

Holland & Knight

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January 2, 2026

VIA IZIS

Board of Zoning Adjustment
of the District of Columbia
441 4th Street, NW, Suite 210-S
Washington, DC 20001

**Re: BZA Case No. 21377: 4730 and 4750 Benning Road, SE (Square 5344, Lots 1 and 2)
Applicant's Prehearing Submission & Updated Architectural Plans**

Dear Members of the Board:

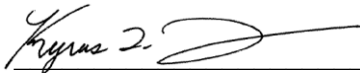
On behalf of Hampton East Owner LLC (the "Applicant"), the owner of the property that comprises a portion of Lots 1 and 2 in Square 5344 (the "Property"), we hereby submit the enclosed Prehearing Submission attached at **Exhibit A** and Updated Architectural Plans attached at **Exhibit B** pursuant to Subtitle Y §§ 300.15 and 300.16. This submission provides a summary of the application and updates the Board of Zoning Adjustment (the "Board") on developments since the Applicant filed its application on August 19, 2025, including outreach to the affected Advisory Neighborhood Commission ("ANC").

Based on the enclosed materials, as well as the case record, the Applicant respectfully requests that the Board grant the requested special exception relief pursuant to Subtitle U § 421 and Subtitle X § 901.2 to permit the construction of a new residential development in the RA-1 zone and an area variance pursuant to Subtitle X § 1000.1 from the lot frontage requirement of Subtitle C § 303.4, which requires a minimum street frontage of 30 feet for new lots to be used and occupied by an apartment house.

As indicated in the Certificate of Service below, a copy of this Prehearing Submission and Updated Architectural Plans is being served on ANC 7E, the Office of Planning, and the District Department of Transportation. The Applicant looks forward to presenting the application to the Board at the public hearing on February 4, 2026, and appreciates the Board's consideration on this request.

Respectfully submitted,

HOLLAND & KNIGHT LLP

By: 
Kyrus Lamont Freeman
Madeline Shay Williams

Enclosure

cc: Certificate of Service
Exhibit A: Prehearing Submission
Exhibit B: Updated Architectural Plans

Certificate of Service

I hereby certify that on January 2, 2026, a copy of the foregoing Prehearing Submission and Updated Architectural Plans was served by electronic mail on the following at the addresses stated below.

DC Office of Planning

Joel Lawson

joel.lawson@dc.gov

Maxine Brown-Roberts

maxine.brownroberts@dc.gov

District Department of Transportation

Erkin Ozberk

erkin.ozberk1@dc.gvo

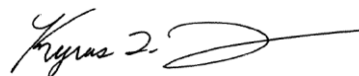
Advisory Neighborhood Commission 7E

7E@anc.dc.gov

Commissioner Natasha Dupee

ANC 7E Chair, SMD 7E04

7E04@anc.dc.gov



Kyrus Lamont Freeman
Madeline Shay Williams
Holland & Knight LLP

EXHIBIT A

Hampton East Owner LLC

BZA Application No. 21377

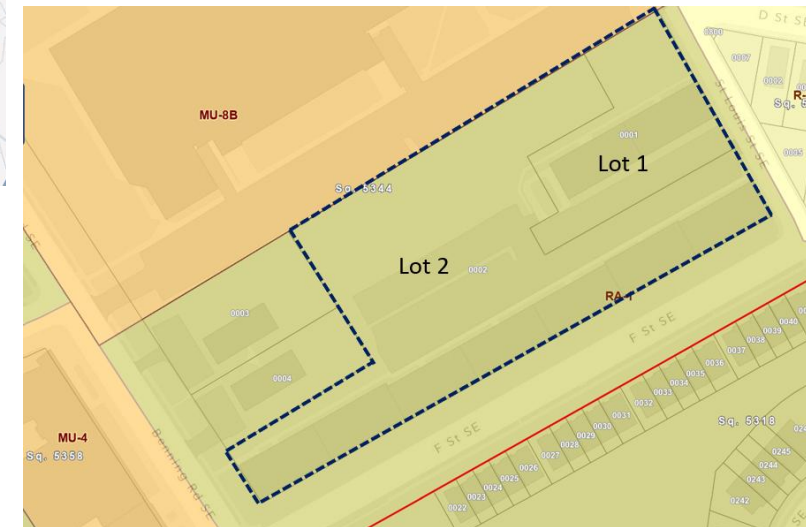
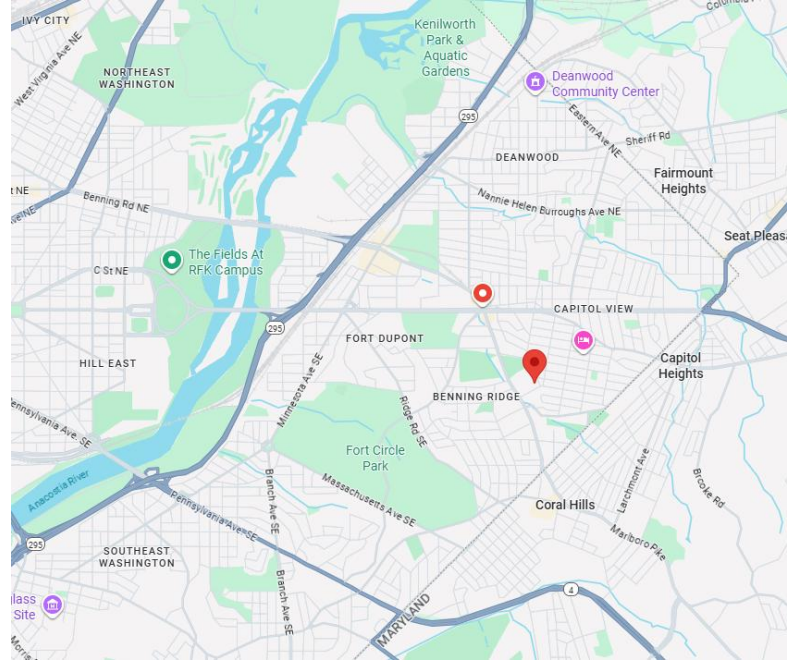
4730 & 4750 Benning Road SE (Square 5344, Lots 1 and 2)

Applicant's Prehearing Submission (30-Day Filing)
January 2, 2026

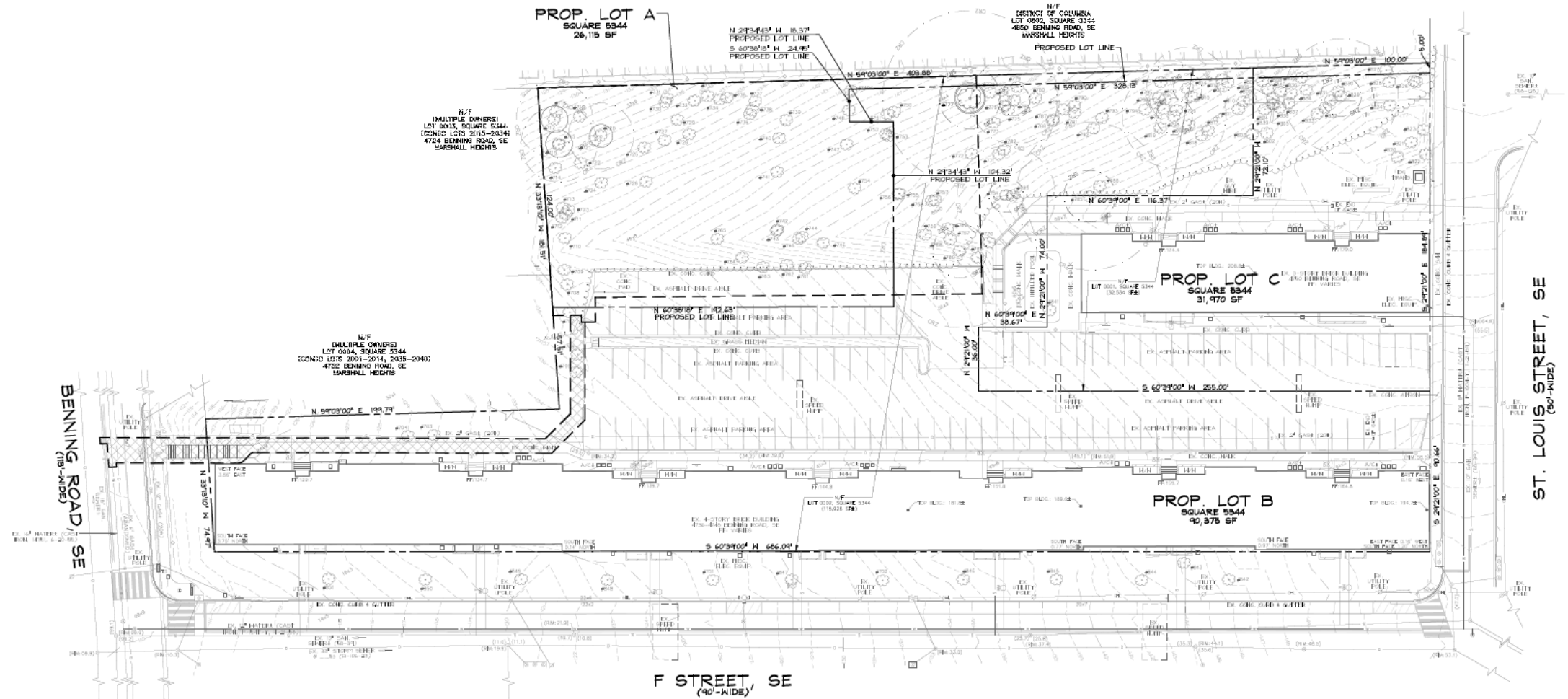
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Property Location – 4730 & 4750 Benning Road SE (Square 5244, Lots 1 and 2)

- Located in the Marshall Heights neighborhood.
- Bounded by Fletcher-Johnson Recreation Center to the north, F Street SE to the south, Benning Road SE to the west, and St. Louis Street SE to the east.
- Within the RA-1 zone.



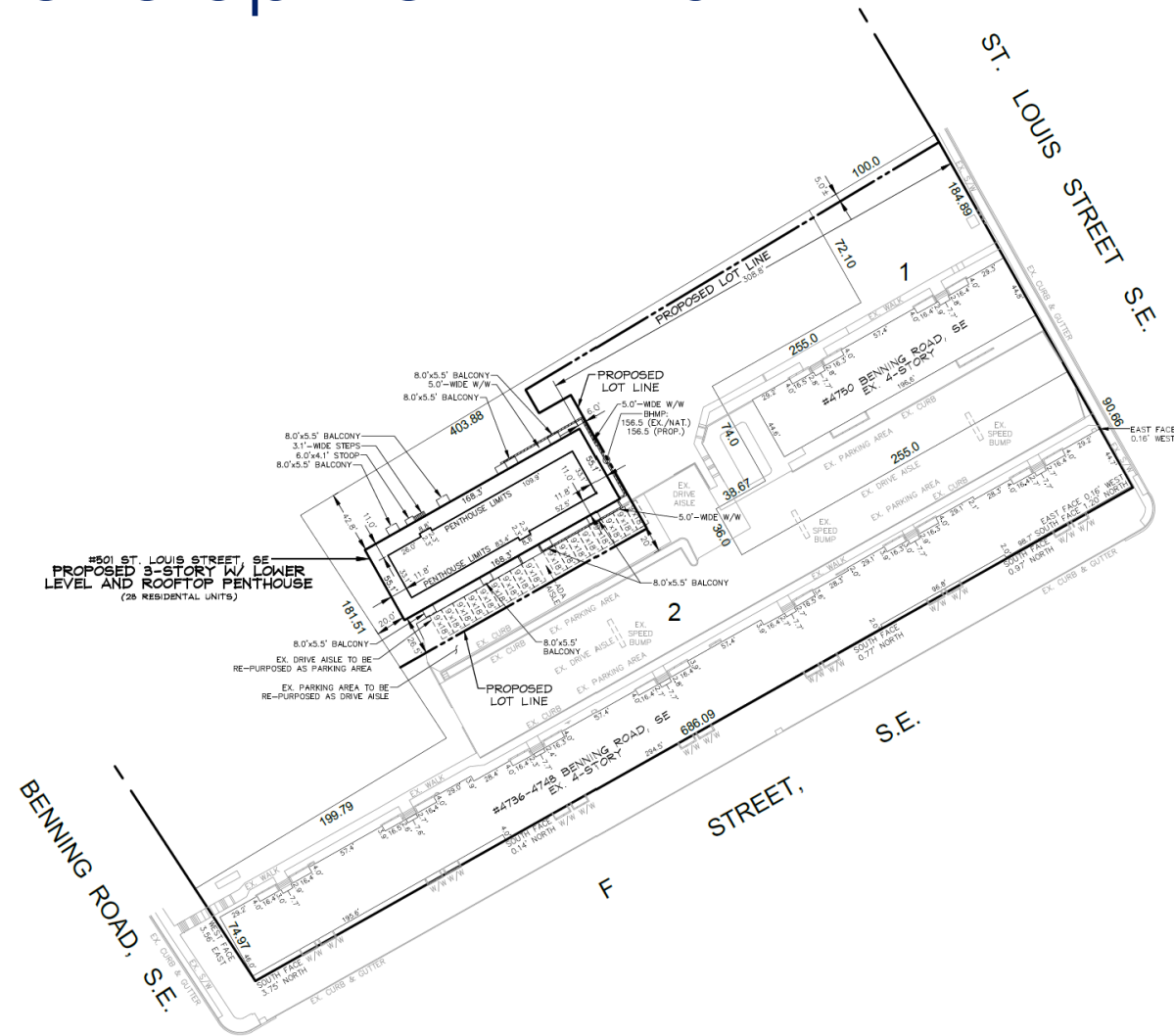
Existing Conditions



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Proposed Development – Plat



Overview of BZA Application and Zoning Relief Requested

- BZA Application **No. 21377** filed on August 19, 2025.
- Request for:
 1. **Special exception** approval pursuant to Subtitle U § 421 and Subtitle X § 901.2 to permit the construction of a new residential development in the RA-1 zone, and
 2. **Area variance** approval pursuant to Subtitle X § 1000.1 from the lot frontage requirement of Subtitle C § 303.4, which requires a minimum street frontage of 30 feet for new lots to be used and occupied by an apartment house.
- Summary of justifications for relief:
 - Number and mix of units, including family-sized and Inclusionary Zoning (IZ) units
 - Consistent with purposes and of RA-1 zone
 - Compatible with existing development in the area
 - Physical configuration of Property is an exceptional and unique condition
 - Existing multifamily building presents a peculiar and exceptional practical difficulty for compliance with frontage requirement
- BZA public **hearing February 4, 2026.**

Existing Conditions



Photograph #1: Subject Property and Existing Conditions



Photograph #2: Subject Property and existing multifamily building on Lot 2 in Square 5344 (looking SW)



Photograph #3: Existing multifamily buildings on Lots 1 and 2 in Sq. 5344



Photograph #4: Existing curb cut on St. Louis Avenue, SE (looking NW)

Existing Conditions



Photograph #5: Available street frontage on St. Louis Ave, SE (looking SE)

