

Repurpose - Reimagine

A Fairmont Community Center Proposal for All

REVISED: 10/23



Agenda

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- Citizens 4 A Strong Fairmont
- Why Another Proposal?
- Repurpose - Reimagine
- Advantages Wrap-up
- Questions

Citizens 4 A Strong Fairmont



Citizens 4 A Strong Fairmont (“C4ASF”) is a group of 200+ concerned citizens from all economic and social sectors who stand for two simple things:

- Fiscal responsibility that builds a strong town.
- Transparent communication that builds a strong culture.

We are in favor of a community center that Fairmont can reasonably afford - over the full length of its life.

Who wouldn't be in favor of something that makes sense?

Why Another Proposal?



Reason #1 The Citizens

Citizen Interest

Because the Citizens asked.

Senior computer skills, please!

Can we use existing resources?

I'm a ping pong guy, myself.

Cooking lessons would be fun.

*It hurts to see the empty buildings downtown.
Can we put any of them to work?*

I don't play hockey but I love to dance.

Quilting is my jam!

*Is there a way to do something positive
that won't increase my taxes?*

Winter + Teens = Need a place to go!

*So many kids live downtown and they don't have
anything to do. Can we help them?*

What about crafting together?

Reason #2 Creative Thinking

Thinking Creatively

Because it only takes a little creative thinking to answer the question:

What can Fairmont provide for kids, adults, and seniors who aren't athletes?



**Proposal:
Multi-
Facility**

Vision for Fairmont

C4ASF proposes a Multi-Facility Approach

- **Repurpose** the SMEC building as a non-athletic recreation and education center.
- **Reimagine** the existing Fairmont fitness businesses as part of the City's holistic health and wellness matrix.

Because we can do so much with what we already have.

Repurpose the SMEC Building



SMEC Building

Southern Minnesota Education Center

This building provides a unique opportunity to meet the needs of Fairmont's citizens of all ages, socio-economic positions, and ethnicities.

- **27,000** square feet of under-utilized potential.
- **\$86K** average operating cost currently funded by the City.
- **\$ Significant** improvements made by the City in 2014.

SMEC Building

Recreation & Education Center - Activities

The SMEC Building as a Rec Center? These recreation activities are a great place to start.

