

# NHDES SHORELAND PERMIT APPLICATION



**GOODHUE MEREDITH REAL PROPERTY, LLC**  
**31 LOVEJOY SANDS ROAD**  
**Meredith, New Hampshire**

NHDES Shoreland Permit Application  
Goodhue Meredith Real Property, LLC – 31 Lovejoy Sands Road  
Meredith, New Hampshire  
March 2024

**NHDES SHORELAND PERMIT APPLICATION**

**FOR**

**GOODHUE MEREDITH REAL PROPERTY, LLC  
31 LOVEJOY SANDS ROAD  
Meredith, New Hampshire**

**MARCH 2024**

**PROJECT NO. 20818  
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Horizons Engineering, Inc.

**MAINE • NEW HAMPSHIRE • VERMONT**

## **TABLE OF CONTENTS**

**SHORELAND APPLICATION**

**COPY OF CHECK**

**AGENT AUTHORIZATION**

### **ATTACHMENTS**

**A – RECORDED DEED OF PROPERTY OWNER**

**B – USGS SURVEY MAP**

**C – TAX MAP**

**D – SITE PHOTOS**

**E – NHB REPORT**

**F – ABUTTERS LIST**

**G – CERTIFIED MAIL RECEIPTS**

**H – DESIGN PLANS WITH  
EXISTING CONDITIONS  
PROPOSED SITE  
EROSION AND DETAILS**

### **ALSO BY OTHERS**

**AMES ASSOCIATES – WETLAND CERTIFICATION PLAN**

**AMES ASSOCIATES – BOUNDARY SURVEY**

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Meredith, New Hampshire  
March 2024

## **SHORELAND APPLICATION**





**SHORELAND PERMIT APPLICATION**  
 Water Division/ Land Resources Management  
 Shoreland Program  
[Check the Status of your Application](#)



**RSA/Rule:** RSA 483-B, Env-Wq 1400

Administrative Use Only	Administrative Use Only	Administrative Use Only	File No.:
			Check No.:
			Amount:
			Initials:

This is an application for a permit to excavate, fill, construct new structures, or remove structures within the protected shoreland as regulated under RSA 483-B.

**SECTION 1 - PROJECT DESCRIPTION (Env-Wq 1406.07)**

Provide a concise description of the proposed project: THIS PROJECT INCLUDES BOAT LAUNCHING AND DOCKING IMPROVEMENTS. THE PURPOSE IS TO RELOCATE WATERCRAFT LAUNCHING OPERATIONS AND RECONFIGURE A PORTION OF THE EXISTING MAJOR DOCKING SYSTEM. THE EXISTING COMMERCIAL BOAT LAUNCH WILL BE RECONSTRUCTED AND A NEGATIVE LIFT/WELL IS PROPOSED WHICH WILL REQUIRE A DUG-IN BASIN AS PART OF THE LAUNCHING IMPROVEMENTS.

SHORELAND IMPACTS BETWEEN RLE & TOP OF BANK ARE EXEMPTED, PER Env-Wq 1406.02(B)(2).

**SECTION 2 - PROJECT LOCATION (Env-Wq 1406.07)**

ADDRESS: 31 Lovejoy Sands Road	TOWN/CITY: MEREDITH	STATE: NH	ZIP CODE: 03253
WATERBODY NAME: LAKE WINNIPESAUKEE	TAX MAP/ BLOCK/LOT NUMBER : U35 / 8A		

**SECTION 3 - PROPERTY OWNER & DEED INFORMATION (Env-Wq 1406.07)**

The legal name of each property owner must be as it appears on the deed of record. If the owner is a trust or a company, then the name of the trust or company should be written as the owner's name.

LAST NAME, FIRST NAME, M.I.: Goodhue Meredith Real Property, LLC

MAILING ADDRESS: 31 Lovejoy Sands Road	TOWN/CITY: Meredith	STATE: NH	ZIP CODE: 03253
PHONE: 603-279-4573	EMAIL (if available): codyg@goodhueboat.com		

REGISTRY OF DEED COUNTY Belknap, BOOK NUMBER 3123, PAGE NUMBER 110

**SECTION 4 - APPLICANT (DESIRED PERMIT HOLDER), IF DIFFERENT THAN OWNER (Env-Wq 1406.07)**

If the applicant is a trust or a company, then the name of the trust or company should be written as the applicant's name. If the applicant is the owner, leave blank and check the following box: ☒.

LAST NAME, FIRST NAME, M.I.:

MAILING ADDRESS:	TOWN/CITY:	STATE:	ZIP CODE:
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[shoreland@des.nh.gov](mailto:shoreland@des.nh.gov) or (603) 271-2147

NHDES Shoreland Program, 29 Hazen Drive, PO Box 95, Concord, NH 03302-0095



<http://www.des.nh.gov>

PHONE: [REDACTED]	EMAIL (if available): [REDACTED]		
<b>SECTION 5 - CONTRACTOR OR AGENT (OPTIONAL)</b>			
LAST NAME, FIRST NAME, M.I.: Davis, Will T.; Horizons Engineering, Inc.			
ADDRESS: 176 Newport Road, Suite 8	TOWN/CITY: New London	STATE: NH	ZIP CODE: 03257
PHONE: 603-877-0116	EMAIL (if available): wdavis@horizonsengineering.com		
<b>SECTION 6 - CRITERIA (Env-Wq 1406.07)</b>			
<p><b>Please check at least one of the following criteria:</b></p> <p><input checked="" type="checkbox"/> This shoreland permit application requires neither a proposal to make the property more nearly conforming nor a request for a waiver of a minimum standard.</p> <p><input type="checkbox"/> This shoreland permit application includes a proposal to make the structures and/or the property <a href="#">more nearly conforming</a> in accordance with RSA 483-B:11.</p> <p><input type="checkbox"/> This shoreland permit application includes a <a href="#">request for a waiver</a> of the following minimum standard(s): RSA 483-B:9, V [REDACTED].</p>			
<b>SECTION 7 - RELATED NHDES LAND RESOURCES MANAGEMENT PERMIT APPLICATIONS ASSOCIATED WITH THIS PROJECT (Env-Wq 1406.14)</b>			
Please indicate if any of the following permits are required and, if required, the status of the application.			
Permit Type	Permit Required	File Number	Permit Application Status
Alteration of Terrain Permit per RSA 485-A:17	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	[REDACTED]	<input type="checkbox"/> APPROVED <input type="checkbox"/> PENDING <input type="checkbox"/> DENIED
Individual Sewerage Disposal per RSA 485-A:29	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	[REDACTED]	<input type="checkbox"/> APPROVED <input type="checkbox"/> PENDING <input type="checkbox"/> DENIED
Subdivision Approval per RSA 485-A:29	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	[REDACTED]	<input type="checkbox"/> APPROVED <input type="checkbox"/> PENDING <input type="checkbox"/> DENIED
Wetlands Permit per RSA 482-A	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	[REDACTED]	<input type="checkbox"/> APPROVED <input checked="" type="checkbox"/> PENDING <input type="checkbox"/> DENIED
<b>SECTION 8 - REFERENCE LINE ELEVATION (Env-Wq 1406.07)</b>			
Required for projects located on the protected shoreland of lakes or ponds. The reference line elevations for most lakes, ponds, and artificial impoundments greater than 10 acres in size are listed in the Consolidated List of Waterbodies Subject to the Shoreland Water Quality Protection Act. Please see RSA 483-B:4, XVII for the definition of reference line.			
REFERENCE LINE ELEVATION: 503.88 (NAVD88) feet above sea level.			
<b>SECTION 9 - APPLICATION FEE &amp; SUBMITTAL (RSA 483-B:5-b, I(b); RSA 483-B:5-b, X)</b>			
<p>A non-refundable permit application fee of \$200 plus \$0.20 per total square feet of impact for restoration of water quality improvement projects, or \$400 plus \$0.20 per total square feet of impact for all other projects is required at the time the application is submitted. <b>Applications for projects solely funded by municipal, county, state, or federal entities shall incur a permitting fee no greater than \$3,750.</b></p> <p>Please mail or hand deliver this application and all required attachments to the NHDES Wetlands Bureau, PO Box 95, Concord, NH 03302-0095. Missing information will delay processing your application and may result in denial of a shoreland permit application. <b>Please make checks payable to the Treasurer, State of NH.</b></p>			

