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January 2, 2026

VIA IZIS

Board of Zoning Adjustment
of the District of Columbia
441 4th Street, NW, Suite 210-S
Washington, DC 20001

**Re: BZA Case No. 21377: 4730 and 4750 Benning Road, SE (Square 5344, Lots 1 and 2)
Applicant's Prehearing Submission & Updated Architectural Plans**

Dear Members of the Board:

On behalf of Hampton East Owner LLC (the “Applicant”), the owner of the property that comprises a portion of Lots 1 and 2 in Square 5344 (the “Property”), we hereby submit the enclosed Prehearing Submission attached at **Exhibit A** and Updated Architectural Plans attached at **Exhibit B** pursuant to Subtitle Y §§ 300.15 and 300.16. This submission provides a summary of the application and updates the Board of Zoning Adjustment (the “Board”) on developments since the Applicant filed its application on August 19, 2025, including outreach to the affected Advisory Neighborhood Commission (“ANC”).

Based on the enclosed materials, as well as the case record, the Applicant respectfully requests that the Board grant the requested special exception relief pursuant to Subtitle U § 421 and Subtitle X § 901.2 to permit the construction of a new residential development in the RA-1 zone and an area variance pursuant to Subtitle X § 1000.1 from the lot frontage requirement of Subtitle C § 303.4, which requires a minimum street frontage of 30 feet for new lots to be used and occupied by an apartment house.

As indicated in the Certificate of Service below, a copy of this Prehearing Submission and Updated Architectural Plans is being served on ANC 7E, the Office of Planning, and the District Department of Transportation. The Applicant looks forward to presenting the application to the Board at the public hearing on February 4, 2026, and appreciates the Board’s consideration on this request.

Respectfully submitted,

HOLLAND & KNIGHT LLP

By: 

Kyrus Lamont Freeman
Madeline Shay Williams

Enclosure

cc: Certificate of Service

Exhibit A: Prehearing Submission

Exhibit B: Updated Architectural Plans

Certificate of Service

I hereby certify that on January 2, 2026, a copy of the foregoing Prehearing Submission and Updated Architectural Plans was served by electronic mail on the following at the addresses stated below.

DC Office of Planning

Joel Lawson

joel.lawson@dc.gov

Maxine Brown-Roberts

maxine.brownroberts@dc.gov

District Department of Transportation

Erkin Ozberk

erkin.ozberk1@dc.gov

Advisory Neighborhood Commission 7E

7E@anc.dc.gov

Commissioner Natasha Dupee

ANC 7E Chair, SMD 7E04

7E04@anc.dc.gov



Cyrus Lamont Freeman
Madeline Shay Williams
Holland & Knight LLP

EXHIBIT A

Hampton East Owner LLC

BZA Application No. 21377

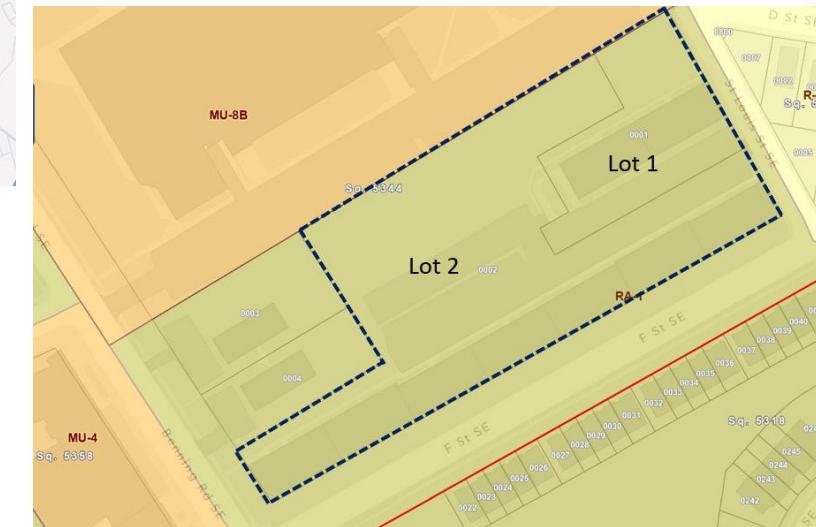
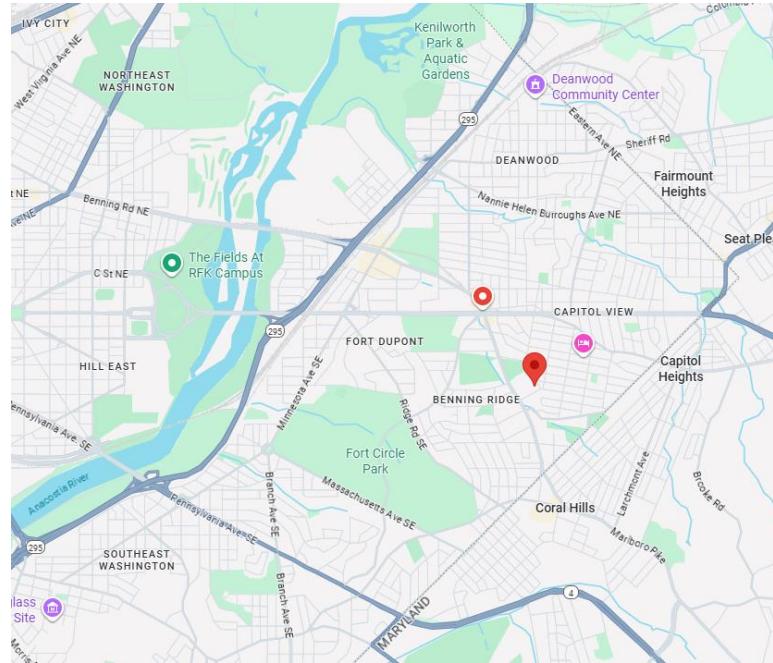
4730 & 4750 Benning Road SE (Square 5344, Lots 1 and 2)

Applicant's Prehearing Submission (30-Day Filing)
January 2, 2026

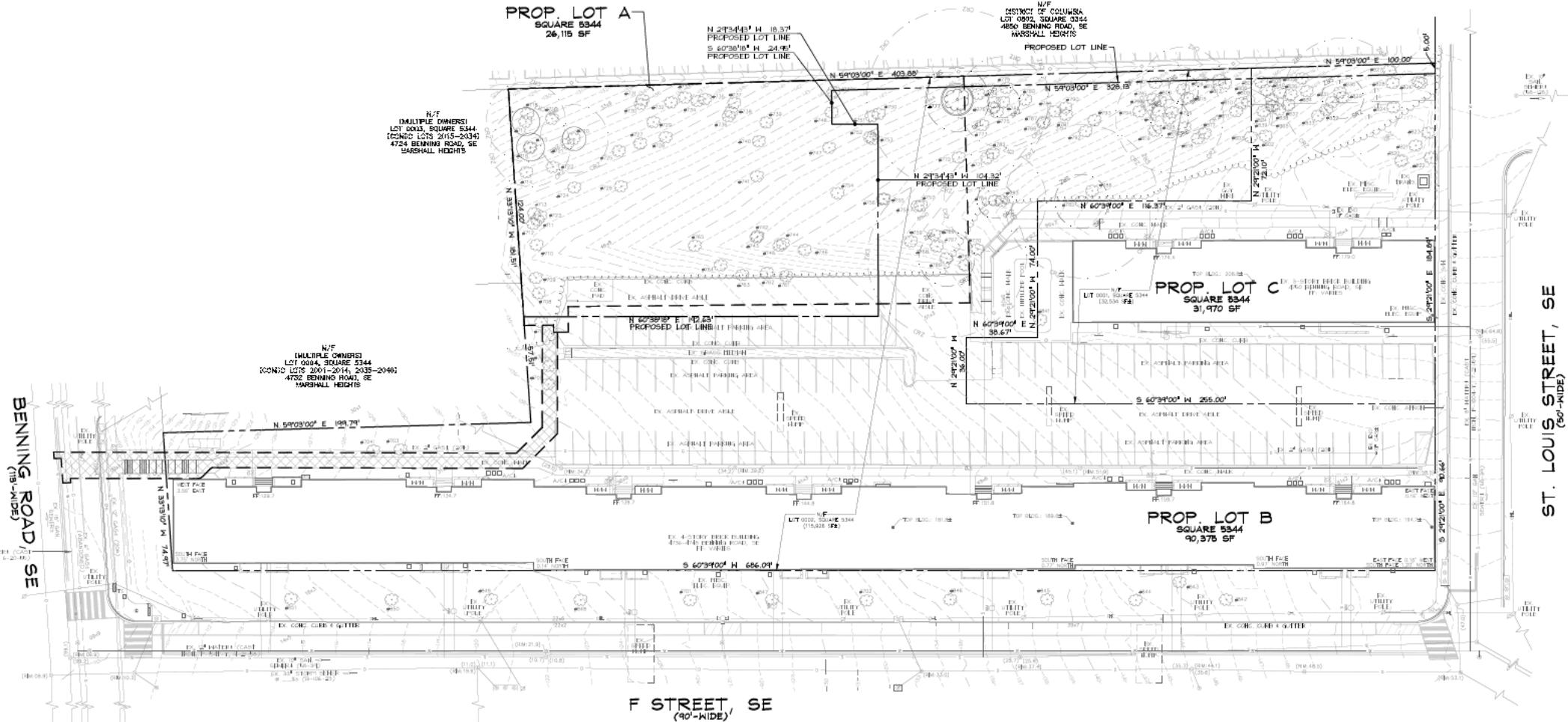
Holland & Knight

Property Location – 4730 & 4750 Benning Road SE (Square 5244, Lots 1 and 2)

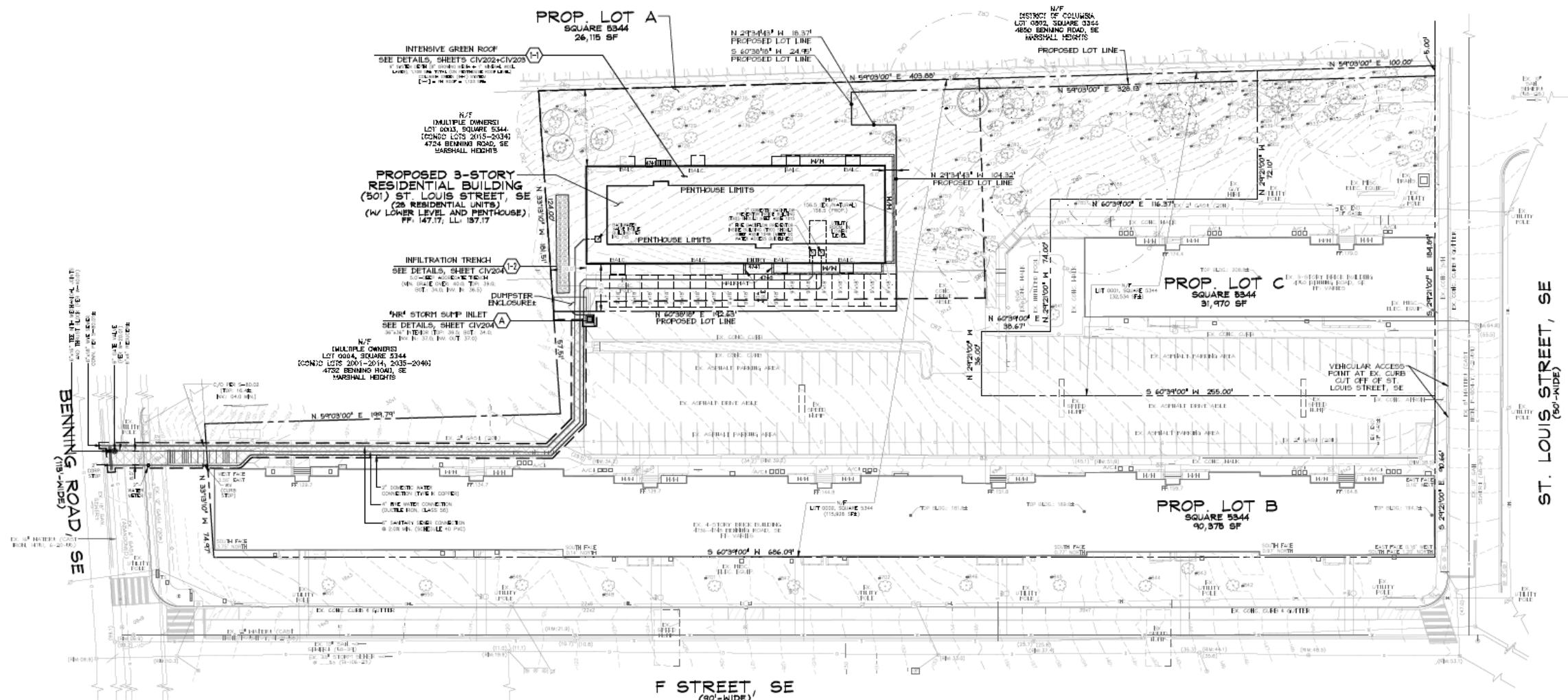
- Located in the Marshall Heights neighborhood.
- Bounded by Fletcher-Johnson Recreation Center to the north, F Street SE to the south, Benning Road SE to the west, and St. Louis Street SE to the east.
- Within the RA-1 zone.



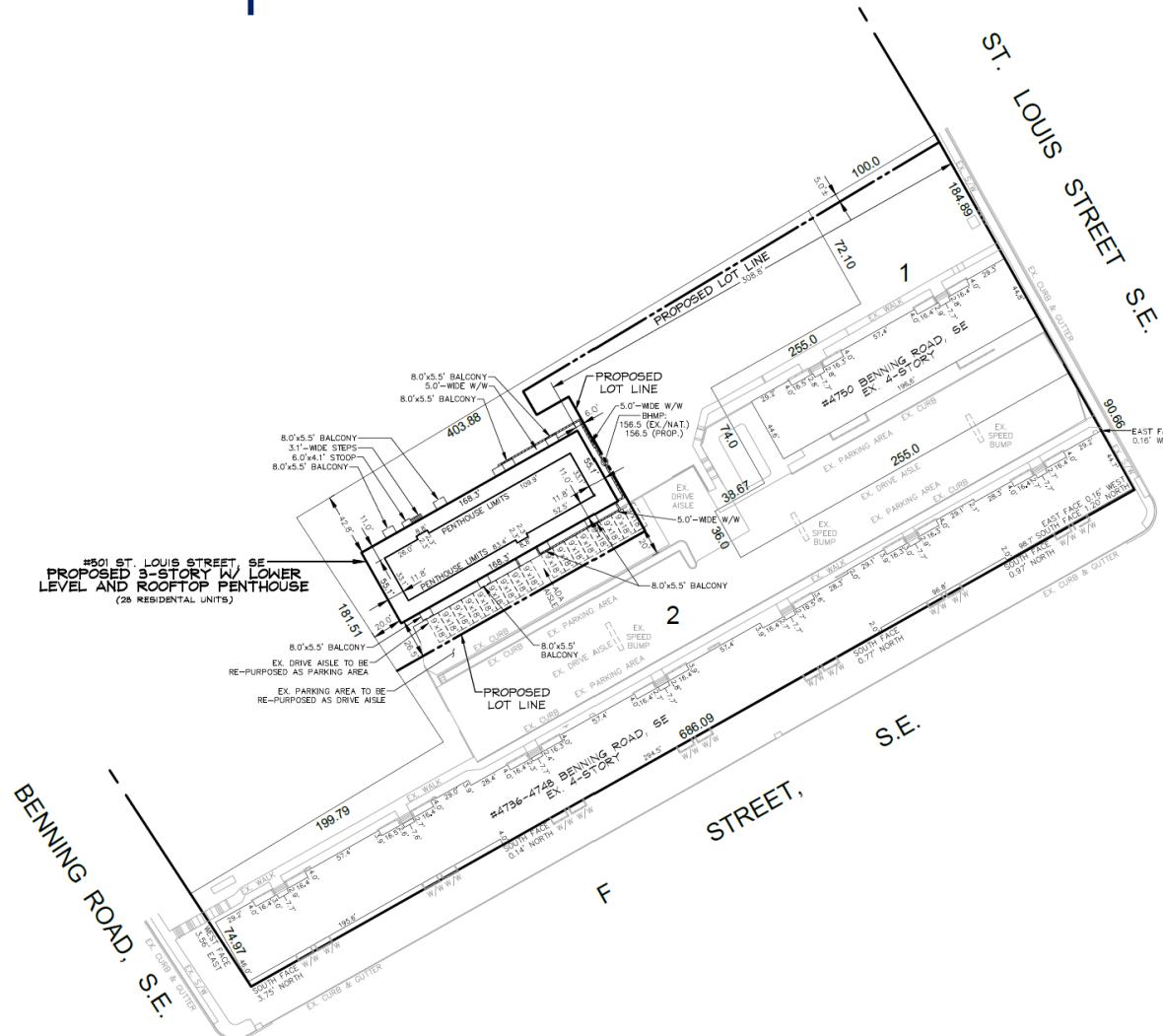
Existing Conditions



Proposed Development – Site Plan



Proposed Development – Plat



Overview of BZA Application and Zoning Relief Requested

- BZA Application **No. 21377** filed on August 19, 2025.
- Request for:
 1. **Special exception** approval pursuant to Subtitle U § 421 and Subtitle X § 901.2 to permit the construction of a new residential development in the RA-1 zone, and
 2. **Area variance** approval pursuant to Subtitle X § 1000.1 from the lot frontage requirement of Subtitle C § 303.4, which requires a minimum street frontage of 30 feet for new lots to be used and occupied by an apartment house.
- Summary of justifications for relief:
 - Number and mix of units, including family-sized and Inclusionary Zoning (IZ) units
 - Consistent with purposes and of RA-1 zone
 - Compatible with existing development in the area
 - Physical configuration of Property is an exceptional and unique condition
 - Existing multifamily building presents a peculiar and exceptional practical difficulty for compliance with frontage requirement
- BZA public **hearing February 4, 2026.**