Slot Cars

Music & Jam Sessions

Dances

Sewing & Quilting

Air Hockey

Board Games & Puzzles

**STEM Robotics & Legos
Lab**

Chess & Checkers

Ping Pong

Pickleball

Bridge & Poker

Mahjong

Escape Room & Laser Tag

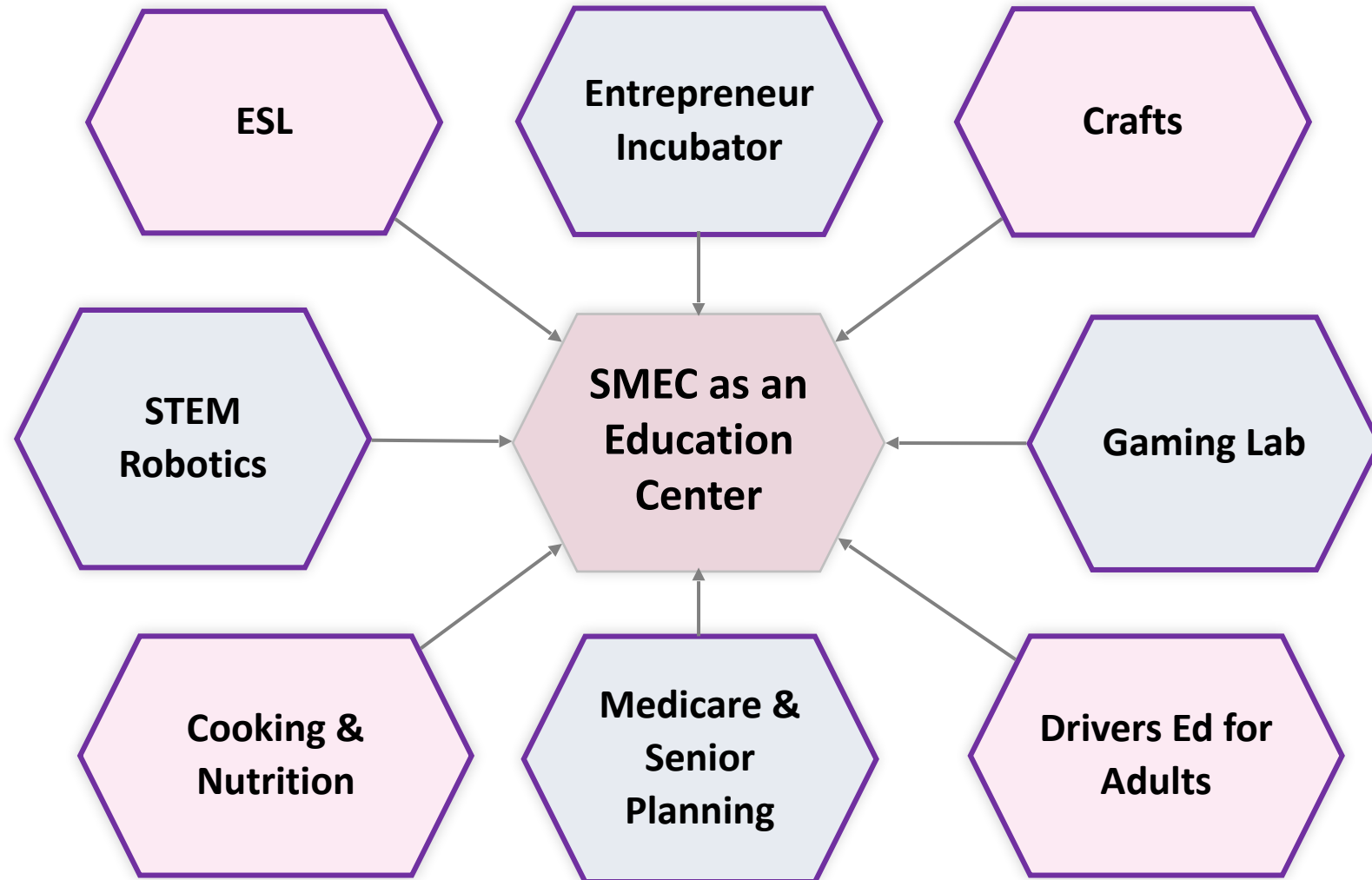
Foosball & Billiards

Arcade & Pinball

SMEC Building

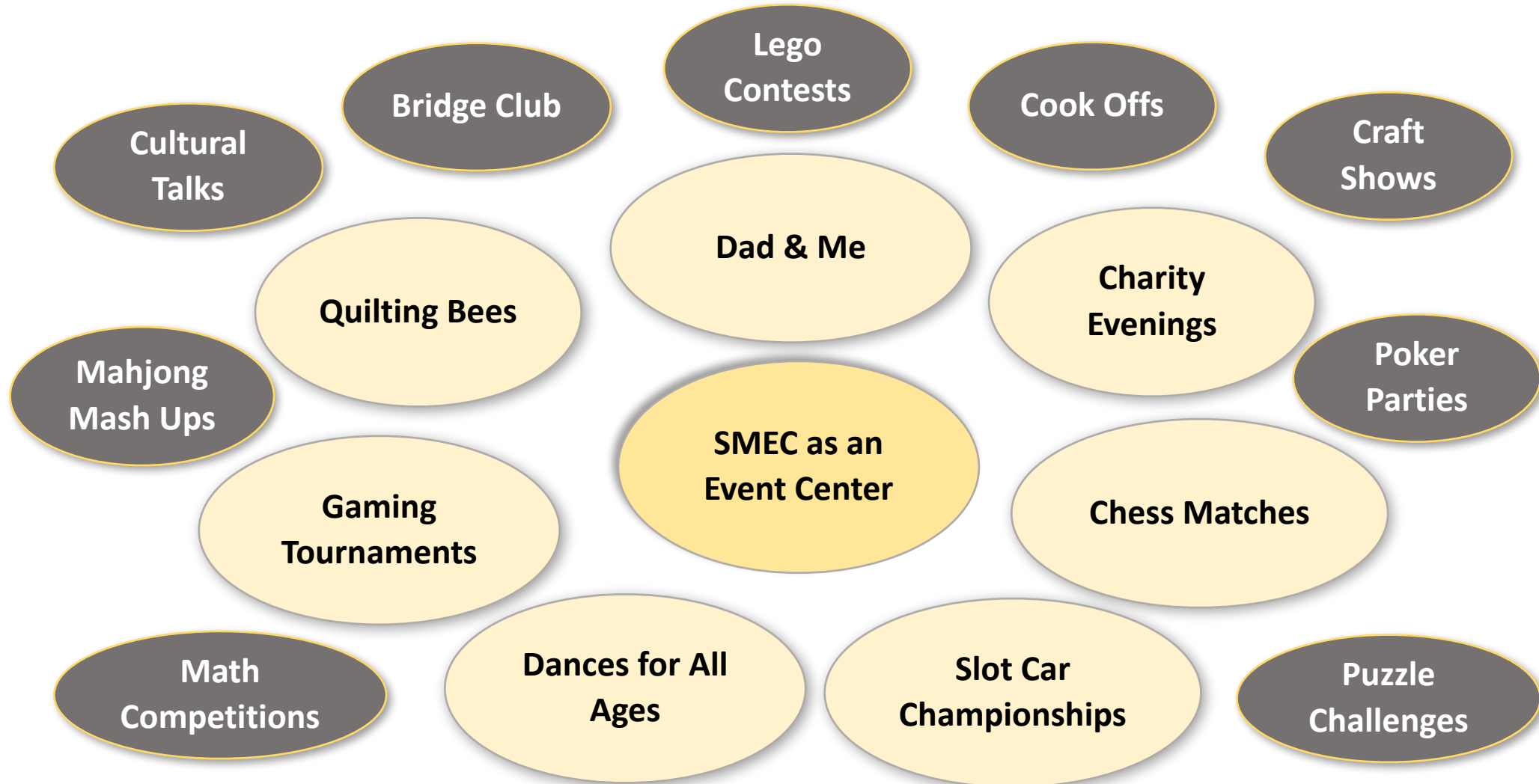
Recreation & Education Center - Classes

The SMEC building as an Ed Center? These are just a few of the many possibilities.

