

General Information & Requirements

The drawings, details and related specifications along with the concepts they incorporate (hereinafter "Plans") are intended to convey the requirements, including, but not limited to, services, materials, labor, equipment, tools, jobs, supplies, fixtures and appliances necessary to construct the completed improvements to connect all utilities, and deliver the project in operating condition and ready for occupancy. All bids submitted shall include all such requirements necessary to complete the portion of the project in accordance with the Plans for which the bid represents. No substitutions, deviations or change from the Plans shall be accepted without prior written approval by owner ("Owner").

Materials shall be new and free from defects unless otherwise noted and shall conform and be installed according to the latest standards of the American Society for Testing Material, the American Institute for Steel Construction, the American Concrete Institute, all applicable building codes and regulations and manufacturer's specifications. Temporary facilities, enclosures, wrappers and/or coverings for the protection of materials, equipment and work shall conform to all applicable regulations and the highest industry practices. Each Subcontractor shall be the responsibility of each subcontractor, supplier and materialman ("Subcontractor"). All rejected or condemned materials, equipment or work shall be immediately removed from the premises. Each Subcontractor shall be responsible for damage and/or loss of their materials, supplies and equipment until their work is finally and completely accepted and paid for by Owner.

All work shall be performed in strict accordance with: a) the requirements of all governing authorities, b) the latest edition of the International Residential Code (IRC), and all other applicable codes and regulations, c) all trade licensing requirements and d) any special requirements of any lending institution. All work shall be executed in a neat, skillful and workmanlike manner and shall be as specified or detailed. All work under the Plans shall be so performed so as to protect from damage the work of others. All trades shall protect their work to prevent damage by others during the course of construction. The Plans do not include the necessary components for construction safety. General safety, compliance with all applicable regulations regarding safety and care of adjacent properties during construction shall be the responsibility of each Subcontractor.

Each Subcontractor shall carefully examine all information on each sheet or page of the Plans and be fully familiar with all of the information contained herein. The size, location and detailed requirements for all cabinets, mirrors, windows, doors, shower enclosures, etc., shall be field verified prior to their fabrication. Final locations of all switches, outlets, grilles, hose bibs, etc., shall be determined on the job site. Information shown on the Plans is no schematic. The size and location of all mechanical, plumbing and electrical items shall be verified by the appropriate Subcontractor. Property dimensions, bearings, setbacks, easements, location and availability of utilities and all other information supplied by others and are deemed accurate but are not guaranteed.

Reasonable professional care and diligence has been employed in the preparation of the Plans. However, the Plans are "Builder Plans". Each trade or Subcontractor shall employ industry standards and care in producing the general intent conveyed herewith. Owner shall be informed of any errors or omissions immediately upon their discovery without any affected work progressing until written revisions are issued by builder. DRAWINGS ARE NOT TO BE SCALED. If the noted dimensions do not completely convey clear and precise information, Owner shall correct the discrepancy or make the decision on how to proceed.

Rules for Construction

Subcontractors, suppliers and materialmen ("Subcontractors") shall abide by all rules and laws of any subdivision, city, county, state or any other governing authority, including but not limited to the subdivision's covenants, conditions and restrictions, and their Rules for Construction. All Subcontractors shall conform to these rules without exception and shall be subject to all costs for any cleanup, repairs, fines, attorney fees or other charges levied by the any such governing authority as a result of the Subcontractor's action or inaction.

In addition to any such rules by third parties, all Subcontractors shall observe the following general rules:

Subcontractors shall observe working hours and holidays as requested by Owner.

Subcontractors shall place their company signs on the property only with Owner's written permission.

Subcontractors shall be courteous and professional to customers, other workers and neighbors and shall not harass any neighborhood resident or guest, and shall not use profane or offensive language or gestures. There shall be no alcoholic beverages or drugs at job site. There shall be no loud radios on construction sites. There shall be no fires at any time at the job site. No children or animals are allowed on the construction site. There shall be no food, drink or smoking in the house at any time. There shall be no shoes worn in the home after the carpet is installed. There shall be no driving or parking on the drives or sidewalks. The house shall be left broom clean at the end of each day.

No speeding in the neighborhood. No vehicle, trailer or equipment shall parked on the street overnight. No vehicle, trailer or equipment shall be left on the lot, unless such is needed to actually perform construction work at that time during that week. Driving across parking on, placing building material, or having debris, concrete or excavation material on another property owner's lot or neighborhood greenbelt property is strictly prohibited. Any damage done to neighboring property or neighborhood property (including streets, curbs, lights, street signs, gates, utilities, greenbelt areas, etc.) shall be repaired and/or replaced immediately. There shall be no obstruction of any common properties or easements that may be used for pedestrian or vehicular traffic, such as streets, sidewalks, or other similar structures.

Any chain-link construction fence and silt fence/barriers shall be avoided and kept intact and upright and the wire kept taut. Work around the fences and their openings and gates shall be done in a manner to prevent sediment and trash from the job onto adjacent lots. Any sediment barrier shall remain in place at all times during construction and until the required landscaping is completed.

Any port-o-potty and/or a commercial dumpster shall be used appropriately. Nothing shall be placed in the dumpster without Builder's approval and never when the dumpster is full (above the top of the sides) or overloaded (>10 tons) with heavy materials. Other dangerous, offensive, smelly items shall be placed in the dumpster.

At all times, the lot and work area shall be kept clean. All material that will be used for construction shall be stored, staged or placed only on the jobsite lot in a neat manner and shall be kept off of all other property and streets. All construction debris, trash and garbage for all trades shall be deposited immediately into a commercial dumpster or hauled away from the neighborhood immediately and shall not be allowed to remain or accumulate on the jobsite. By the end of the construction hours for each day, the lot shall be clean of construction debris, trash and garbage.