Existing Conditions



Photograph #1: Subject Property and Existing Conditions



Photograph #2: Subject Property and existing multifamily building on Lot 2 in Square 5344 (looking SW)



Photograph #3: Existing multifamily buildings on Lots 1 and 2 in Sq. 5344



Photograph #4: Existing curb cut on St. Louis Avenue, SE (looking NW)

Existing Conditions



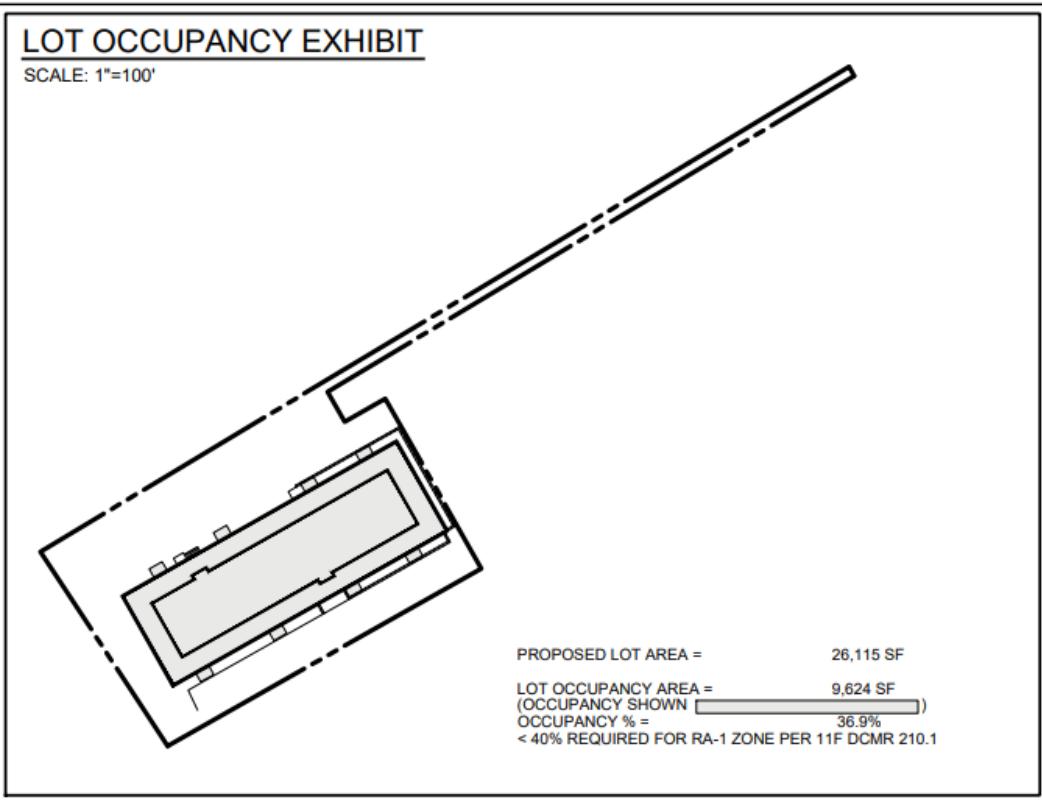
Proposed Residential Development

- Three-story apartment house consisting of 28 units with a mix of two-, three-, and four-bedroom units
- Inclusionary Zoning (IZ) units will contribute to affordable housing stock
- Amenities
 - Some units with balcony or outdoor deck space
 - Green roof
 - Solar panels
 - 11 long-term bicycle spaces (above minimum requirements)

Proposed Residential Development



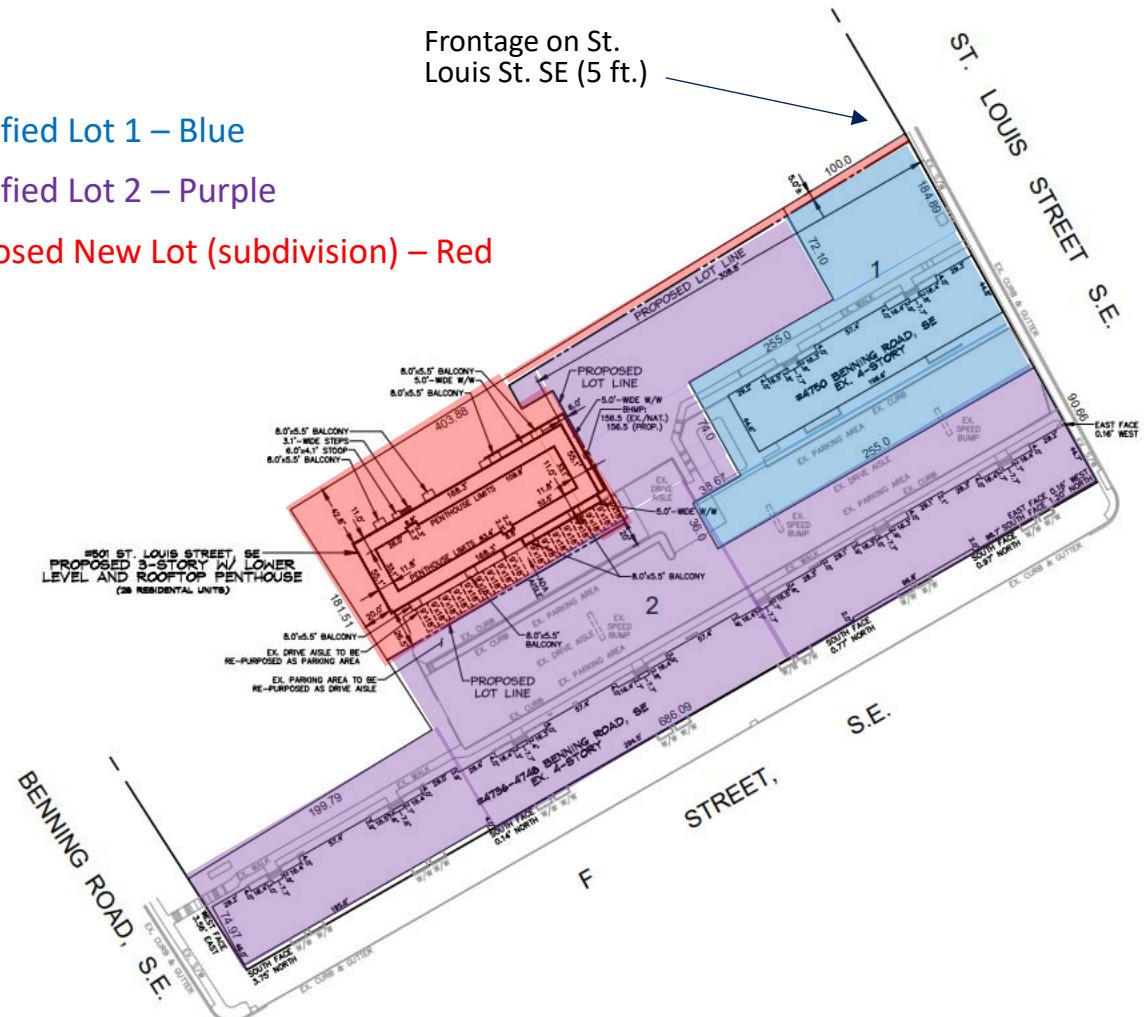
Proposed Subdivision



Modified Lot 1 – Blue

Modified Lot 2 – Purple

Proposed New Lot (subdivision) – Red



Special Exception Criteria

Subtitle U § 421.1-421.4 – New Residential Developments (RA-1)

421.1 – In any of the **RA-1 zones, all new residential developments**, except those comprising all one-family detached and semi-detached dwellings, shall be reviewed by the Board of Zoning Adjustment **as special exceptions** pursuant to Subtitle X, Chapter 9, in accordance with the standards and requirements in that section.

421.2 – The Board of Zoning Adjustment shall **refer the application to the relevant District of Columbia agencies** for comment and recommendation as to the adequacy of the following:

- a) Existing and planned area schools to accommodate the numbers of students that can be expected to reside in the project; and
- b) Public streets, recreation, and other services to accommodate the residents that can be expected to reside in the project.

421.3 – The Board of Zoning Adjustment shall **refer the application to the Office of Planning** for comment and recommendation on the site plan, arrangement of buildings and structures, and provisions of light, air, parking, recreation, landscaping, and grading as they relate to the surrounding neighborhood, and the relationship of the proposed project to public plans and projects.

421.4 – In addition to other filing requirements, the **developer shall submit** to the Board of Zoning Adjustment with the application a site plan and set of typical floor plans and elevations, grading plan (existing and final), landscaping plan, and plans for all new rights-of-way and easements.

Special Exception Justification

Subtitle U § 421.1-421.4 – New Residential Developments (RA-1)

421.1 – Special exception requirement for new development in RA-1 Zone

- *Applicant has requested special exception relief under Subtitle X § 901.2.*

421.2 – District agency review of adequacy of schools, public streets, and other services to accommodate new residents

- *Proposed number of mix of unit sizes is intended to accommodate family-sized households.*
- *The estimated SY27-28 utilization rates for schools in which the Property is zoned indicate that the expected student population could be accommodated.*
- *Subject BZA application will be reviewed by relevant District agencies as needed to ensure expected population can be supported.*

421.3 – OP review of development compatibility

- Applicant will work with the Office of Planning to ensure Project's compatibility with the surrounding neighborhood.

421.4 – Additional submission requirements

- Applicant has submitted the requirements of this provision.

Special Exception Criteria

Subtitle X § 901.2 – Special Exception Review Standards

The Board of Zoning Adjustment is authorized under § 8 of the Zoning Act, D.C. Official Code § 6-641.07(g)(2), to grant special exceptions, as provided in this title, where, in the judgment of the Board of Zoning Adjustment, the special exceptions:

- a) Will be **in harmony with the general purpose and intent** of the Zoning Regulations and Zoning Maps;
- b) Will **not tend to affect adversely**, the **use of neighboring property** in accordance with the Zoning Regulations and Zoning Maps; and
- c) Will meet such **special conditions** as may be specified in this title.

Special Exception Justification

Subtitle X § 901.2 – Special Exception Review Standards

- a) Will be in harmony with the general purpose and intent of the Zoning Regulations and Zoning Maps;
 - *Project is consistent with the purposes of the RA-1 zone, which is intended to “provide for areas predominantly developed with low- to moderate-density development.” (Subtitle F § 101.4)*
- b) Will not tend to affect adversely, the use of neighboring property in accordance with the Zoning Regulations and Zoning Maps; and
 - *Project is designed to integrate with the surrounding multifamily buildings.*
 - *Surrounding services and infrastructure are capable of accommodating new residents.*
 - *Project will not result in adverse impacts on parking availability as existing multifamily buildings have sufficient parking.*
 - *Project will contribute to affordable housing stock without introducing any substantial negative impacts.*
- c) Will meet such special conditions as may be specified in this title.
 - *Project complies with criteria of Subtitle U § 421 as previously outlined.*

Area Variance Criteria

Subtitle X § 1000.1 – Area Variance Review Standards

The Board of Zoning Adjustment is authorized under D.C. Code § 6-641.07(g)(3) and Subtitle X § 1000.1, to grant a variance from “the strict application of any regulation adopted under D.C. Official Code §§ 6-641.01 to 6-651.02” when the following conditions are met:

1. The property is affected by exceptional size, shape, or topography or other extraordinary or **exceptional condition or situation**;
2. The owner would encounter **peculiar and exceptional practical difficulties or undue hardship** if the zoning regulations were strictly applied; and
3. The variance would **not cause substantial detriment** to the public good and would not substantially impair the intent, purpose, and integrity of the zone plan as embodied in the Zoning Regulations and Map.

Area Variance Justification

Subtitle X § 1000.1 – Area Variance Review Standards

1. The property is affected by exceptional size, shape, or topography or other extraordinary or exceptional condition or situation;
 - Physical configuration – *The Property comprises Lots 1 and 2, which have an irregular, interlocking configuration that effectively traps the Property between Lots 1 and 2 and lacks independent street frontage.*
 - Surrounding uses – *The Property cannot obtain street frontage from the north, west, or south as the Property is bounded by H.D. Woodson High School, residential buildings, and a multifamily building, respectively. Therefore, the only available frontage is on St. Louis Street SE with the lot configuration provided the Applicant's proposed subdivision.*
 - Zoning requirements – *Subtitle C § 302.2 requires any new primary building to be located on a separate lot of record. As such, the Property's unique configuration along with the mandatory subdivision requirement gives rise to the practical difficulty outlined on the next slide.*

Area Variance Justification

Subtitle X § 1000.1 – Area Variance Review Standards

2. The owner would encounter peculiar and exceptional practical difficulties or undue hardship if the zoning regulations were strictly applied; and
 - *Due to the existing multifamily building on Lot 1, the Property can only obtain five feet (5 ft.) of street frontage along St. Louis Street SE.*
 - *There is no alternative means to comply with the street frontage requirement without demolition of existing improvements, acquisition of adjoining property, or other infeasible measures.*
3. The variance would not cause substantial detriment to the public good and would not substantially impair the intent, purpose, and integrity of the zone plan as embodied in the Zoning Regulations and Map.
 - *Project would deliver 28 new residential units, including family-sized and IZ units, in a transit-accessible location.*
 - *Requested relief advances the purpose and preserves the integrity of the frontage requirement.*
 - *Requested relief also supports the purpose of RA zones, which are intended to promote flexibility by allowing a variety of resident development types.*

Precedents – Area Variance from Frontage Requirements of Subtitle C §303.4

- BZA 21237 (2025) – OP recommended approval (Exhibit 23)

- Extraordinary or Exceptional Situation or Condition:

“The subject property is an existing tax lot that was developed prior to the zoning regulations and has **lot frontage that is below the minimum required** for lot recordation for apartment houses.

There is **no new land immediately available to rectify this nonconformity** for subdivisions.

The **existing lot width of the property** along with the existing use of the lot as a 4 unit apartment building **create an exceptional condition that prohibits the lot from being compliant** with the subdivision requirements under the zoning regulations.”

- Practical Difficulty

“Strict application of the zoning regulation would result in practical difficulty as **it prohibits the development of the property**, as the **lot cannot physically meet the lot frontage standard** for new record lots with apartment houses. **Granting this relief** would allow the recordation of the property as a lot of record, and **allow the applicant to begin the project.**”

Precedents – Area Variance from Frontage Requirements of Subtitle C §303.4

- BZA 20951A (2024) – OP recommended approval (Exhibit 23)

“The Applicant has **no ability to widen its street frontage** as they do not have ownership of either abutting property, and owners of those lots have not indicated a willingness to sell their abutting lots for the purposes of widening the street frontage of the newly created record lot.

Therefore, the **physical pre-existing condition of the street frontage, without the ability to add street frontage**, creates an **exceptional situation** of the lot resulting in a **practical difficulty for the Applicant in satisfying the condition** of Subtitle C § 303.4.”