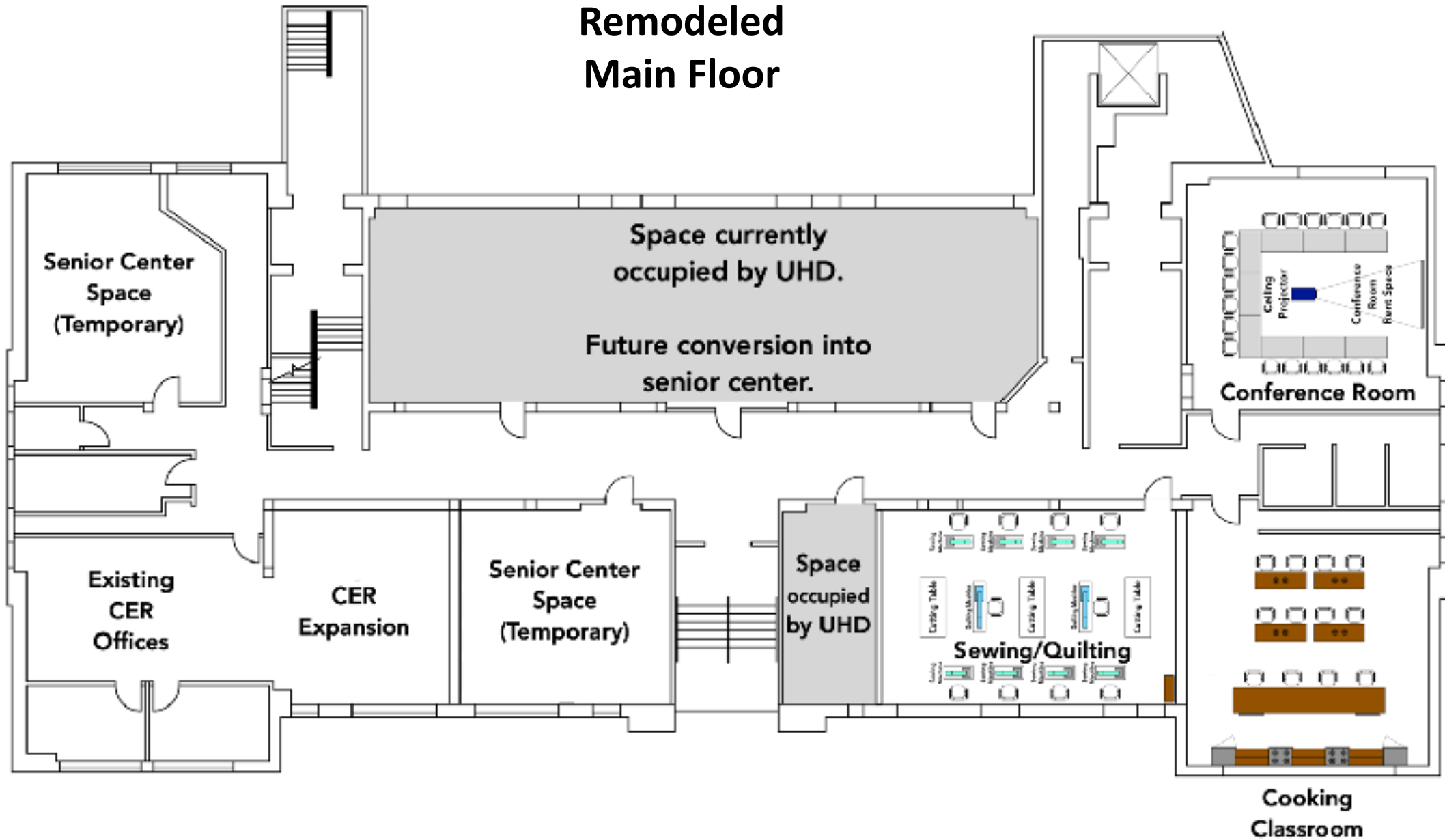


SMEC Building

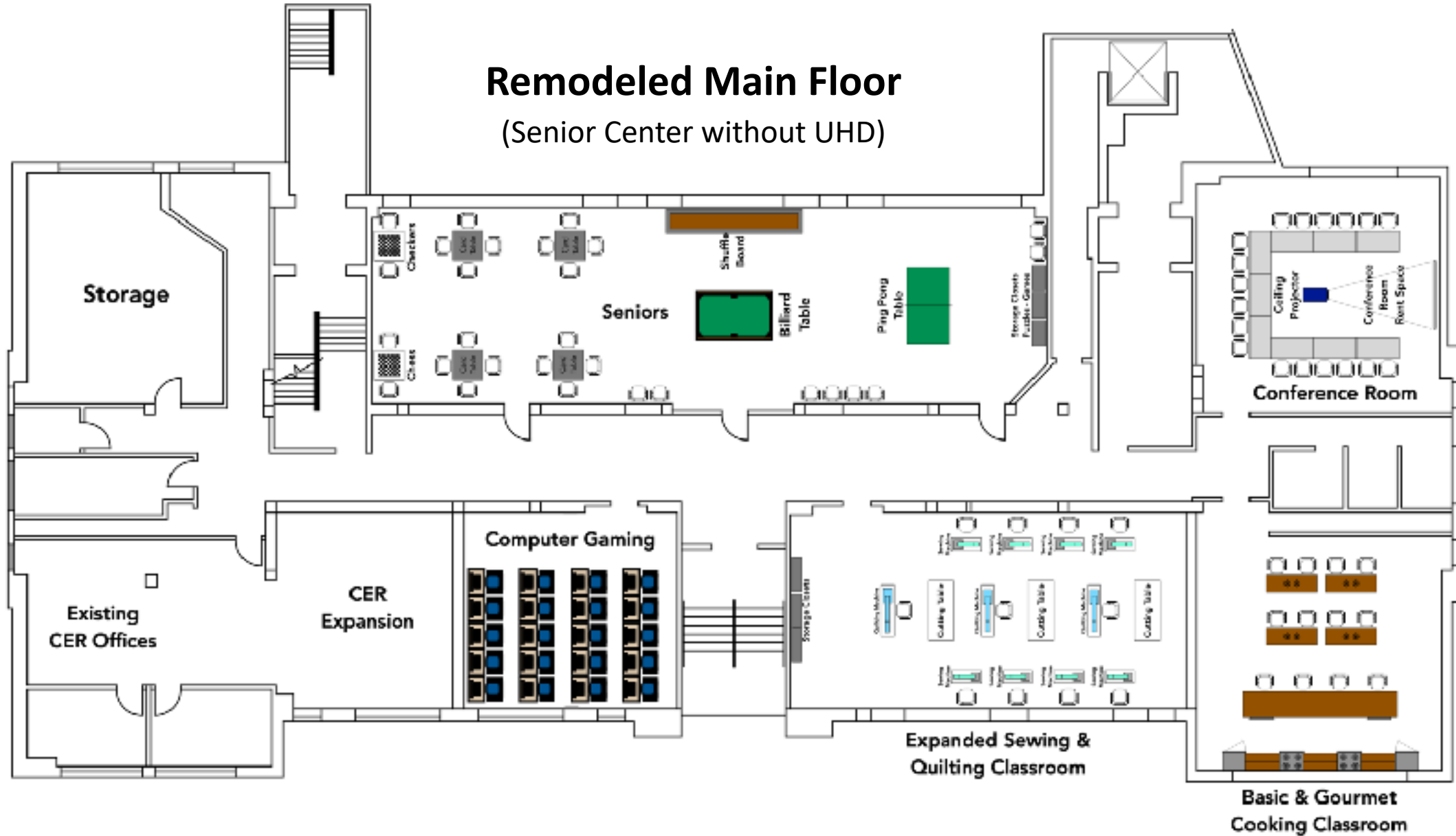
Recreation & Education Center - Events