Excavation material, rocks and cut trees must be hauled away from the lot and the neighborhood during the same week that it is created, except for rocks that will be used in landscaping that lot. Batter boards, forming boards and unused rebar must be hauled away from the lot and the neighborhood during the same week the batter boards are removed from the foundation. Concrete waste shall be dumped only on the jobsite and not on any other lot and shall be cleaned up the same week. Wooden pallets shall be placed in the dumpster immediately or hauled away from the neighborhood immediately.

At all times, the streets must be kept clean and all debris removed, including but not limited to trash, rocks, gravel, cement, building materials, dirt and/or mud. Wash-off from concrete pours and driveways shall not be allowed to migrate down any street and proper damming must be used to prevent such migration. Topsoil, grass and any other material shall not be dumped on any street, even temporarily.

Owner shall have the right, from time to time, to create, modify and enforce reasonable rules for construction. Any violations of these rules shall result in a back charge equal to Owner's cost to perform, clean, repair or correct items on behalf of Subcontractors with a minimum of not less than \$100 per occurrence, without further warning to Subcontractors. Any fines assessed by the neighborhood or others on Builder shall also be back charged to the violating party.

Existing Conditions & Inherent Project Risks

This Plan may include a representation or drawing of current improvements, vegetation, utilities, fencing, etc. that may be on, adjacent to or nearby the property where the new improvements are planned to be constructed. This drawing, even if dimensioned, is not an as-built plan, plat or survey but an estimation of existing improvements to be used for conceptual planning only. It was drawn from information deemed reliable and is offered solely as an approximate visual aid and without warranty of any kind as to its accuracy. Prior to implementing any plan to construct, renovate, demolish or otherwise alter the existing property and its improvements and structures, an as-built survey should be performed by a Registered Professional Land Surveyor which should include the exact locations of any existing structures, improvements and utilities (whether above or below ground, visible or hidden; on, adjacent to or nearby the property), building setbacks, easements, restrictions, perimeter boundaries and flood plain boundaries. All information furnished is from sources deemed reliable but is submitted subject to errors, omissions, change of conditions. All areas, sizes and measurements are approximate.

Included in any design, construction and remodeling project is inherent risks and unexpected costs associated with the following items and delays related to same which CRDH shall have no responsibility or liability:

1. Known, unknown, included, omitted, measured, unmeasured, calculated and uncalculated existing conditions, physical locations and characteristics, including, but not limited to, soil conditions, topography, vegetation, tree roots, underground items, plumbing and electrical in walls, floors and ceilings, etc.
2. Current and future requirements of governing authorities,
3. Current and future materials costs and availability,
4. Current and future labor costs and availability,
5. Force majeure including, but not limited to, weather,
6. Current and future availability and/or cost of financing or otherwise funding the project.

Contractor shall verify the quantity and location of all existing and proposed improvements affecting the project prior to submitting any bid to or entering into a contract with Owner.



Applicable Building Codes

2022 Denver Building Code (DBC): 2022 Denver Building Code (Adopted I-Codes & Amendments)
2022 Denver Building Code Admin (DBC ADMIN): 2022 Denver Building Code, Article 1, Section 1 – Admin
2022 Denver Residential Code (DRC): 2021 International Residential Code & Amendments
2022 Denver Energy Code (DEC): 2021 International Energy Conservation Code & Amendments

Denver Building Codes, Policies, and Guides www.denvergov.org/buildingcode

Project Overview or Scope of Work Summary

Prior to any work beginning, owner and builder should sign a construction contract that contains a detailed Scope of Work, commencement and completion dates, permits, materials specifications, construction costs, payments or draw schedules, and provisions for changes in the foregoing, among other provisions and notices. Owners should seek legal advice prior to executing construction contracts.

Residential Remodel and/or Additions: The Scope of Work includes site access and preparation, connection and extension of utilities, the remodel, relocation and expansion of the existing kitchen, breakfast, laundry and powder room area of an existing two-story residence and the addition of a bar area and a covered screened lanai. In addition, provisions are required for future improvements that include a backyard pool and required equipment, privacy fencing, yard lighting and hose bibs, walks and drives, and landscaping. Significant relocation, addition and expansion of structural systems, roofs, walls, HVAC, electrical and plumbing are required. The project requires patching, repairing, blending, and repainting existing items that are not part of the Scope of Work in order to deliver a finished product that is not in need of further work due to the activities required by this project. All debris, spoils and dust shall be removed from the site prior to completion and final payment.

The Scope of Work includes the remodel of an existing two-story residence with specific focus on the existing kitchen, master bath and powder bath area. In addition, a new floor platform will be constructed in an existing area that is open between the first and second floors. Significant relocation, addition and expansion of structural systems, roofs, walls, HVAC, electrical and plumbing are required. The project requires patching, repairing, blending, and repainting existing items that are not specifically part of the Scope of Work in order to deliver a finished product that is not in need of further work due to the activities required by this project.

New Residential Construction: The Scope of Work includes site access and preparation, connection and extension of utilities, the construction of a new residence using only new materials for foundations, walls, roofs, structural systems, HVAC, electrical and plumbing systems. All debris, spoils and dust shall be removed from the site prior to completion and final payment.



Barndo Plans

Barndoplans@gmail.com

1-844-963-9963

701 Tillery Street Suite 12
Austin, TX, 78702

Cover Sheet

Read all notes on Sheet 1. These plans consist of and shall be used with all sheets present.