[shoreland@des.nh.gov](mailto:shoreland@des.nh.gov) or (603) 271-2147

NHDES Shoreland Program, 29 Hazen Drive, PO Box 95, Concord, NH 03302-0095

<http://www.des.nh.gov>

<b>SECTION 10 - CALCULATING TOTAL IMPACT AREA/ PERMIT APPLICATION FEE (RSA 483-B:5-b, I(b); RSA 483-B:5-b, X)</b>		
Total impact area is calculated by determining the sum of all areas disturbed by regrading, excavating, filling, construction, or structure removal. Impacts often include, but are not limited to: constructing new driveways, constructing new structures, areas disturbed when installing septic systems and foundations, creating temporary access roads to drill a new well, and regrading associated with landscaping activities.		
TOTAL AREA IMPACTED WITHIN THE PROTECTED SHORELAND = <b>4,010 (A) square feet</b>		
<ul style="list-style-type: none"> <li><b>For restoration of water quality improvement projects:</b> Multiply line (A) by \$0.20 and add \$200. <math>[(A) \times \\$0.20 + \\$200] = \\$</math> <span style="border: 1px solid black; padding: 0 20px;"> </span> <b>Permit fee<sup>1</sup></b></li> <li><b>For all other projects:</b> Multiply line (A) by \$0.20 and add \$400. <math>[(A) \times \\$0.20 + \\$400] = \\$</math> <b>1,202.00 Permit fee<sup>1</sup></b></li> </ul>		
<b>SECTION 11 - REQUIRED CERTIFICATIONS (Env-Wq 1406.08; Env-Wq 1406.10(a))</b>		
By initialing within the blank before each of the following statements, and signing below, you are certifying that:		
Initials: <b>CG</b>	The information provided is true, complete, and not misleading to the knowledge and belief of the signer.	
Initials: <b>CG</b>	I understand that: <ul style="list-style-type: none"> <li>Any permit or waiver granted based on false, incomplete, or misleading information shall be subject to revocation.</li> <li>I am subject to the applicable penalties in RSA 641, Falsification in Official Matters. And</li> <li>Obtaining a shoreland permit shall not exempt the work proposed from other state, local, or federal approvals.</li> </ul>	
Initials: <b>CG</b>	I have notified the governing body of the municipality or municipalities in which the property is located by certified mail, in accordance with Env-Wq 1406.13.	
Initials: <b>CG</b>	I have notified all abutters <sup>2</sup> of the proposed impacts via certified mail, in accordance with Env-Wq 1406.13.	
Initials: <b>CG</b>	<input type="checkbox"/> This project is within ¼ mile of a designated river and I have notified the Local River Management Advisory Committee (LAC) by providing the LAC with a copy of the complete application, including all supporting materials, via certified mail, in accordance with Env-Wq 1406.13. <input checked="" type="checkbox"/> This project is <b>not</b> within ¼ mile of a designated river.	
Initials: <b>CG</b>	For any project proposing that the impervious area be at least 15% but not more than 20% within the protected shoreland, I certify that the impervious area is not more than 20%. <input type="checkbox"/> N/A	
<b>SECTION 12 - REQUIRED SIGNATURES (Env-Wq 1406.08)</b>		
Both the property owner and applicant must sign the application.		
SIGNATURE (OWNER): 	PRINT NAME LEGIBLY: <b>CODY GRAY</b>	DATE: <b>03/11/24</b>
SIGNATURE (APPLICANT, IF DIFFERENT FROM OWNER): 	PRINT NAME LEGIBLY: <b>WILL T. DAVIS, PE, AS AGENT</b>	DATE: <b>03/18/2023</b>

<sup>1</sup> Applications for projects solely funded by municipal, county, state, or federal entities shall incur a permitting fee no greater than \$3,750.

<sup>2</sup> "Abutter" means any person who owns property that is immediately contiguous to the property on which the proposed work will take place, or who owns flowage rights on such property. The term does not include those properties separated by a public road or more than ¼ mile from the limits of the proposed work. If contiguous properties are owned by the person who is proposing the work, then the term includes the person owning the next contiguous property, subject to the ¼ mile limitation.

NHDES Shoreland Permit Application  
Goodhue Meredith Real Property, LLC – 31 Lovejoy Sands Road  
Meredith, New Hampshire  
March 2024

## **SHORELAND WORKSHEET**

## SHORELAND APPLICATION WORKSHEET

This worksheet *must* be submitted to the NHDES Wetlands Bureau with every Shoreland Permit Application. **A separate shoreland application worksheet must be submitted for each individual lot of record where impacts are proposed.**

For the purposes of this worksheet, “**pre-construction**” impervious surface area<sup>3</sup> means all human made impervious surfaces<sup>4</sup> currently present within the protected shoreland of a lot, whether to be removed or to remain after the project is completed. “**Post-construction**” impervious area means all impervious surfaces that will exist within the protected shoreland of a lot upon completion of the project, including both new and any remaining pre-construction impervious surfaces. All answers shall be given in square feet.