SMEC Building Potential



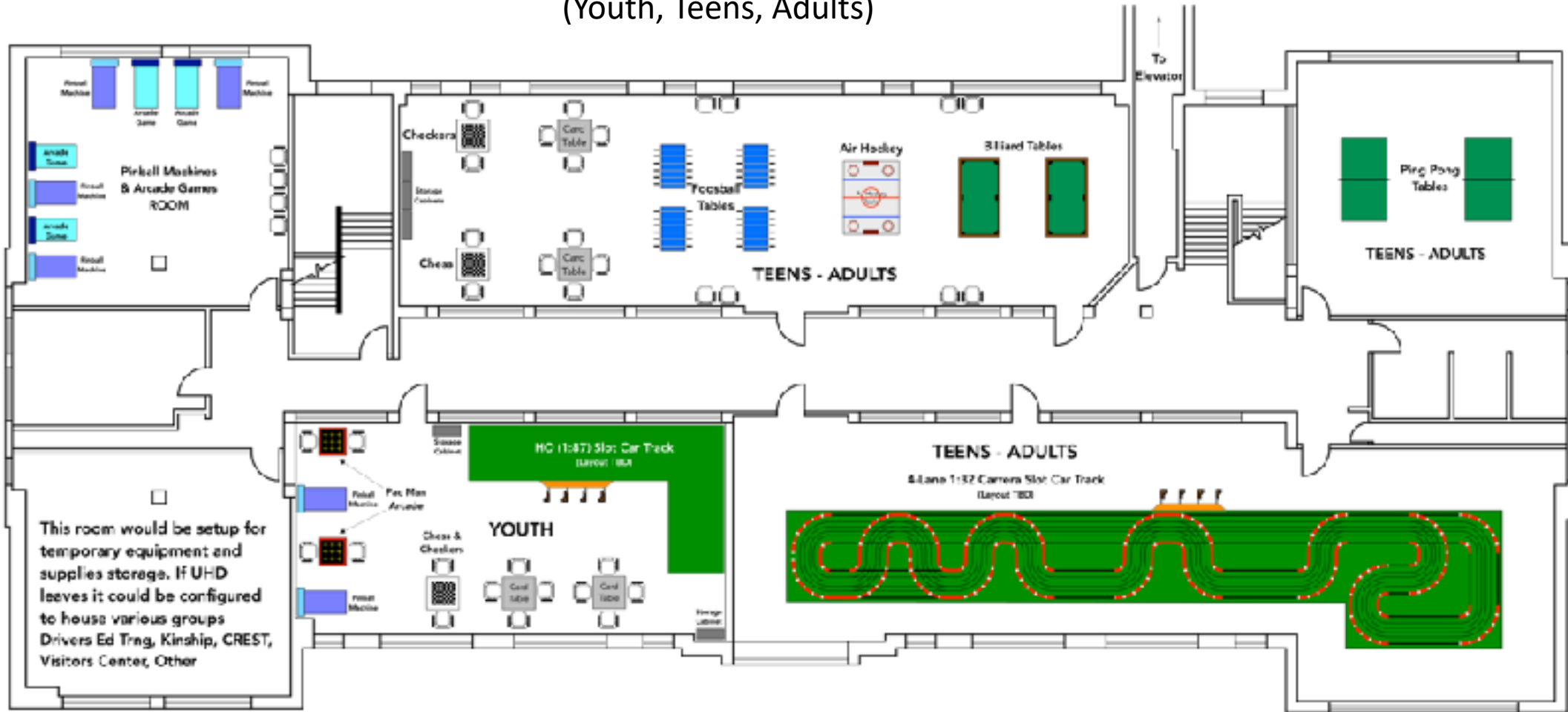
Building Potential



SMEC Building Potential

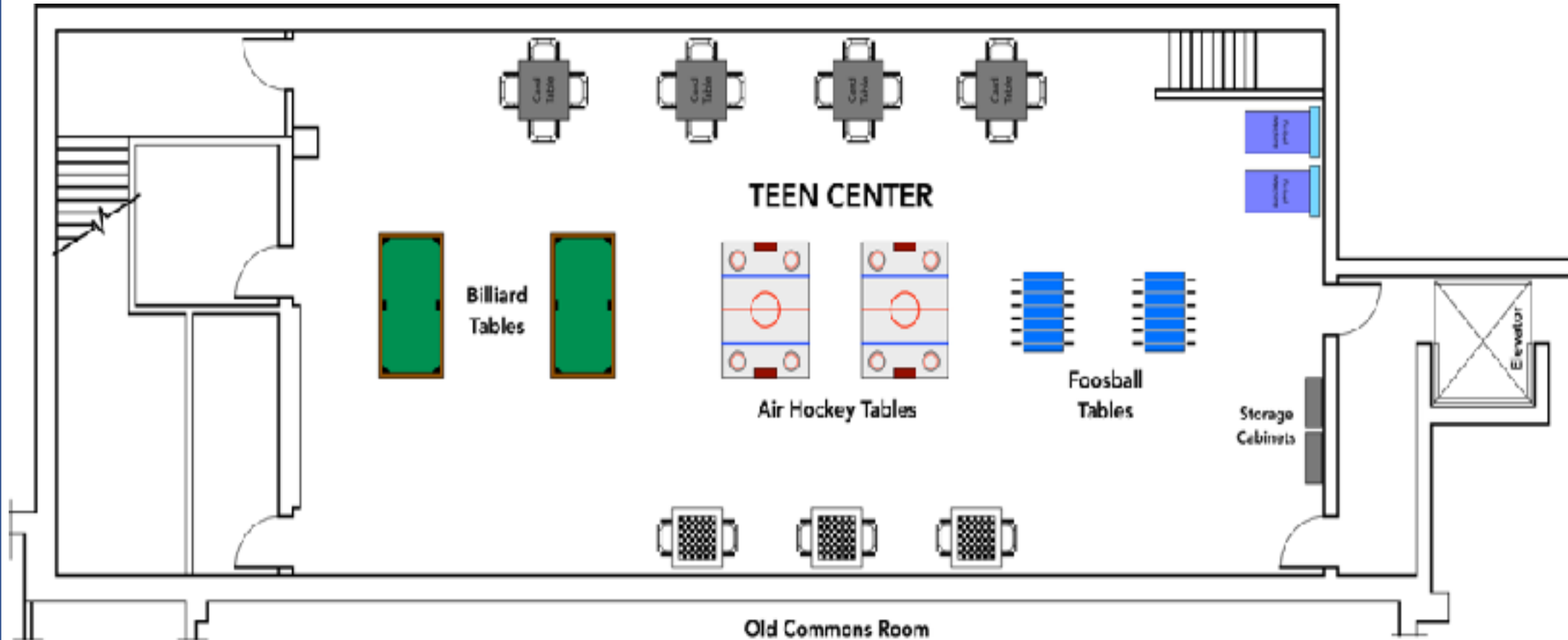