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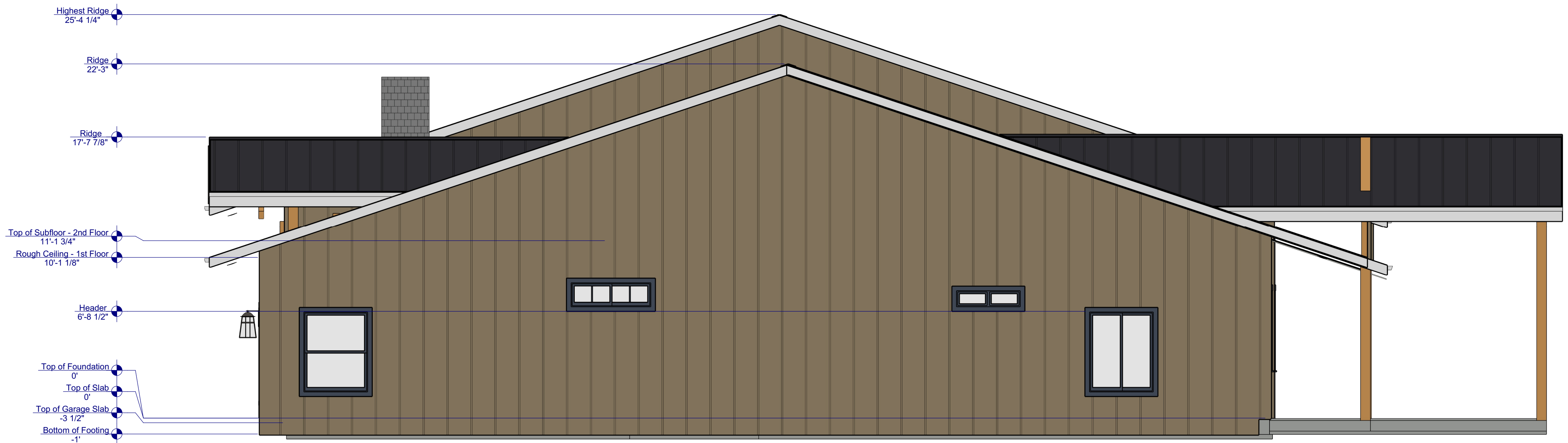
Designer shall have the right to include the Plans, renderings and photos of the design and project in promotional materials and Owner agrees to provide reasonable access to the project for such purposes. Designer's obligations and responsibility shall be solely to Owner and shall be limited to Plans that are fully paid for and that are not marked "Preliminary". Not marked "Preliminary", the Plans are "Builder Plans" and Designer shall have no responsibility for items, details and specifications not included in the Plans or for defects in construction materials, methods or systems.

Revision Table		Description	
#	Date	By	

A New Home Especially Designed for
SHELBY SMITH
to be constructed at
Job Address Line 1
Job Address Line 2

Barndoplans@gmail.com

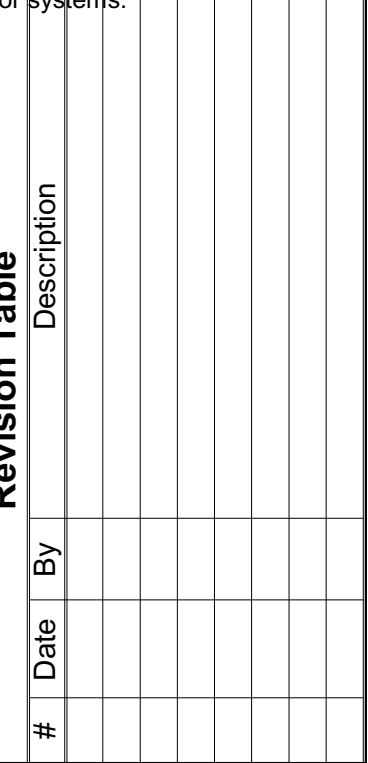
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Drawn By: Michael Rothwell
Last Update:
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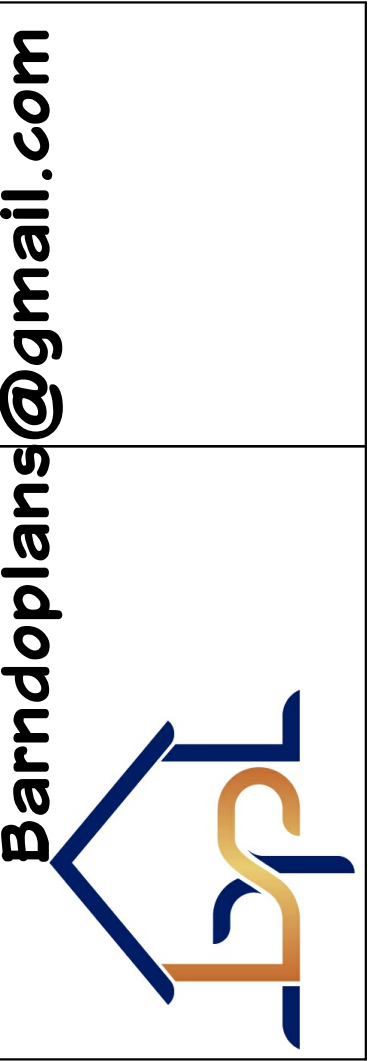
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Front Elevation
Scale: 1/4" = 1'-0"



to be constructed at
Job Address Line 1
Job Address Line 2



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FN:
Drawn By: Michael
Rothwell
Last Update:
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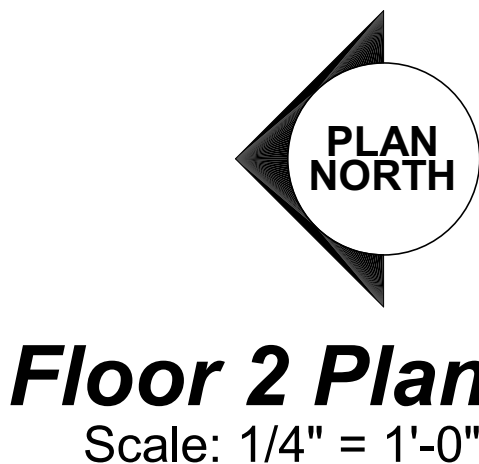