### Calculating the Impervious Area of a Lot

CALCULATING THE IMPERVIOUS AREA OF A LOT WITHIN 250 FEET OF THE REFERENCE LINE (Env-Wq 1406.12)			
	STRUCTURE DESCRIPTION	PRE-CONSTRUCTION IMPERVIOUS AREAS	POST-CONSTRUCTION IMPERVIOUS AREAS
<b>PRIMARY STRUCTURE(S)</b> House and all <b>attached</b> decks and porches.	PRIMARY STRUCTURES	14,062 FT <sup>2</sup>	14,062 FT <sup>2</sup>
<b>ACCESSORY STRUCTURES</b> All other impervious surfaces excluding lawn furniture, well heads, and fences. Common accessory structures include, but are not limited to: driveways, walkways, patios, and sheds.	ACCESSORY STRUCTURES	0 FT <sup>2</sup>	0 FT <sup>2</sup>
	DRIVEWAYS	41,480 FT <sup>2</sup>	41,446 FT <sup>2</sup>
	WALKS/RET WALLS/PADS	29 FT <sup>2</sup>	53 FT <sup>2</sup>
		FT <sup>2</sup>	FT <sup>2</sup>
		FT <sup>2</sup>	FT <sup>2</sup>
		FT <sup>2</sup>	FT <sup>2</sup>
<b>TOTAL:</b>		<b>(A) 55,571 FT<sup>2</sup></b>	<b>(B) 55,561 FT<sup>2</sup></b>
Area of the lot located within 250 feet of reference line:			<b>(C) 99,421 FT<sup>2</sup></b>
Percentage of lot covered by pre-construction impervious area within 250 feet of the reference line: <i>[divide (A) by (C) x 100]</i>			<b>(D) 55.9 %</b>
Percentage of lot to be covered by post-construction impervious area within 250 feet of the reference line upon completion of the project: <i>[divide (B) by (C) x 100]</i>			<b>(E) 55.9 %</b>

<sup>3</sup> “**Impervious surface area**” as defined in Env-Wq 1402.13 means, for purposes of the impervious surface limitation specified in RSA 483-B:9, V(g), the sum total of the footprint of each impervious surface that is located within the protected shoreland.

<sup>4</sup> “**Impervious Surface**” as defined in RSA 483-B:4, VII-b means any modified surface that cannot effectively absorb or infiltrate water. Examples of impervious surfaces include, but are not limited to, roofs, and unless designed to effectively absorb or infiltrate water, decks, patios, and paved, gravel, or crushed stone driveways, parking areas, and walkways.

## Stormwater Management Requirements

THE IMPERVIOUS AREA THRESHOLDS (RSA 483-B:9, V(g))
<input checked="" type="checkbox"/> A net decrease or no net increase in impervious area is proposed (If <b>line E</b> is less than or equal to <b>line D</b> ).
<input type="checkbox"/> The percentage of post-construction impervious area ( <b>line E</b> ) is less than or equal to 20%.  This project <b>does not</b> require a stormwater management plan and <b>does not</b> require a plan demonstrating that each waterfront buffer grid segment at least meets the minimum required tree and sapling point score.
<input type="checkbox"/> A net increase in impervious area is proposed and the percentage of post-construction impervious area ( <b>line E</b> ) is greater than 20%, but less than 30%.  This project <b>requires</b> a stormwater management but, <b>does not</b> require a plan demonstrating that each waterfront buffer grid segment at least meets the minimum required tree and sapling point score.  <i>See details on the Application Checklist</i>
<input type="checkbox"/> A net increase in impervious area is proposed and the percentage of post-construction impervious area ( <b>line E</b> ) is greater than 30%.  This project <b>requires</b> a stormwater management plan designed and certified by a professional engineer <b>and</b> <b>requires</b> plans demonstrating that each waterfront buffer grid segment meets at least the minimum required tree and sapling point score.  <i>See details on the Application Checklist</i>

## Natural Woodland Area Requirement

DETERMINING THE AREA TO REMAIN AS NATURAL WOODLAND	
Total area of the lot between 50 feet and 150 feet of the reference line within which the vegetation currently exists as natural woodland <sup>5</sup> ( <b>see definition below</b> ).	(F) 3,759 FT <sup>2</sup>
Total area of the lot between 50 feet and 150 feet from the reference line.	(G) 44,789 FT <sup>2</sup>
At least 25% of area (G) must remain in as natural woodland. $[0.25 \times G]$	(H) 11,197 FT <sup>2</sup>
Place the lesser of area (F) and calculation (H) on this line. In order to remain compliant with the <b>natural woodland area requirement</b> , this is the minimum area that must remain as natural woodland between 50 feet and 150 feet from the reference line. This area <b>must</b> be represented on all plans and this area, exclusive of existing lawn, must remain in an unaltered state <sup>6</sup> .	(I) 3,759 FT <sup>2</sup>
Name of person who prepared this worksheet: Drew MacDermott, PE	
Name and date of the plan this worksheet is based upon: Local & State Tables, Nov 2023	

<sup>5</sup> “**Natural Woodland**” means a forested area consisting of various species of trees, saplings, shrubs, and ground covers in any combination and at any stage of growth (483-B:4, XI).

<sup>6</sup> “**Unaltered State**” means native vegetation allowed to grow without cutting, limbing, trimming, pruning, mowing, or other similar activities except as needed for renewal or to maintain or improve plant health (483-B:4, XXIV-b).

NHDES Shoreland Permit Application  
Goodhue Meredith Real Property, LLC – 31 Lovejoy Sands Road  
Meredith, New Hampshire  
March 2024

## **COPY OF CHECK**

**DBA SHEP BROWN'S BOAT BASIN****6991**

Treasurer - State of NH

Check Date 02/23/24

Check No. 6991

Invoice No.      Inv Date  
feesmeredith      02/22/2024  
feesmeredithpermits 02/22/2024

Description  
Shoreline Fee Goodhue  
Wetland Fee Goodhue Me

Discount Taken	Amount Paid
\$0.00	\$1,202.00
\$0.00	\$37,872.80

PRODUCT SSLB120    USE WITH 91564 ENVELOPE

Deluxe Corporation 1-800-328-0304 or [www.deluxe.com/shop](http://www.deluxe.com/shop)

PRINTED IN U.S.A.