Remodeled 2nd Floor

(Youth, Teens, Adults)



**SMEC
Building
Potential**

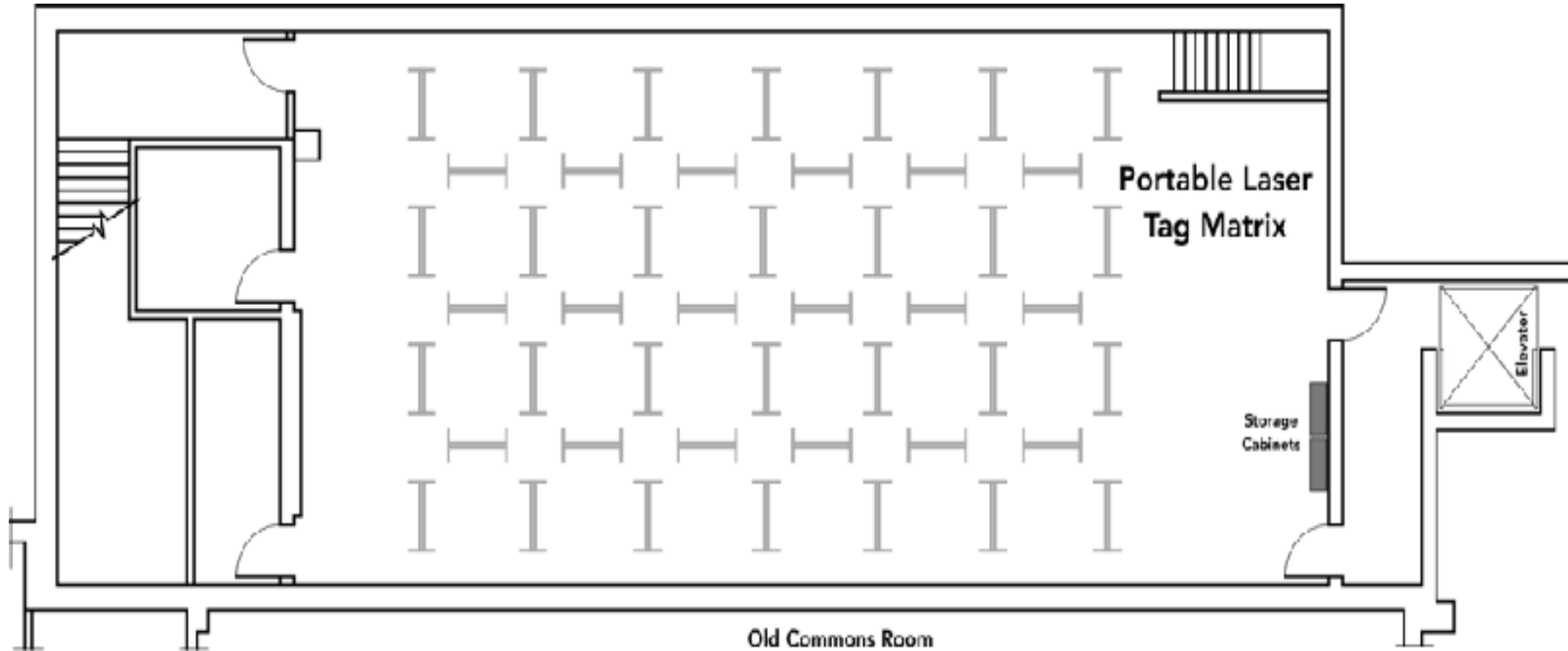
Remodeled Commons Room (Teen Center)