Community Outreach

- September 2025 – present:
 - Presented to ANC 7E Executive Committee
 - Presented at full ANC 7E Monthly Meeting twice
 - Door knocking and meeting with nearby residents
- Filings in support:
 - Petition in support (Ex. 17)
 - 12 letters in support (Ex. 18-29)
- No letters in opposition have been filed in the record as of the date of this submission

Questions?

Hampton East Owner LLC

BZA Application No. 21377

4730 & 4750 Benning Road SE (Lots 1 & 2 in Square 5344)

Applicant's Prehearing Submission (30-Day Filing)

January 2, 2026

EXHIBIT B

HAMPTON EAST 2

SCHEMATIC DESIGN

12/30/2025

SD01

HAMPTON EAST 2, WASHINGTON, DC
COVER SHEET

12/30/2025



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| SHEET INDEX | |
|-------------|-------------------------------------|
| ID | NAME |
| SD01 | COVER SHEET |
| SD02 | ZONING & BUILDING CODE DATA SUMMARY |
| SD03 | FAR CALCULATION |
| SD04 | SCHEMATIC SITE PLAN |
| SD05 | CELLAR FLOOR PLAN |
| SD06 | 1st FLOOR PLAN |
| SD07 | TYPICAL FLOOR PLAN |
| SD08 | PENTHOUSE PLAN |
| SD09 | PENTHOUSE ROOF PLAN |
| SD10 | SCHEMATIC SECTIONS |
| SD11 | SCHEMATIC ELEVATIONS |
| SD12 | SCHEMATIC ELEVATIONS |
| SD13 | SCHEMATIC PERSPECTIVES |
| SD14 | SCHEMATIC PERSPECTIVES |
| SD15 | AREA CALCULATION |

ZONING & BUILDING CODE DATA:

BUILDING DATA:

PROJECT NAME: HAMPTON EAST - II
PROJECT ADDRESS: XX' ST LOUIS STREET SE, WASHINGTON, DC 20019

PROJECT NARRATIVE

THE PROJECT IS A NEW RESIDENTIAL BUILDING WITH A CELLAR, PLUS 3 FLOORS. WE ARE CREATING 28 NEW RESIDENTIAL UNITS.

IZ CALCULATIONS

| Step | Calculation Description | Example Numbers* | Formula/Rule | Result |
|------|------------------------------------|-----------------------|---------------------------|----------------|
| 1 | Total Residential Gross Floor Area | 27,816 sq. ft. | Application Box 24 | 27,816 sq. ft. |
| 2 | IZ Bonus Density Used | 4,611 sq. ft. | Application Box 22 | 4,611 sq. ft. |
| 3 | Set-Aside: % of Net GFA | 10% of 26,469 sq. ft. | (IZ+ bonus: 10% required) | 2,647 sq. ft. |
| 4 | Penthouse Requirement | 10% of 4,835 sq. ft. | (IZ+ bonus: 10%) | 484 sq. ft. |
| 5 | Total IZ set aside | | Must use greater value | 3,131 sq. ft. |
| 6 | Net Residential Floor Area | 26,469 sq. ft. | Application Box 25 | 26,469 sq. ft. |
| 7 | IZ Units by Income Level | See breakdown below | Per Zoning/IZ rules | See below |

APPLICABLE BUILDING CODES:

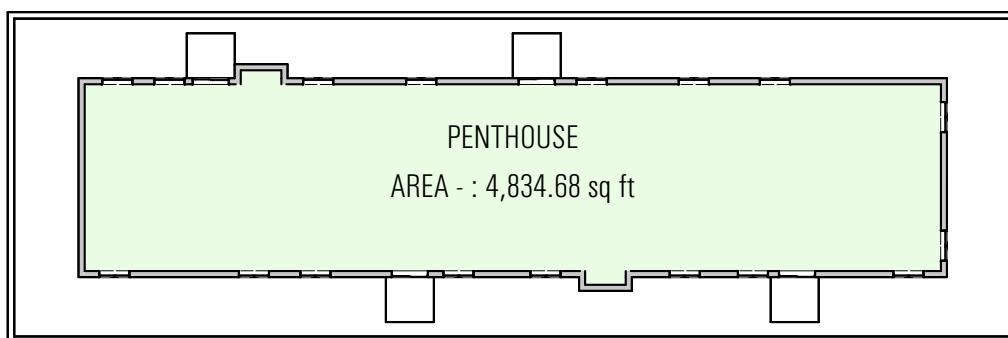
2017 DISTRICT OF COLUMBIA BUILDING CODE (DCMR 12A)
2017 DISTRICT OF COLUMBIA MECHANICAL CODE (DCMR 12E)
2017 DISTRICT OF COLUMBIA PLUMBING CODE (DCMR 12F)
2017 DISTRICT OF COLUMBIA FIRE CODE (DCMR 12H)
2017 DISTRICT OF COLUMBIA ENERGY CONSERVATION CODE (DCMR 12I)
2017 DISTRICT OF COLUMBIA EXISTING BUILDING CODE (DCMR 12J)
2014 NFPA NATIONAL ELECTRIC CODE (DCMR 12C)
ICC/ANSI A117.1 - 2009
2011 NFPA NATIONAL ELECTRIC CODE (DCMR 12C)
2016 DC ZONING REGULATIONS (DCMR 11)

| Income Level (of MFI) | Number of Units | Net Sq. Ft. | % of Total IZ Units |
|-----------------------|-----------------|--------------|---------------------|
| 50% | 1 | 738 | 23% |
| 60% | 3 | 2,493 | 77% |
| Total | 4 | 3,231 | 100% |

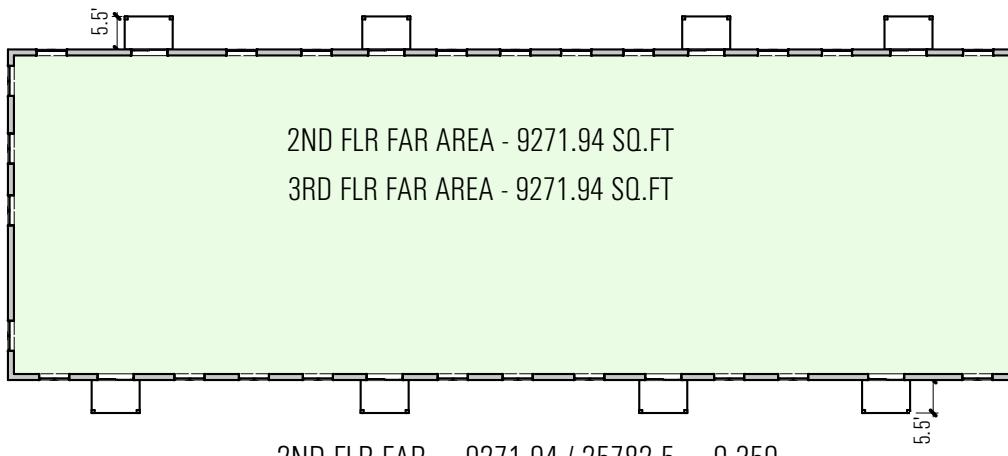
ZONING DATA:

SQUARE & LOT NO.: 5344/ PARTS OF LOTS 1 & 2
LOT AREA: 25,783.6
ZONING DISTRICT: RA-1

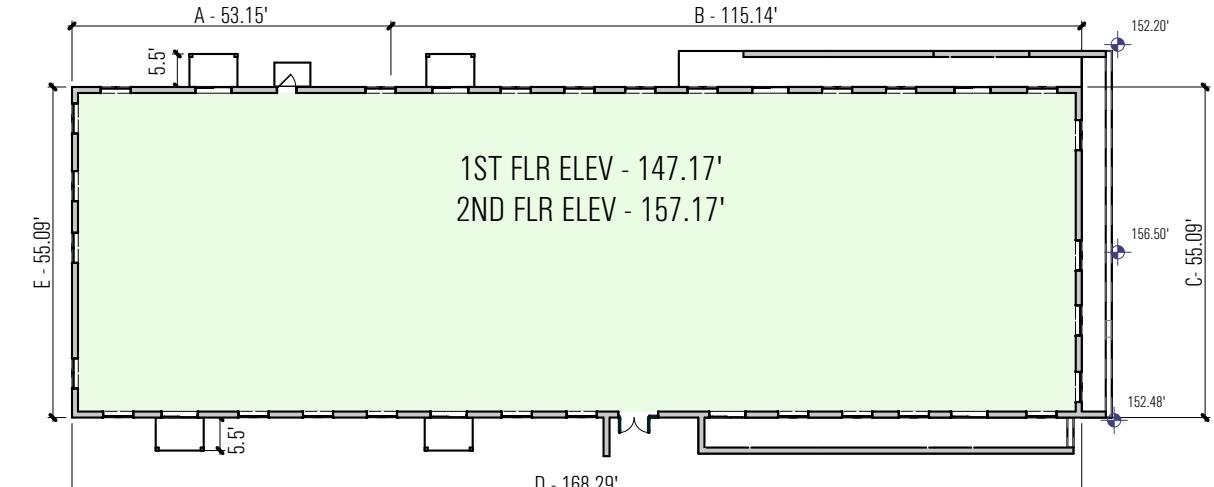
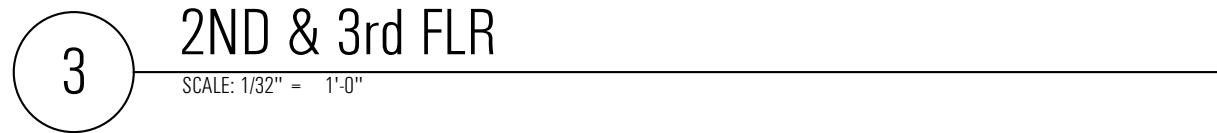
| REGULATION (ZR) | ALLOWED | PROVIDED |
|------------------------------|---|--|
| BUILDING HEIGHT | 40' 3 Stories | 22.73' 2 Stories |
| FLOOR AREA RATIO | 1.08 (w/ IZ) (27,846.28 SF) | 1.03 (26,672.59 SF) |
| FLOOR AREA RATIO (PENTHOUSE) | 0.4 (10,313.4 SF) | 0.19 (4,834.68 SF) |
| LOT OCCUPANCY | 40% (10,313.44 SF) | 36% (9271.94 SF) |
| PENTHOUSE HEIGHT | 12' | 10.00' |
| REAR YARD | 20' | 20.1' |
| SIDE YARD | 3" per foot of height but not less than 8' | SOUTH SIDE YARD = 26.52' NORTH SIDE YARD = 42.14' |
| OFF-STREET PARKING | 1 FOR EVERY 3 UNITS IN EXCESS OF 4 (8 SPACES) | 16 STANDARD + 2 ACCESSIBLE |
| BICYCLE PARKING | LONG TERM 1 SPACE FOR EACH 3 DWELLING UNITS - (9 SPACES) SHORT TERM 1 SPACE FOR EACH 20 DWELLING UNITS - (1 SPACE) | LONG TERM 11 SPACES SHORT TERM 1 SPACE |
| GREEN AREA RATIO (GAR) | 0.4 | 0.4 |



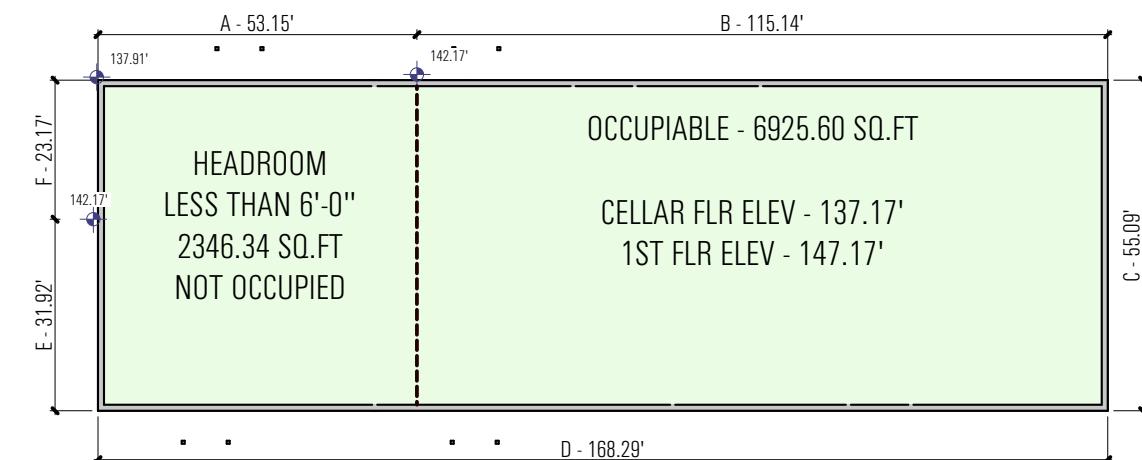
PENTHOUSE FAR = $4834.68 / 25782.5 = 0.19$
BELOW 0.4 IS PERMITTED BY SUBSECTION C1505.1(C)
PENTHOUSE FAR IS IN ADDITION TO 1.08 ALLOWED



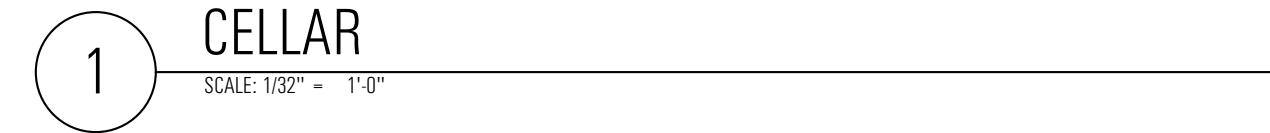
2ND FLR FAR = $9271.94 / 25782.5 = 0.359$
3RD FLR FAR = $9271.94 / 25782.5 = 0.359$

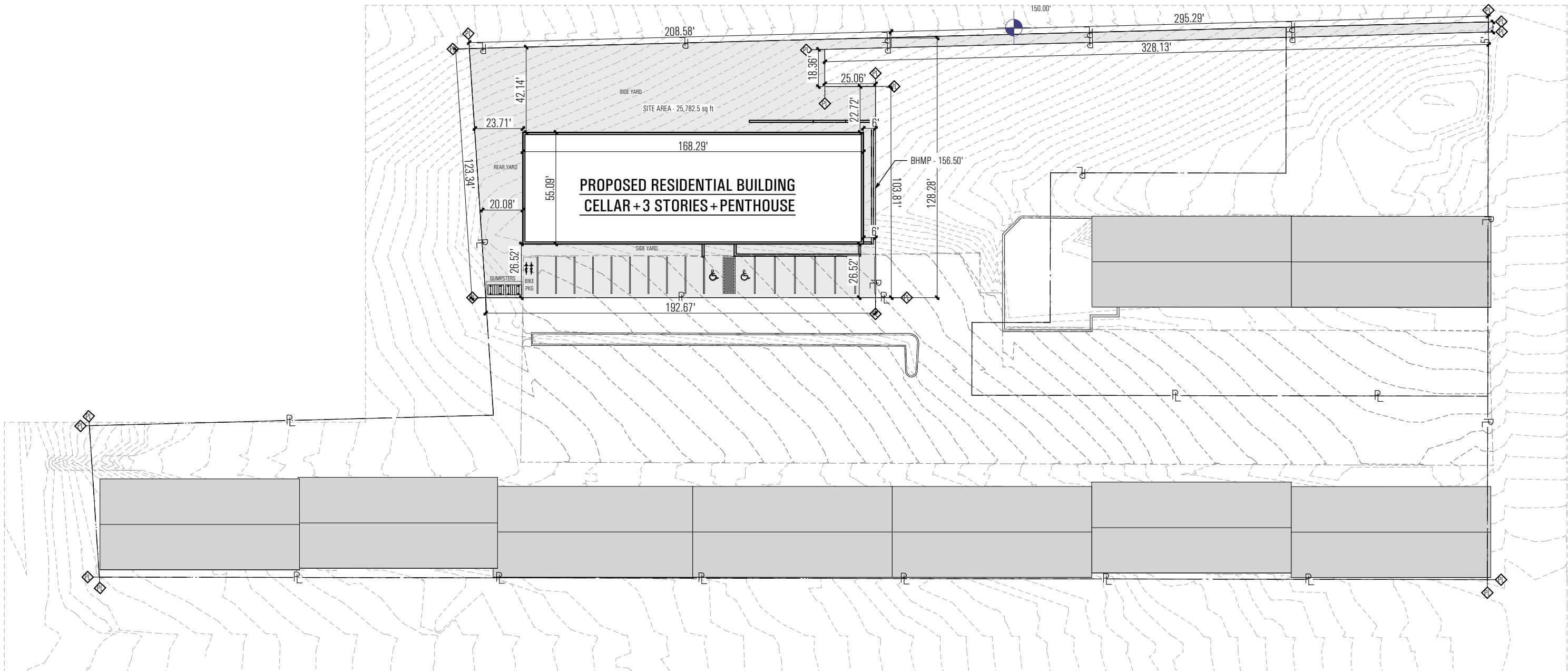


FAR PERIMETER METHOD CALC
 $A+B+D+E / (A+B+C+D+E) *100 = (391.675 / 446.77) = 87.67$
1ST FLR FAR AREA = $9271.94 * 87.67 \% = 8128.71$
1ST FLR FAR = $8128.71 / 25782.50 = 0.315$