Check Total

A

**\$39,074.80****GOODHUE MEREDITH LLC**

31 LOVEJOY SANDS RD  
MEREDITH, NH 03253



54-7293/2117

**6991**

02/23/2024

Pay to the  
Order of

Treasurer - State of NH

**\$39,074.80****\*\*\* Thirty-Nine Thousand Seventy-Four Dollars and 80 Cents \*\*\***

Treasurer - State of NH



*[Signature]*  
AUTHORIZED SIGNATURE

Security features. Details on back.



⑈006991⑈ ⑆211772936⑆ 06 700503⑈



NHDES Shoreland Permit Application  
Goodhue Meredith Real Property, LLC – 31 Lovejoy Sands Road  
Meredith, New Hampshire  
March 2024

## **AGENT AUTHORIZATION**

03/11/24

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Date

NH Department of Environmental Services  
P.O. Box 95  
Concord, NH 03302

To Whom It May Concern:

By this letter, I/We hereby authorize Horizons Engineering, Inc. to act as my/our Agent to apply for and coordinate permit applications on my/our behalf in regard to the Goodhue Meredith Boat Launch Improvements project at Tax Map U35 Lot 8A in Meredith, NH. I/We agree to the conditions stated on the application forms.

Sincerely,

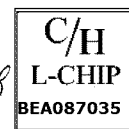


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Cody Gray  
Vice President, Operations  
Goodhue Meredith Real Property, LLC

**ATTACHMENT A**

**RECORDED DEED OF CURRENT PROPERTY OWNER**

*Judith A. McGrath*

STATE OF NEW HAMPSHIRE	
DEPARTMENT OF REVENUE ADMINISTRATION	REAL ESTATE TRANSFER TAX
***63 Thousand 7 Hundred 50 Dollars	
DATE	AMOUNT
08/21/2017	BE840255 \$***63750.00
VOID IF ALTERED	

WARRANTY DEED \$ 63,750.00

**DEEP WATER MARINE MANAGEMENT, INC.**, a New Hampshire corporation,  
with a place of business at 12 Ridgeline Loop, Gilford, Belknap County, New Hampshire 03249,  
for consideration paid, grants to **GOODHUE MEREDITH REAL PROPERTY, LLC**, a New  
Hampshire limited liability company, with a mail address of P.O. Box 853, Wolfeboro, Carroll  
County, New Hampshire 03894, with **WARRANTY COVENANTS**,

Four certain lots, with the buildings and other improvements thereon, situate at 2 Lovejoy Lane (Tax Map U35-12), 19 Lovejoy Sands Road (Tax Map U35-14), 20 Lovejoy Sands Road (Tax Map U35-8A), and 31 Lovejoy Sands Road (Tax Map U35-11) in Meredith, Belknap County, New Hampshire, as shown on a "Boundary Survey, Land of Deepwater Marine Management, Inc., Tax Map U35, Lots 8A, 11, 12 & 14, Lovejoy Sands Road, Town of Meredith, Belknap County, New Hampshire" dated August 14, 2017 and recorded on August 17, 2017 at Plan Drawer L78, Page 65, being more particularly described as follows:

**2 Lovejoy Lane (Tax Map U35-12)**

Beginning at a 5/8" capped rebar labeled "DMC Surveyors" on the southerly side of Lovejoy Sands Road and being the northerly corner of the herein described lot;  
thence turning S 38° 42' 49" E and running 54.29' by Tax Map U35-11 to a rebar;  
thence turning S 87° 19' 02" E and running 24.72' by Tax Map U35-11 to a point;  
thence turning S 87° 19' 02" E and running 37.95' by Tax Map U35-11 to a rebar;  
thence turning S 00° 14' 59" W and running 7.47' by Tax Map U35-11 to a rebar;  
thence turning S 60° 09' 44" E and running 3', more or less, by Tax Map U35-11 to the shore of Lake Winnepesaukee;  
thence turning southeasterly and running by the shore of Lake Winnepesaukee to a point;  
thence turning S 85° 17' 38" W and running a short distance to an iron rod;

the tie course between the last mentioned rebar and iron rod being S 20° 49' 16" W a distance of 89.21';  
 thence continuing S 85° 17' 38" W and running 195.45' by Tax Map U35-12A to an iron bolt;  
 thence turning N 07° 30' 25" W and running 94.02' by Lovejoy Lane to a rebar;  
 thence turning N 66° 16' 45" E and running 6.72' by Lovejoy Sands Road to a rebar;  
 thence turning N 67° 32' 32" E and running 147.28' by Lovejoy Sands Road to the point of beginning.

Said lot contains 0.57 acres, more or less.

Reference is also made hereby to a Boundary Line Agreement between Elizabeth M. Sweetser and Winnifred V. Cullen recorded at Book 246, Page 134.

Subject to that 2014 Boundary Line Agreement between Deep Water Marine Management, Inc. and Deep Water Marine Management, Inc. recorded at Book 2900, Page 871.

Also conveying all of the Borrower's interest in littoral rights related to the subject property. See Restrictive Covenant of Deep Water Marine Management, Inc., Christopher A. Goddard, Denise J. Goddard, Jennifer Fowler, Robert N. Goddard, Karen P. Goddard, Nancy Chase, Gardner P. Chase and Sandra Brelsford recorded June 10, 2015, in Book 2973, Page 723.

2 Lovejoy Lane is the same premises described in deed of Brian Moriarty to Deep Water Marine Management, Inc. dated November 25, 2002, recorded in Book 1816, Page 733, Belknap County Registry of Deeds.

### **19 Lovejoy Sands Road - Tax Map U35-14**

Beginning at a rebar at the northeasterly corner of the within described parcel at the southwesterly corner of Lovejoy Sands Road and Lovejoy Lane;  
 thence turning S 07° 30' 25" E and running 165.74' by Lovejoy Lane to an iron rod;  
 thence turning S 63° 49' 45" W and running 91.25' by Tax Map U35-13 to an iron pipe;  
 thence turning S 64° 23' 43" W and running 66.56' by Tax Map U35-13 to an iron pipe;  
 thence turning S 16° 27' 52" E and running 174.43' by Tax Map U35-13 to a rebar;  
 thence turning S 53° 13' 59" W and running 300.93' by Tax Map U34-23B to a point;  
 thence continuing S 53° 13' 59" W and running 112.81' by Tax Map U34-23B to a point;  
 thence turning N 34° 11' 55" W and running 310.05' by Tax Map U34-20 to a rebar;  
 thence turning N 32° 24' 07" E and running 151.22' by Lovejoy Sands Road to a rebar;  
 thence turning northeasterly and running along the arc of a curve having a radius of 436.00' a distance of 127.01' by Lovejoy Sands Road to a rebar;  
 thence turning N 63° 59' 57" E and running 251.24' by Lovejoy Sands Road to a rebar;  
 thence turning N 63° 26' 01" E and running 184.70' by Lovejoy Sands Road to the point of beginning.