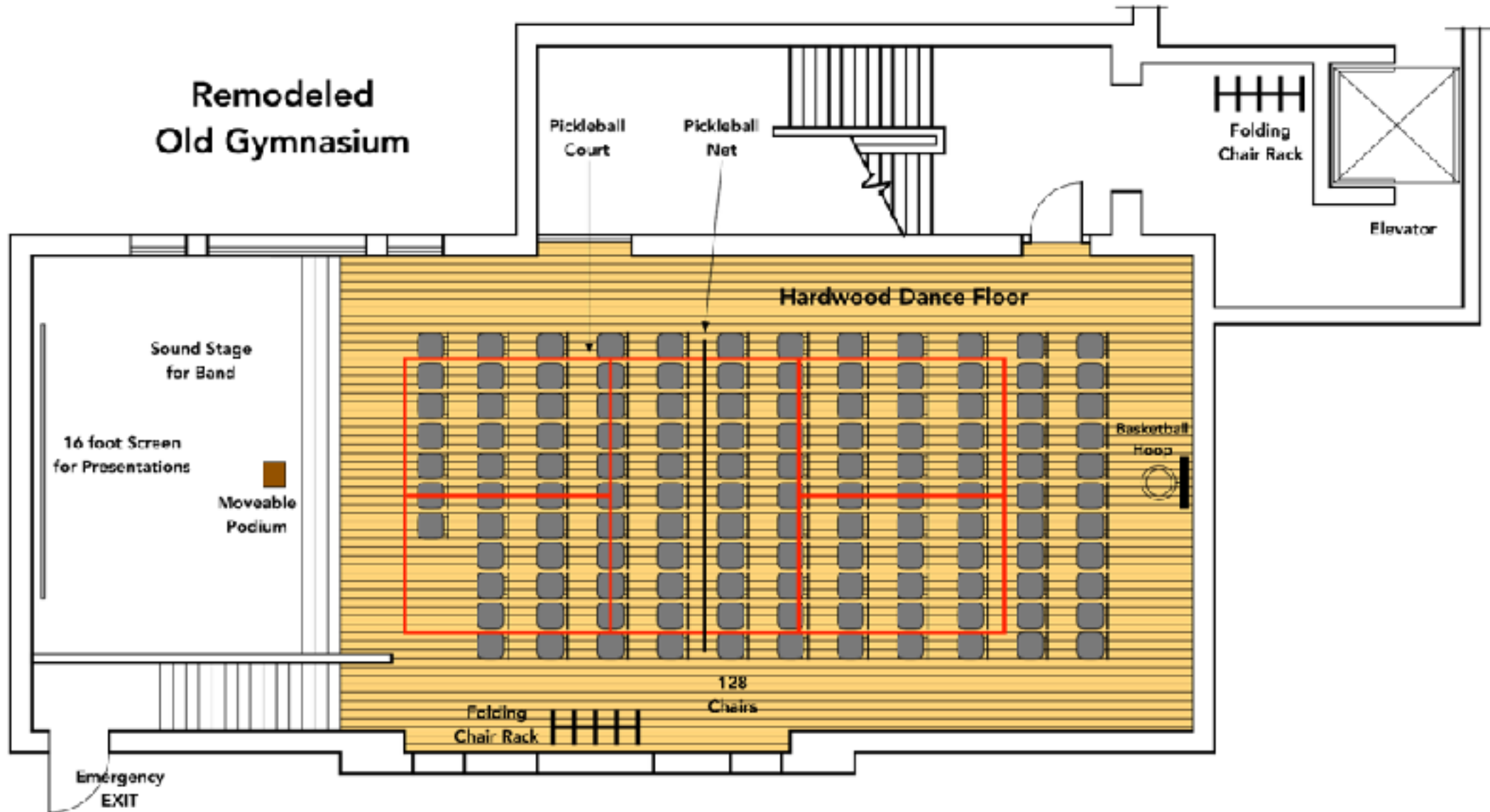
**SMEC
Building
Potential**

Remodeled Commons Room

(Laser Tag or Escape Game Room)