Floor 1 Plan
Scale: 1/4" = 1'-0"

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Barndoplans@gmail.com

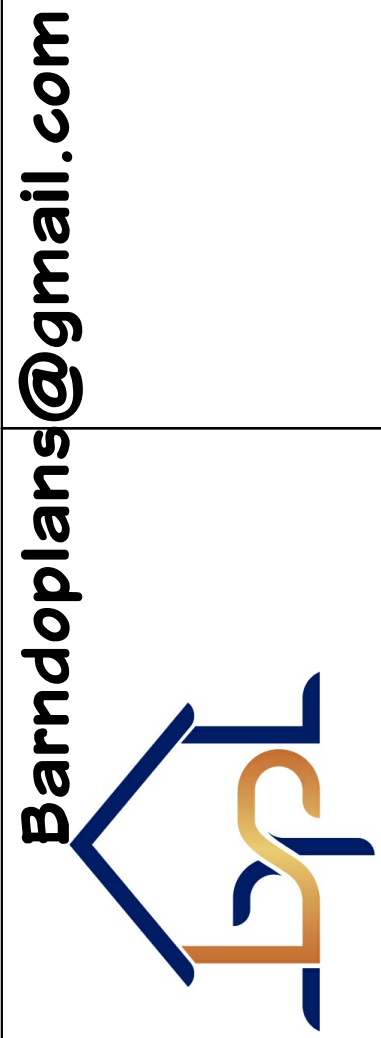
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Rothwell
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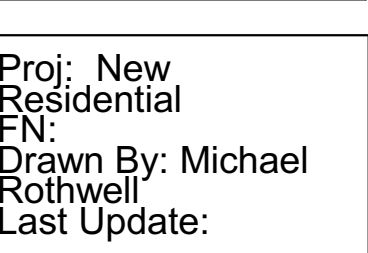
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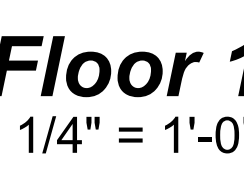


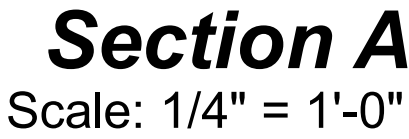
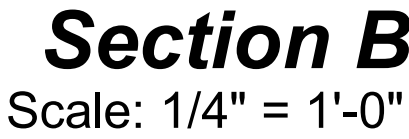
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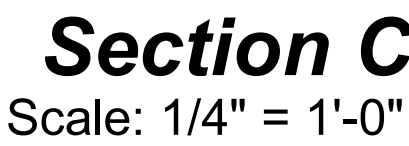
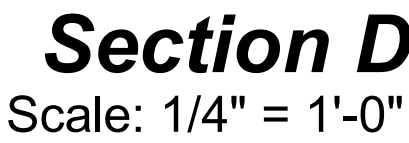


SHELBY SMITH




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Drawn By: Michael
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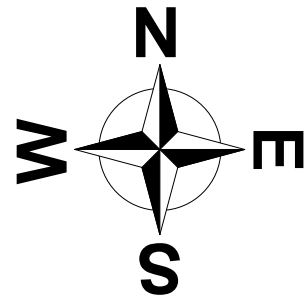
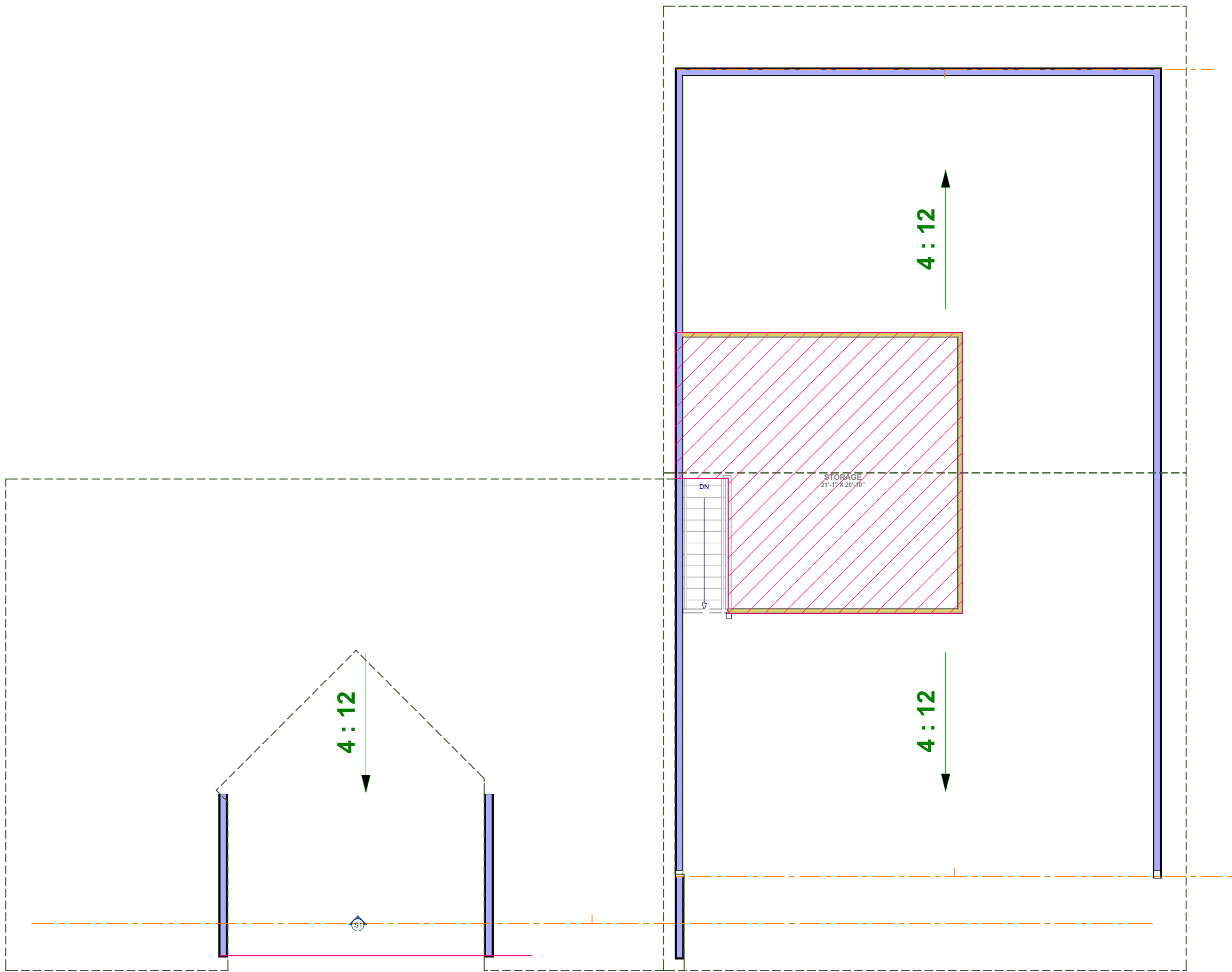
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SHELBY SMITH