CELLAR DOES NOT CONTRIBUTE TO FAR





SD04

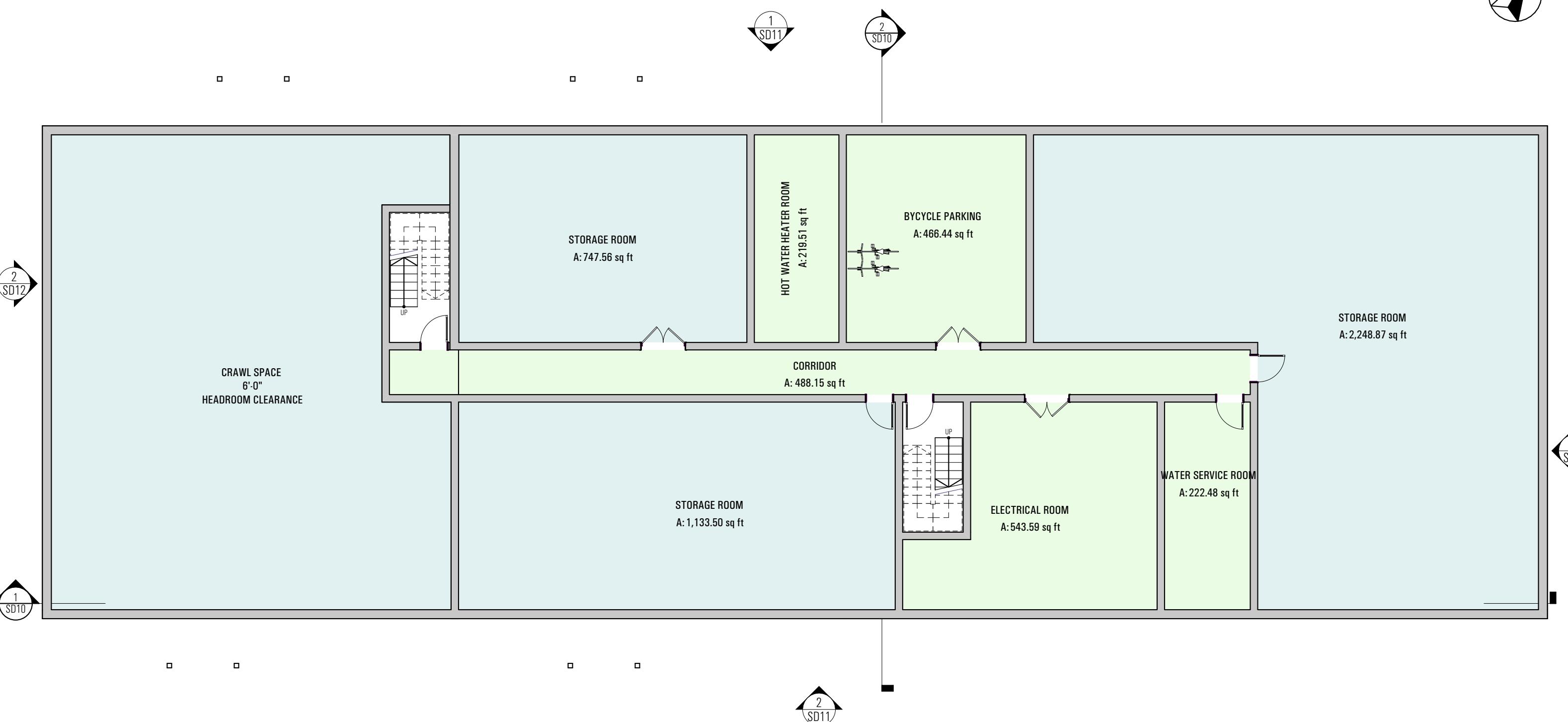
HAMPTON EAST 2, WASHINGTON, DC
SCHEMATIC SITE PLAN

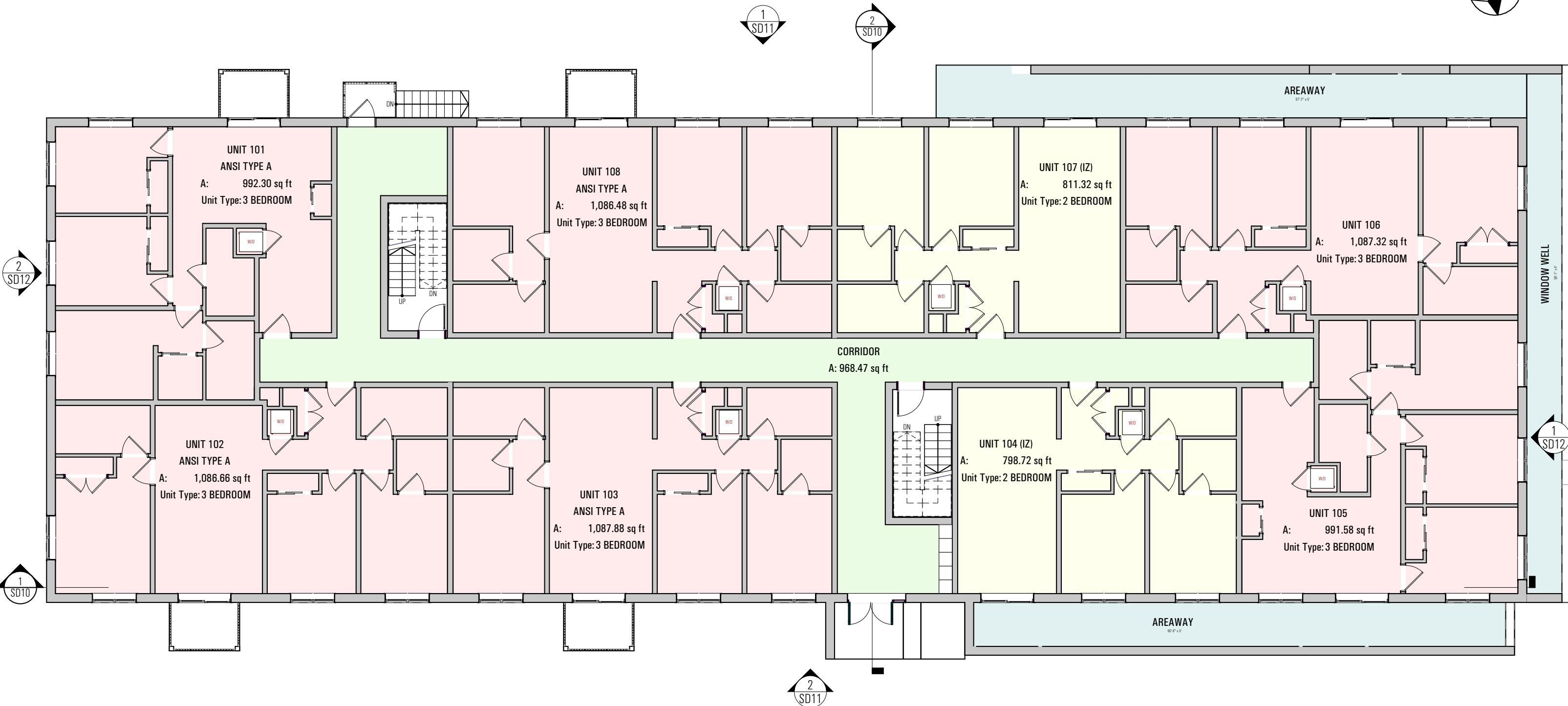
1" = 50'
12/30/2025

emotive
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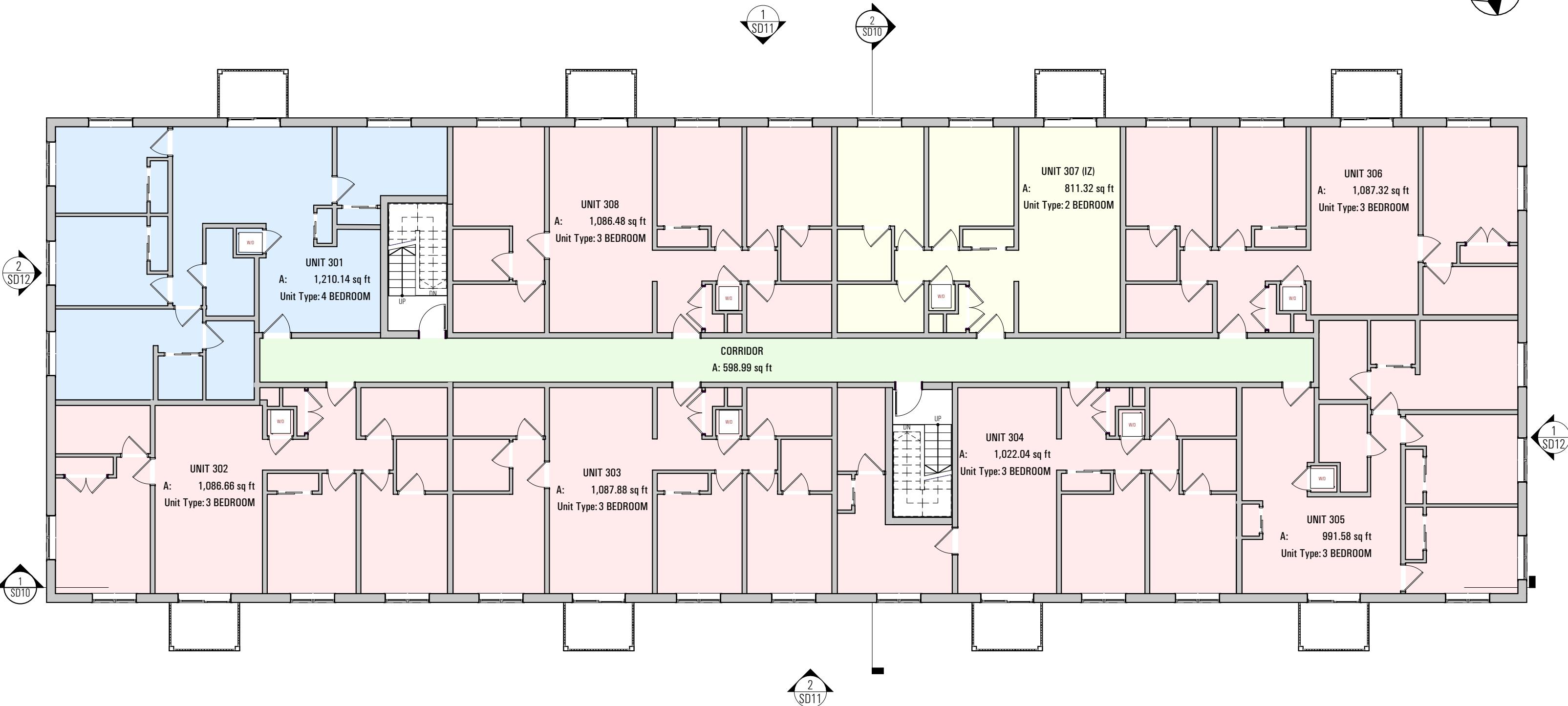
N





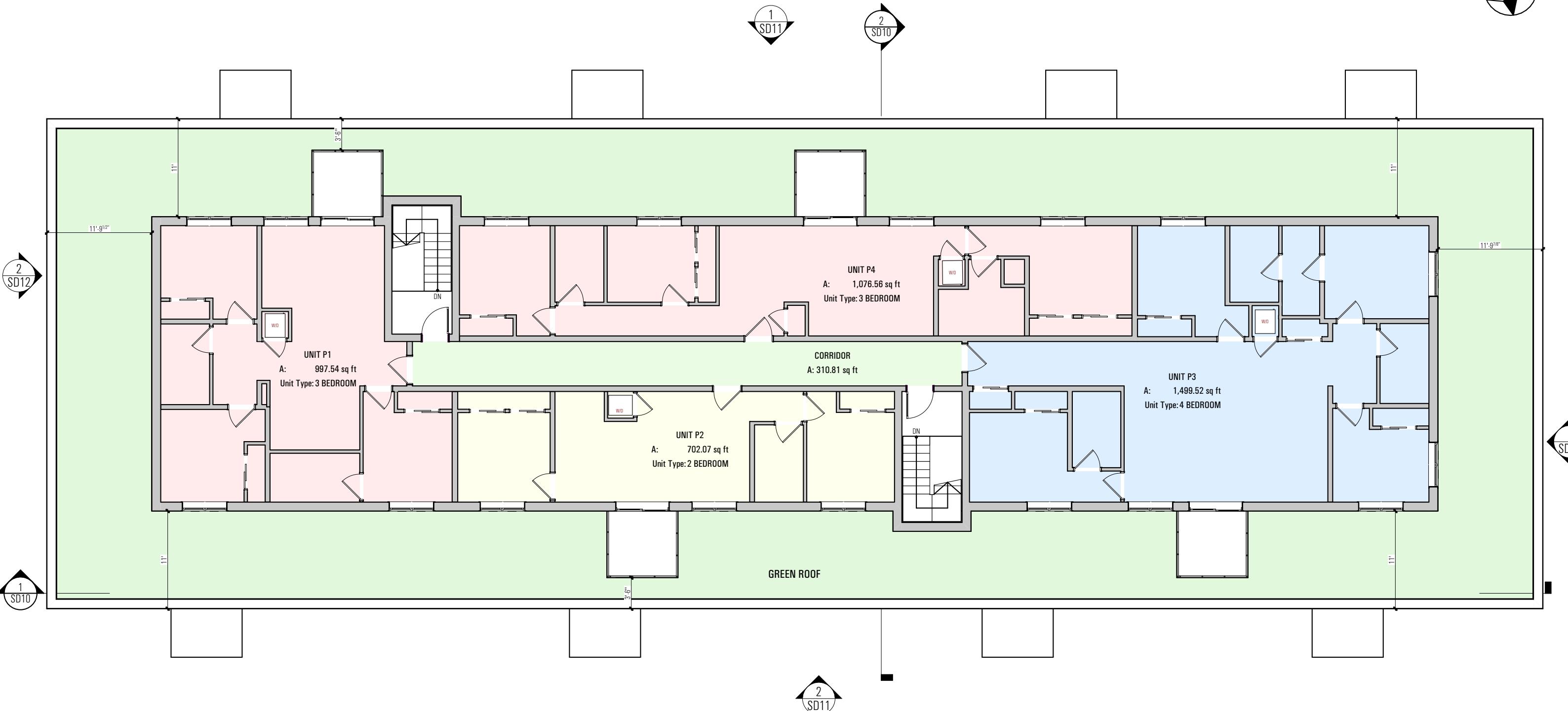
SD06 | HAMPTON EAST 2, WASHINGTON, DC
1st FLOOR PLAN

3/32" = 1'-0"
12/30/2025



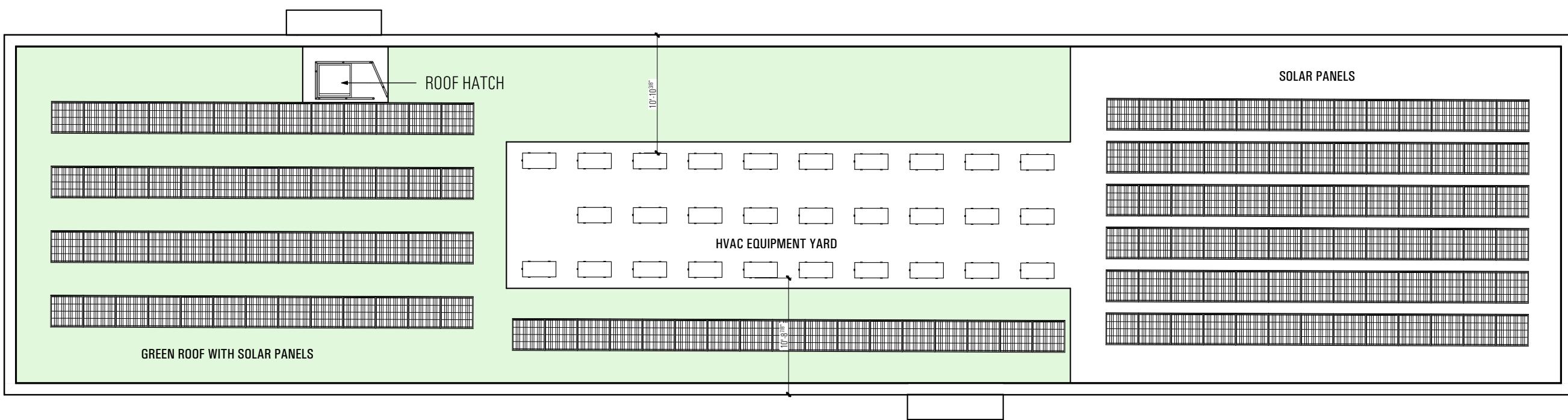
SD07 | HAMPTON EAST 2, WASHINGTON, DC
TYPICAL FLOOR PLAN