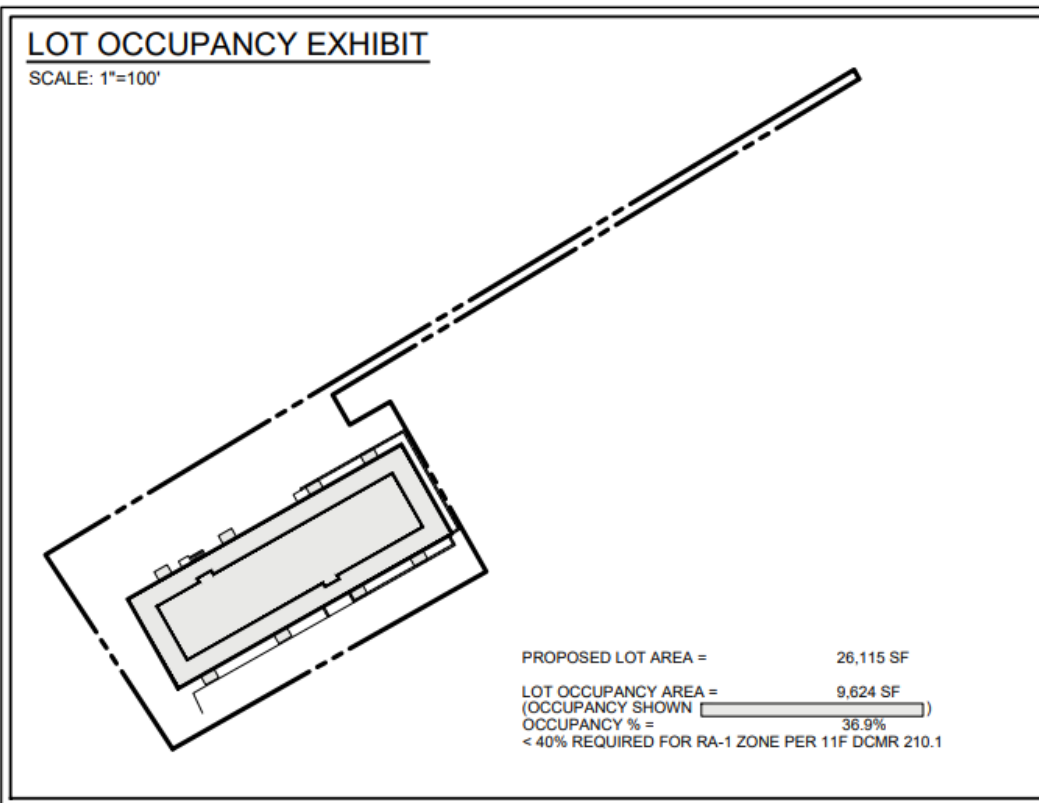
Proposed Residential Development

- Three-story apartment house consisting of 28 units with a mix of two-, three-, and four-bedroom units
- Inclusionary Zoning (IZ) units will contribute to affordable housing stock
- Amenities
 - Some units with balcony or outdoor deck space
 - Green roof
 - Solar panels
 - 11 long-term bicycle spaces (above minimum requirements)

Proposed Residential Development



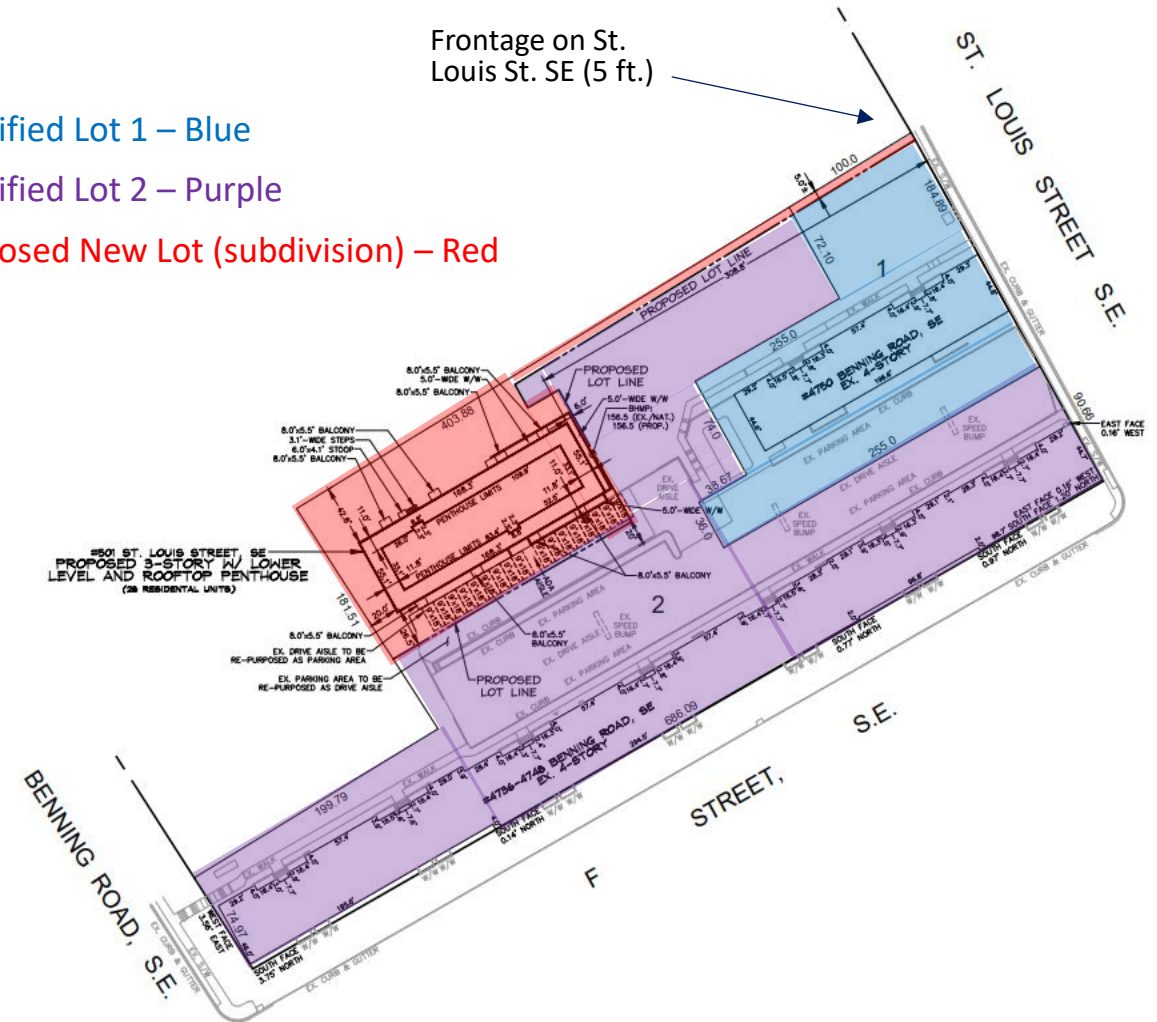
Proposed Subdivision



Modified Lot 1 – Blue

Modified Lot 2 – Purple

Proposed New Lot (subdivision) – Red



Special Exception Criteria

Subtitle U § 421.1-421.4 – New Residential Developments (RA-1)

421.1 – In any of the **RA-1 zones**, **all new residential developments**, except those comprising all one-family detached and semi-detached dwellings, shall be reviewed by the Board of Zoning Adjustment **as special exceptions** pursuant to Subtitle X, Chapter 9, in accordance with the standards and requirements in that section.

421.2 – The Board of Zoning Adjustment shall **refer the application to the relevant District of Columbia agencies** for comment and recommendation as to the adequacy of the following:

- a) Existing and planned area schools to accommodate the numbers of students that can be expected to reside in the project; and
- b) Public streets, recreation, and other services to accommodate the residents that can be expected to reside in the project.

421.3 – The Board of Zoning Adjustment shall **refer the application to the Office of Planning** for comment and recommendation on the site plan, arrangement of buildings and structures, and provisions of light, air, parking, recreation, landscaping, and grading as they relate to the surrounding neighborhood, and the relationship of the proposed project to public plans and projects.

421.4 – In addition to other filing requirements, the **developer shall submit** to the Board of Zoning Adjustment with the application a site plan and set of typical floor plans and elevations, grading plan (existing and final), landscaping plan, and plans for all new rights-of-way and easements.

Special Exception Justification

Subtitle U § 421.1-421.4 – New Residential Developments (RA-1)

421.1 – Special exception requirement for new development in RA-1 Zone

- *Applicant has requested special exception relief under Subtitle X § 901.2.*

421.2 – District agency review of adequacy of schools, public streets, and other services to accommodate new residents

- *Proposed number of mix of unit sizes is intended to accommodate family-sized households.*
- *The estimated SY27-28 utilization rates for schools in which the Property is zoned indicate that the expected student population could be accommodated.*
- *Subject BZA application will be reviewed by relevant District agencies as needed to ensure expected population can be supported.*

421.3 – OP review of development compatibility

- Applicant will work with the Office of Planning to ensure Project's compatibility with the surrounding neighborhood.

421.4 – Additional submission requirements

- Applicant has submitted the requirements of this provision.

Special Exception Criteria

Subtitle X § 901.2 – Special Exception Review Standards

The Board of Zoning Adjustment is authorized under § 8 of the Zoning Act, D.C. Official Code § 6-641.07(g)(2), to grant special exceptions, as provided in this title, where, in the judgment of the Board of Zoning Adjustment, the special exceptions:

- a) Will be **in harmony with the general purpose and intent** of the Zoning Regulations and Zoning Maps;
- b) Will **not tend to affect adversely**, the **use of neighboring property** in accordance with the Zoning Regulations and Zoning Maps; and
- c) Will meet such **special conditions** as may be specified in this title.

Special Exception Justification

Subtitle X § 901.2 – Special Exception Review Standards

- a) Will be in harmony with the general purpose and intent of the Zoning Regulations and Zoning Maps;
 - *Project is consistent with the purposes of the RA-1 zone, which is intended to “provide for areas predominantly developed with low- to moderate-density development.” (Subtitle F § 101.4)*
- b) Will not tend to affect adversely, the use of neighboring property in accordance with the Zoning Regulations and Zoning Maps; and
 - *Project is designed to integrate with the surrounding multifamily buildings.*
 - *Surrounding services and infrastructure are capable of accommodating new residents.*
 - *Project will not result in adverse impacts on parking availability as existing multifamily buildings have sufficient parking.*
 - *Project will contribute to affordable housing stock without introducing any substantial negative impacts.*
- c) Will meet such special conditions as may be specified in this title.
 - *Project complies with criteria of Subtitle U § 421 as previously outlined.*

Area Variance Criteria

Subtitle X § 1000.1 – Area Variance Review Standards

The Board of Zoning Adjustment is authorized under D.C. Code § 6-641.07(g)(3) and Subtitle X § 1000.1, to grant a variance from “the strict application of any regulation adopted under D.C. Official Code §§ 6-641.01 to 6-651.02” when the following conditions are met:

1. The property is affected by exceptional size, shape, or topography or other extraordinary or **exceptional condition or situation**;
2. The owner would encounter **peculiar and exceptional practical difficulties or undue hardship** if the zoning regulations were strictly applied; and
3. The variance would **not cause substantial detriment** to the public good and would not substantially impair the intent, purpose, and integrity of the zone plan as embodied in the Zoning Regulations and Map.

Area Variance Justification

Subtitle X § 1000.1 – Area Variance Review Standards

1. The property is affected by exceptional size, shape, or topography or other extraordinary or exceptional condition or situation;
 - Physical configuration – *The Property comprises Lots 1 and 2, which have an irregular, interlocking configuration that effectively traps the Property between Lots 1 and 2 and lacks independent street frontage.*
 - Surrounding uses – *The Property cannot obtain street frontage from the north, west, or south as the Property is bounded by H.D. Woodson High School, residential buildings, and a multifamily building, respectively. Therefore, the only available frontage is on St. Louis Street SE with the lot configuration provided the Applicant's proposed subdivision.*
 - Zoning requirements – *Subtitle C § 302.2 requires any new primary building to be located on a separate lot of record. As such, the Property's unique configuration along with the mandatory subdivision requirement gives rise to the practical difficulty outlined on the next slide.*

Area Variance Justification

Subtitle X § 1000.1 – Area Variance Review Standards

2. The owner would encounter peculiar and exceptional practical difficulties or undue hardship if the zoning regulations were strictly applied; and
 - *Due to the existing multifamily building on Lot 1, the Property can only obtain five feet (5 ft.) of street frontage along St. Louis Street SE.*
 - *There is no alternative means to comply with the street frontage requirement without demolition of existing improvements, acquisition of adjoining property, or other infeasible measures.*

3. The variance would not cause substantial detriment to the public good and would not substantially impair the intent, purpose, and integrity of the zone plan as embodied in the Zoning Regulations and Map.
 - *Project would deliver 28 new residential units, including family-sized and IZ units, in a transit-accessible location.*
 - *Requested relief advances the purpose and preserves the integrity of the frontage requirement.*
 - *Requested relief also supports the purpose of RA zones, which are intended to promote flexibility by allowing a variety of resident development types.*

Precedents – Area Variance from Frontage Requirements of Subtitle C §303.4

- BZA 21237 (2025) – OP recommended approval (Exhibit 23)
 - Extraordinary or Exceptional Situation or Condition:

“The subject property is an existing tax lot that was developed prior to the zoning regulations and has **lot frontage that is below the minimum required** for lot recordation for apartment houses. There is **no new land immediately available to rectify this nonconformity** for subdivisions. The **existing lot width of the property** along with the existing use of the lot as a 4 unit apartment building **create an exceptional condition** that **prohibits the lot from being compliant** with the subdivision requirements under the zoning regulations.”
 - Practical Difficulty

“Strict application of the zoning regulation would result in practical difficulty as **it prohibits the development of the property**, as the **lot cannot physically meet the lot frontage standard** for new record lots with apartment houses. **Granting this relief** would allow the recordation of the property as a lot of record, and **allow the applicant to begin the project.**”

Precedents – Area Variance from Frontage Requirements of Subtitle C §303.4

- BZA 20951A (2024) – OP recommended approval (Exhibit 23)
“The Applicant has **no ability to widen its street frontage** as they do not have ownership of either abutting property, and owners of those lots have not indicated a willingness to sell their abutting lots for the purposes of widening the street frontage of the newly created record lot.

Therefore, the **physical pre-existing condition of the street frontage, without the ability to add street frontage**, creates an **exceptional situation** of the lot resulting in a **practical difficulty for the Applicant in satisfying the condition** of Subtitle C § 303.4.”

Community Outreach

- September 2025 – present:
 - Presented to ANC 7E Executive Committee
 - Presented at full ANC 7E Monthly Meeting twice
 - Door knocking and meeting with nearby residents
- Filings in support:
 - Petition in support (Ex. 17)
 - 12 letters in support (Ex. 18-29)
- No letters in opposition have been filed in the record as of the date of this submission

Questions?

Hampton East Owner LLC

BZA Application No. 21377

4730 & 4750 Benning Road SE (Lots 1 & 2 in Square 5344)

Applicant's Prehearing Submission (30-Day Filing)

January 2, 2026

EXHIBIT B

HAMPTON EAST 2

SCHEMATIC DESIGN

12/30/2025

SHEET INDEX	
ID	NAME
SD01	COVER SHEET
SD02	ZONING & BUILDING CODE DATA SUMMARY
SD03	FAR CALCULATION
SD04	SCHEMATIC SITE PLAN
SD05	CELLAR FLOOR PLAN
SD06	1st FLOOR PLAN
SD07	TYPICAL FLOOR PLAN
SD08	PENTHOUSE PLAN
SD09	PENTHOUSE ROOF PLAN
SD10	SCHEMATIC SECTIONS
SD11	SCHEMATIC ELEVATIONS
SD12	SCHEMATIC ELEVATIONS
SD13	SCHEMATIC PERSPECTIVES
SD14	SCHEMATIC PERSPECTIVES
SD15	AREA CALCULATION

ZONING & BUILDING CODE DATA:

BUILDING DATA:

PROJECT NAME: HAMPTON EAST - II
PROJECT ADDRESS: XX' ST LOUIS STREET SE, WASHINGTON, DC 20019

PROJECT NARRATIVE

THE PROJECT IS A NEW RESIDENTIAL BUILDING WITH A CELLAR, PLUS 3 FLOORS. WE ARE CREATING 28 NEW RESIDENTIAL UNITS.