Said lot contains 4.30 acres, more or less.

**20 Lovejoy Sands Road - Tax Map U35-8A**

Beginning at a point on the northerly side of Lovejoy Sands Road at the intersection of Lovejoy Sands Road and Meredith Neck Road;  
 thence turning N 17° 14' 26" W and running 220.79' by Meredith Neck Road to an iron pipe set at the intersection of a stonewall;  
 thence turning N 72° 36' 38" E and running 159.64' by Tax Map U35-8B to a point at an intersection of stonewalls;  
 thence turning N 10° 04' 26" W and running 181.32' by Tax Map U35-8B to an iron pipe;  
 thence turning N 61° 28' 23" E and running 1,813.43' by Tax Map U35-8C, U35-8E, U35-8F, U35-8H, U35-8I, U35-8K and U35-8K-5 to an iron pipe;  
 thence continuing N 61° 28' 23" E and running 5.5', more or less, to the shore of Lake Winnepesaukee;  
 thence turning southeasterly and southwesterly and running by the shore of Lake Winnepesaukee to point;  
 thence turning S 71° 23' 46" W and running 7', more or less, by Tax Map U35-10 to an iron pipe; the tie lines between the last two mentioned iron pipes being S 05° 51' 46" E a distance of 131.79' to a rebar and S 37° 51' 03" W a distance of 302.08';  
 thence continuing S 71° 23' 46" W and running 88.25' by Tax Map U35-10 to an iron pipe;  
 thence turning N 19° 52' 40" W and running 33.00' by Tax Map U35-10 to a rebar;  
 thence turning S 70° 07' 20" W and running 304.40' by Tax Map U35-10 to a rebar;  
 thence turning S 32° 49' 12" E and running 33.35' by Tax Map U35-10 to a rebar;  
 thence turning S 18° 27' 32" E and running 100.00' by Tax Map U35-10 to a rebar;  
 thence turning S 63° 26' 01" W and running 202.79' by Lovejoy Sands Road to an iron pipe;  
 thence turning S 63° 59' 57" W and running 251.08' by Lovejoy Sands Road to a rebar;  
 thence turning southwesterly and running along the arc of a curve having a radius of 469.00' a distance of 136.62' by Lovejoy Sands Road to a point;  
 thence turning N 42° 41' 27" W and running 1.00' by Lovejoy Sands Road to a point;  
 thence turning southwesterly and running along the arc of a curve having a radius of 470.00' a distance of 53.41' by Lovejoy Sands Road to a rebar;  
 thence turning S 40° 44' 50" W and running 189.71' by Lovejoy Sands Road to a rebar;  
 thence turning S 61° 00' 54" W and running 151.33' by Lovejoy Sands Road to a rebar;  
 thence turning S 61° 49' 13" W and running 376.37' by Lovejoy Sands Road to the point of beginning.

Said lot contains 12.00 acres, more or less.

**31 Lovejoy Sands Road (Tax Map U35-11)**

Beginning at a 5/8" capped rebar labeled "DMC Surveyors" on the southerly side of Lovejoy Sands Road and being the westerly corner of the herein described lot;  
 thence turning S 38° 42' 49" E and running 54.29' by Tax Map U35-12 to a rebar;  
 thence turning S 87° 19' 02" E and running 24.72' by Tax Map U35-12 to a point;  
 thence turning S 87° 19' 02" E and running 37.95' by Tax Map U35-12 to a rebar;  
 thence turning S 00° 14' 59" W and running 7.47' by Tax Map U35-12 to a rebar;  
 thence turning S 60° 09' 44" E and running 3', more or less, by Tax Map U35-12 to the shore of Lake Winnepesaukee;  
 thence turning northerly, easterly, northerly, westerly, northerly, westerly, northerly, westerly and northerly by "existing shop/office" and the shore of Lake Winnepesaukee to Lovejoy Sands Road;  
 the direct tie course between the last two mentioned points being S 10° 06' 16" W a distance of 101.60';  
 thence turning S 67° 32' 32" W and running 123.73' to the point of beginning.

Said lot contains 0.23 acres, more or less.

19, 20 and 31 Lovejoy Sands Road are the same premises described in deed of Marina Cove Associates to Deep Water Marine Management, Inc. dated November 25, 2002, recorded at Book 1816, Page 728, Belknap County Registry of Deeds.

All of the above properties are conveyed together with any and all rights, rights of way, and easements benefitting the same.

SUBJECT TO and WITH THE BENEFIT OF the Easement Agreement between Marina Cove Associates and the Town of Meredith recorded in the Belknap County Registry of Deeds on November 15, 2002, at Book 1813, Page 237.

Also subject to the following:

1. Encroachments, utility easements and rights of way as shown on the Plan;
2. The effect, if any, of conditions recited in the deed of George P. Kimball to Elizabeth D. Embler dated July 30, 1925 pertaining to the "reserved" parcel and the parcel lying between the "reserved" parcel and Lake Winnepesaukee. See also the deed of Stuart M. Link to the Town of Meredith dated August 17, 1948, recorded in said Registry at Book 305, Page 35, which states that no buildings shall be erected on the land described and conveyed in the deed lying between land formerly of Brown and the Lake to be used for garage or mercantile purposes, as amended in an Indenture dated May 24, 1958, recorded in said Registry at Book 388, Page 29;

3. Boundaries of Lovejoy Sands Road shown on the Plan.
4. Boundary Line Agreement by and between Deep Water Marine Management, Inc. as owner of TM U-35, Lot 11 and Deep Water Management, Inc. as owner of TM U-35, Lot 12 dated February 3, 2014, recorded in Book 2900, Page 871.

This deed is signed this 18<sup>th</sup> day of August, 2017, by William G. Littlefield, Jr., the duly authorized President of Deep Water Marine Management, Inc.

**Deep Water Marine Management, Inc.**

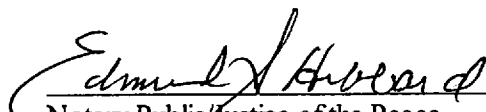
By: 

Name: William G. Littlefield, Jr.

Its: President

**STATE OF NEW HAMPSHIRE  
COUNTY OF CARROLL**

On this 18<sup>th</sup> day of August, 2017, personally appeared before me, **William G. Littlefield, Jr.**, known to me (or satisfactorily proven to be) the person whose name appears subscribed to the within instrument, and acknowledged that he is the President of Deep Water Marine Management, Inc. and that he executed the instrument for the purposes contained therein on behalf of Deep Water Marine Management, Inc. as its President.