Proj: New
Residential
FN:
Drawn By: Michael
Rothwell
Last Update:
Total Sheets: 13
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1. All weather proof roof materials shall be applied in dry conditions over absolute dry roof deck and sublayer materials.
2. All flashing and fasteners shall be rated to have a life and a warranty equal to or greater than the roof covering specified. All flashing shall be supported with "D" flanging of same material and with a gauge thickness equal to or greater than metal roof specified.
3. Roofer shall determine the number, size and location of all required roof penetrations for vent hood exhausts, sewer vents, HVAC vents, water heater vents, exhaust vents, gas vents, electrical conduits, etc. prior to beginning the installation of the roof and shall install all collars and roof flashing and membrane for all penetrations to be water-tight and to meet all applicable standards and codes.
4. All horizontal eaves have gutters for water catchment.
5. Typical roof overhang from exterior of wall framing on CMU to outside edge of fascia: 18"



Roof Plan

Scale: 1/4" = 1'-0"

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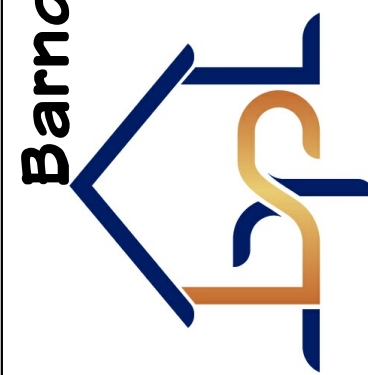
Designer shall have the right to include the Plans, renderings and drawings, including the project in promotional materials and to agree to provide reasonable access to the project for such purposes. The Designer's entire responsibility shall be solely to Owner and shall be limited to the Plans and drawings that are not marked "Not for Construction," etc. These Plans are "Builder Plans" and Designer shall not be responsible for items, details and specifications not included in the Plans, drawings or construction materials, methods

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A New Home Especially Designed for
SHELBY SMITH

to be constructed at
Job Address Line 1
Job Address Line 2

Barndoplans@gmail.com



Proj: New Residential FN: Drawn By: Michael Rothwell Last Update:
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Total Sheets: 13

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shelbyfront

Interior Elevations
Scale: 1/2" = 1'-0"

Electrical General Notes

Electrical - Smoke Alarm Notes

1. Notes on the electrical plans shall supersede conflicting notes herein. All electrical items shall be located & installed per the manufacturers instructions & all applicable codes including, but not necessary limited to, the National Electrical Code and the International Residential Code.
2. All required heights of outlets (electrical, telephone, tv data), switches (light, outlet, fans) & controls shall be measured to their center (TC) from the top of the slab or other unfinished floor (AF) unless otherwise noted.
3. All outlets at exterior, garage, basements, kitchen countertops, utility & baths shall be GFI circuit. All exterior outlets shall also be weatherproof.
4. Generally, outlets shall be set at 13" AF TC.
5. Generally, switches shall be set at 45" AF TC.
6. For outlets above countertops higher than 36", outlets & switches shall be set at 9" TC (6" TC if horizontal) above top of countertop.
7. Below counter outlets & switches shall be set at 9" TC (6" TC if horizontal) below top of countertop.
8. At countertop drops set outlets & switches horizontally midway between lower countertop top and upper countertop bottom.
9. Garage switches & outlets shall be set at 45" AF TC.
10. Assignment of ganged switches shall be decided by builder & clearly marked by electrician on blue contractor tape.
11. All exterior wall outlets shall be set at 18" TC above adjacent slab unless otherwise noted. All exterior yard outlets (including non-wall mounted) shall be 18" TC above rough grade unless otherwise noted. Per code, install at least one weatherproof outside outlet (a) on every deck, patio or porch & (b) at the front & back of home set at or below 78" above grade.
12. Outlets for kitchen appliances shall be set per manufacturer's requirements. When manufacturer has no use the following:

a. refrigerator shall be set at 45" AF TC;

b. built-in wall double oven shall be set at 18" AF TC;

c. built-in over-the-counter microwave shall be set at 78" AF TC;

d. vent hood at wall shall be set at 78" AF TC.
13. Thermostats, fireplace starters & kill switches shall be set at 60" AF TC.
14. Washer & dryer outlets shall be set at 45" AF TC.
15. Vanity strip lighting shall be set at 82" AF TC for 8' ceiling, 86" AF TC for 9' ceiling, & 90" AF TC for 10' ceiling.
16. All recessed cans shall be 6" unless otherwise noted and shall be interchangeable with wall washers or eyeballs. Provide add/delete cost in bid.
17. Recessed eyeballs shall be 30" to 36" from fireplace (centered on fireplace) or wall (per electrical schematic).
18. Suspended light fixtures (per Plan) shall be set 60" AF to lowest part of fixture.
19. Suspended light fixtures at foyer (per Plan) shall be set 96" AF to lowest part of fixture.
20. Wall mount light fixtures shall be set 72" AF TC of electrical box.
21. Set ceiling fan heights as follows:

a. Bottom of fan at 10'-0" AFF for ceiling higher than 10';

b. Bottom of fan at 8'-0" AFF for ceiling heights from 9' to 10';

c. flush to ceiling for ceiling heights less than 9'-0".
22. All ceiling fans shall have dimmer switches and light kits with separate dimmers unless otherwise noted. Wire dimmer nearest door for light.
23. All baths (50cfm), water closets (50cfm), kitchens (100cfm) & laundries (50cfm) shall have exhaust fans that vent to outside.
24. Each accessible attic space not otherwise lighted shall have one porcelain keyless light socket with a protective cage lighting the access area and controlled by a switch at the point of attic access. Near each piece of equipment requiring servicing & located in the attic space, install (a) one porcelain keyless light socket with protective cage controlled by a switch at the point of attic access & (b) one 110v outlet. All lighting outlets in the same attic space shall be switched together.
25. Receptacle outlet locations Per IRC: Receptacles in habitable rooms shall be spaced such that no point along the floor line in any wall space is more than 6' from an outlet. Any wall space 2 ft. or wider shall have an outlet.
26. Countertop receptacle outlet locations Per IRC: Each countertop 12" or wider shall have a receptacle outlet. Receptacle outlets shall be installed so that no point along the wall line is more than 24" measured horizontally from a receptacle outlet in that space. Exception: Receptacle outlets shall not be required on a wall directly behind a range, counter-mounted cooking unit or sink.) At least one receptacle outlet shall be installed at each island countertop space and each peninsular countertop space with a long dimension of 24 inches or greater and a short dimension of 12 inches or greater. Receptacle outlets shall be located not more than 20" above the countertop (or not more than 12" below the countertop for island and peninsular countertops where the countertop is flat across its entire surface and there are no means to mount a receptacle within 20 inches above the countertop).
27. Provide electrical power for & set one weatherproof 110V outlet within 25 feet of each A/C condenser.
28. Install water heater per Plans. Provide electrical power as required. Include overflow pan & drain to outside. Install per plumbing code or as otherwise required by local governing authorities.
29. Wire for garage door openers on each garage OH door & associated push buttons, sensors and keypads.
30. All branch circuits shall be protected by AFCI (ARC-fault circuit interrupter) breakers.
31. Fixtures that appear to be located or distributed about a center of a room or other item are to be installed exactly as such.
32. Fixtures that appear to be aligned with each other horizontally or vertically are to be installed exactly as such, including exterior fixtures on different floors.
33. Designer and/or owner to verify & approve all outlet, switch, fan & light locations at rough-in during an on-site walk-through.
34. Provide the equivalent of at least 2 watts/SF of incandescent lighting in kitchen areas.
35. Wire for smoke/carbon monoxide alarms, doorbells, data jacks, cable jacks & telephone jacks per plans and per codes.
36. All smoke/carbon monoxide alarms shall be direct wired & interconnected. Install one smoke alarm in each bedroom or sleeping area, in corridors leading to/from bedrooms & sleeping areas & at top & bottom of any stairs. Smoke alarms shall not be installed within 3' horizontally from (a) the door or opening of a bathroom that contains a bathtub or shower (unless necessary to meet other special requirements), (b) HVAC diffusers and ceiling fans.

Notes on the electrical plans shall supersede conflicting notes herein. All electrical items shall be located and installed per the manufacturers instructions and all applicable codes including, but not necessary limited to, the National Electrical Code (NEC) and the International Residential Code (IRC). Important provisions are listed here for convenience only:

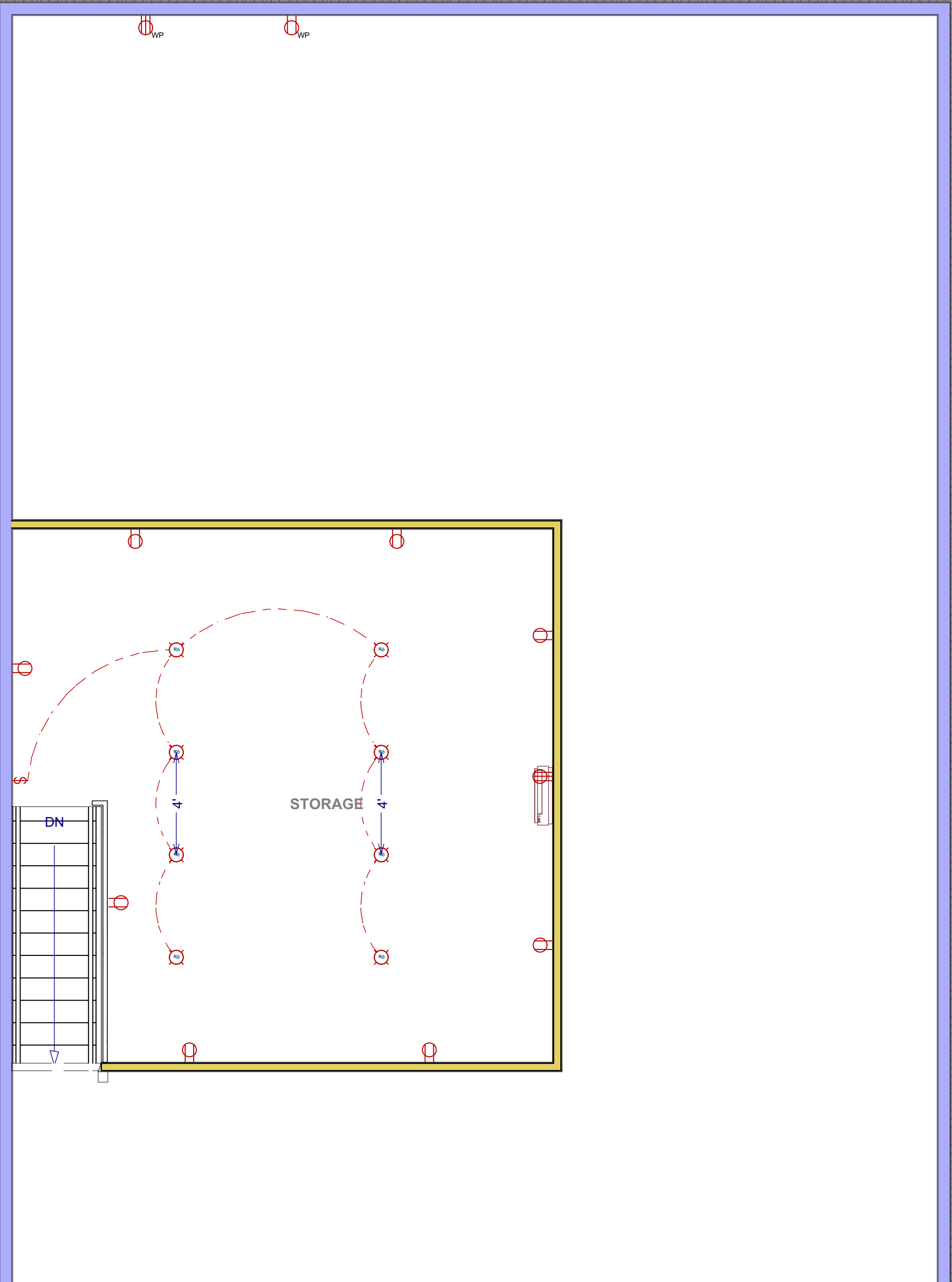
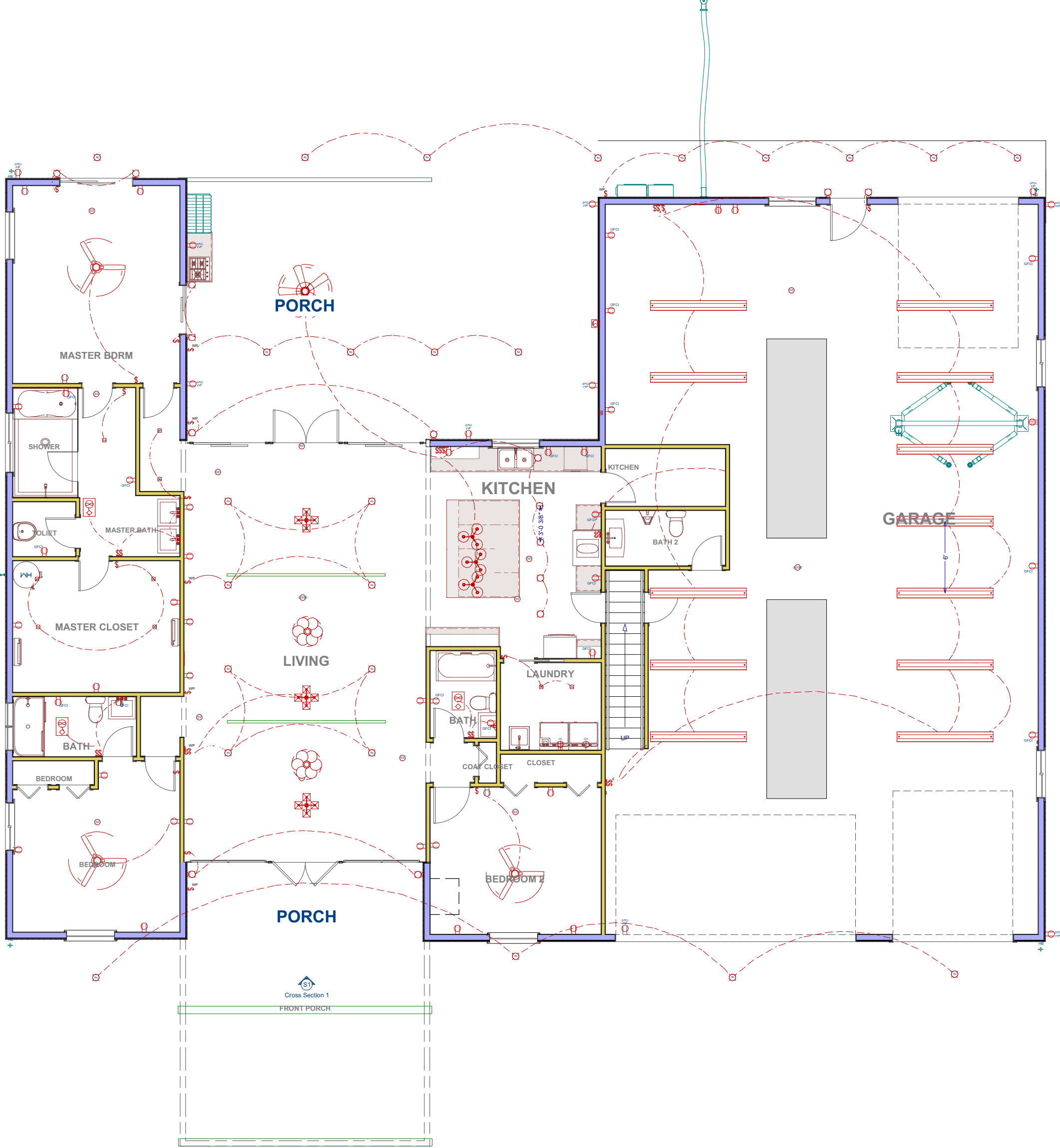
- R314.3 Location. Smoke alarms shall be installed in the following locations:
1. In each sleeping room.
2. Outside each separate sleeping area in the immediate vicinity of the bedrooms.
3. On each additional story of the dwelling, including basements and habitable attics and not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
4. Smoke alarms shall not be installed less than 3 feet horizontally from the door or opening of a bathroom that contains a bathtub or shower unless this would prevent placement of a smoke alarm required by Section R314.3.