APPLICABLE BUILDING CODES:

- 2017 DISTRICT OF COLUMBIA BUILDING CODE (DCMR 12A)
- 2017 DISTRICT OF COLUMBIA MECHANICAL CODE (DCMR 12E)
- 2017 DISTRICT OF COLUMBIA PLUMBING CODE (DCMR 12F)
- 2017 DISTRICT OF COLUMBIA FIRE CODE (DCMR 12H)
- 2017 DISTRICT OF COLUMBIA ENERGY CONSERVATION CODE (DCMR 12I)
- 2017 DISTRICT OF COLUMBIA EXISTING BUILDING CODE (DCMR 12J)
- 2014 NFPA NATIONAL ELECTRIC CODE (DCMR 12C)
- ICC/ANSI A117.1 - 2009
- 2011 NFPA NATIONAL ELECTRIC CODE (DCMR 12C)
- 2016 DC ZONING REGULATIONS (DCMR 11)

ZONING DATA:

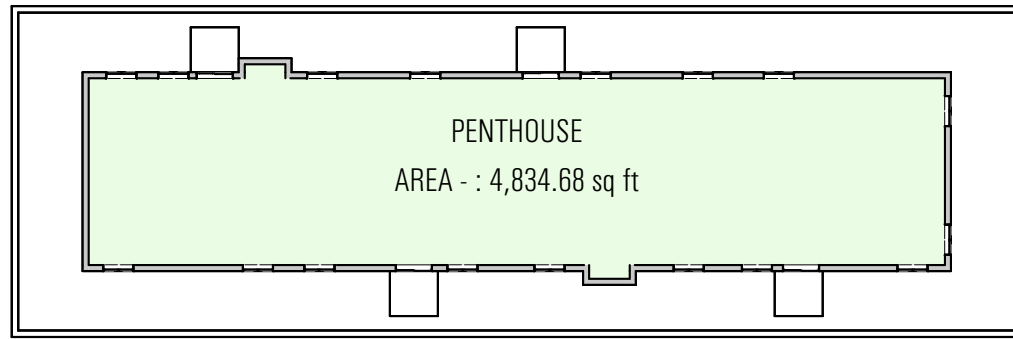
SQUARE & LOT NO.: 5344/ PARTS OF LOTS 1 & 2
LOT AREA: 25,783.6
ZONING DISTRICT: RA-1

REGULATION (ZR)	ALLOWED	PROVIDED
BUILDING HEIGHT	40' 3 Stories	22.73' 2 Stories
FLOOR AREA RATIO	1.08 (w/ IZ) (27,846.28 SF)	1.03 (26,672.59 SF)
FLOOR AREA RATIO (PENTHOUSE)	0.4 (10,313.4 SF)	0.19 (4,834.68 SF)
LOT OCCUPANCY	40% (10,313.44 SF)	36% (9271.94 SF)
PENTHOUSE HEIGHT	12'	10.00'
REAR YARD	20'	20.1'
SIDE YARD	3" per foot of height but not less than 8'	SOUTH SIDE YARD = 26.52' NORTH SIDE YARD = 42.14'
OFF-STREET PARKING	1 FOR EVERY 3 UNITS IN EXCESS OF 4 (8 SPACES)	16 STANDARD + 2 ACCESSIBLE
BICYCLE PARKING	LONG TERM 1 SPACE FOR EACH 3 DWELLING UNITS - (9 SPACES)	LONG TERM 11 SPACES
	SHORT TERM 1 SPACE FOR EACH 20 DWELLING UNITS - (1 SPACE)	SHORT TERM 1 SPACE
GREEN AREA RATIO (GAR)	0.4	0.4

IZ CALCULATIONS

Step	Calculation Description	Example Numbers*	Formula/Rule	Result
1	Total Residential Gross Floor Area	27,816 sq. ft.	Application Box 24	27,816 sq. ft.
2	IZ Bonus Density Used	4,611 sq. ft.	Application Box 22	4,611 sq. ft.
3	Set-Aside: % of Net GFA	10% of 26,469 sq. ft.	(IZ+ bonus: 10% required)	2,647 sq. ft.
4	Penthouse Requirement	10% of 4,835 sq. ft.	(IZ+ bonus: 10%)	484 sq. ft.
5	Total IZ set aside		Must use greater value	3,131 sq. ft.
6	Net Residential Floor Area	26,469 sq. ft.	Application Box 25	26,469 sq. ft.
7	IZ Units by Income Level	See breakdown below	Per Zoning/IZ rules	See below

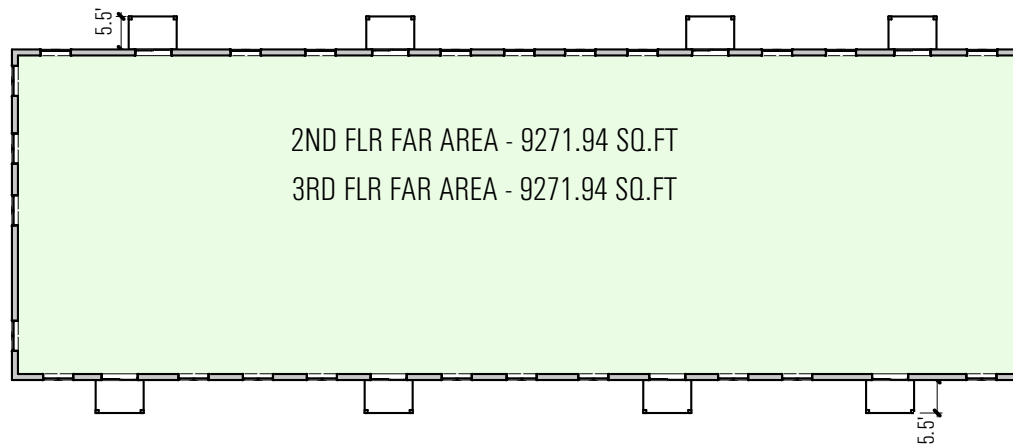
Income Level (of MFI)	Number of Units	Net Sq. Ft.	% of Total IZ Units
50%	1	738	23%
60%	3	2,493	77%
Total	4	3,231	100%



PENTHOUSE FAR = $4834.68 / 25782.5 = 0.19$
 BELOW 0.4 IS PERMITTED BY SUBSECTION C1505.1(C)
 PENTHOUSE FAR IS IN ADDITION TO 1.08 ALLOWED

4 PENTHOUSE

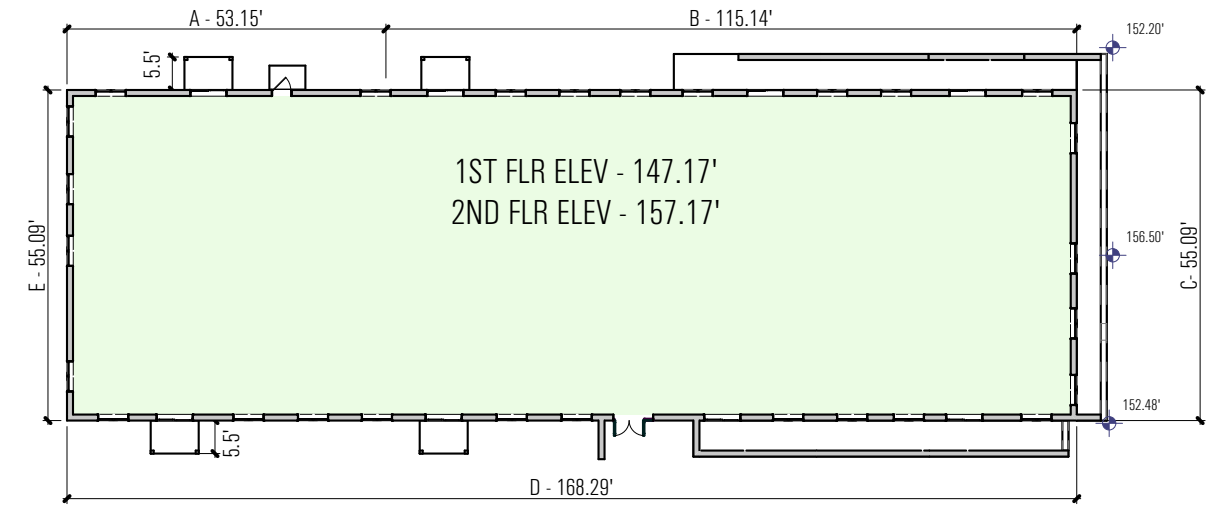
SCALE: 1/32" = 1'-0"



2ND FLR FAR = $9271.94 / 25782.5 = 0.359$
 3RD FLR FAR = $9271.94 / 25782.5 = 0.359$

3 2ND & 3rd FLR

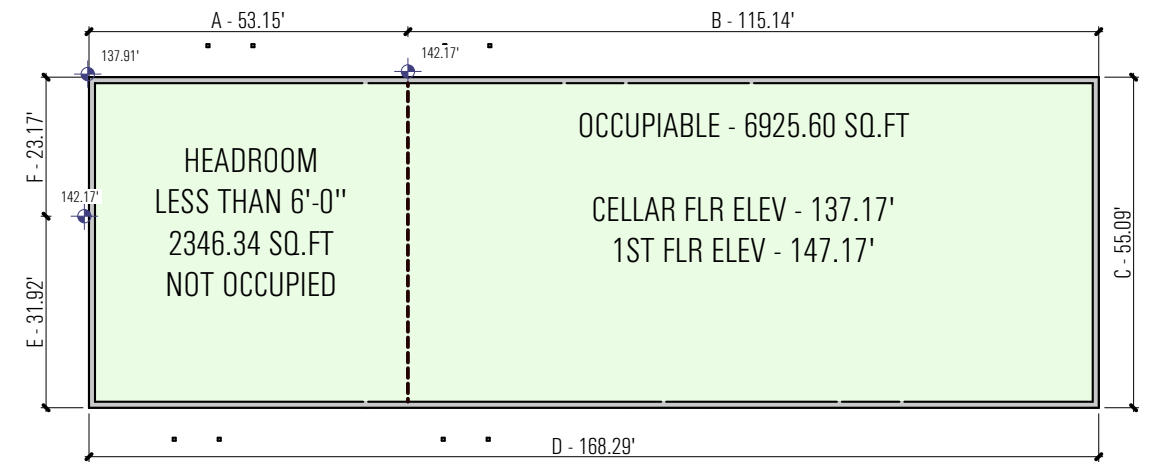
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FAR PERIMETER METHOD CALC
 $A + B + D + E / (A + B + C + D + E) * 100 = (391.675 / 446.77) = 87.67$
 1ST FLR FAR AREA = $9271.94 * 87.67 \% = 8128.71$
 1ST FLR FAR = $8128.71 / 25782.50 = 0.315$

2 1st FLR

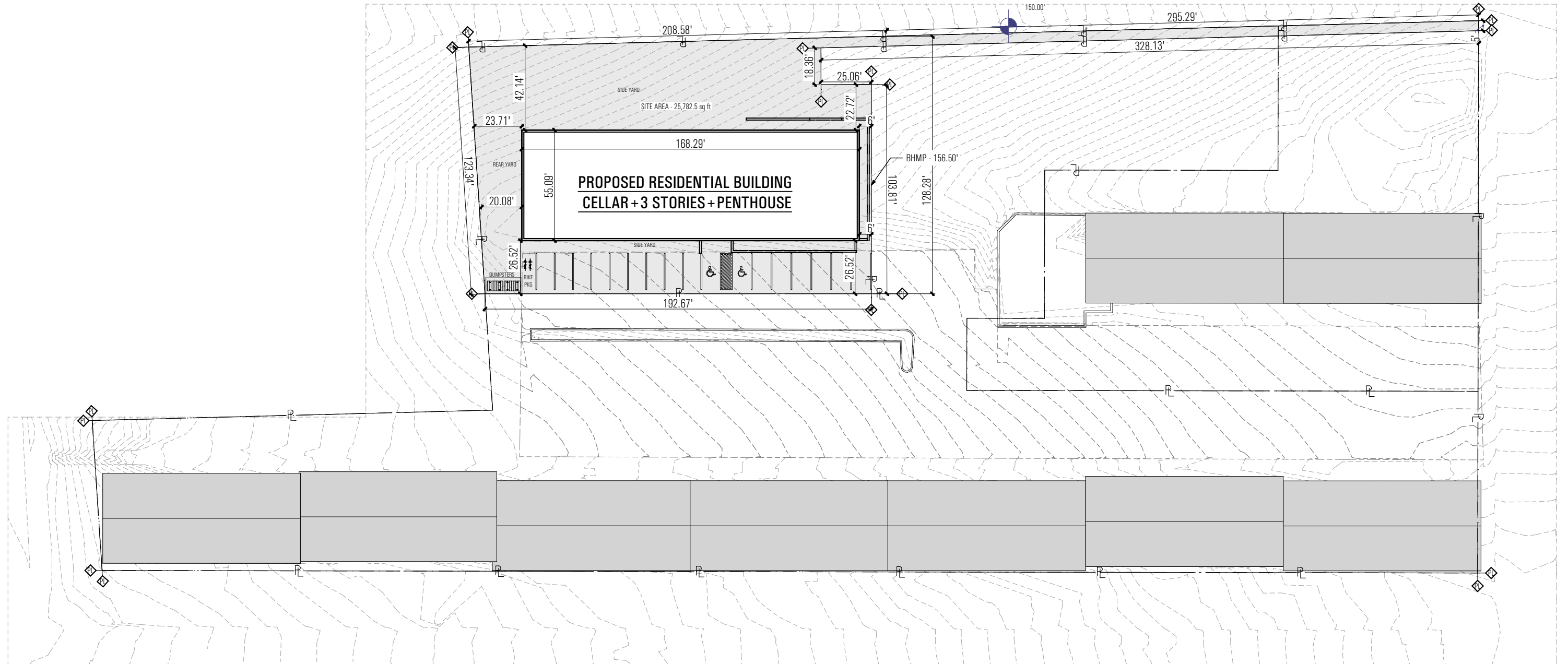
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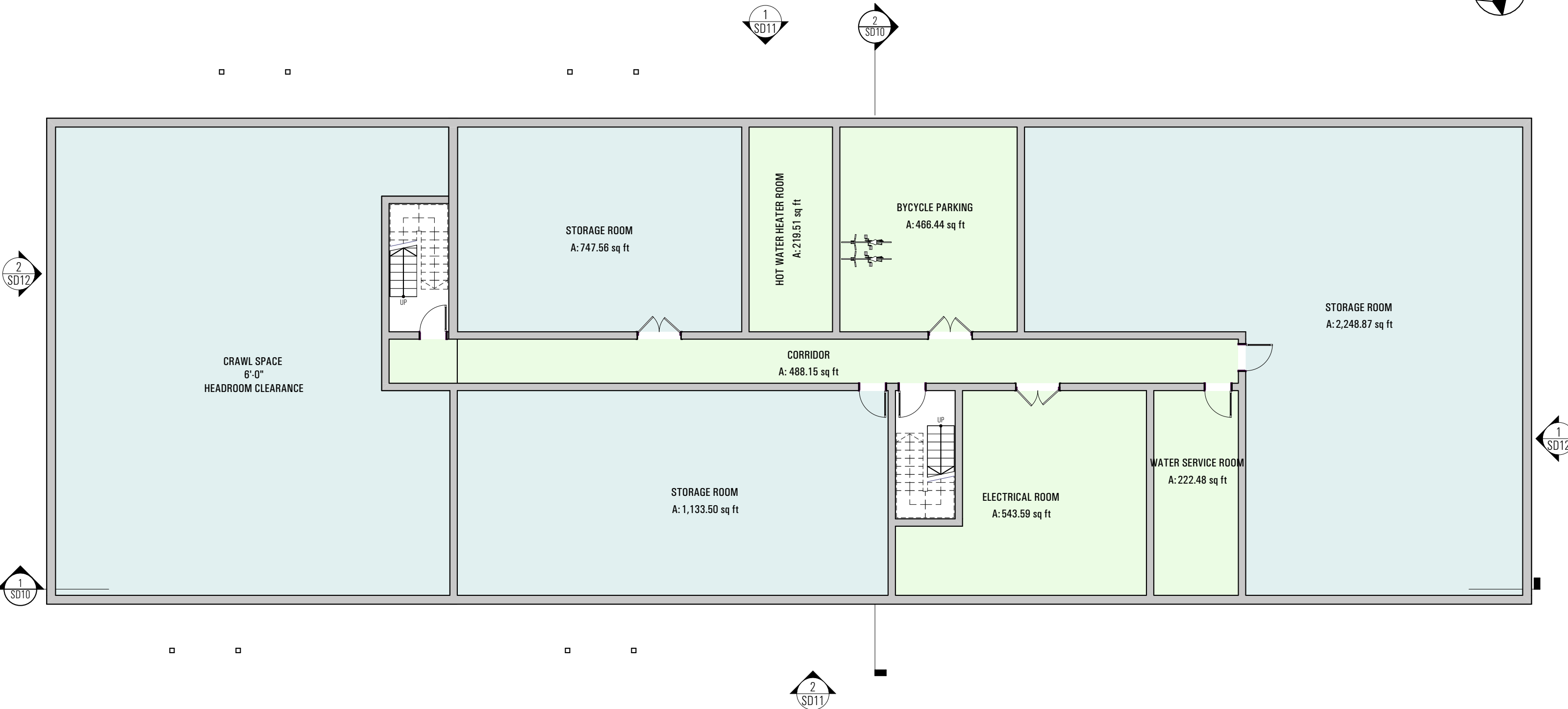