  
Notary Public/Justice of the Peace  
Type/Print Name: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

**Edmund S. Hibbard  
NOTARY PUBLIC - NEW HAMPSHIRE  
My Commission Expires January 28, 2020**



## **ATTACHMENT B**

### **USGS SURVEY MAP**

Z:\proj\_2020\20818 Goodhue - 31 Lovejoy Sands\DWGS\Base\20818\_USGS.dwg, USGS 2023 WET, 10/26/2023 12:21:41 PM, DrewMacDermott



Littleton NH • New London NH • Newport VT • Pomfret VT  
603-444-4111 603-877-0116 802-334-6434 802-457-3151

GOODHUE MEREDITH, LLC  
31 LOVEJOY SANDS ROAD  
MEREDITH, NEW HAMPSHIRE

USGS LOCATION MAP

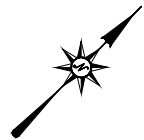


PROJECT #:	20818
ENGIN'D BY:	---
DRAWN BY:	WAM
DATE:	OCT 2023

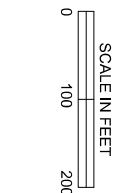
**ATTACHMENT C**

**TAX MAP EXHIBIT**

PROPERTY MAP  
**MEREDITH**  
NEW HAMPSHIRE

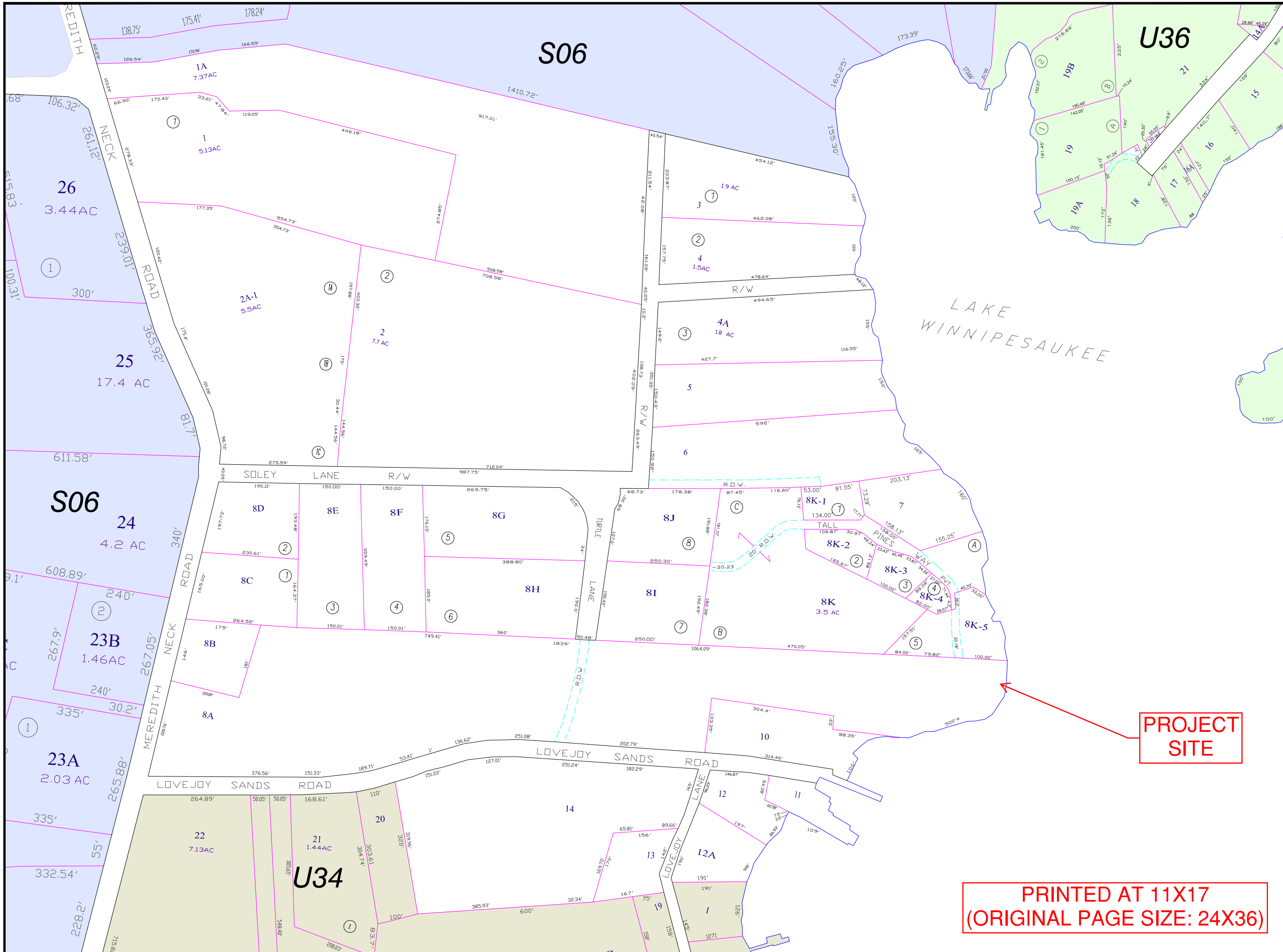


LEGEND	
ABUTTING MAP NO.	R11
PARTIAL NUMBER	74
SUBDIVISION LOT NO.	⑦
STREET ADDRESS NO.	18
LOT DIMENSION	156'
PROPERTY LINES	—
RIGHT OF WAY	—
EASEMENT	—



John E. O'Donnell & Associates  
632 Bald Hill Road  
New Gloucester, Maine 04260

U35



## **ATTACHMENT D**

### **SITE PHOTOS**





Photo # 1

View North of Existing Building “B-6” and Existing Trees Along Shoreline  
(Existing Docks in Photo to Remain)



Photo # 2

View East of ‘Eastern’ Existing Docks to be Reconfigured at  
Proposed Location of Boat Launch & Negative Lifts



176 Newport Road, Suite 8  
New London, NH 03257  
(603) 877-0116

**31 LOVEJOY SANDS ROAD**  
**Meredith, NH**  
**Project Photos**  
**Project No. 20818**  
**Photo Date: 05/12/2020**



Photo # 3  
View South Along Shoreline at Existing Commercial Boat Launch  
(Proposed Location of Boat Launch & Negative Lifts)



Photo # 4  
View West of Existing Commercial Boat Launch



176 Newport Road, Suite 8  
New London, NH 03257  
(603) 877-0116

**31 LOVEJOY SANDS ROAD**  
**Meredith, NH**  
**Project Photos**  
**Project No. 20818**  
**Photo Date: 05/12/2020**

NHDES Shoreland Permit Application  
Goodhue Meredith Real Property, LLC – 31 Lovejoy Sands Road  
Meredith, New Hampshire  
March 2024