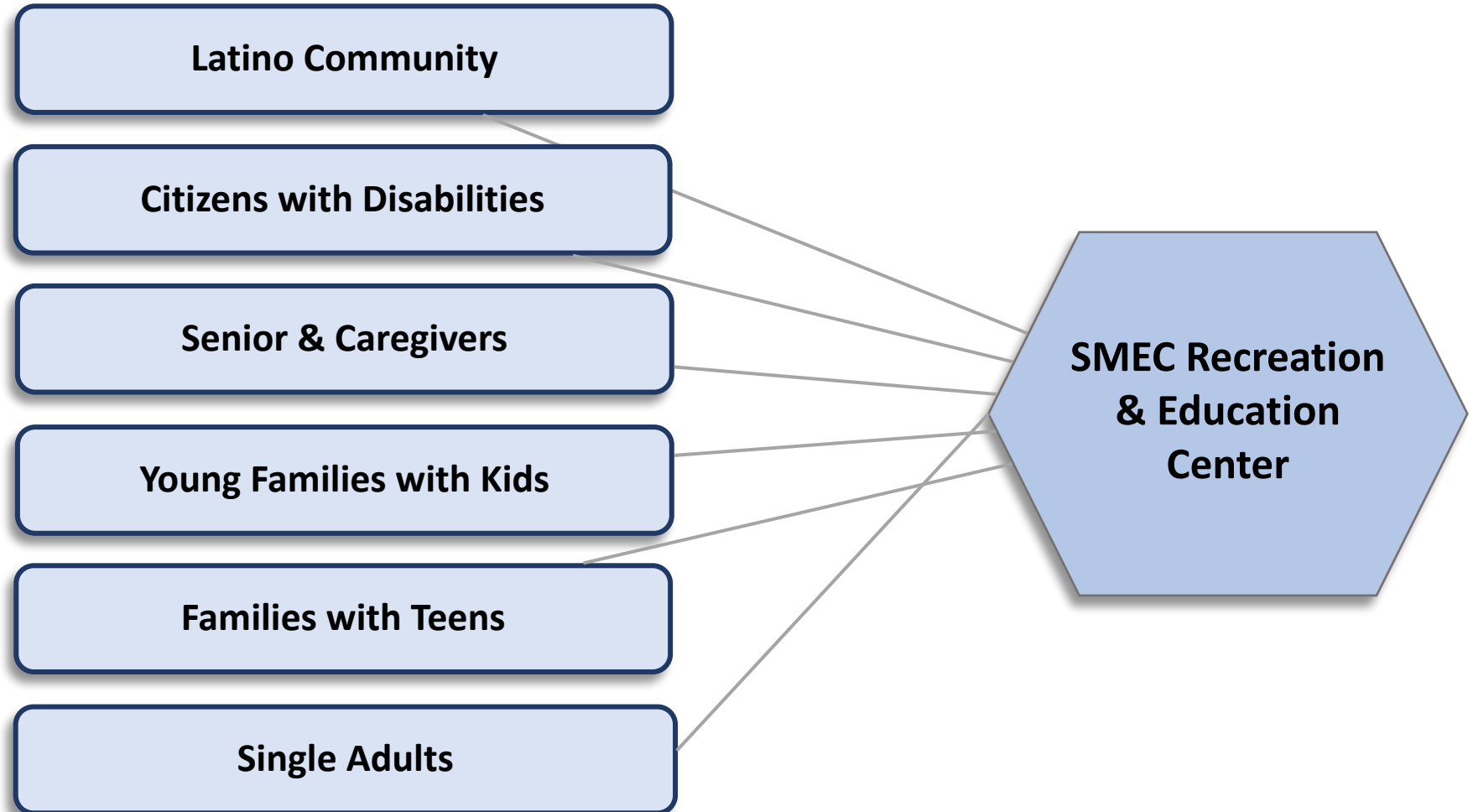
SMEC Building Potential



SMEC Building

Community Buy-In

Citizens 4 A Strong Fairmont has floated the SMEC repurposing idea to members of the community and received positive feedback.



SMEC Building Repurposing

Cost of Repurposing

The estimated cost of remodeling and purchasing equipment for the building is a minor investment for a major return.

\$1.25M

remodeling (contractor estimate)

\$325K - \$360K

entertainment and recreation equipment

\$ 75K

upgrade the security and monitoring system

\$1.65M - \$1.68M

Total Cost

This excludes any proposed upgrade projects by the City

Remodeling

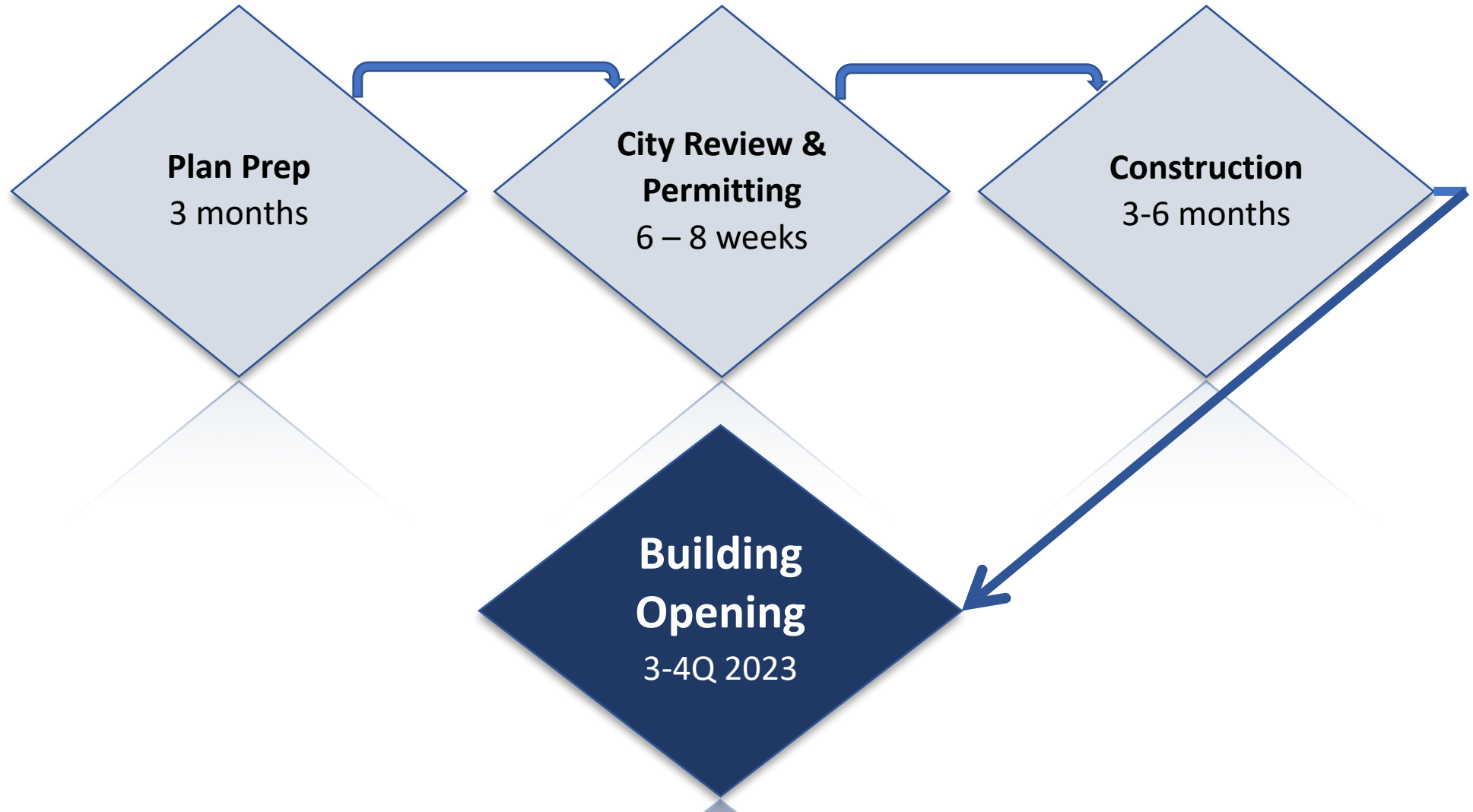
The contractor estimate that C4ASF purchased with its own funds included detailed elements. A few examples will help frame the picture although you will find a lot more in the proposal.