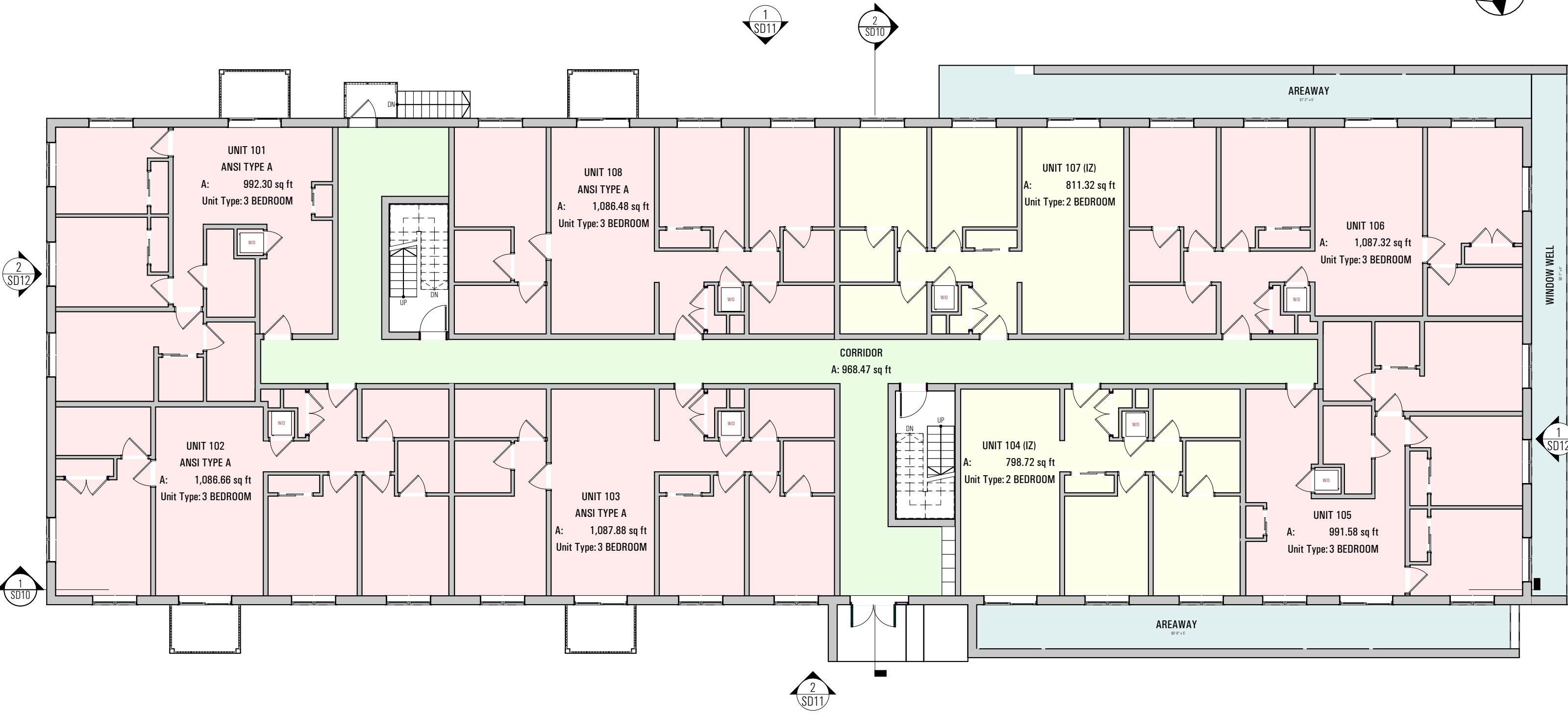
CELLAR DOES NOT CONTRIBUTE TO FAR

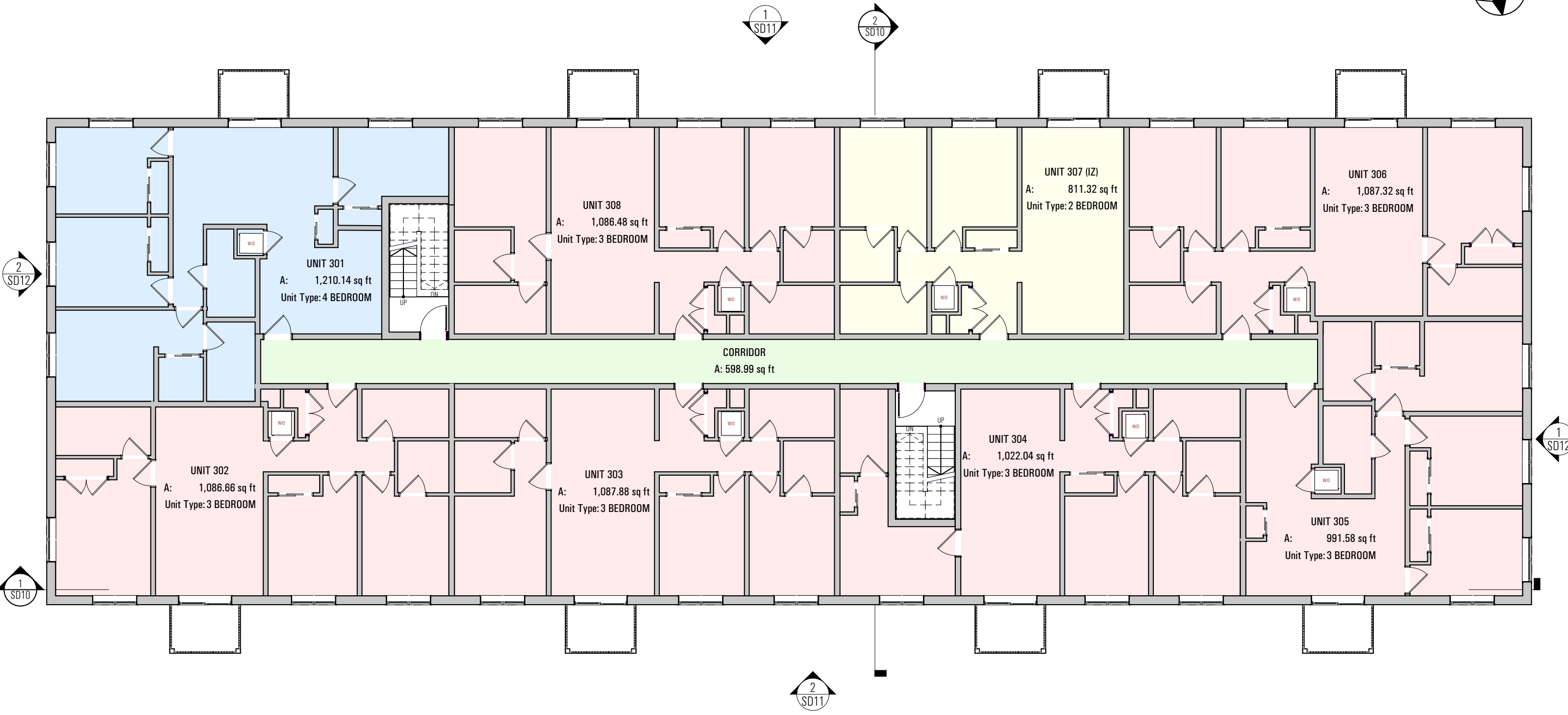
1 CELLAR

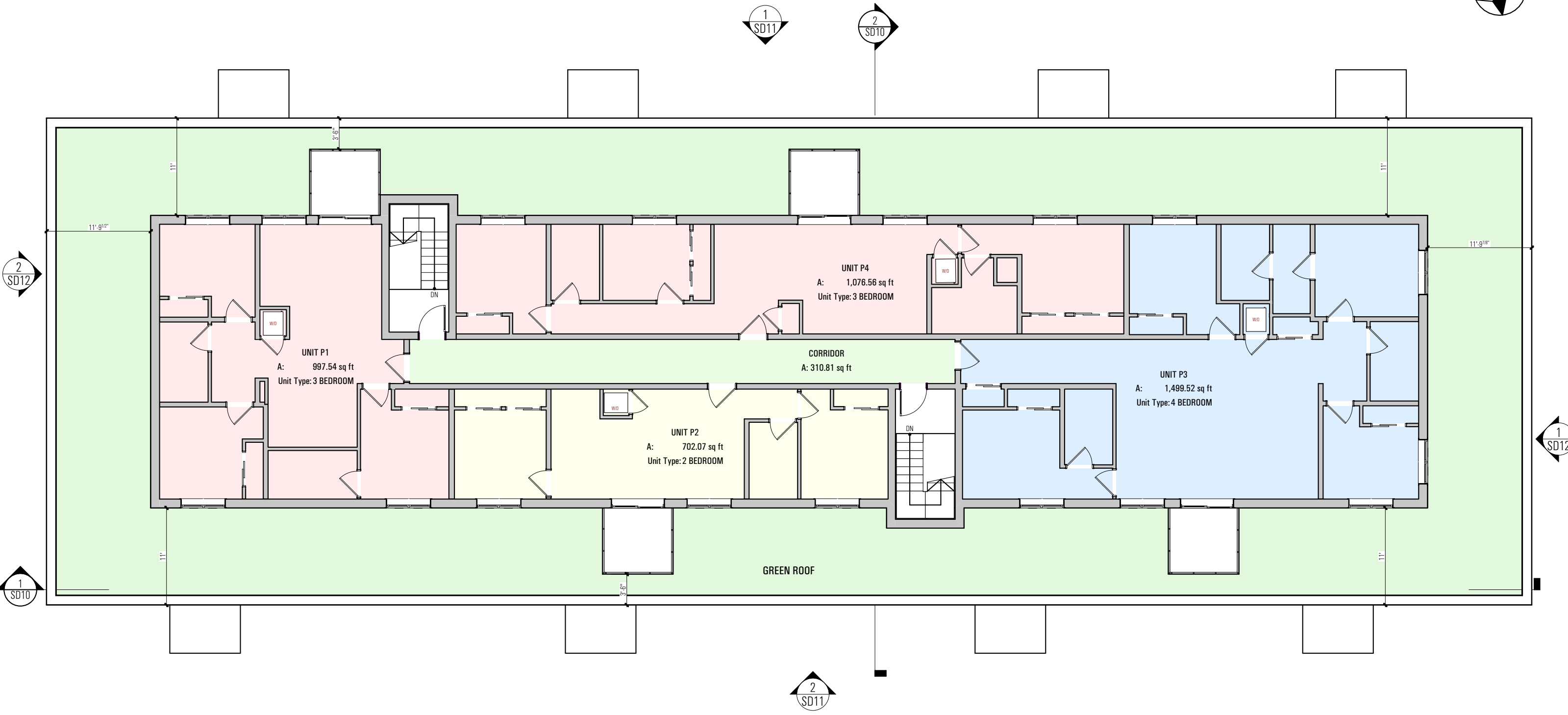
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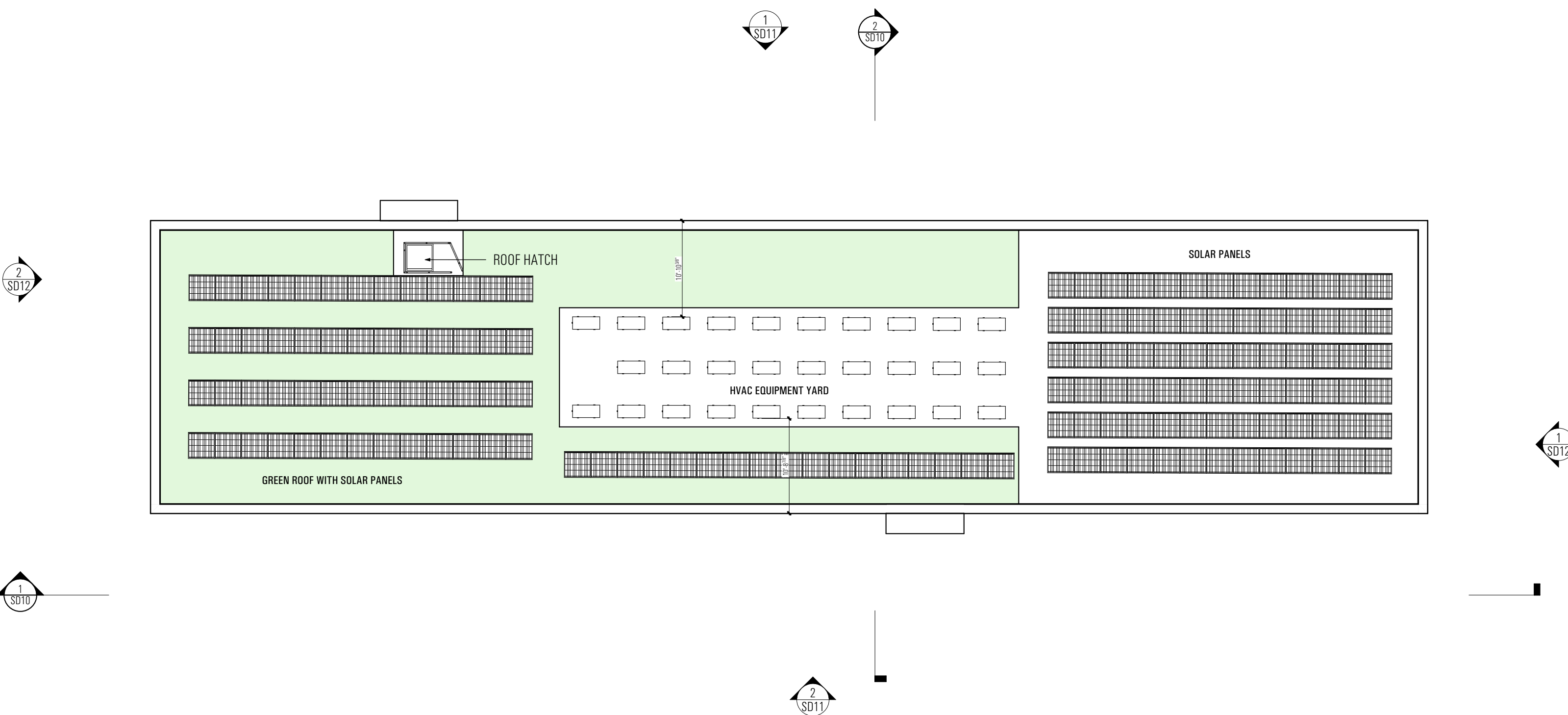


