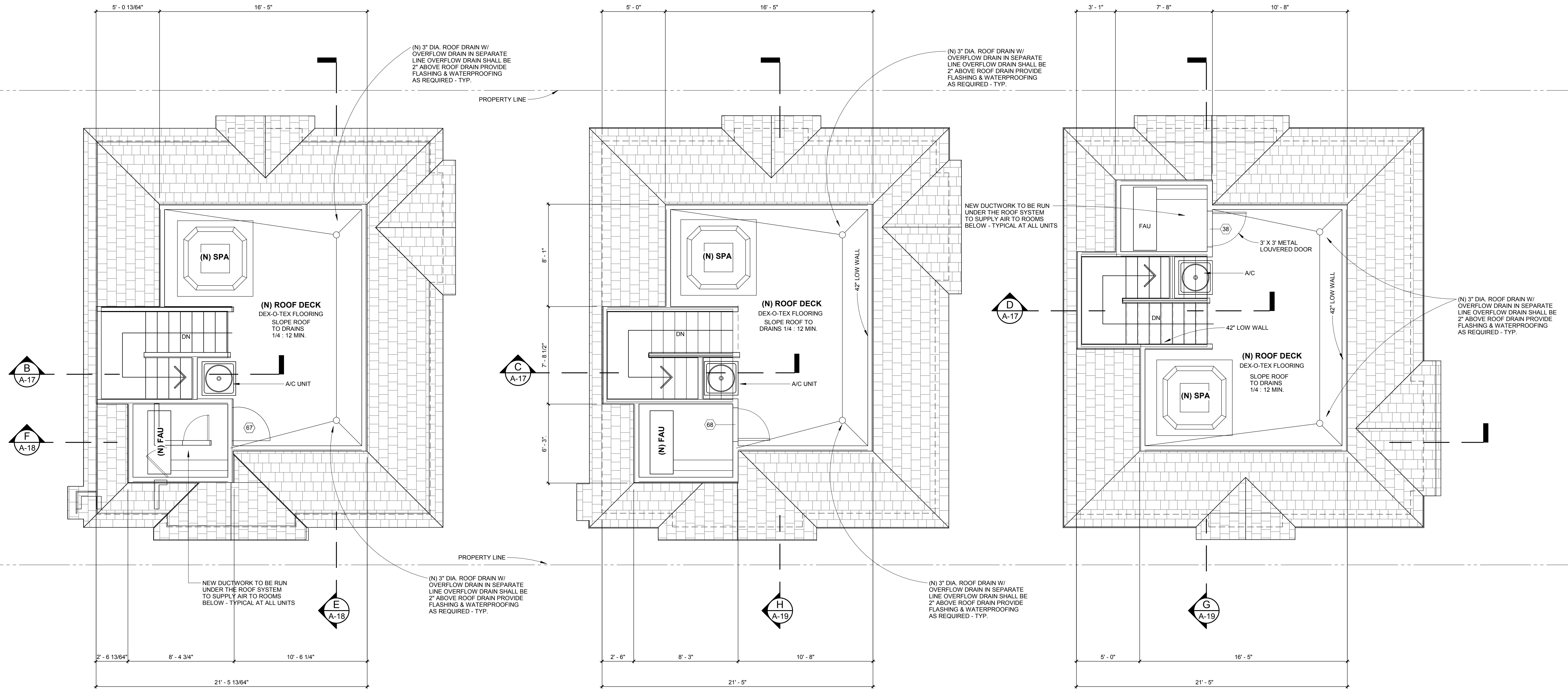
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John E. Ryan

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2	
3	

PROJECT DESIGNER
Jeff Farrell

A Home Remodel For:
924 Dev., LLC
924 D Avenue, Coronado, Ca 92118
Sheet Title:
Proposed Roofs and Roof Deck Plans

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PROJECT NUMBER 19-028
SHEET A-10
OF 80 SHEETS



PROPOSED ROOF & DECK PLANS
1/4" = 1'-0"

- ROOF PLAN NOTES**
- OVERFLOW DRAINS SHALL HAVE THE SAME SIZE AS THE ROOF DRAIN AND SHALL BE INSTALLED WITH THE FLOW LINE LOCATED 2 INCHES ABOVE THE LOW POINT OF THE ROOF.
 - OVERFLOW DRAINS MUST HAVE SEPARATE OUTLETS FROM THE ROOF DRAINS.
 - FIELD VERIFY ALL (E) DRAINAGE AND CONSULT WITH DESIGNER AS NEEDED DO NOT COVER ANY EXISTING DRAINS / SCUPPERS
 - ALL ROOFS TO BE 'TESLA' SOLAR TILE ROOF PRODUCT, EXCEPT WHERE NOTED