## **ATTACHMENT E**

### **NHB REPORT**



# New Hampshire Natural Heritage Bureau

## NHB DataCheck Results Letter

---

**To:** Drew MacDermott  
176 Newport Road  
Suite 8  
New London, NH 03257

**From:** NH Natural Heritage Bureau

**Date:** 10/25/2023 (This letter is valid through 10/25/2024)

**Re:** Review by NH Natural Heritage Bureau of request dated 10/25/2023

**Permit Types:** Shoreland Standard Permit  
Wetland Standard Dredge & Fill - Minor  
Meredith

**NHB ID:** NHB23-3103

**Applicant:** Drew MacDermott

**Location:** Meredith  
Tax Map: u35, Tax Lot: 8A  
Address: 31 Lovejoy Sands Road

**Proj. Description:** Partial removal of existing docks, expand length and width of existing commercial boat ramp (30' wide x 50' long, approx), new "negative lift" dug-in basin, and associated grading improvements.

The NH Natural Heritage database has been checked for records of rare species and exemplary natural communities near the area mapped below. The species considered include those listed as Threatened or Endangered by either the state of New Hampshire or the federal government. We currently have no recorded occurrences for sensitive species near this project area.

A negative result (no record in our database) does not mean that a sensitive species is not present. Our data can only tell you of known occurrences, based on information gathered by qualified biologists and reported to our office. However, many areas have never been surveyed, or have only been surveyed for certain species. An on-site survey would provide better information on what species and communities are indeed present.

Based on the information submitted, no further consultation with the NH Fish and Game Department pursuant to Fis 1004 is required.

New Hampshire Natural Heritage Bureau  
NHB DataCheck Results Letter

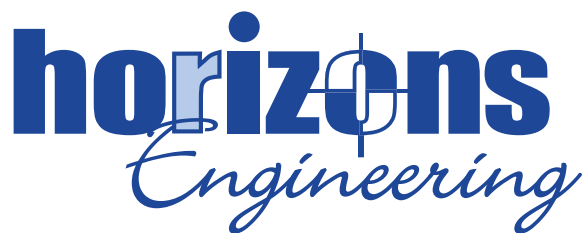
---

**MAP OF PROJECT BOUNDARIES FOR: NHB23-3103**



## **ATTACHMENT F**

### **ABUTTERS LIST**



176 Newport Road – Suite 8, New London, NH 03257 • Ph 603-877-0116 • Fax 603-444-1343 • [www.horizonsengineering.com](http://www.horizonsengineering.com)

### **ABUTTERS LIST**

#### **SUBJECT PROPERTY**

Map/Lot: U25 / 8A

Property Address: 31 Lovejoy Sands Road

Mailing Address:

Goodhue Meredith, LLC  
31 Lovejoy Sands Road  
Meredith, NH 03253

#### **ABUTTERS**

Map/Lot: U35 / 8B

Property Address: 320 Meredith Neck Rd

Mailing Address:

Jean M. Blanco, As Trustee  
of Jean M. Blanco 2023  
Revocable Trust  
320 Meredith Neck Road  
Meredith, NH 03253

Map/Lot: U35 / 8C

Property Address: 316 Meredith Neck Rd

Mailing Address:

Matthew J. & Melissa B.  
Arel, As Trustees Of Arel  
Family Living Trust  
200 Old County Rd  
Mason, NH 03048

Map/Lot: U35 / 8E

Property Address: Soley Lane

Mailing Address:

Jean M. Blanco, As Trustee  
of Jean M. Blanco 2023  
Revocable Trust  
320 Meredith Neck Road  
Meredith, NH 03253

Map/Lot: U35 / 8F

Property Address: Soley Lane

Mailing Address:

Nancy F. Funkhouser  
PO Box 285  
Lebanon, NJ 08833-0285

Map/Lot: U35 / 8H

Property Address: 5 Turtle Lane

Mailing Address:

Stephen W. Newcomb  
44 Alexander Way  
Dunstable, MA 01827

Map/Lot: U35 / 8I

Property Address: 6 Turtle Lane

Mailing Address:

Lisa J. McCarthy, As Trustee  
of McCarthy Family  
Realty Trust  
200 Totman Road  
Lowell, MA 01854-1230

NHDES Wetland Major Impact Permit Application  
Goodhue Meredith, LLC – 31 Lovejoy Sands Rd, Meredith, NH  
Abutter's List  
March 2024

Map/Lot: U35 / 8K Property Address: Meredith Neck Road	Mailing Address:	Tall Pines Condo Association C/O Mr. Robert Harlow 120 Orchard St Millis, MA 02054
Map/Lot: U35 / 8K-1 Property Address: 9 Tall Pines Way	Mailing Address:	Robert & Rita L. Harlow 120 Orchard St Millis, MA 02054
Map/Lot: U35 / 8K-2 Property Address: 9 Tall Pines Way	Mailing Address:	Eileen Crofts, Lenore Crofts, & James L. Crofts 7643 North Oriole Ave Niles, IL 60714
Map/Lot: U35 / 8K-3 Property Address: 9 Tall Pines Way	Mailing Address:	Cozy Harbor LLC PO Box 517 Charles Town, WV 25414
Map/Lot: U35 / 8K-4 Property Address: 9 Tall Pines Way	Mailing Address:	Leon J. & Doris P. Binkunski 22 Tarpon Dr Sea Girt, NJ 08750
Map/Lot: U35 / 8K-5 Property Address: 9 Tall Pines Way	Mailing Address:	Kenneth M. & Aridia O. Twombly 19 Glen Avenue Arlington, MA 02474
Map/Lot: U35 / 10 Property Address: Soley Lane	Mailing Address:	Town Of Meredith 41 Main Street Meredith, NH 03253-5861

**ENGINEER**

Horizons Engineering, Inc.

Mailing Address: 176 Newport Road, Suite 8  
New London, NH 03257

**SURVEYOR & WETLAND SCIENTIST**

Ames Associates, LLC

Mailing Address: 164 NH Route 25  
Meredith, NH 03253

**SOIL SCIENTIST**

Gove Environmental Services, Inc.  
James Gove, C.S.S.