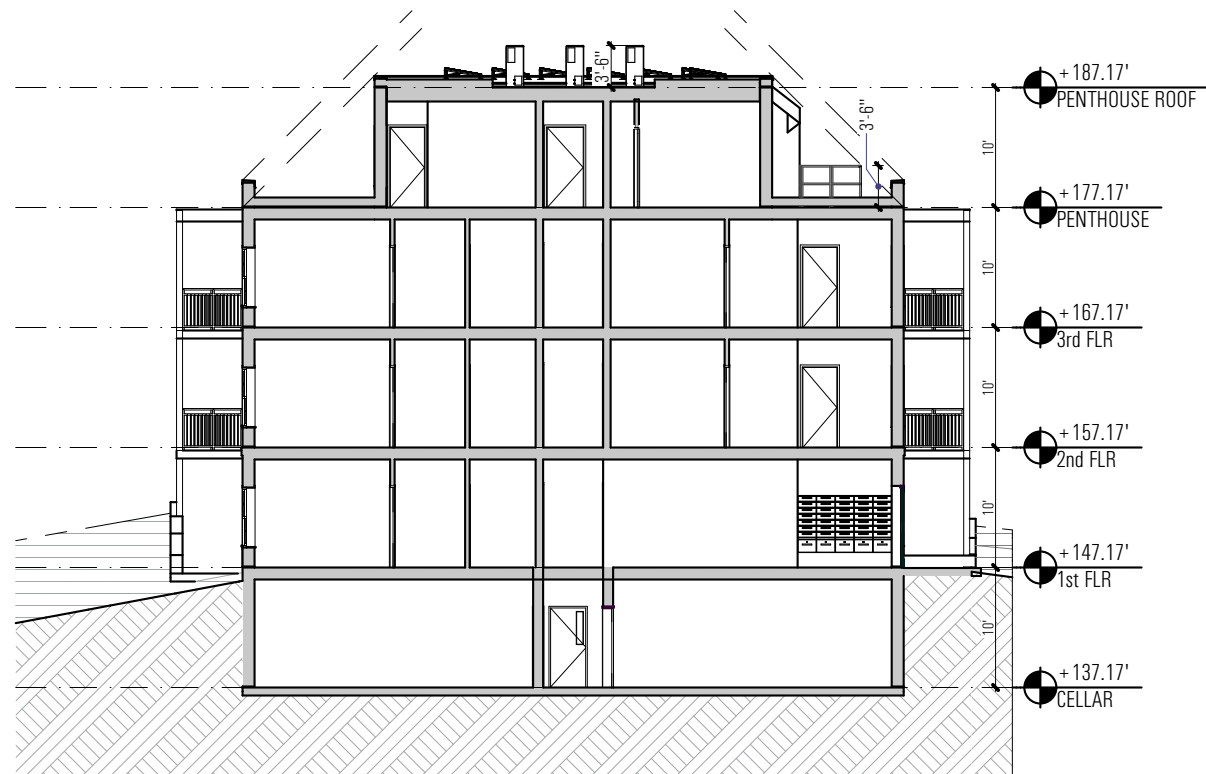








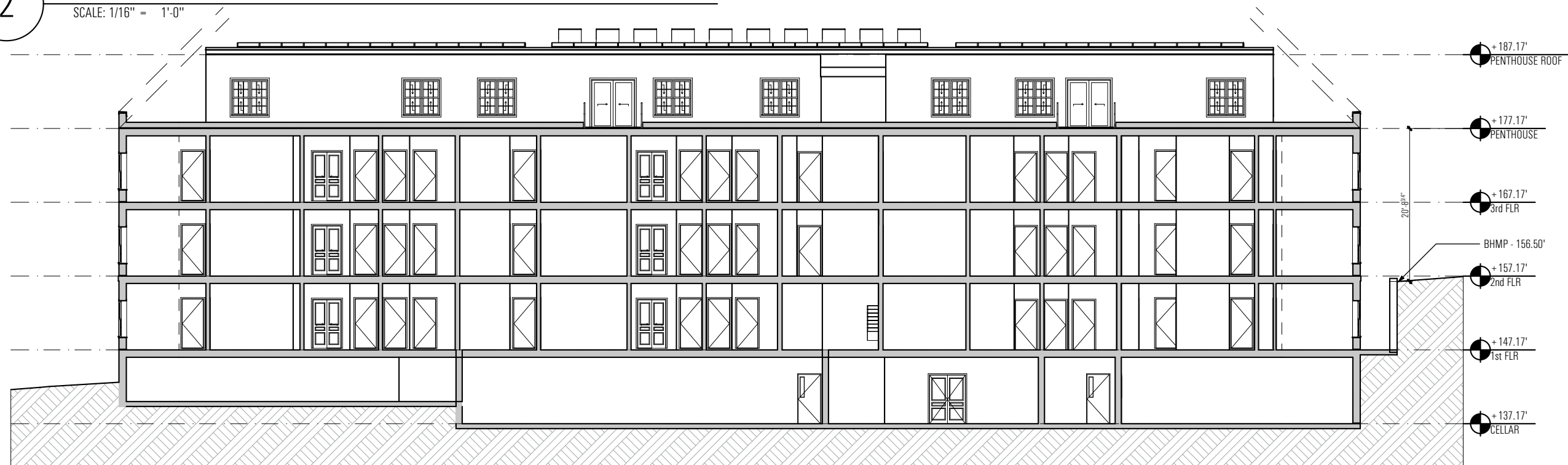




2

SECTION

SCALE: 1/16" = 1'-0"



1

SECTION

SCALE: 1/16" = 1'-0"



2

South Elevation

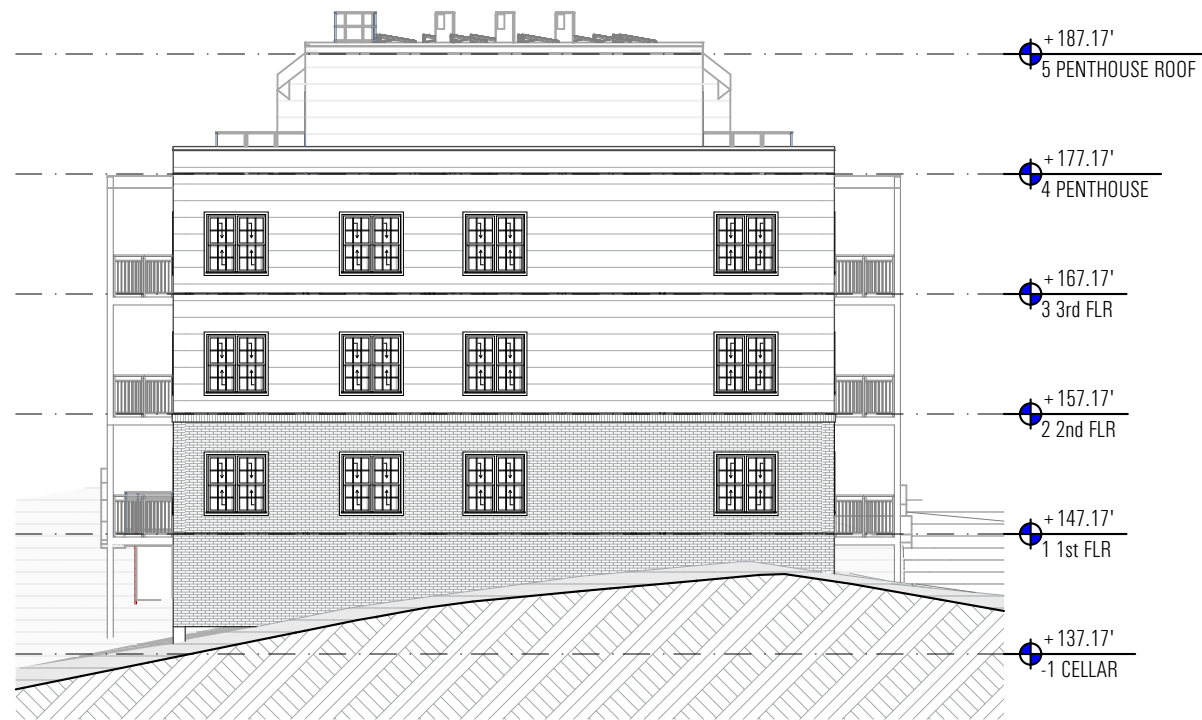
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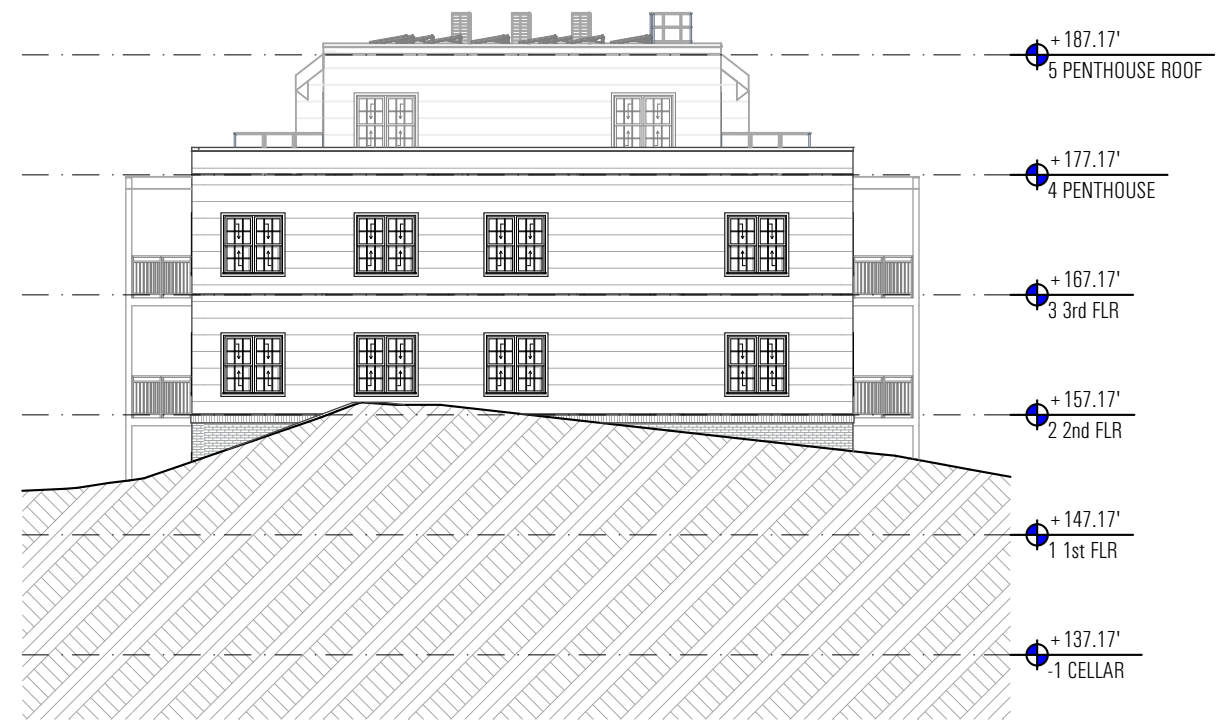
1

North Elevation

SCALE: 1/16" = 1'-0"

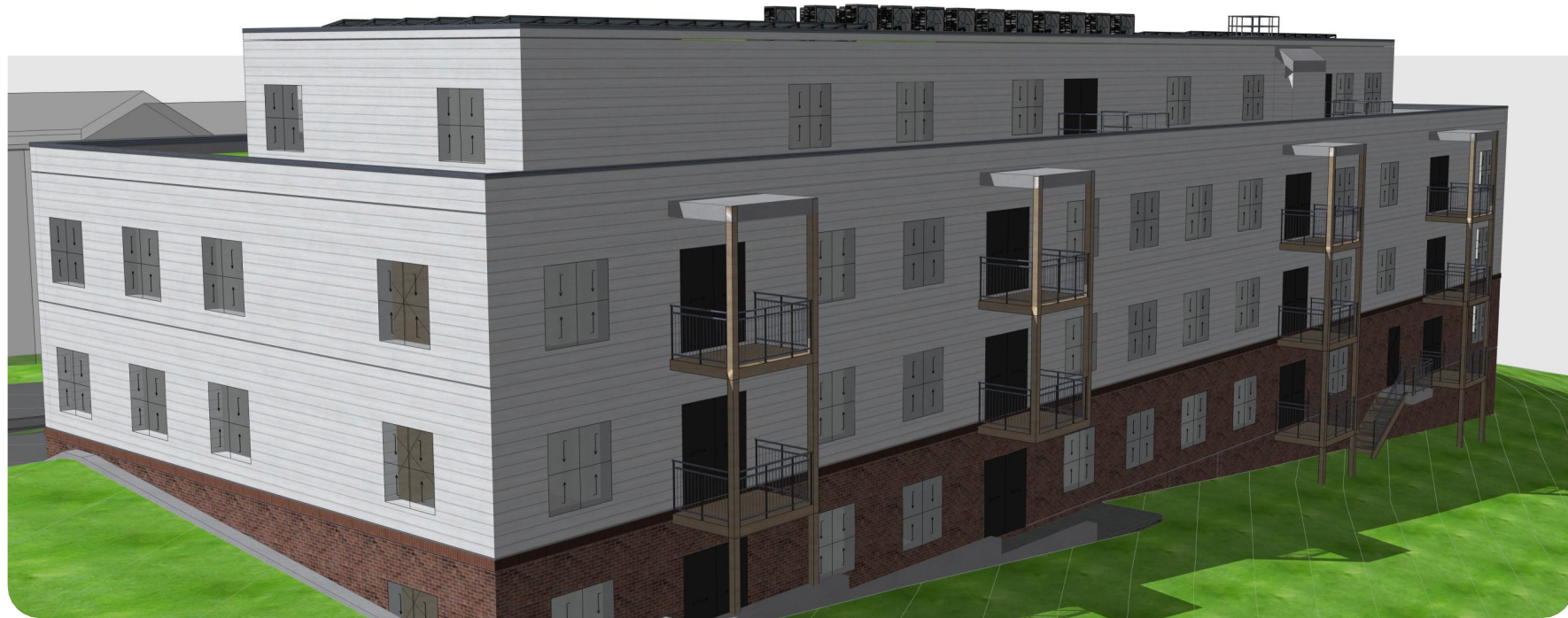


2 East Elevation
SCALE: 1/16" = 1'-0"



1 West Elevation
SCALE: 1/16" = 1'-0"





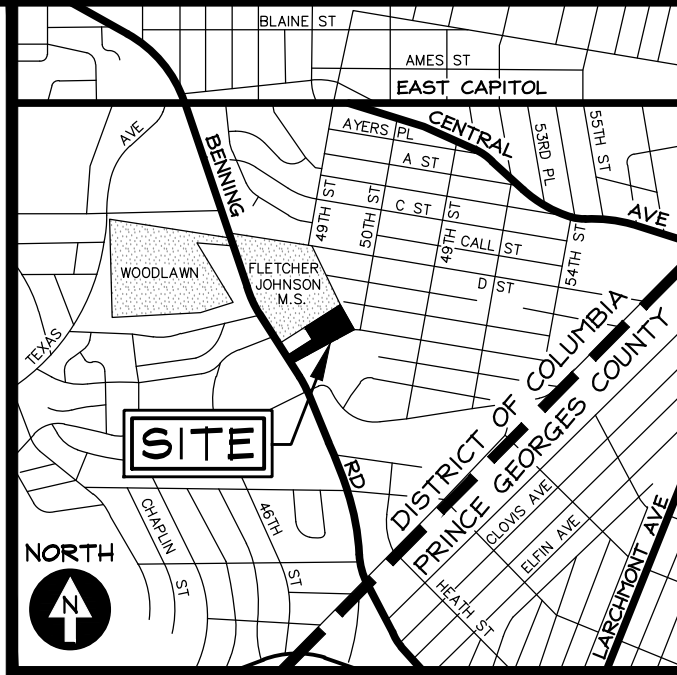
HAMPTON EAST 2 - FAR AND LOT OCCUPANCY CALCULATION			
AVAILABLE LOT		25782.5 SQ.FT	
FLOOR	GROSS AREA (SQ.FT)	FAR AREA (SQ.FT)	
CELLAR	9271.94	0	
1ST FLOOR	9271.94	8128.71	
2ND FLOOR	9271.94	9271.94	
3RD FLOOR	9271.94	9271.94	
PENTHOUSE*	4834.68	0	
TOTAL FAR AREA		26672.59 SQ.FT	
FAR		1.03	
ALLOWABLE IZ FAR = LOT X1.08		27845.10	
LOT OCCUPANCY		9271.94/25782.5	35.96

*PENTHOUSE FAR IS ADDITIONAL FAR LIMITED TO 0.4

LOT 1			LOT 2		
EXISTING LOT AREA		32533.96	EXISTING LOT AREA		115975.52
FLOOR	GROSS AREA (SQ.FT)	FAR AREA (SQ.FT)	FLOOR	GROSS AREA (SQ.FT)	FAR AREA (SQ.FT)
Cellar	8424.00	3924.00	Cellar	29741.00	14125.00
1st Floor	8424.00	8424.00	1st Floor	29741.00	29741.00
2nd Floor	8424.00	8424.00	2nd Floor	29741.00	29741.00
3rd Floor	8424.00	8424.00	3rd Floor	29741.00	29741.00
EXISTING TOTAL FAR AREA		29196.00	EXISTING TOTAL FAR AREA		103348.00
ALLOWABLE IZ FAR = LOT X1.08		35136.68	ALLOWABLE IZ FAR = LOT X1.08		125253.56
EXCESS IZ FAR AREA		5940.68	EXCESS IZ FAR AREA		21905.56
THEREFORE EXCESS LOT AVAILABLE		5500.63	THEREFORE EXCESS LOT AVAILAIBLE		20282.93
EXISTING LOT OCCUPANCY		25.9	EXISTING LOT OCCUPANCY		25.64
NEW LOT AREA		27033.33	NEW LOT AREA		95692.59
NEW LOT OCCUPANCY		31.2	NEW LOT OCCUPANCY		31.1
NEW FAR(IZ)		1.08	NEW FAR		1.08

GENERAL NOTES

- 1) ONE-FOOT CONTOUR DATA BASED ON A SURVEY PERFORMED BY GRS GROUP LLC, DATED AUGUST, 2023.
- 2) BOUNDARY INFORMATION BASED ON A SURVEY PERFORMED BY GRS GROUP LLC, DATED AUGUST, 2023.
- 3) ZONING: RA-1
- 4) TOTAL LOT AREA: LOT 1 = 33,534 SQUARE FEET (0.747 ACRES)
LOT 2 = 115,928 SQUARE FEET (2.661 ACRES)
- 5) PROJECT IS WITHIN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS PER FEMA FLOOD INSURANCE RATE MAP PANEL NO. 1100010043C.