3/32" = 1'-0"
12/30/2025



SD08 | HAMPTON EAST 2, WASHINGTON, DC
PENTHOUSE PLAN

3/32" = 1'-0"
12/30/2025

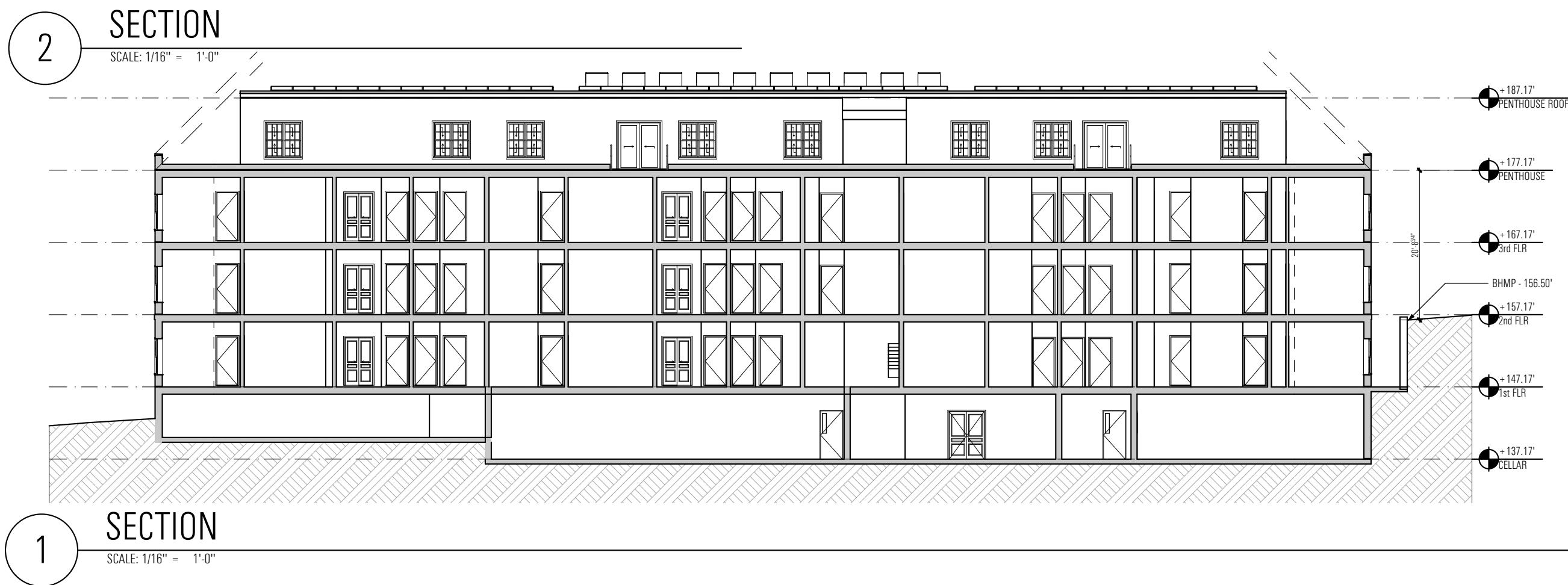
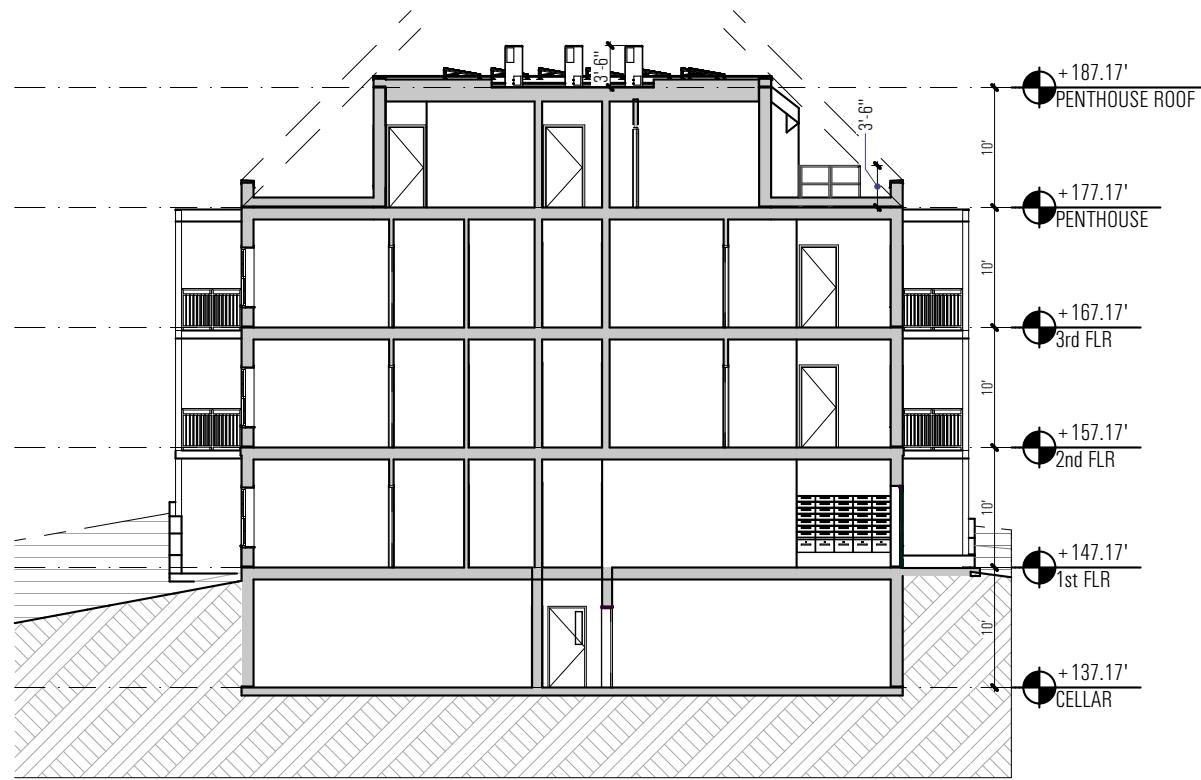


SD09 | HAMPTON EAST 2, WASHINGTON, DC
PENTHOUSE ROOF PLAN

3/32" = 1'-0"
12/30/2025

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SD10

HAMPTON EAST 2, WASHINGTON, DC
SCHEMATIC SECTIONS

1/16" = 1'-0"
12/30/2025

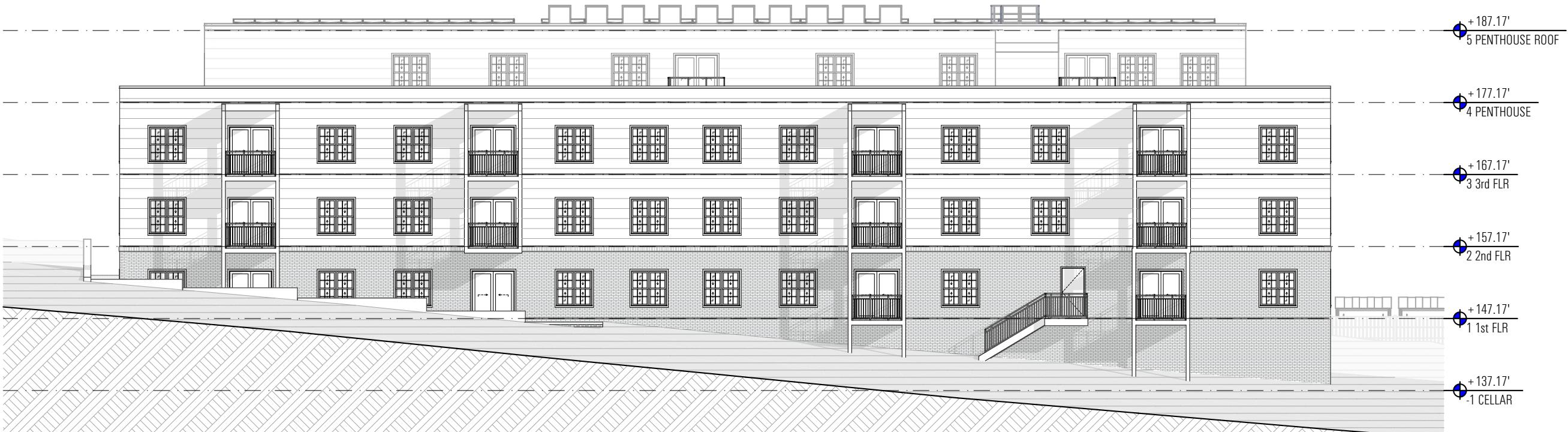
emotive
ARCHITECTURE

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2 South Elevation

SCALE: 1/16" = 1'-0"



1 North Elevation

SCALE: 1/16" = 1'-0"

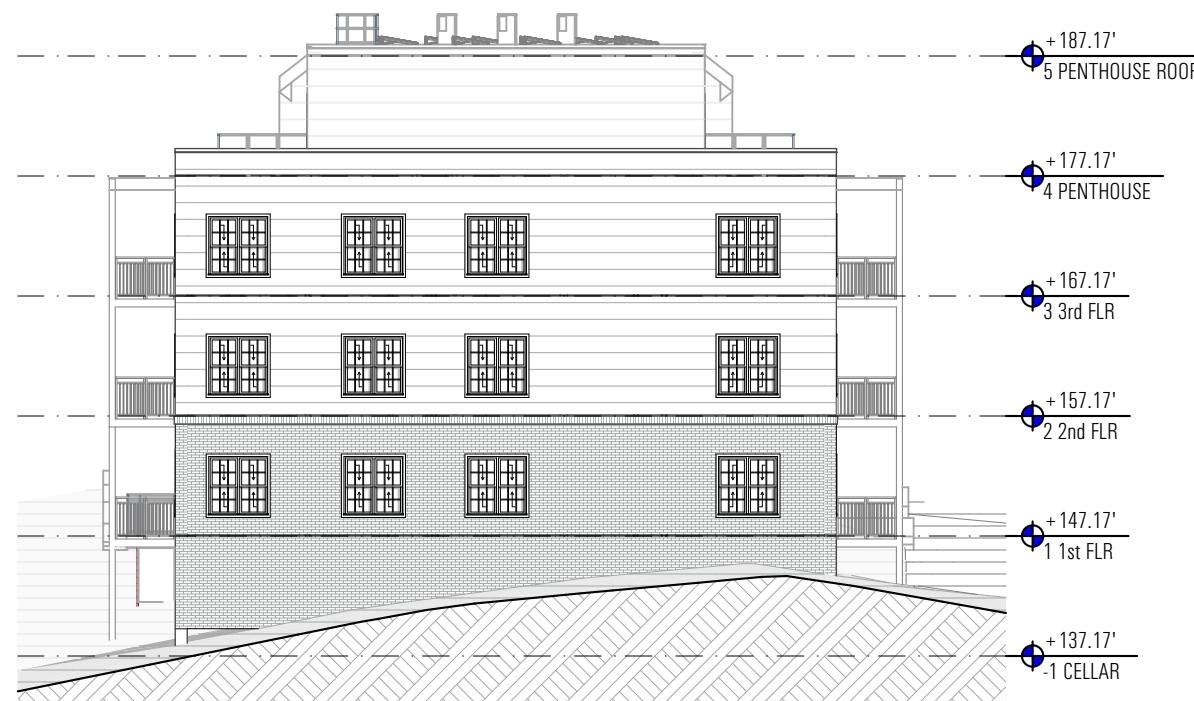
SD11

HAMPTON EAST 2, WASHINGTON, DC
SCHEMATIC ELEVATIONS

1/16" = 1'-0"
12/30/2025

emotive
ARCHITECTURE

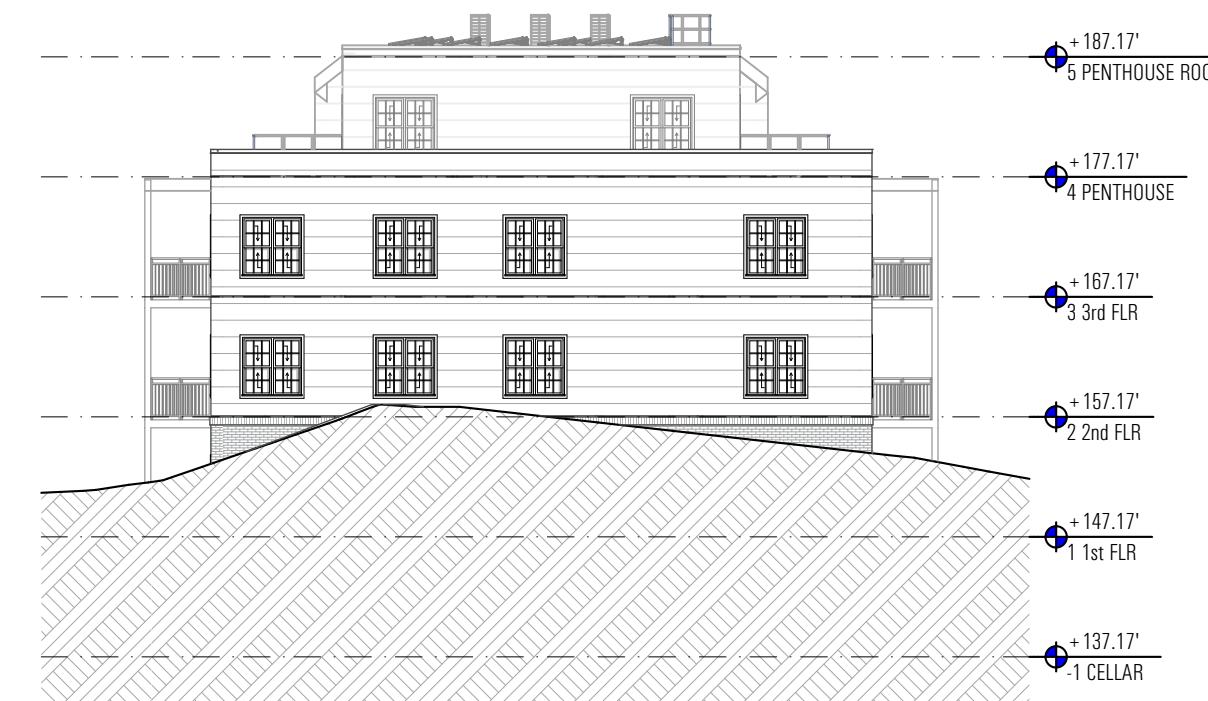
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2

East Elevation

SCALE: 1/16" = 1'-0"



1

West Elevation

SCALE: 1/16" = 1'-0"