- R314.3.1 Installation near cooking appliances. Smoke alarms shall not be installed in the following locations unless this would prevent placement of a smoke alarm in a location required by Section R314.3.
1. Ionization smoke alarms shall not be installed less than 20 feet horizontally from a permanently installed cooking appliance.
2. Ionization smoke alarms with an alarm-silencing switch shall not be installed less than 10 feet horizontally from a permanently installed cooking appliance.
3. Photoelectric smoke alarms shall not be installed less than 6 feet horizontally from a permanently installed cooking appliance.

R314.4 Interconnection. Where more than one smoke alarm is required to be installed within an individual dwelling unit in accordance with Section R314.3, the alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual dwelling unit. Physical interconnection of smoke alarms shall not be required where listed wireless alarms are installed and all alarms sound upon activation of one alarm. Exception: Interconnection of smoke alarms in existing areas shall not be required where alterations or repairs do not result in removal of interior wall or ceiling finishes exposing the structure, unless there is an attic, crawl space or basement available that could provide access for interconnection without the removal of interior finishes.

R314.5 Combination alarms. Combination smoke and carbon monoxide alarms shall be permitted to be used in lieu of smoke alarms.

R314.6 Power source. Smoke alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and, where primary power is interrupted, shall receive power from a battery. Wiring shall be permanent and without a disconnecting switch other than those required for overcurrent protection.



Specialty Wiring and Systems

(to be designed by others)

Specialty wiring accommodates systems beyond the basic home electrical systems. This wiring and/or the systems they support may or may not be installed depending on the desires of the Owner. These specialty systems and their required power is normally designed by specialists that may not be the main electrical subcontractor.

Owners are responsible for electing what systems they prefer and should consult such specialist well in advance so that timely decisions can be made, systems can be ordered and delivered, and power, space and other requirements can be communicated to and implemented by the appropriate people.

Such systems and wiring may include such items as:

1. interior and exterior built-in speakers, sound systems and their controls
2. wired and wireless data, Internet and TV systems
3. wired and wireless lighting systems (including interior and exterior scene lighting, holiday lighting, mood lighting and special effects)
4. interior and exterior low-voltage lighting
5. interior and exterior pathway, hallway and step/stairs lighting
6. switching, timers and controls (manual, motion, mechanical, digital, smart, photocells, astronomical)

PLAN NORTH

Electrical Schematic - Floor 1

Scale: 1/4" = 1'-0"

Read all notes on Sheet 1. These plans consist of and shall be used with all sheets present.

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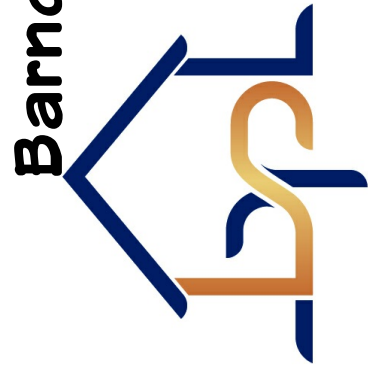
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Job Address Line 1
Job Address Line 2

Barndoplans@gmail.com



Proj: New Residential
FN:
Drawn By: Michael Rothwell
Last Update:

Total Sheets: 13

This Sheet:


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[illegible]

SHELBY SMITH
to be constructed at
Job Address Line 1
Job Address Line 2



Proj: New
Residential
FN:
Drawn By: Michael
Rothwell
Last Update:

Total Sheets: 13

This Sheet: 12

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Schedules: Door, Window, Cabinet, Electrical & Plumbing Fixture

Proj: New
Residential
FN:
Drawn By: Michael
Rothwell
Last Update:

Total Sheets: 13
This Sheet: 13



Foundation Schematic
Scale: 1/4" = 1'-0"