VICINITY MAP
ADC MAP 5530, GRID A-1
SCALE: 1" = 2000'



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info@cas-dc.com

OWNER/CLIENT
HAMPTON EAST OWNER LLC
CO-MENTIS CAPITAL PARTNERS
3140 WINTERPLACE PARKWAY, SUITE 300
SALISBURY, MD 21804
(410) 627-4592 (PHONE)
hoo@mentispc.com

ARCHITECT
EMOTIVE ARCHITECT, PLLC
ATTN: ALBNEY JASON GRANT, AIA, NCARB
(202) 470-5075 (PHONE)
grant@emovearch.com

LOTS 0001 AND 0002
SQUARE 5344
MARSHALL HEIGHTS

4744-4750
BENNING
ROAD, SE

S.E. WASHINGTON,
DISTRICT OF COLUMBIA

LEGEND

EXISTING FEATURES

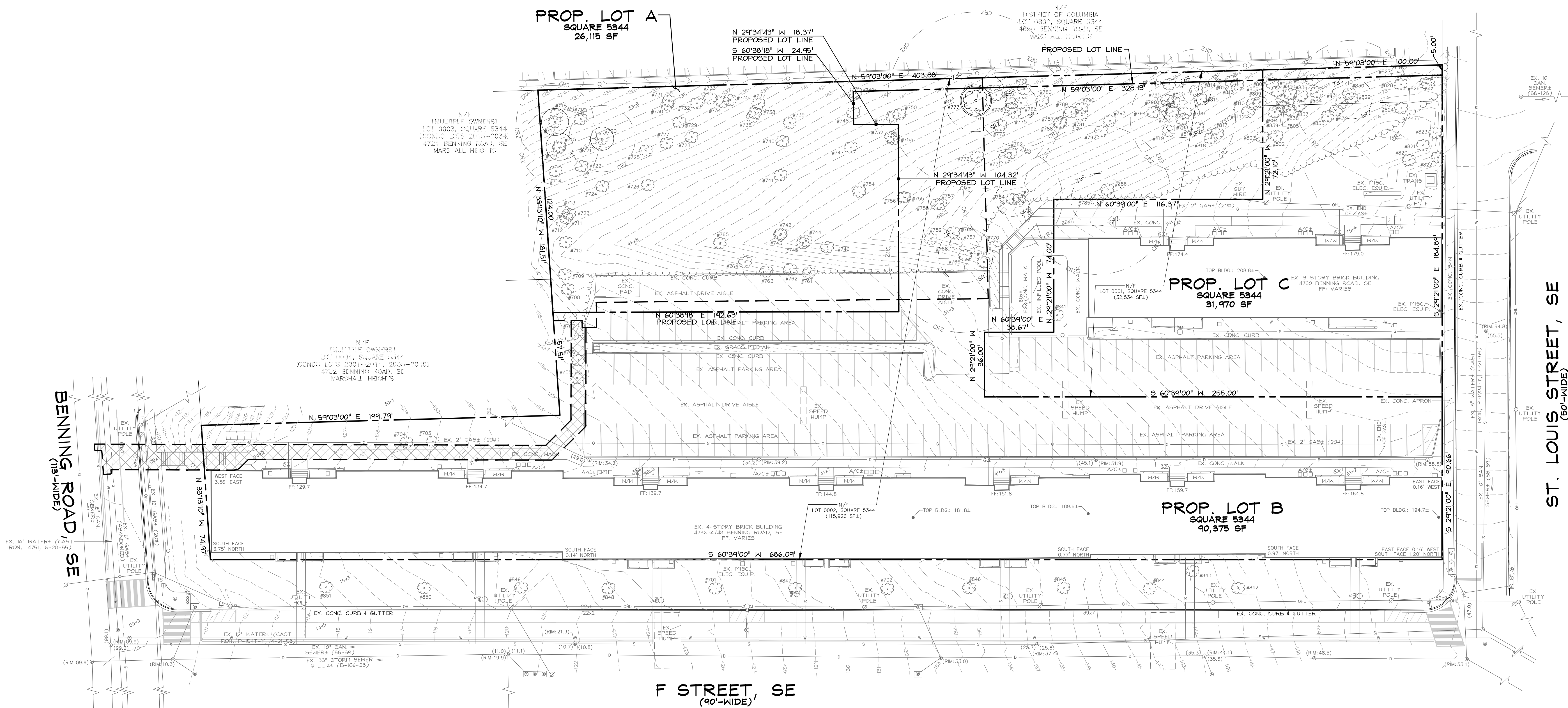
- PROPERTY LINE
- EX. SANITARY MANHOLE AND INVERT
- EX. STORM MANHOLE AND INVERT
- EX. WATER LINE WITH MANHOLE
- EX. GAS LINE WITH VALVE
- EX. UNDERGROUND ELECTRIC LINE
- EX. OVERHEAD UTILITY WITH POLE
- EX. TWO- AND TEN-FOOT CONTOURS
- EX. FIRE HYDRANT
- EX. SPOT ELEVATION
- EX. METAL FENCE
- EX. BOLLARD
- EX. TRAFFIC SIGNAL
- EX. LIGHT POLE
- EX. SIGN
- EX. PIPED DOWNSPOUT
- EX. SPILLED DOWNSPOUT
- EX. TREE
- EX. HERITAGE TREE (≥100' CBH), MAY NOT BE REMOVED UNLESS HAZARDOUS (EVALUATED BY ISA CERTIFIED ARBORIST AND DDOT UFA/PSD) OR PERMIT IS ISSUED BY MAYOR PER THE TREE CANOPY PROTECTION AMENDMENT ACT OF 2016 (REF. DC ACT 21-386)
- EX. WALL

UTILITY INFORMATION

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MISS UTILITY

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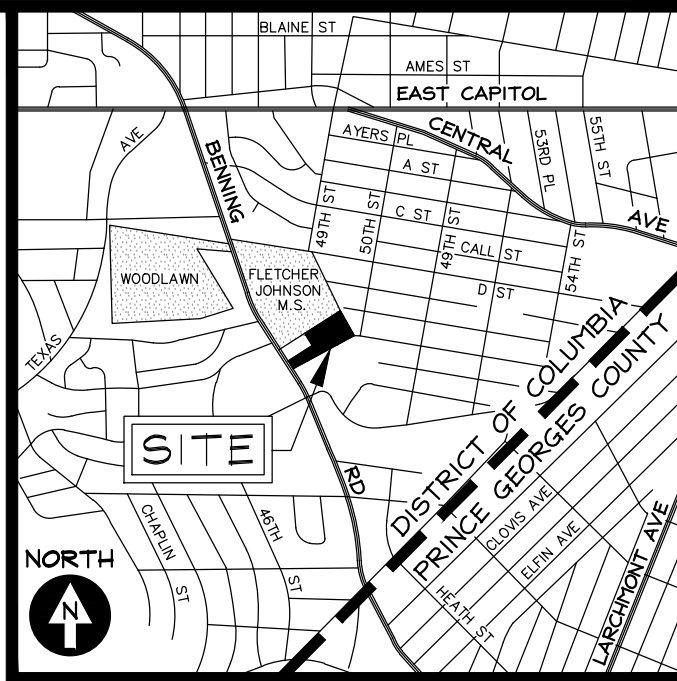


EXISTING
CONDITIONS PLAN

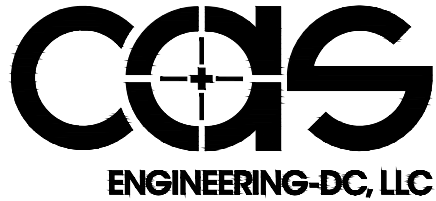
CIV100

GENERAL NOTES

SEE DEMOLITION SEDIMENT CONTROL RELATED NOTES ON SHEETS 05001 AND 05002.



VICINITY MAP
ADC MAP 5530, GRID A-9
SCALE: 1" = 2000'



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EMOTIVE ARCHITECT PLLC
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(202) 470-5075 (PHONE)
grant@emotivearch.com

LOTS 0001 AND 0002
SQUARE 5344
MARSHALL HEIGHTS

4744-4750
BENNING ROAD, SE

S.E. WASHINGTON,
DISTRICT OF COLUMBIA

LEGEND

EXISTING FEATURES	
X	TREE TO BE REMOVED
SRZ	TREE CRITICAL ROOT ZONE (CRZ)
SRZ	TREE STRUCTURAL ROOT ZONE (SRZ)
SEDIMENT CONTROL DEVICES	
FS-18	FILTERSOCK EROSION CONTROL TUBE (OR SIMILAR EROSION CONTROL TUBE, STRAM BALES, ETC.)
SF	SILT FENCE (SF)
SSF	SUPER SILT FENCE (SSF)
TSSF	TRENCHLESS SUPER SILT FENCE (TSSF)
TP	TREE PROTECTION FENCE (TP)
IP	INLET PROTECTION
(F.B.R.)	FEATURE TO BE RAZED
S.C.E.	STABILIZED CONSTRUCTION ENTRANCE
---	LIMITS OF DISTURBANCE

UTILITY INFORMATION

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MISS UTILITY
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CONTRACTOR TO MAINTAIN ANY EROSION AND SEDIMENT CONTROL MEASURES INSTALLED ON SITE.

REFER TO PLANS AND/OR REPORTS BY OTHERS FOR SPECIFIC TREE PROTECTION MEASURES, AS APPLICABLE.

ALL BUILDING UTILITY CONNECTIONS OF RECORD AND PER SURVEY DATA ARE SHOWN. ADDITIONAL BUILDING UTILITY CONNECTIONS MAY EXIST. CONTRACTOR TO COORDINATE ABANDONMENT OF ALL UTILITY CONNECTIONS WITH APPROPRIATE UTILITY AGENCY.

CONTRACTOR SHALL USE EROSION CONTROL TUBE, TRENCHLESS SILT FENCE, OR OTHER TRENCHLESS ESC METHOD ADJACENT TO TREE SAVE AREAS

A SEPARATE DDOT TREE REMOVAL PERMIT IS REQUIRED FOR PUBLIC SPACE TREES AND FOR TREES GREATER THAN 4\"/>

CONTRACTOR TO PROTECT TREES (BRANCHES, TRUNK, ROOTS) ON NEIGHBORING LOTS THAT OVERLAP THE L.O.D. AND HERITAGE TREES ON SITE. COORDINATE WITH DDOT UFA WARD 7 ARBORIST AS APPLICABLE. CONTRACTOR TO USE A TRENCHLESS SILT FENCE METHOD AND TO HORIZONTALLY BORE OR AIR GRADE EXCAVATE FOR UTILITIES WITHIN THE CANOPY OF ANY TREE TO BE PRESERVED (INCLUDING PROTECTING TREES ON ADJACENT PROPERTIES). COORDINATE WITH DDOT WARD 7 ARBORIST AS APPLICABLE. THE DDOT WARD 7 LEAD ARBORIST IS RUDY DELSACK, rudy.delsack@dc.gov, (202) 873-3626.

DEMOLITION QUANTITIES
DISTURBED AREA: 32,925 SQUARE FEET±
CUT: 10 CUBIC YARDS
FILL: 10 CUBIC YARDS

DATE	09/15/2025
DATE	09/25/2025
DATE	10/18/2025
DATE	12/31/2025

REVISION DATE

CAS PROJECT 22-0883-DC

DATE 12/2025

DRAWN BY MSB

CHECKED BY DCB

APPROVAL DCB

SCALE 1\"/>

SCALE 1\"/>

NORTH

DATA: REGIONAL SUBSISTANT DC SURVEYING OFFICE BOOK 144 PAGE 72

SHEET TITLE

DEMOLITION
SEDIMENT
CONTROL PLAN

CIV101

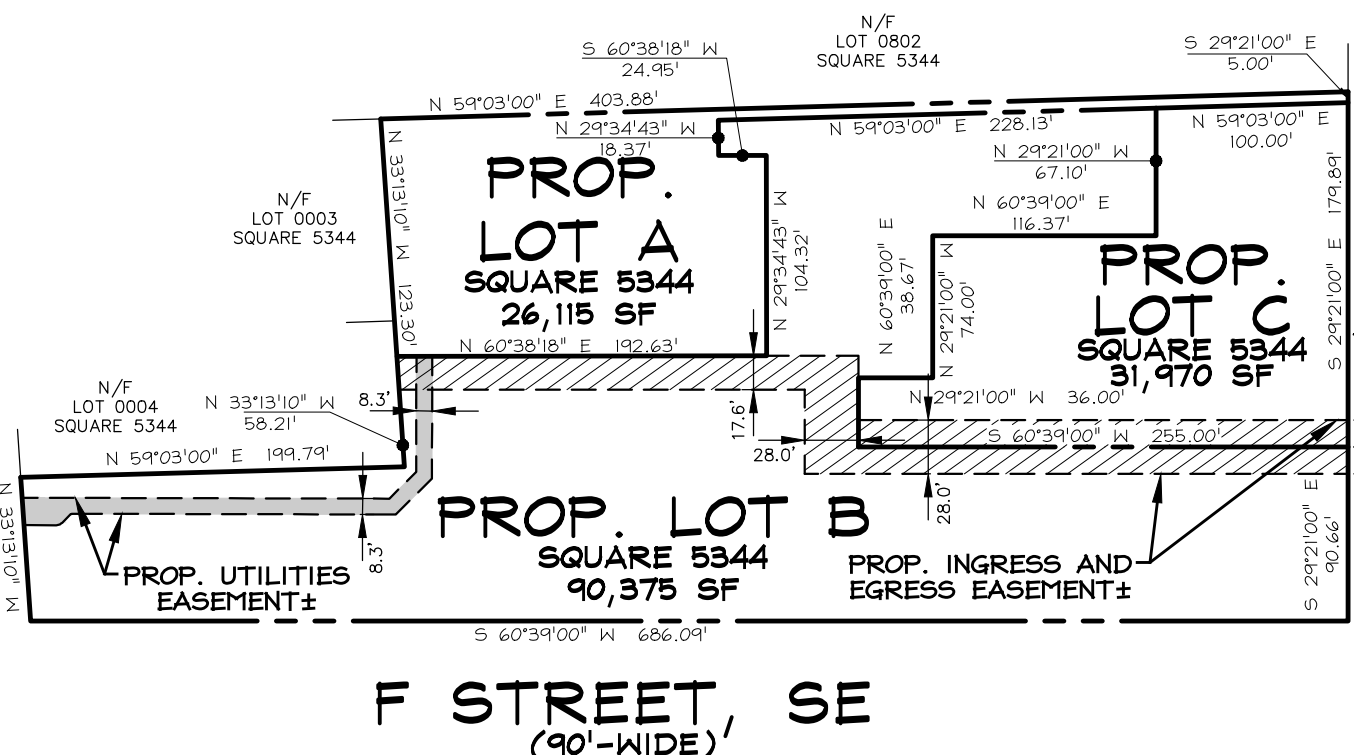
GENERAL NOTES

SEE BUILDING PERMIT SITE, DC WATER, GRADING, AND STORMWATER
MANAGEMENT RELATED NOTES ON SHEETS CIV001 AND CIV002.