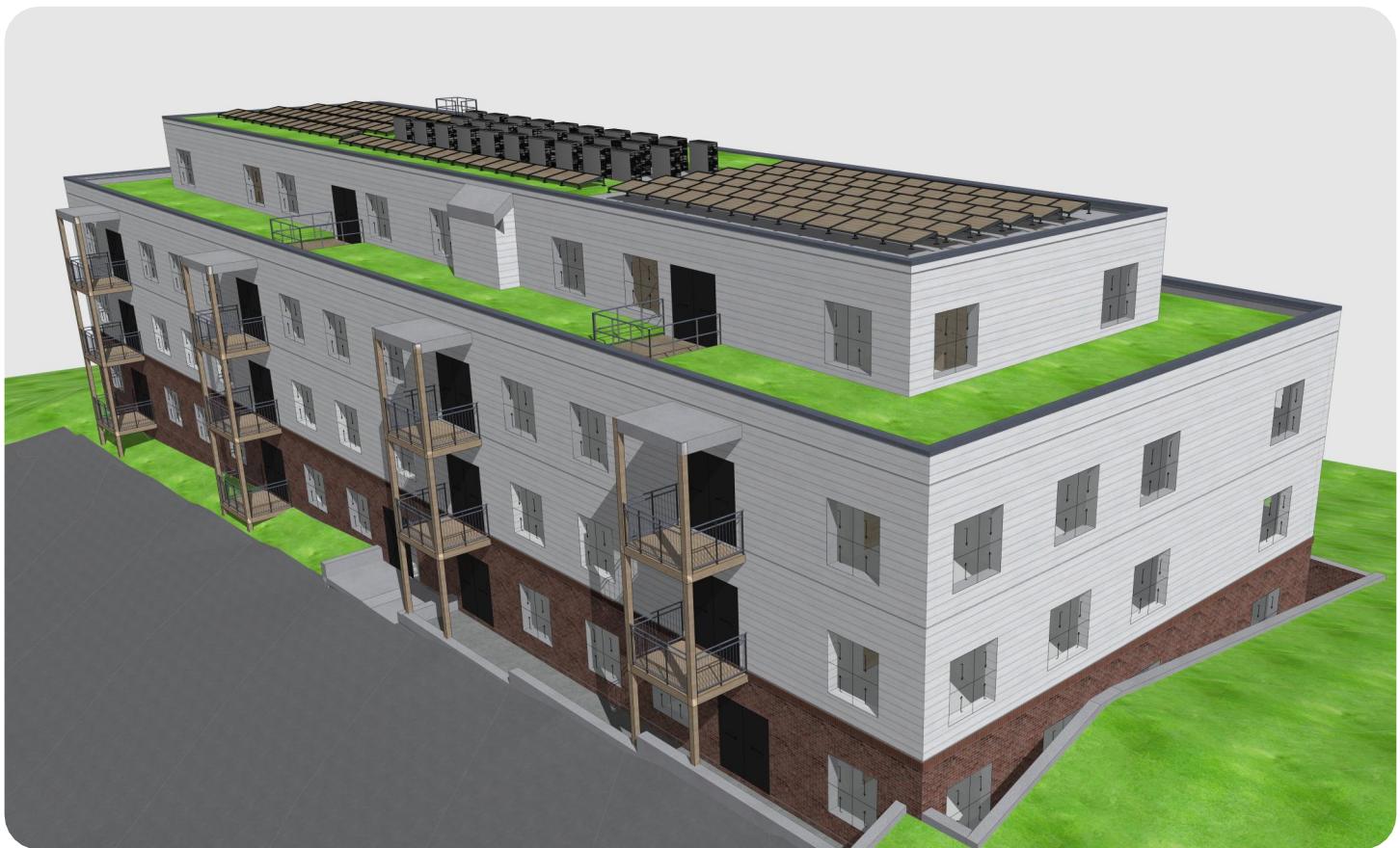
SD12

HAMPTON EAST 2, WASHINGTON, DC
SCHEMATIC ELEVATIONS

1/16" = 1'-0"
12/30/2025

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SD13 | HAMPTON EAST 2, WASHINGTON, DC
SCHEMATIC PERSPECTIVES

12/30/2025



SD14 | HAMPTON EAST 2, WASHINGTON, DC
SCHEMATIC PERSPECTIVES

12/30/2025

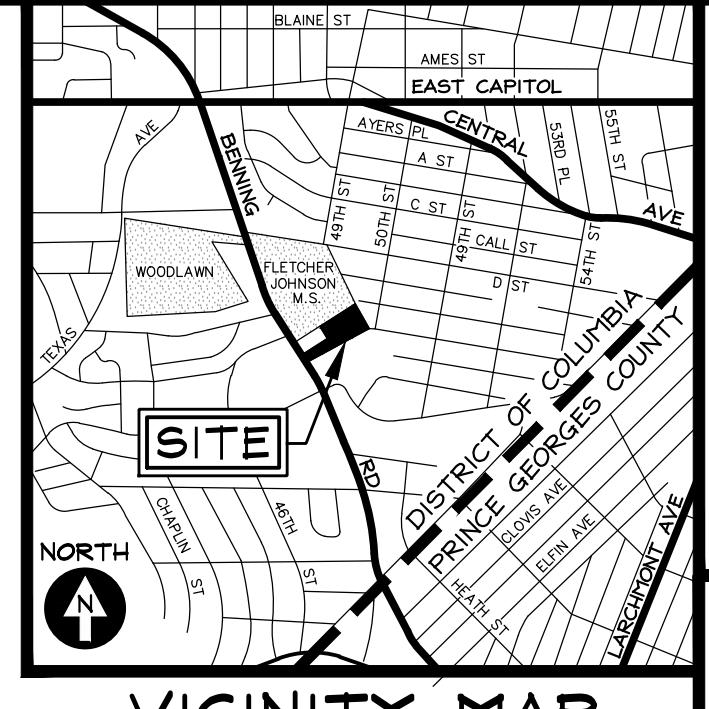
| HAMPTON EAST 2 - FAR AND LOT OCCUPANCY CALCULATION | | |
|---|--------------------|------------------------------|
| AVAILABLE LOT | | 25782.5 SQ.FT |
| | | |
| FLOOR | GROSS AREA (SQ.FT) | FAR AREA (SQ.FT) |
| CELLAR | 9271.94 | 0 |
| 1ST FLOOR | 9271.94 | 8128.71 |
| 2ND FLOOR | 9271.94 | 9271.94 |
| 3RD FLOOR | 9271.94 | 9271.94 |
| PENTHOUSE* | 4834.68 | 0 |
| | | |
| TOTAL FAR AREA | | 26672.59 SQ.FT |
| FAR | | 1.03 |
| ALLOWABLE IZ FAR = LOT X1.08 | | 27845.10 |
| | | |
| LOT OCCUPANCY | | 9271.94/25782.5 35.96 |

*PENTHOUSE FAR IS ADDITIONAL FAR LIMITED TO 0.4

| LOT 1 | | | LOT 2 | | |
|--------------------------------|--------------------|------------------|--------------------------------|--------------------|------------------|
| EXISTING LOT AREA | | 32533.96 | EXISTING LOT AREA | | 115975.52 |
| | | | | | |
| FLOOR | GROSS AREA (SQ.FT) | FAR AREA (SQ.FT) | FLOOR | GROSS AREA (SQ.FT) | FAR AREA (SQ.FT) |
| Cellar | 8424.00 | 3924.00 | Cellar | 29741.00 | 14125.00 |
| 1st Floor | 8424.00 | 8424.00 | 1st Floor | 29741.00 | 29741.00 |
| 2nd Floor | 8424.00 | 8424.00 | 2nd Floor | 29741.00 | 29741.00 |
| 3rd Floor | 8424.00 | 8424.00 | 3rd Floor | 29741.00 | 29741.00 |
| | | | | | |
| EXISTING TOTAL FAR AREA | | 29196.00 | EXISTING TOTAL FAR AREA | | 103348.00 |
| | | | | | |
| ALLOWABLE IZ FAR = LOT X1.08 | | 35136.68 | ALLOWABLE IZ FAR = LOT X1.08 | | 125253.56 |
| | | | | | |
| EXCESS IZ FAR AREA | | 5940.68 | EXCESS IZ FAR AREA | | 21905.56 |
| THEREFORE EXCESS LOT AVAILABLE | | 5500.63 | THEREFORE EXCESS LOT AVAILABLE | | 20282.93 |
| | | | | | |
| EXISTING LOT OCCUPANCY | | 25.9 | EXISTING LOT OCCUPANCY | | 25.64 |
| | | | | | |
| NEW LOT AREA | | 27033.33 | NEW LOT AREA | | 95692.59 |
| NEW LOT OCCUPANCY | | 31.2 | NEW LOT OCCUPANCY | | 31.1 |
| NEW FAR(IZ) | | 1.08 | NEW FAR | | 1.08 |

GENERAL NOTES

- 1) ONE-FOOT CONTOUR DATA BASED ON A SURVEY PERFORMED BY GRS GROUP LLC, DATED AUGUST, 2022.
- 2) BOUNDARY INFORMATION BASED ON A SURVEY PERFORMED BY GRS GROUP LLC, DATED AUGUST, 2022.
- 3) ZONING: RA-1
- 4) TOTAL LOT AREA:
LOT 1 = 32,334 SQUARE FEET (0.747 ACRES)
LOT 2 = 115,928 SQUARE FEET (2.661 ACRES)
- 5) PROJECT IS WITHIN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS PER FEMA FLOOD INSURANCE RATE MAP PANEL NO. T10001045C



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OWNER/CLIENT
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CONDO OWNERS PARTNERS
31400 WINTERPLACE PARKWAY, SUITE 300
SALEM, VA 24153
(434) 627-4592 (PHONE)
hdc@hamptoneast.com

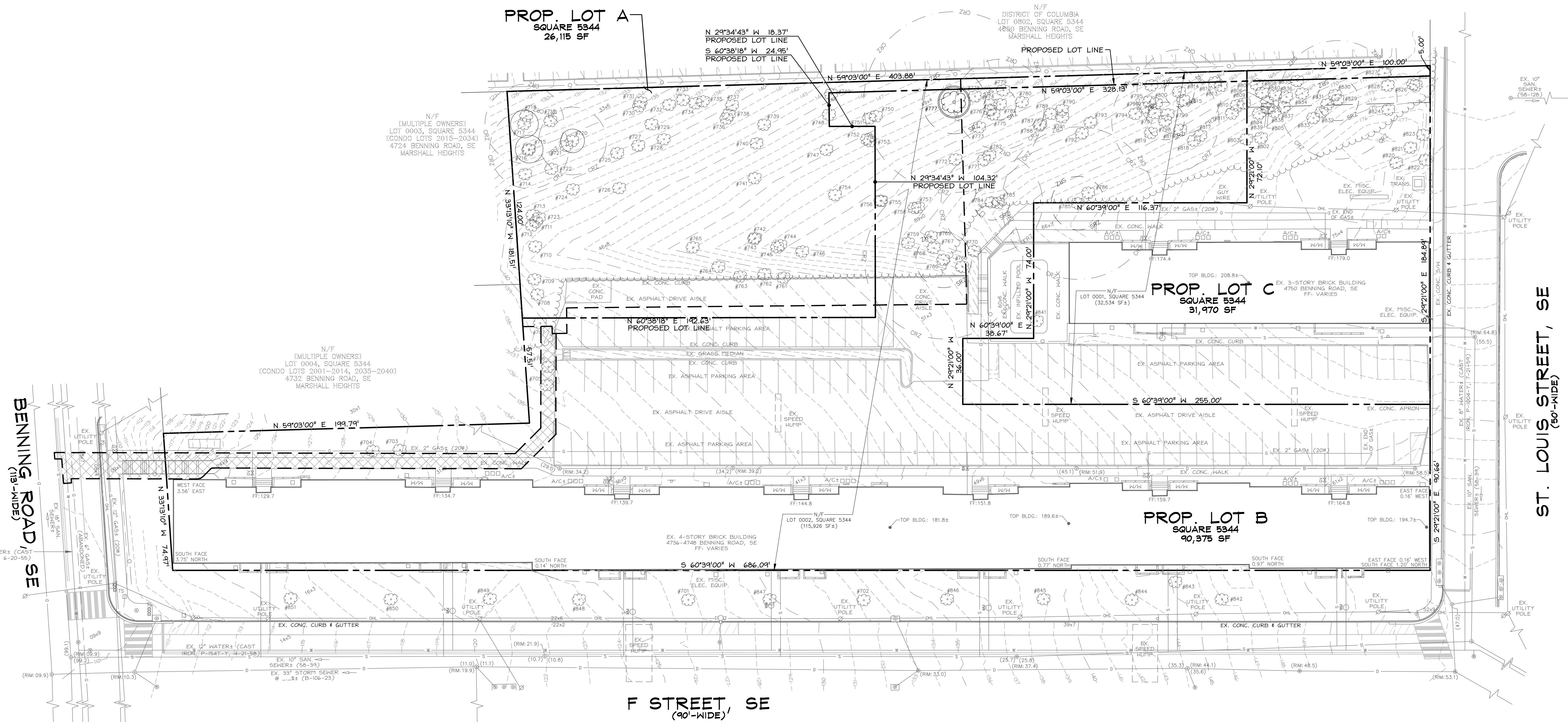
ARCHITECT
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ATTN: AUBREY GRANT, AIA, NCARB
(202) 393-7200 (PHONE)
grant@emotivearch.com

LOTS 0001 AND 0002
SQUARE 5344
MARSHALL HEIGHTS

4744-4750
BENNING
ROAD, SE

ST. LOUIS STREET, SE
(90'-WIDE)

S.E. WASHINGTON
DISTRICT OF COLUMBIA



LEGEND

| EXISTING FEATURES | |
|-------------------|--|
| — - - | PROPERTY LINE |
| — - - | EX. SANITARY MANHOLE AND INVERT |
| — - - | EX. STORM MANHOLE AND INVERT |
| — - - | EX. HATER LINE WITH MANHOLE |
| — - - | EX. GAS LINE WITH VALVE |
| — - - | EX. UNDERGROUND ELECTRIC LINE |
| — - - | EX. OVERHEAD UTILITY WITH POLE |
| — - - | EX. TWO- AND TEN-FOOT CONTOURS |
| — - - | EX. FIRE HYDRANT |
| — - - | EX. SPOT ELEVATION |
| — - - | EX. METAL FENCE |
| — - - | EX. BOLLARD |
| — - - | EX. TRAFFIC SIGNAL |
| — - - | EX. LIGHT POLE |
| — - - | EX. SIGN |
| — - - | EX. PIPED DOWNSPOUT |
| — - - | EX. SPILLED DOWNSPOUT |
| — - - | EX. TREE |
| — - - | EX. HERITAGE TREE (N=100' CBL), MAY NOT BE REMOVED UNLESS HAZARDOUS (EVALUATED BY ISA CERTIFIED ARBORIST AND DOB (PA/PSD) APPROVAL IS ISSUED BY DOB UNDER THE TREE CANOPY PROTECTION AMENDMENT ACT OF 2016 (REF. DC ACT 21-386)) |
| — - - | EX. HALL |

UTILITY INFORMATION

EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE VERIFIED. EXISTING LOCATIONS ARE BASED ON THE MOST RECENTLY AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR ABILITY.

MISS UTILITY

FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-257-7777, OR LOG ON TO WWW.MISSUTILITY.NET 48 HOURS IN ADVANCE OF ANY WORK. DO NOT DIG UNTIL YOU HAVE LOCATED UTILITIES. CONTACT LOCAL UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION. DO NOT DIG UNTIL YOU HAVE LOCATED UTILITIES. CONTACT LOCAL UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL JURISDICTIONAL REQUIREMENTS.

DOE PLAN 7956 REVISION 09-15-2025
7956 - REVISED PER DOE COMMENTS 09-25-2025
7956 - REVISION TO DOE FOR APPROVAL 10-16-2025
B2A FILING SET 12-31-2025

REVISION DATE
CAS PROJECT 22-0683-DC
DATE 12/2025

DRAWN BY MSL
CHECKED BY DCL
APPROVAL DCL
SCALE 1"=30'

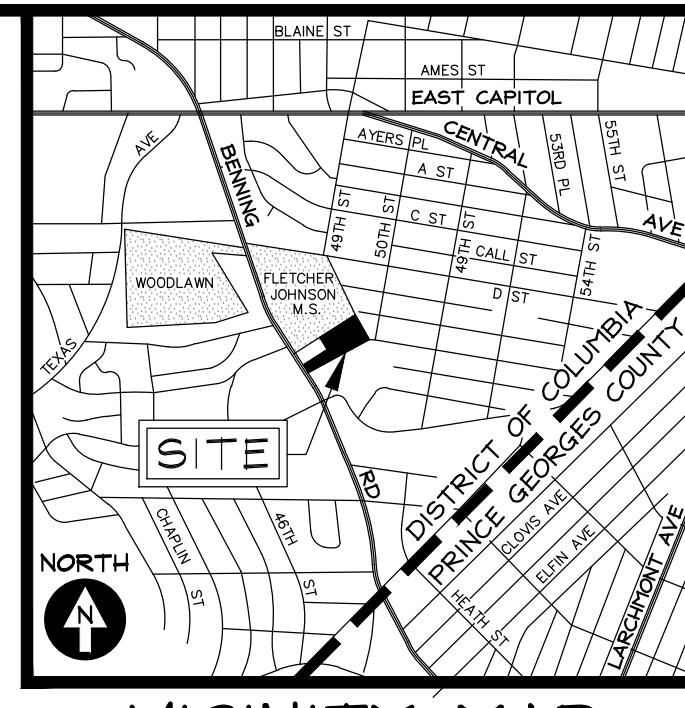
1"=30'
SCALE 1 INCH = 30 FEET
NORTH DIRECTION
DC SURVEYOR'S OFFICE
BROOKLYN PARK, MD
BOOK 144 PAGE 72

SHEET TITLE

**EXISTING
CONDITIONS PLAN**

CIV100

GENERAL NOTES
SEE DEMOLITION SEDIMENT CONTROL RELATED NOTES ON SHEETS CNDOT AND CNDCC.