- Architectural and Engineering plans with permit submittals.
- Demolition of non-bearing walls and reconfiguring of spaces.
- System modifications: Plumbing and sprinklers, electrical, HVAC.
- Remodeling and upgrading bathrooms.
- Installation of kitchen, quilting, sewing and other equipment.

SMEC Building

Repurpose Construction Schedule

After approval and adoption of the proposal into the 2023 budget, it could be completed quickly.



Schedule and Hours of Operation

The repurposed SMEC building can provide a reliable access schedule to the community.

- Open Monday – Saturday, 50 weeks per year
 - Closed 1 week every 6 months for cleaning, maintenance, and repairs.
- Hours:
 - Monday – Thursday 10:00 AM – 5:00 PM
 - Friday – Saturday 10:00 AM – 9:00 PM

SMEC Building

Projected Annual Costs

The projected operating costs of the SMEC building are sustainable.

Modeled cost of staffing:

- \$50K - Recreation Manager – full time
- \$124K - Roving Assistants – 6 part time at 25 hrs/week costing \$16.50/hour
- \$4K - Special Event Assistant – 1 part time 4 - 5 hrs/week costing \$16.50/hour
- \$125K – Security – 4 part time 25 hrs/week costing \$25.00/hour
- \$303K – Projected staffing (operating) costs

Modeled cost of other operations and maintenance:

- \$86K – Current annual operating and maintenance cost (some funded via rent)
- \$15K – Estimated additional cost of equipment maintenance
- \$101K – Projected operating and maintenance costs

Repurposed SMEC Operations & Maintenance is projected at \$404K per year

Model Revenue Stream – Day & Weekend Passes

| Category | Cost | Frequency | Number Purchased | Per Year Multiplier | Sub-Total |
|--------------|-----------|-------------|------------------|---------------------|------------------|
| Day Pass | \$2 - \$3 | Daily (M-F) | 20 - 35 | 250 | \$10K - \$26.5K |
| Weekend Pass | \$2 - \$3 | Daily (S) | 35 - 70 | 50 | \$3.5K - \$10.5K |
| Punch Card | \$20 | 25 Anytime | 50 - 75 | 6 | \$9K - \$12K |
| Monthly Pass | \$35 | Month | 50 - 75 | 12 | \$21K - \$31.5K |

Model Revenue Stream – Quarter and Annual Passes

| Category | Cost | Frequency | Number Purchased | Per Year Multiplier | Sub-Total |
|---------------------------|-------|-----------|------------------|---------------------|----------------------|
| Quarter Pass (Family) | \$100 | Quarter | 150 - 225 | 4 | \$60K - \$90K |
| Quarter Pass (Individual) | \$75 | Quarter | 125 - 175 | 4 | \$37.5K - \$52.5K |
| Annual Pass (Family) | \$325 | Annual | 250 - 375 | 1 | \$81.25K - \$121.88K |
| Annual Pass (Individual) | \$150 | Annual | 150 - 250 | 1 | \$22.5K - \$37.5K |

Model Revenue Stream – Dances, Classes, Events

| Lessons & Events | Duration & Frequency | Total # of Events | Cost | Participants per Event | Sub-Total |
|--------------------------|----------------------|-------------------|---------------|------------------------|-----------|
| Cooking & Sewing Classes | 4 Weeks | 20 | \$25 / Person | 8 | \$4,000 |
| Teen Dance Nights | 2 per Month | 20 | \$5 / Person | 80 | \$8,000 |
| Adult Dance Nights | 2 per Month | 20 | \$10 / Person | 80 | \$16,000 |
| Special Events | 1 per Month | 10 | \$25 / Person | 40 | \$10,000 |
| | | | | | |

SMEC Building

Model Revenue Streams

It's amazing how it all adds up to a positive number.

- \$173K - \$274K – Passes (Only requires 9% – 15% of individuals/families)
- \$57K per year – Events
- \$10K per year – Vending Machines - \$900 per month for 6 machines.
- \$3 to \$6K per year – Meeting rooms - \$75 per rental for 4 – 8 rentals per month
- \$45 to \$60K for Scholarships - \$50 to \$200 per year for 450 – 600 individuals or families (9.5% - 12.5%) of the total employed population.
- **\$288K to \$407K** – Total projected annual revenue.

Repurposed SMEC is projected to be self-sustaining at \$404K per year

Reimagine



Reimagine

Reimagine – Existing Fitness Businesses

The existing fitness businesses in Fairmont can be reimaged as an integral part of the City's health & wellness matrix.

- The 3 current fitness businesses in town, Cutting Edge, LiveFit, and Fairmont Crossfit have a lot to offer.
 - \$3.75 - \$4.5 M in state-of-the-art fitness assets from walking tracks and fitness equipment to golf simulators and racquetball courts.
 - Personal training, classes, and elite athlete performance schools.
 - Wide range of hours and price packages

Reimagine

Reimagine – Existing Fitness Businesses

If we reimagine the existing fitness businesses in Fairmont as an integral part of the City's health & wellness matrix, then we can ask ourselves:

Why duplicate a successful system?

Fairmont doesn't need to use taxpayer money to build something that already exists.

Advantages Quick Re-cap



Advantages

Repurpose & Reimagine

This Multi-Facility approach has distinct advantages. Only a few are listed here.



Repurposing is fiscally responsible using existing resources



Repurposing promotes foot traffic for downtown businesses



Repurposing provides a safe place and activities for kids



Repurposing creates a Rec & Ed Center that is self-sustaining



Repurposing frees up tax revenue for other recreational amenities



Reimagining respects current businesses and saves \$\$\$

**Repurpose
Reimagine**

Questions?



**Please visit our website at www.c4asf.com
for more information about Citizens 4 A
Strong Fairmont and additional material
about the proposed community center.**