PROPOSED EASEMENT EXHIBIT

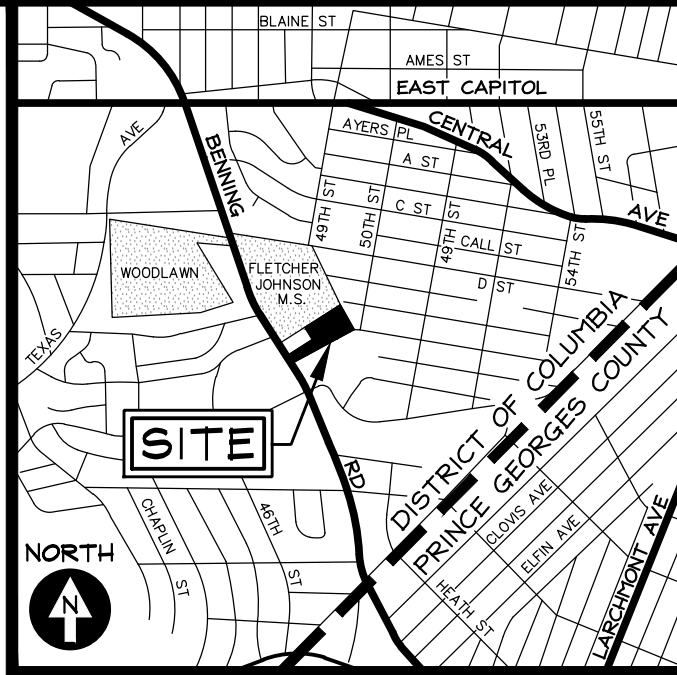
SCALE: 1"=100'

BENNING ROAD, SE
(118'-WIDE)



■ PROP. INGRESS AND EGRESS EASEMENT:
■ PROP. UTILITIES EASEMENT:

ST. LOUIS STREET, SE
(90'-WIDE)



VICINITY MAP
ADC MAP 5530, GRID A-1
SCALE: 1" = 2000'



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hse@hseproject.com

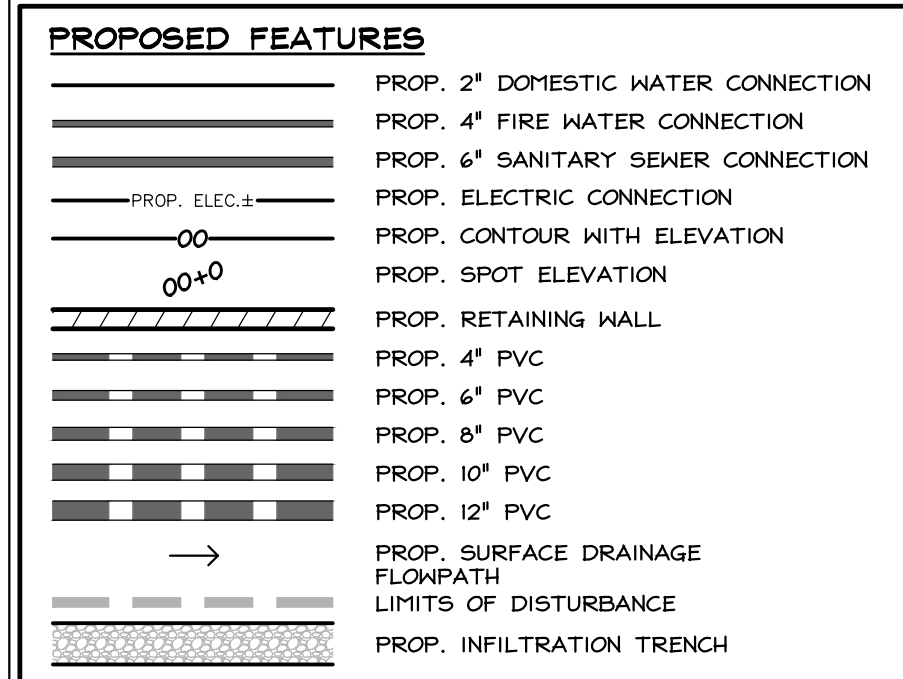
ARCHITECT
EMITTO ARCHITECT PLLC
ATTN: ABBEY JASON GRANT AIA, NCARB
6031 4700 30TH PHENIX
grant@emittoarch.com

LOTS 0001 AND 0002
SQUARE 5344
MARSHALL HEIGHTS

4744-4750
BENNING ROAD, SE

S.E. WASHINGTON,
DISTRICT OF COLUMBIA

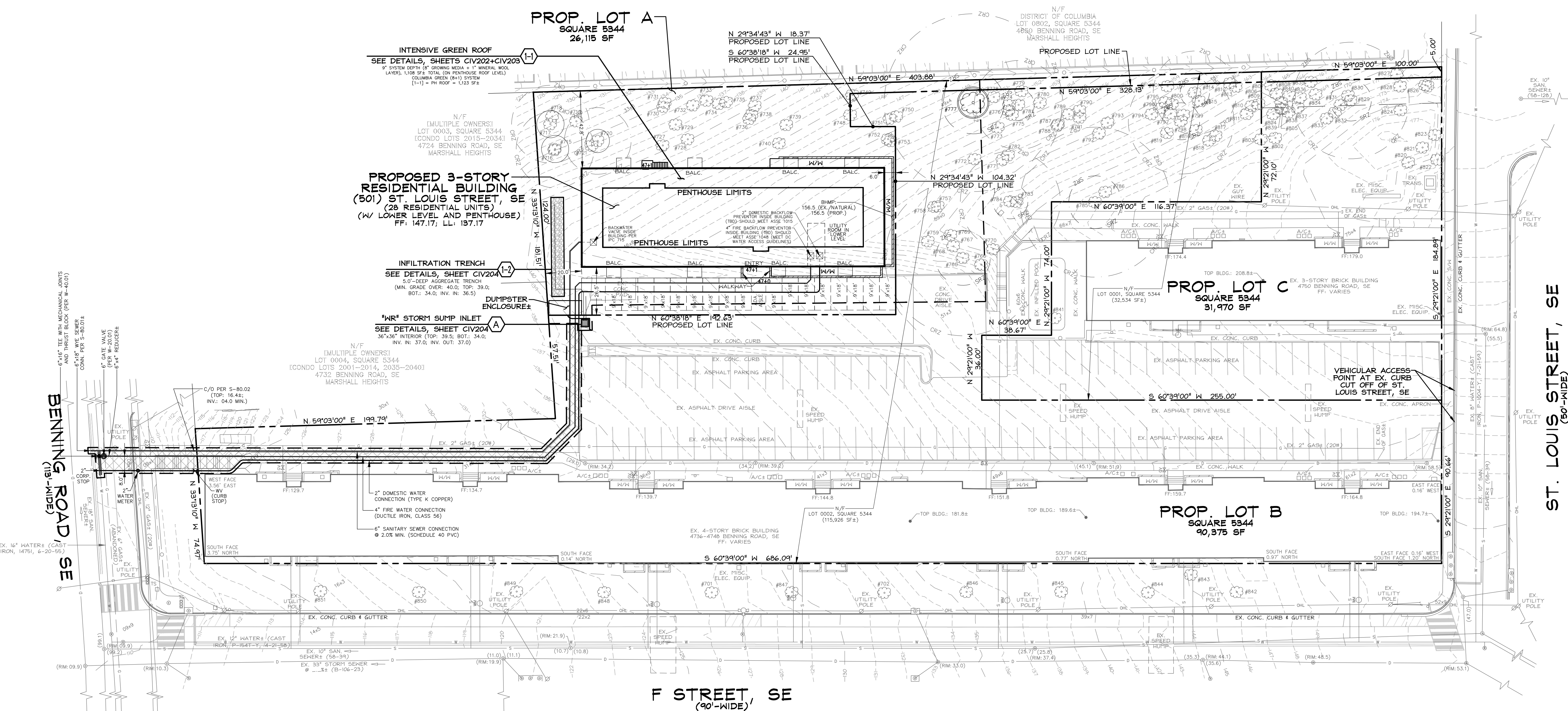
LEGEND



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COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED
EXCAVATION HAVE THOSE FACILITIES LOCATED BY THE UTILITY
COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS
RESPONSIBLE FOR COMPLIANCE WITH ALL JURISDICTIONAL REQUIREMENTS.



TOP, INVERT, PROFILE, AND SPOT
ELEVATIONS HAVE BEEN SHORTENED
TO DROP THE LEADING HUNDREDS
DENOTATION FOR SIMPLICITY.

A SEPARATE DDOT TREE REMOVAL
PERMIT IS REQUIRED FOR PUBLIC
SPACE TREES AND FOR TREES
GREATER THAN 44" DBH (14" DBH).

PUBLIC SPACE RESTORATION
TO BE DONE AS NECESSARY
PER DDOT PERMIT OR
APPLICABLE DETAILS.

FOR MORE INFORMATION, SEE
ADDITIONAL PROFILES, NOTES,
COMPUTATIONS, AND DETAILS
ON CIV200-SERIES SHEETS.

CONTRACTOR TO COORDINATE
ABANDONMENT OF ALL EXISTING
UTILITIES AS NECESSARY.

GAS CONNECTIONS AND METERS TO BE
INSTALLED BY WASHINGTON GAS,
SUBJECT TO FIELD MODIFICATION.

REFER TO COMPACTION PROTECTION NOTES FOR
ADDITIONAL INFORMATION ON PROTECTING THE
SUB-GRADE AND ITS INFILTRATION
CAPABILITY/CAPACITY DURING CONSTRUCTION.

PROVIDE SEWER C/O FOR PROP. 6"
SAN. PER DC WATER DETAIL S-80.02
(TOP: 16.45, INV.: 04.0, MIN.).

PROPOSED WATER METER TO BE
INSTALLED AS PER DC WATER
DETAILS W-80.01 AND W-85.02

DC WATER MET UTILITY MATERIAL SCHEDULE
WATER CONNECTIONS (2" AND SMALLER), TYPE K COPPER
WATER CONNECTIONS (3" AND LARGER), CLASS 56 DUCTILE IRON W/ MECH. JOINTS
SANITARY/STORM SEWER CONNECTIONS: SCHEDULE 40 PVC

CONTRACTOR TO PROTECT TREES (BRANCHES, TRUNK, ROOTS)
ON NEIGHBORING LOTS THAT OVERLAP THE L.O.D. AND
HERITAGE TREES ON SITE. COORDINATE WITH DDOT UFA WARD
7 ARBORIST AS APPLICABLE. CONTRACTOR TO USE A
TRENCHLESS SPLIT FENCE METHOD AND TO HORIZONTALLY BORE
OR AIR SPADE EXCAVATE FOR UTILITIES WITHIN THE CANOPY OF
ANY TREE TO BE PRESERVED (INCLUDING PROTECTING TREES
ON ADJACENT PROPERTIES). COORDINATE WITH DDOT WARD 7
ARBORIST AS APPLICABLE. THE DDOT WARD 7 LEAD ARBORIST
IS RUDY DELSACK, rudy.delsack@dc.gov. (202) 873-3626.

DATE: 09/15/2025
DATE: 09/25/2025
DATE: 10/16/2025
DATE: 12/31/2025

REVISION DATE

CAS PROJECT 22-0883-DC

DATE 12/2025

DRAWN BY MSB

CHECKED BY DCL

APPROVAL DCL

SCALE 1"=30'

SCALE 1 INCH = 30 FEET

NORTH

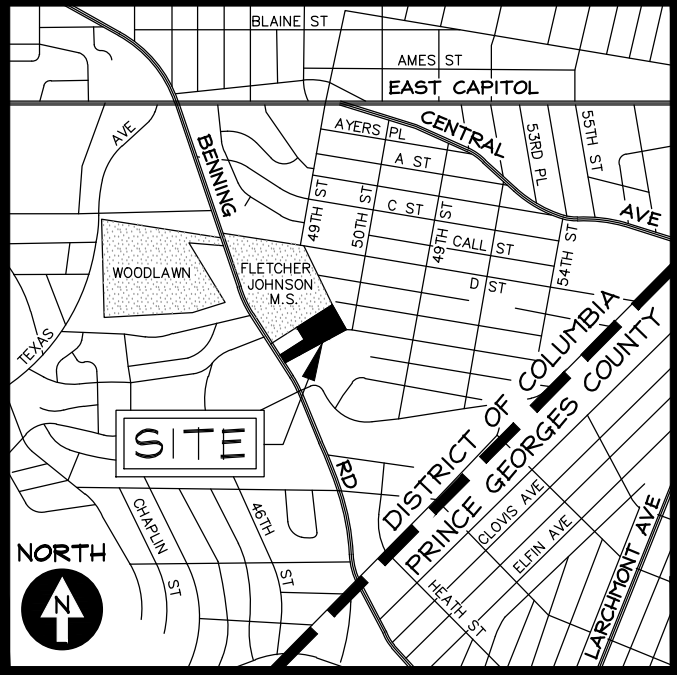
DATE: 09/15/2025
DATE: 09/25/2025
DATE: 10/16/2025
DATE: 12/31/2025

SHEET TITLE
BUILDING PERMIT SITE,
DC WATER, GRADING,
AND STORMWATER
MANAGEMENT PLAN

CIV200

GENERAL NOTES

SEE SEDIMENT CONTROL RELATED NOTES ON SHEETS CIV001 AND CIV002.



VICINITY MAP
ADC MAP 5530, GRID A-1
SCALE: 1" = 2000'



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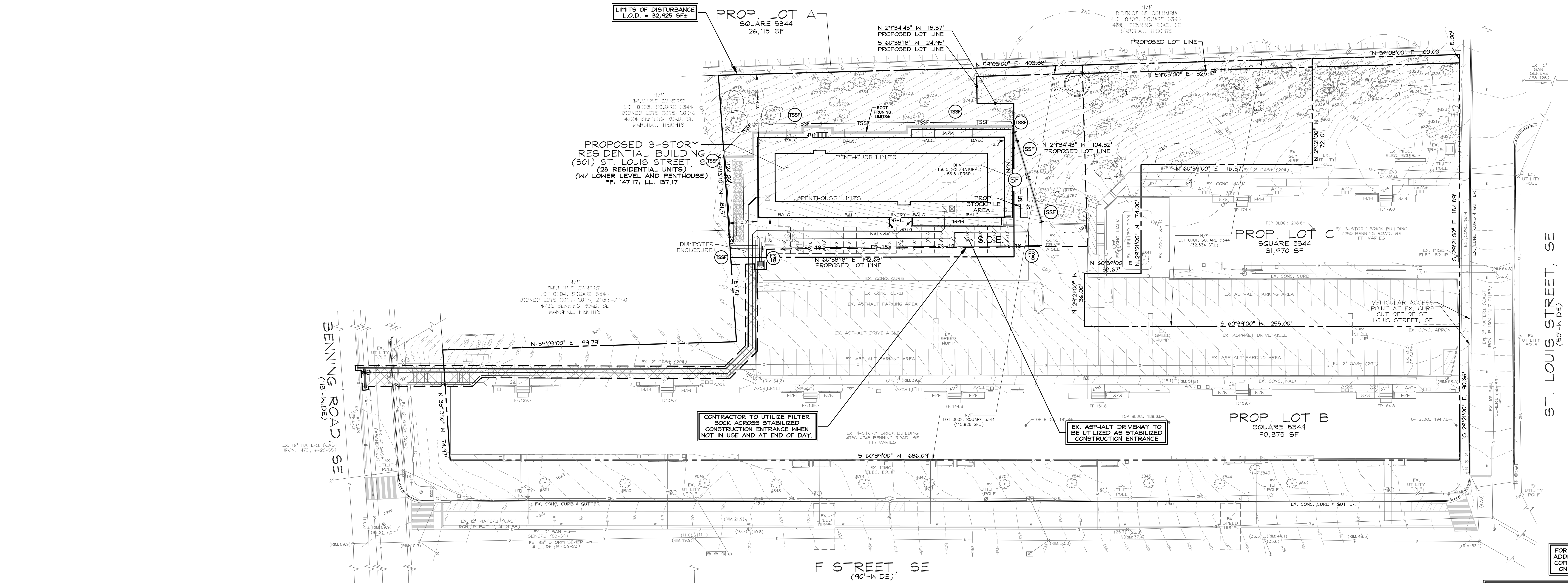
OWNER/CLIENT
HAMPTON EAST OWNER LLC
CO-MENETES CAPITAL PARTNERS
31400 WINTERPLACE PARKWAY, SUITE 300
SALISBURY, MD 21064
(410) 627-4502 (PHONE)
hoo@hmetec.com

ARCHITECT
EMTOTO ARCHITECT PLLC
ATTN: ABBEY JASON GRANT AIA, NCARB
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grant@emotowarch.com

LOTS 0001 AND 0002
SQUARE 5344
MARSHALL HEIGHTS

4744-4750
BENNING ROAD, SE

S.E. WASHINGTON,
DISTRICT OF COLUMBIA



LEGEND

EXISTING FEATURES	
CRZ	TREE CRITICAL ROOT ZONE (CRZ)
SRZ	TREE STRUCTURAL ROOT ZONE (SRZ)
SEDIMENT CONTROL DEVICES	
FS-18	FILTER SOCK EROSION CONTROL TUBE (OR SIMILAR EROSION CONTROL TUBE, STRAW BALES, ETC.)
SF	SILT FENCE (SF)
SSF	SUPER SILT FENCE (SSF)
TSSF	TRENCHLESS SUPER SILT FENCE (TSSF)
TP	TREE PROTECTION FENCE (TP)
IP	INLET PROTECTION
S.C.E.	STABILIZED CONSTRUCTION ENTRANCE
LIMITS OF DISTURBANCE	LIMITS OF DISTURBANCE
EXEMPT UTILITY DISTURBANCE AREA	EXEMPT UTILITY DISTURBANCE AREA

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FOR MORE INFORMATION, SEE
ADDITIONAL PROFILES, NOTES,
COMPUTATIONS, AND DETAILS
ON CIV200-SERIES SHEETS.