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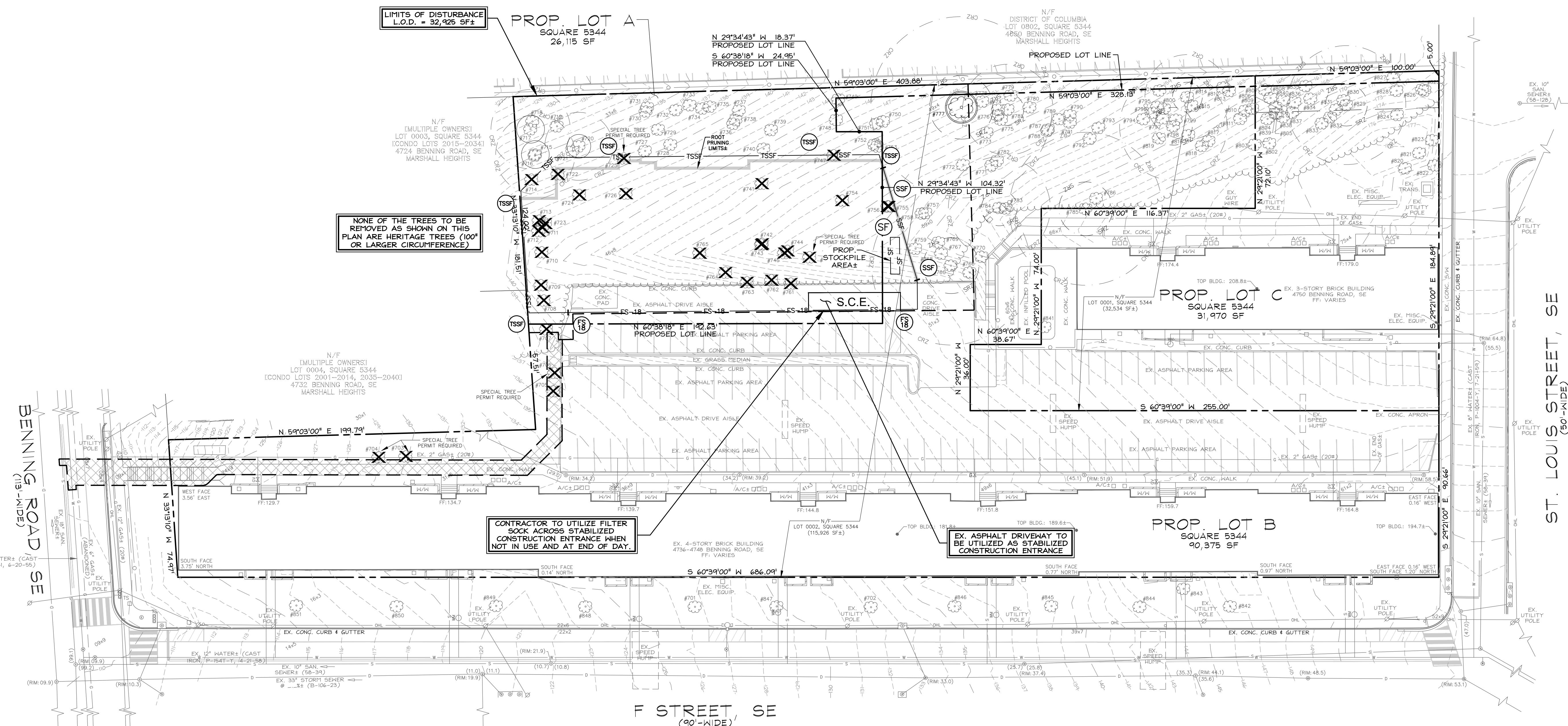
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grant@emotivearch.com

LOTS 0001 AND 0002
SQUARE 5344
MARSHALL HEIGHTS

4744-4750
BENNING
ROAD, SE



LEGEND

| EXISTING FEATURES | |
|--------------------------|---|
| X | TREE TO BE REMOVED |
| — | TREE CRITICAL ROOT ZONE (CRZ) |
| — | TREE STRUCTURAL ROOT ZONE (SRZ) |
| SEDIMENT CONTROL DEVICES | |
| FS-18 | FILTER-LOCK EROSION CONTROL TUBE (OR SIMILAR EROSION CONTROL TUBE, STRAW BALES, ETC.) |
| SF | SILT FENCE (SF) |
| SSF | SUPER SILT FENCE (SSF) |
| TSSF | TRENCHLESS SUPER SILT FENCE (TSSF) |
| TP | TREE PROTECTION FENCE (TP) |
| IP | INLET PROTECTION |
| CT.B.R. | FEATURE TO BE RAZED |
| S.C.E. | STABILIZED CONSTRUCTION ENTRANCE |
| — | LIMITS OF DISTURBANCE |

UTILITY INFORMATION

EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND NOT NECESSARILY IDENTIFIED. UTILITY LOCATIONS ARE DETERMINED BY THE CONTRACTOR AND NOT THE OWNER. THE CONTRACTOR SHALL LOCATE EXISTING UTILITIES BY CONSULTING WITH THE APPROPRIATE UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION. THE CONTRACTOR SHALL LOCATE EXISTING UTILITIES BY CONSULTING WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL JURISDICTIONAL REQUIREMENTS.

CONTRACTOR TO MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES INSTALLED ON SITE.

REFER TO PLANS AND/OR REPORTS BY OTHERS FOR SPECIFIC TREE PROTECTION MEASURES, AS APPLICABLE.

DOE PLAN 7956 REVISION 09-15-2025
7956 - REVISED PER DOE COMMENTS 09-25-2025
DOE FILING SET 10-16-2025
BZA FILING SET 12-31-2025

ALL BUILDING UTILITY CONNECTIONS OF RECORD AND PEP SURVEY DATA ARE SHOWN.

ADDITIONAL BUILDING UTILITY CONNECTIONS MAY EXIST. CONTRACTOR TO CONNECT ABANDONED UTILITY CONNECTIONS WITH APPROPRIATE UTILITY AGENCY.

CONTRACTOR SHALL USE EROSION CONTROL TUBE, TRENCHLESS SILT FENCE, OR OTHER TRENCHLESS ESC METHOD ADJACENT TO TREE SAVE AREAS.

REVISION 22-0683-DC

DATE 12/2025

DRAWN BY MSL

CHECKED BY DCL

APPROVAL DCL

SCALE 1"=30'

SCALE 1"=30' FEET

NORTH DIRECTION

DC WATER

GENERAL

BOOK 144 PAGE 72

CONTRACTOR TO PROTECT TREES (BRANCHES, TRUNK, ROOTS) ON NEIGHBORING LOTS THAT OVERLAP THE SITE AND HERITAGE TREES ON SITE, COORDINATE WITH DDOT UPA HARD 7 ARBORIST AS APPLICABLE. CONTRACTOR TO USE A TRENCHLESS SITE FENCE METHOD AND TO POSITION THE BORE OR AIR SPUD EXCAVATE UTILITIES WITHIN THE CANOPY OF ANY TREE TO BE PRESERVED (INCLUDING PROTECTING TREES ON ADJACENT PROPERTIES). COORDINATE WITH DDOT UPA HARD 7 ARBORIST AS APPLICABLE. CONTRACTOR TO COORDINATE WITH RUDY DELSACK, rudy.delsack@dc.gov, (202) 875-3625.

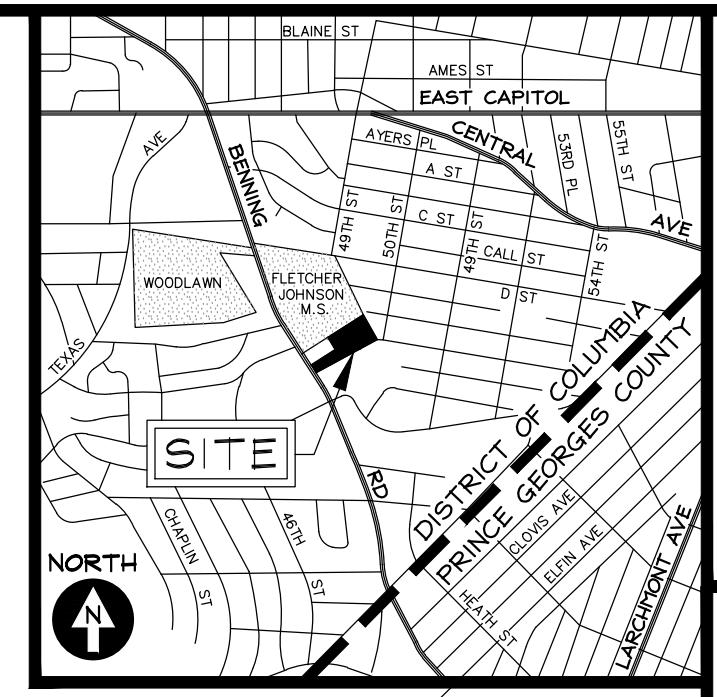
DEMOLITION SEDIMENT CONTROL PLAN

CIV101

DEMOLITION QUANTITIES
DISTURBED AREA: 32,925 SQUARE FEET±
CUT: 10 CUBIC YARDS
FILL: 10 CUBIC YARDS

GENERAL NOTES

SEE SEDIMENT CONTROL RELATED NOTES ON SHEETS CIV001 AND CIV002.



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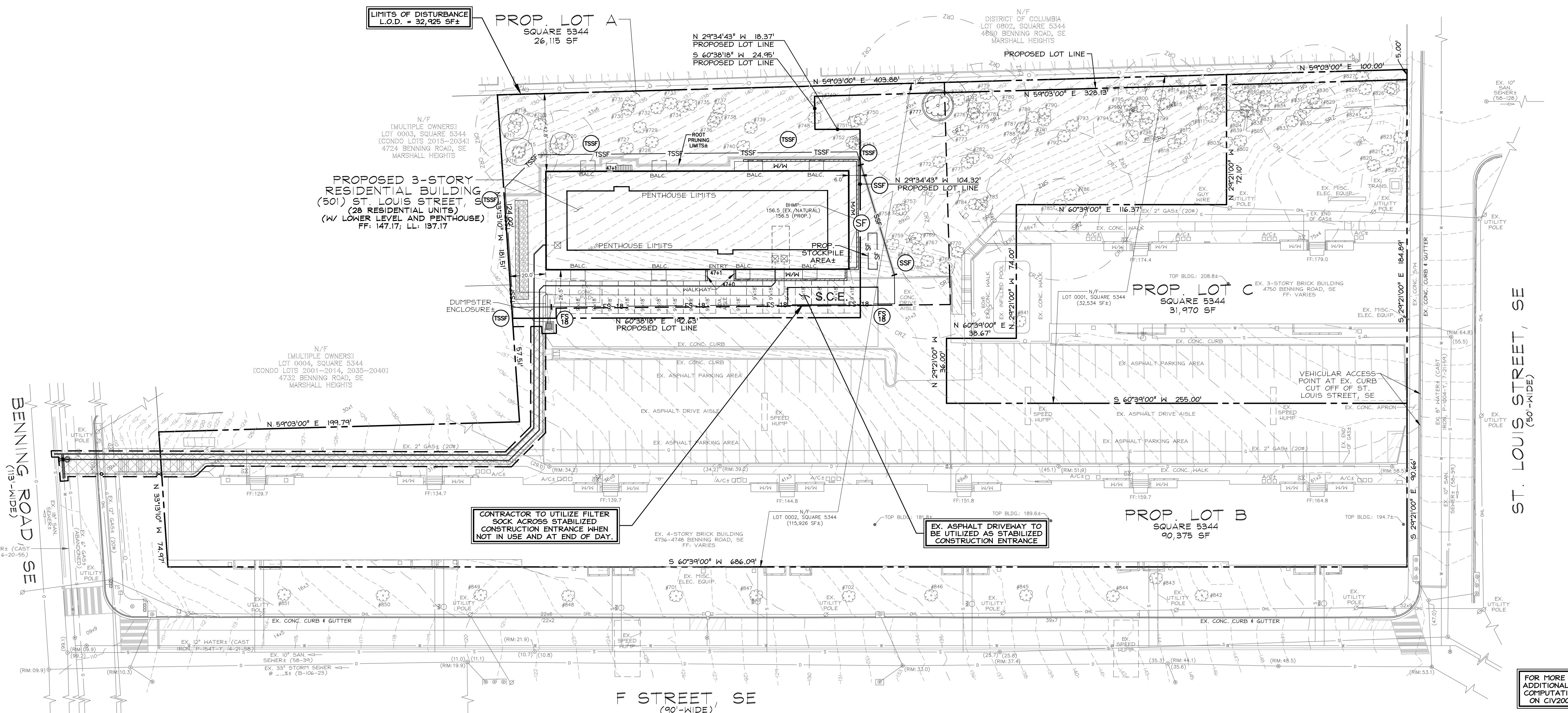
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LOTS 0001 AND 0002
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MARSHALL HEIGHTS

4744-4750
BENNING
ROAD, SE

ST. LOUIS STREET, SE
(90'-WIDE)

S.E. WASHINGTON
DISTRICT OF COLUMBIA



LEGEND

| | |
|---------------------------------|--|
| EXISTING FEATURES | |
| —CRZ | TREE CRITICAL ROOT ZONE (CRZ) |
| —SRZ | TREE STRUCTURAL ROOT ZONE (SRZ) |
| SEDIMENT CONTROL DEVICES | |
| —FS-18 | FILTERSOCK EROSION CONTROL TUBE (OR SIMILAR EROSION CONTROL TUBE, STRAW BALES, ETC.) |
| —SF | SILT FENCE |
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| —TSSF | TRENCHLESS SUPER SILT FENCE |
| —TP | TREE PROTECTION FENCE |
| —IP | INLET PROTECTION |
| S.C.E. | STABILIZED CONSTRUCTION ENTRANCE |
| EEEEE | LIMITS OF DISTURBANCE |
| EEEEE | EXEMPT UTILITY DISTURBANCE AREA |

UTILITY INFORMATION

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THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

FOR MORE INFORMATION, SEE ADDITIONAL PROFILES, NOTES, COMPUTATIONS, AND DETAILS ON CIV000-SERIES SHEETS.

CONTRACTOR SHALL USE EROSION CONTROL TUBE, TRENCHLESS SILT FENCE, OR OTHER TRENCHLESS ESC METHOD ADJACENT TO TREE SAVES AREAS.

CONTRACTOR TO MAINTAIN ANY EROSION AND SEDIMENT CONTROL MEASURES INSTALLED ON SITE.

A SEPARATE DDOT TREE REMOVAL PERMIT IS REQUIRED FOR PUBLIC SPACE TREES AND FOR TREES GREATER THAN 44" DBH (14" DBH).

REFER TO PLANS AND/OR REPORTS BY OTHERS FOR SPECIFIC TREE PROTECTION MEASURES, AS APPLICABLE.

ALL EXCAVATED AREAS OF ROADWAY AND UTILITY CUTS IN THE PUBLIC RIGHT-OF-WAY MUST BE COVERED IMMEDIATELY.

CONTRACTOR TO PROTECT TREES (BRANCHES, TRUNK, ROOTS) ON NEIGHBORING LOTS THAT OVERLAP THE L.O.D. AND HERITAGE TREES ON THE SITE. CONTRACTOR TO USE DDOT WARD 7 ARBORIST AS APPLICABLE. CONTRACTOR TO USE A TRENCHLESS SILT FENCE METHOD AND TO HORIZONTALLY BORE OR AIR SPADe EXCAVATE FOR UTILITIES WITHIN THE CANOPY OF THE TREE TO BE PRESERVED (INCLUDING PRACTICALLY BORE ON ADJACENT PROPERTIES). CONTRACTOR WITH DDOT WARD 7 ARBORIST AS APPLICABLE, THE DDOT WARD 7 LEAD ARBORIST IS RUDY DELSACK, rudy.delsack@dc.gov; (202) 573-3625.