CONTRACTOR SHALL USE EROSION CONTROL TUBE,
TRENCHLESS SILT FENCE, OR OTHER TRENCHLESS
ESC METHOD ADJACENT TO TREE SAVE AREAS

CONTRACTOR TO MAINTAIN ANY
EROSION AND SEDIMENT CONTROL
MEASURES INSTALLED ON SITE

A SEPARATE DDOT TREE REMOVAL
PERMIT IS REQUIRED FOR PUBLIC
SPACE TREES AND FOR TREES
GREATER THAN 4" DBH (4" DBH)

REFER TO PLANS AND/OR REPORTS BY
OTHERS FOR SPECIFIC TREE PROTECTION
MEASURES, AS APPLICABLE.

ALL EXCAVATED AREAS OF ROADWAY AND
UTILITY CUTS IN THE PUBLIC RIGHT-OF-WAY
MUST BE COVERED IMMEDIATELY.

CONTRACTOR TO PROTECT TREES (BRANCHES, TRUNK, ROOTS)
ON NEIGHBORING LOTS THAT OVERLAP THE L.O.D. AND
HERITAGE TREES ON SITE. COORDINATE WITH DDOT UFA WARD
7 ARBORIST AS APPLICABLE. CONTRACTOR TO USE A
TRENCHLESS SILT FENCE METHOD AND TO HORIZONTALLY BORE
OR AIR SPADE EXCAVATE FOR UTILITIES WITHIN THE CANOPY OF
ANY TREE TO BE PRESERVED (INCLUDING PROTECTING TREES
ON ADJACENT PROPERTIES). COORDINATE WITH DDOT WARD 7
ARBORIST AS APPLICABLE. THE DDOT WARD 7 LEAD ARBORIST
IS RUDY DELSACKS, rudy.delsacks@dc.gov (202) 573-3625.

CONSTRUCTION QUANTITIES:
DISTURBED AREA: 32,925 SQUARE FEET±
LOD BREAKDOWN:
PRIVATE = 29,625 SF±
PRIVATE (EXEMPT, UTILITY) = 2,465 SF±
PUBLIC SPACE (NON-UTILITY) = 0 SF±
PUBLIC SPACE (EXEMPT, UTILITY) = 835 SF±
CUT: --- CUBIC YARDS
FILL: --- CUBIC YARDS

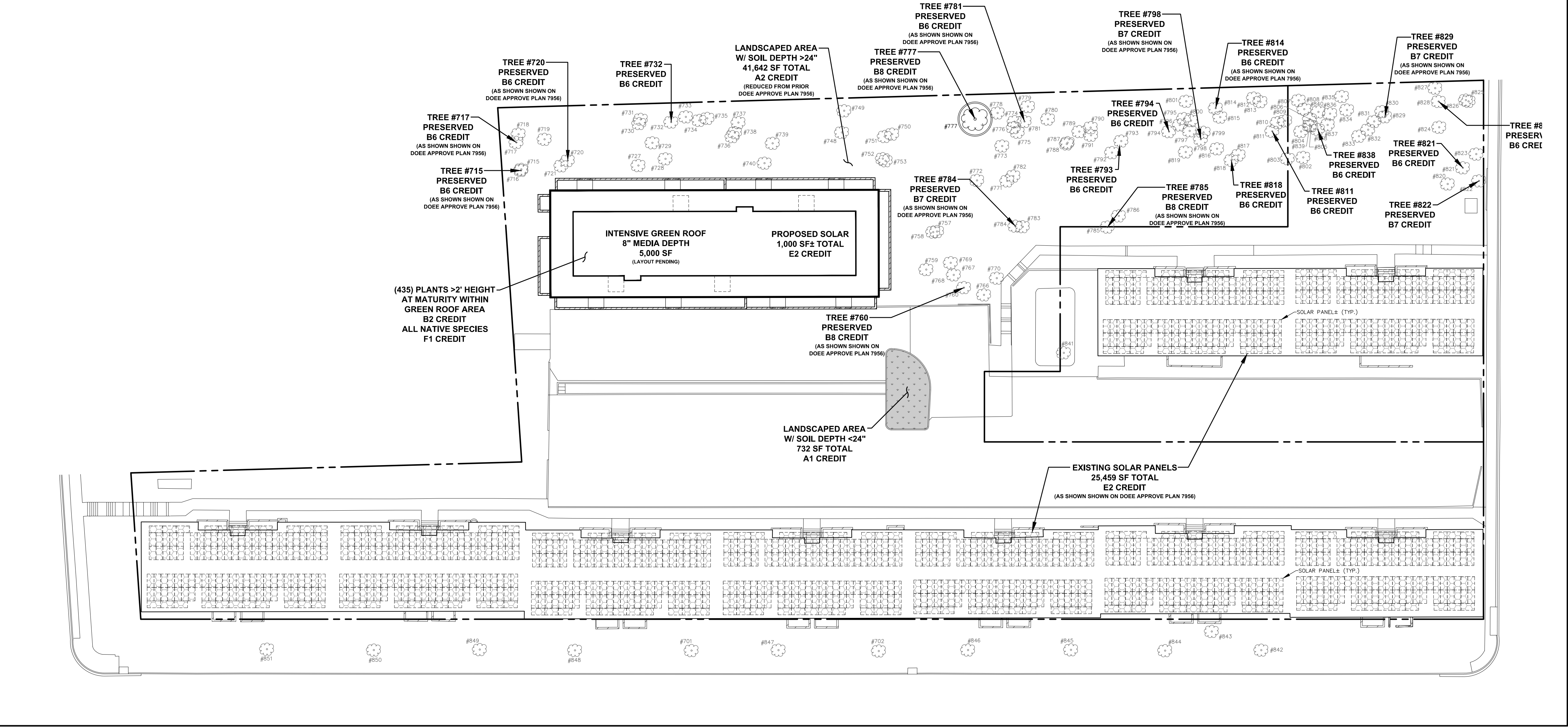
THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

SHEET TITLE

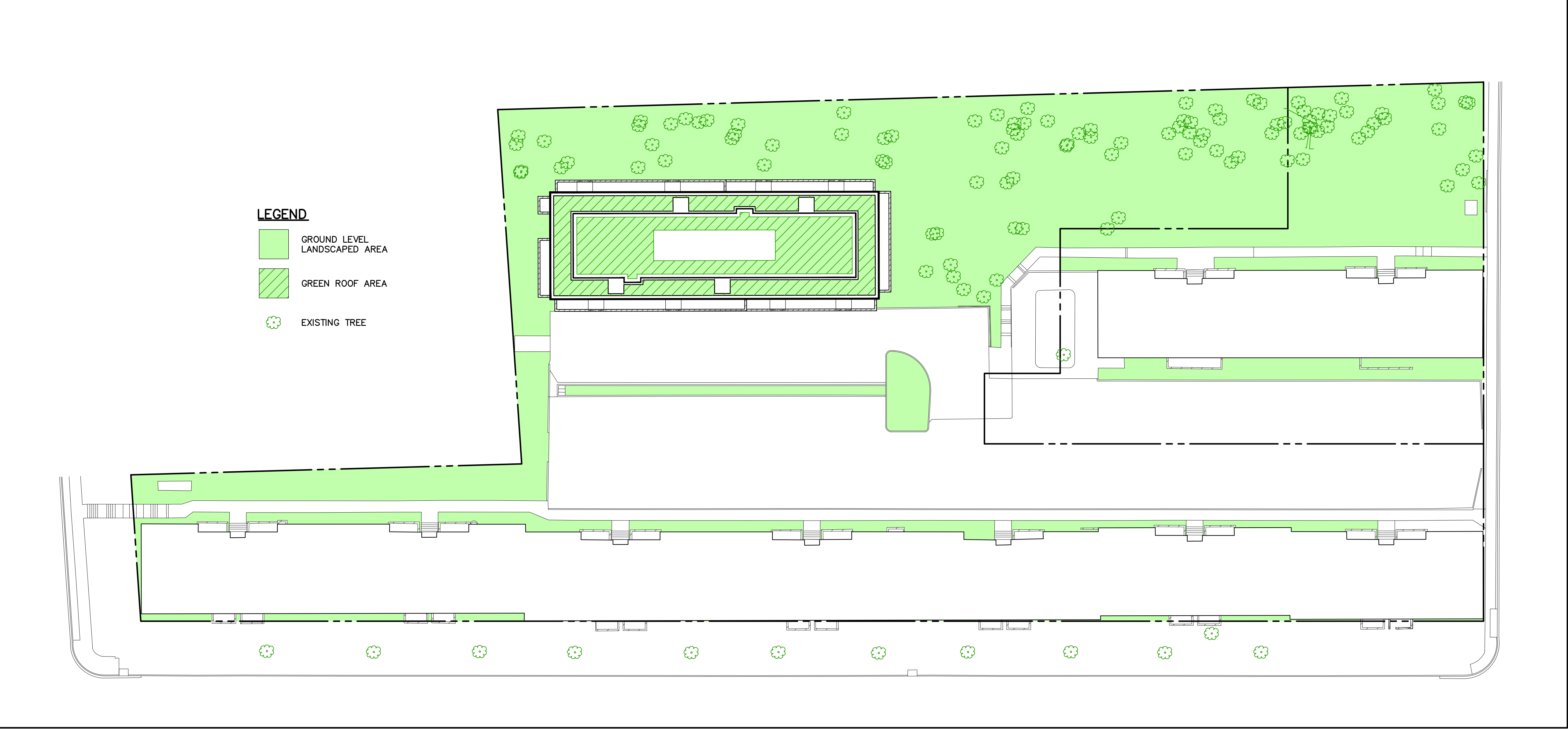
SEDIMENT
CONTROL PLAN

CIV300

GREEN AREA RATIO (GAR) PLAN LAYOUT



LAND COVER EXHIBIT



STATEMENT BY THE CERTIFIED LANDSCAPE EXPERT

THIS IS TO CERTIFY THAT I HAVE EXAMINED ALL REQUIRED GAR PLAN SUBMITTALS PRIOR TO SUBMISSION. I FURTHER CERTIFY THAT ALL ASPECTS OF THE SUBMITTAL INCLUDING LANDSCAPE ELEMENTS WITHIN THE LOT AND THE LISTED GAR SCORE MEET THE SPECIFICATIONS REQUIRED UNDER CHAPTER 34 OF TITLE 11 OF THE DISTRICT OF COLUMBIA MUNICIPAL REGULATIONS.

DAVID C. LANDSHAN
NAME AND TITLE
CAS ENGINEERING-DC, LLC
4836 MacArthur Boulevard, NW, 2ND FLOOR
WASHINGTON, DC 20007
ADDRESS
DATE 12/20/2025 PHONE 202-393-7200 PHONE NUMBER 202-393-7200

INTERNATIONAL LANDSCAPE EXPERT SIGNATURE
INTERNATIONAL SOCIETY OF ARBORICULTURE
CERTIFYING ORGANIZATION MA-6549A
CERTIFICATION NUMBER

GREEN AREA RATIO (GAR) SCORE SHEET

Green Area Ratio Scoresheet				
***	Address 4744 Benning Road, SE	Square	Lot	Zone District
***	Other	5344	Proposed	RA-2
***	Let size (enter this value first) *	Lot area (sf)	Minimum Score	Multiplier
***	148,460	0.4	SCORE: 0.400	
Landscape Elements				
Landscape Elements		Square Feet	Factor	Total
A Landscaped areas (select one of the following for each area)				
1	Landscaped areas with a soil depth < 24"	732	0.30	219.6
2	Landscaped areas with a soil depth ≥ 24"	41,642	0.60	24,985.2
3	Bioretention facilities		0.40	-
B Plantings (credit for plants in landscaped areas from Section A)				
1	Groundcovers, or other plants < 2' height		0.20	-
2	Plants ≥ 2' height at maturity - calculated at 9-sf per plant	437	0.30	1,179.9
3	New trees with less than 40-foot canopy spread - calculated at 50 sq ft per tree	0	0.50	-
4	New trees with 40-foot or greater canopy spread - calculated at 250 sq ft per tree	0	0.60	-
5	Preservation of existing tree 6" to 12" DBH - calculated at 250 sq ft per tree	0	0.70	-
6	Preservation of existing tree 12" to 18" DBH - calculated at 600 sq ft per tree	11	0.70	4,620.0
7	Preservation of existing trees 18" to 24" DBH - calculated at 1300 sq ft per tree	5	0.70	4,550.0
8	Preservation of existing trees 24" DBH or greater - calculated at 2000 sq ft per tree	3	0.80	4,800.0
9	Vegetated wall, plantings on a vertical surface		0.60	-
C Vegetated or "green" roofs				
1	Over at least 2" and less than 8" of growth medium		0.60	-
2	Over at least 8" of growth medium	5,000	0.80	4,000.0
D Permeable Paving***				
1	Permeable paving over 6" to 24" of soil or gravel		0.40	-
2	Permeable paving over at least 24" of soil or gravel		0.50	-
E Other				
1	Enhanced tree growth systems***		0.40	-
2	Renewable energy generation	26,459	0.50	13,229.5
3	Approved water features		0.20	-
F Bonuses				
1	Native plant species	18,733	0.10	1,873.3
2	Landscaping in food cultivation		0.10	-
3	Harvested stormwater irrigation		0.10	-
sub-total of sq ft =		96,866		
Green Area Ratio numerator *		58,458		
*** Permeable paving and structural soil together may not qualify for more than one third of the Green Area Ratio score. Total square footage of all permeable paving and enhanced tree growth.				

GREEN ROOF AREA ON PENTHOUSE ROOF INCLUDES AREA UP TO, BUT NOT UNDER, HVAC UNITS. HVAC UNITS TO BE SET ON PEDESTALS (OR OTHER SUPPORTS) AT OR ABOVE THE GREEN ROOF LEVEL.

100% OF NON-GREEN ROOF PROJECT SITE AREAS TO BE NATIVE LANDSCAPING PER DC GECS, ICC ELECTIVE A104.9.10.

THE PROPERTY OWNER IS REQUIRED TO MAINTAIN THE LOT'S MINIMUM GAR SCORE THROUGH APPROPRIATE STEWARDSHIP AND MAINTENANCE OF LANDSCAPE ELEMENTS AFTER THE PROPERTY IS GRANTED ITS CERTIFICATE OF OCCUPANCY.

TREES AND SHRUBS MUST HAVE A SPECIES IDENTIFICATION TAG FROM THE NURSERY TO REMAIN ON 2 OF EACH PLANTED SPECIES UNTIL THE LANDSCAPE CHECKLIST IS SIGNED. TAGS MAY BE REMOVED AFTER FINAL INSPECTION TO PREVENT GIRDING.

ALL NEW PLANT MATERIALS MUST MEET THE STANDARDS IN THE ANLA AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1-2014).

ALL ROOF SLOPES ARE 1/4" PER 1'. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.

NORTH
DATE: 12/20/2025
DRAWN BY: MSB
CHECKED BY: DCB
APPROVAL: DCB
SCALE: 1"=30'



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hso@hertecap.com

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grant@emittingarch.com

LOTS 0001 AND 0002
SQUARE 5344
MARSHALL HEIGHTS

4744-4750
BENNING
ROAD, SE

S.E. WASHINGTON,
DISTRICT OF COLUMBIA

REVISION DATE
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APPROVAL DCB
SCALE 1"=30'

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CHECKED BY: DCB
APPROVAL: DCB
SCALE: 1"=30'

SHEET TITLE

GREEN AREA
RATIO (GAR) PLAN

CIV500