CONSTRUCTION QUANTITIES:

DISTURBED AREA: 32,425 SQUARE FEET ±

EXEMPT UTILITY AREA: 24,623 SF ±

PRIVATE (EXEMPT, UTILITY) = 2,465 SF ±

PUBLIC SPACE (NON-UTILITY) = 0 SF ±

PUBLIC SPACE (EXEMPT, UTILITY) = 835 SF ±

CUT: ____ CUBIC YARDS

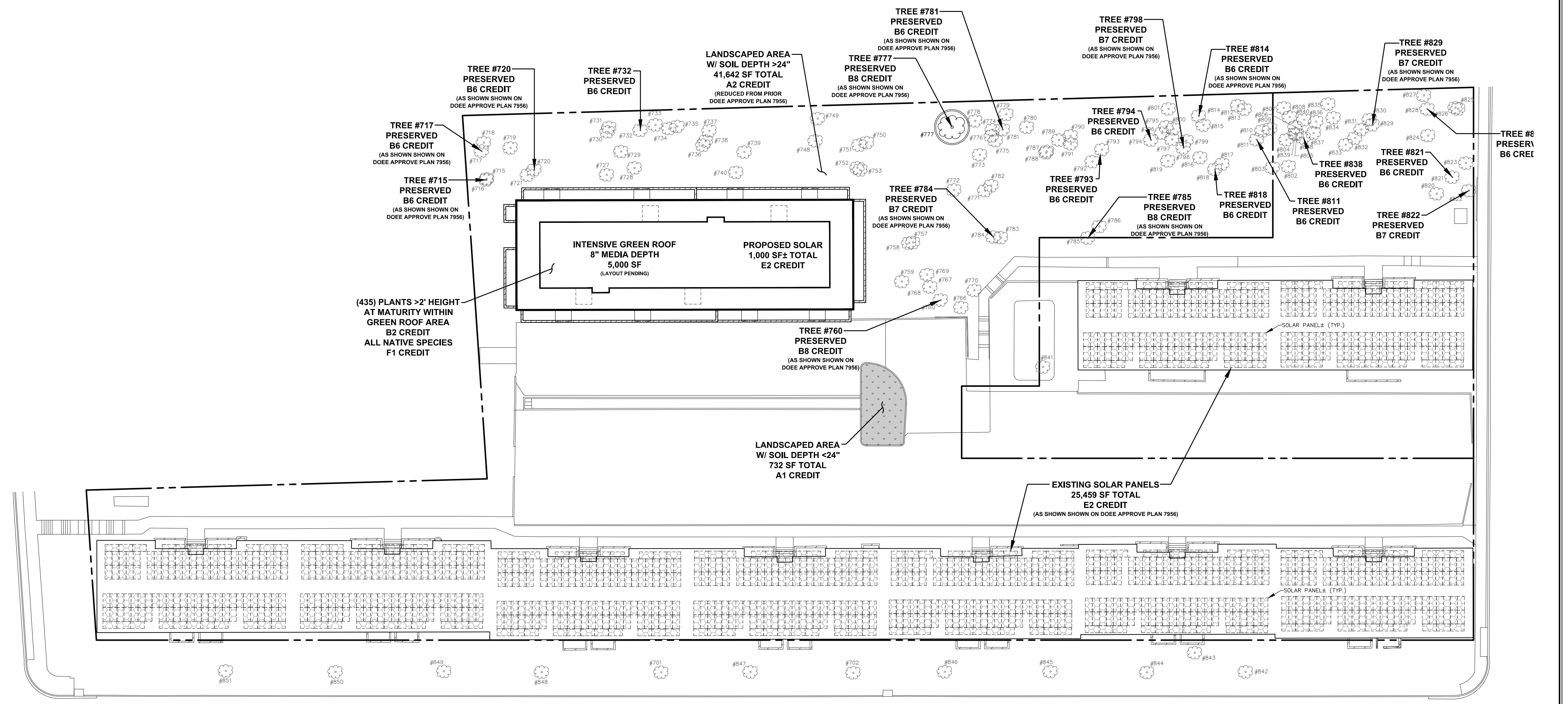
FILL: ____ CUBIC YARDS

SHEET TITLE

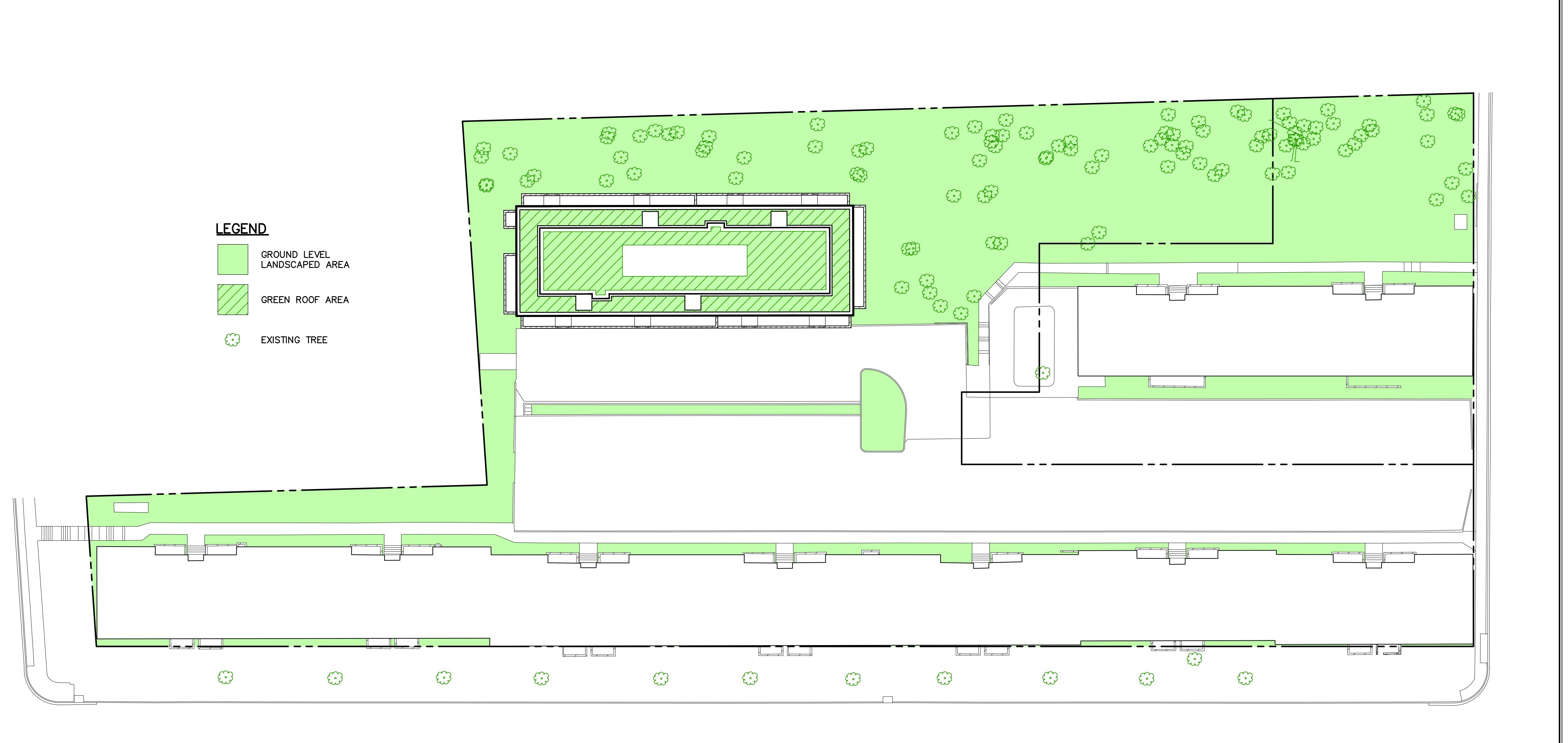
**SEDIMENT
CONTROL PLAN**

CIV300

GREEN AREA RATIO (GAR) PLAN LAYOUT



LAND COVER EXHIBIT

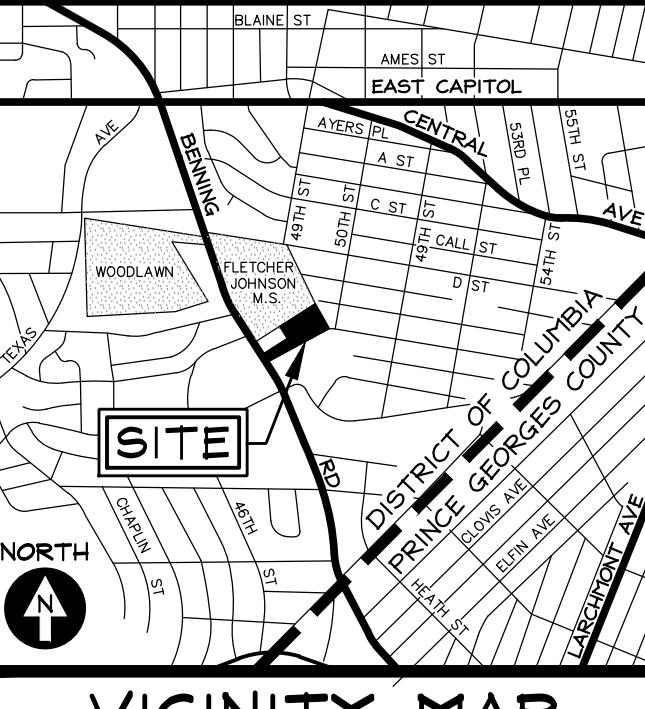


STATEMENT BY THE CERTIFIED LANDSCAPE EXPERT

THIS IS TO CERTIFY THAT I HAVE EXAMINED ALL REQUIRED GAR PLAN SUBMISSIONS AND THAT THE GREEN AREA ELEMENTS AND ASPECTS OF THE SUBMITTAL, INCLUDING LANDSCAPE ELEMENTS WITHIN THE LOT AND THE LISTED GAR SCORE, MEET THE SPECIFICATIONS REQUIRED UNDER CHAPTER 34 OF TITLE II OF THE DISTRICT OF COLUMBIA MUNICIPAL REGULATIONS.

DAVID C. LANDSHAN
NAME AND TITLE
CAS ENGINEERING-DC, LLC
4836 MARSHALL BOULEVARD, NH; 2ND FLOOR
WASHINGTON, DC 20007
ADDRESS
DATE (202) 393-7200 PHONE
PHONE NUMBER

CERTIFIED LANDSCAPE EXPERT SIGNATURE
INTERNATIONAL SOCIETY OF ARBORICULTURE
CERTIFYING ORGANIZATION
MA-6549A CERTIFICATION NUMBER



CAS
ENGINEERING-DC, LLC

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www.cas-dc.com
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CIVIL SURVEYING + LAND PLANNING

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COURTSHIRE PARTNERS
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hso@hamptoneast.com

LOTS 0001 AND 0002
SQUARE 5344
MARSHALL HEIGHTS

4744-4750
BENNING
ROAD, SE

GREEN AREA RATIO (GAR) SCORE SHEET

| Green Area Ratio Scoresheet | | Address: 4744 Benning Road, SE | Square | Lot | Zone District |
|--|------------------------------|--------------------------------|-------------|------------|---------------|
| | | 5344 | Proposed | RA-1 | |
| Lot size (enter this value first) | 148,460 | Minimum Score | 0.4 | Multiplier | 0.400 |
| Score | 148,460 | | | | |
| Landscape Elements | | Square Foot | Factor | Total | |
| A Landscaped areas (select one of the following for each area) | | | | | |
| 1 Landscaped areas with a soil depth < 24" | 732 | square foot | 0.30 | 219.6 | |
| 2 Landscaped areas with a soil depth ≥ 24" | 41,542 | square foot | 0.60 | 24,985.2 | |
| 3 Bioretention facilities | | square foot | 0.40 | | |
| B Plantings (credit for plants in landscaped areas from Section A) | | Native Bonus | | | |
| 1 Groundcovers, or other plants < 2' height | 732 | square foot | 0.20 | | |
| 2 Plants ≥ 2' height at maturity - calculated at 9-sf per plant | 437 | # of plants | 0.30 | 1,179.9 | |
| 3 New trees with less than 40-foot canopy spread - calculated at 50 sq ft per tree | | # of trees | 0 | 0.50 | |
| 4 New trees with 40-foot or greater canopy spread - calculated at 250 sq ft per tree | | # of trees | 0 | 0.60 | |
| 5 Preservation of existing tree 6" to 12" DBH - calculated at 250 sq ft per tree | | # of trees | 0 | 0.70 | |
| 6 Preservation of existing tree 12" to 18" DBH - calculated at 600 sq ft per tree | 11 | # of trees | 0.70 | 6 | 4,620.0 |
| 7 Preservation of existing trees 18" to 24" DBH - calculated at 1300 sq ft per tree | 5 | # of trees | 0.70 | 4 | 4,550.0 |
| 8 Preservation of existing trees 24" or greater - calculated at 2000 sq ft per tree | 3 | # of trees | 0.80 | 3 | 4,800.0 |
| 9 Vegetated wall, plantings on a vertical surface | | square foot | 0.60 | | |
| C Vegetated or "green" roofs | | square foot | square foot | | |
| 1 Over at least 2" and less than 8" of growth medium | | square foot | 0.60 | | |
| 2 Over at least 8" of growth medium | 5,000 | square foot | 0.80 | 4,000.0 | |
| D Permeable Paving** | | square foot | | | |
| 1 Permeable paving over 6" to 24" of soil or gravel | | square foot | 0.40 | | |
| 2 Permeable paving over at least 24" of soil or gravel | | square foot | 0.50 | | |
| E Other | | square foot | | | |
| 1 Enhanced tree growth systems*** | | square foot | 0.40 | | |
| 2 Renewable energy generation | 26,459 | square foot | 0.50 | 13,229.5 | |
| 3 Approved water features | | square foot | 0.20 | | |
| F Bonuses | sub-total of sq ft = | 96,865 | | | |
| 1 Native plant species | square foot | 15,733 | 0.10 | 1,873.3 | |
| 2 Landscaping in food cultivation | square foot | | 0.10 | | |
| 3 Harvested stormwater irrigation | square foot | | 0.10 | | |
| *** Permeable paving and structural soil together may not qualify for more than one third of the Green Area Ratio score. | Green Area Ratio numerator * | 59,458 | | | |
| Total square footage of all permeable paving and enhanced tree growth. | | | | | |

S.E. WASHINGTON
DISTRICT OF COLUMBIA

GREEN ROOF AREA ON PENTHOUSE ROOF
INCLUDES AREAS UP TO, BUT NOT UNDER,
THE PENTHOUSE AREA, UP TO THE
PEDESTALS (OR OTHER SUPPORTS) AT
OR ABOVE THE GREEN ROOF LEVEL.

100% OF NON-GREEN ROOF
PROJECT SITE AREAS TO BE
NATIVE LANDSCAPING (PER DC
GEC9, GEC1 ELECTIVE AND A4.10.)

THE PROPERTY OWNER IS REQUIRED TO MAINTAIN
THE LOT'S MINIMUM GAR SCORE THROUGH
APPROPRIATE STEWARDSHIP AND MAINTENANCE
OF THE GREEN ELEMENTS UNTIL THE PROPERTY
IS GRANTED ITS CERTIFICATE OF OCCUPANCY.

DOE PLAN 7956 REVISION 09-15-2025
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7956 - REVISION TO DOE FOR APPROVAL 10-16-2025
BZA FILING SET 12-31-2025

ALL NEW PLANT MATERIALS MUST
MEET THE STANDARDS IN THE
ANLA AMERICAN STANDARDS FOR
NURSERY STOCK (ANSI Z60.1-2014).

ALL ROOF SLOPES ARE 1/4" PER
1'. SEE ARCHITECTURAL PLANS
FOR ADDITIONAL INFORMATION.

REVISION DATE
CAS PROJECT 22-0683-DC
DATE 12/2025
DRAWN BY MSL
CHECKED BY DCL
APPROVAL DCL
SCALE 1"=30'

SCALE 1 INCH = 30 FEET
NORTH DIRECTION
DC WATER
DRAINAGE
SURVEYOR'S
BOOK 144 PAGE 72

SHEET TITLE

GREEN AREA
RATIO (GAR) PLAN

CIV500