Mailing Address: 8 Continental Drive  
Bldg 2, Unit H  
Exeter, NH 03833

**FUNCTIONAL ASSESSMENT CONSULTANT**

Ambit Engineering, Inc.  
Steven D. Riker

Mailing Address: 200 Griffin, Unit 3  
Portsmouth, NH 03801

## **ATTACHMENT G**

### **CERTIFIED ABUTTER MAILING LETTER & RECEIPTS**

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☐ Adult Signature Restricted Delivery \$

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Street and Apt. No., or PO Box No.

41 Main Street

City, State, ZIP+4<sup>®</sup>

Meredith NH 03253

LITTLETON, NH

Postmark  
Here

MAR 19 2024

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<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$ .64

Total Postage and Fees  
\$ 5.04

Sent To  
Town of Meredith  
Street and Apt. No., or PO Box No.  
41 Main St  
City, State, ZIP+4®  
Meredith NH 03253-5861

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<input type="checkbox"/> Return Receipt (hardcopy)	\$
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<input type="checkbox"/> Certified Mail Restricted Delivery	\$
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Postage  
\$ .64

Total Postage and Fees  
\$ 5.04

Sent To  
Jean M. Blanco  
Street and Apt. No., or PO Box No.  
320 Meredith Neon Road  
City, State, ZIP+4®  
Meredith NH 03253

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<input type="checkbox"/> Return Receipt (electronic)	\$
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<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage  
\$ .64

Total Postage and Fees  
\$ 5.04

Sent To  
Tall Pines Condo Association  
Street and Apt. No., or PO Box No.  
100 Orchard St  
City, State, ZIP+4®  
Mills MA 02054

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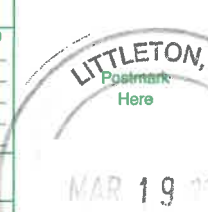
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Postage  
\$ .64

Total Postage and Fees  
\$ 5.04

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City, State, ZIP+4®  
Meredith NH 03253

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Postage  
\$ .64

Total Postage and Fees  
\$ 5.04

Sent To  
Nancy F. Funkhouser  
Street and Apt. No., or PO Box No.  
PO Box 285  
City, State, ZIP+4®  
Lebanon NJ 08833-0285

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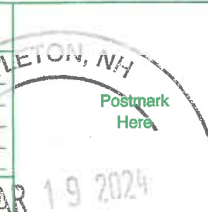
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Postage  
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Total Postage and Fees  
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Sent To  
Matthew S. Abel  
Street and Apt. No., or PO Box No.  
100 Old County Rd  
City, State, ZIP+4®  
Mason NH 03048

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Postage	\$ .64
Total Postage and Fees	\$ 5.04
Sent To	Stephen W. Newcomb
Street and Apt. No., or PO Box No.	44 Alexander way
City, State, ZIP+4®	Dunstable MA 01827
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<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$ .64
Total Postage and Fees	\$ 5.04
Sent To	Eileen Crofts, Lenore Crofts
Street and Apt. No., or PO Box No.	7643 North Oriole Ave
City, State, ZIP+4®	Niles IL 60714
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<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$ .64
Total Postage and Fees	\$ 5.04
Sent To	Leon J. and Doris Binkins
Street and Apt. No., or PO Box No.	22 Tar Pon Drive
City, State, ZIP+4®	Sea Girt NJ 08750
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Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$ .64
Total Postage and Fees	\$ 5.04
Sent To	Lisa J McCarthy
Street and Apt. No., or PO Box No.	200 Totman Road
City, State, ZIP+4®	Lowell MA 01854-1230
PS Form 3800, April 2015 PSN 7530-02-000-9047	See Reverse for Instructions

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<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$ .64
Total Postage and Fees	\$ 5.04
Sent To	Cozy Harbor LLC
Street and Apt. No., or PO Box No.	PO Box 517
City, State, ZIP+4®	Charles Town WV 25414
PS Form 3800, April 2015 PSN 7530-02-000-9047	See Reverse for Instructions

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Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$ .64
Total Postage and Fees	\$ 5.04
Sent To	Robert and Rita Hearnaw
Street and Apt. No., or PO Box No.	120 Orchard St
City, State, ZIP+4®	Millis MA 02054
PS Form 3800, April 2015 PSN 7530-02-000-9047	See Reverse for Instructions

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Extra Services & Fees (check box, add fee as appropriate)

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☐ Return Receipt (electronic) \$ \_\_\_\_\_  
☐ Certified Mail Restricted Delivery \$ \_\_\_\_\_  
☐ Adult Signature Required \$ \_\_\_\_\_  
☐ Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage  
\$ **.64**

**Total Postage and Fees**  
\$ **5.04**

Sent To

Street and Apt. No., or PO Box No.

City, State, ZIP+4<sup>®</sup>

**Kenneth and Aridia Trombly**

**19 Glen Ave**

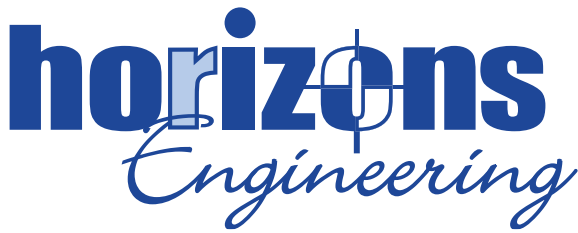
**Arlington MA 02474**

Postmark  
Here

**MAR 19 2024**

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions



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**VIA CERTIFIED MAIL**

March 18, 2024

Town Of Meredith  
41 Main Street  
Meredith, NH 03253-5861

**RE: NHDES Shoreland Permit Application – Goodhue Meredith Real Property, LLC**  
**31 Lovejoy Sands Road, Meredith, NH**  
**Tax Map U35, Lot 8A**  
Horizons Reference No. 20818

To Whom it May Concern:

Horizons Engineering, on behalf of Goodhue Meredith Real Property, LLC, will submit a Shoreland permit application to the NH Department of Environmental Services associated with the above referenced project for review.

The proposed project includes reconstructing an existing commercial boat launch and constructing a new negative lift, both located on the eastern shoreline of Tax Map U35, Lot 8A. No other improvements are proposed at this time. Under state law RSA 483-B:5-b, IV-a, we are required to notify you about the application, as the governing board of the municipality in which the project will be located.

If you have any questions, please feel free to contact us at 603-877-0116 or [wdavis@horizonsengineering.com](mailto:wdavis@horizonsengineering.com) or [dmacdermott@horizonsengineering.com](mailto:dmacdermott@horizonsengineering.com).

Respectfully,

A handwritten signature in blue ink, appearing to read "Drew MacDermott".

Drew MacDermott  
*Project Engineer*

A handwritten signature in blue ink, appearing to read "Will Davis".

Will Davis, PE, LEED AP  
*Vice President*

Horizons Engineering, Inc.

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**VIA CERTIFIED MAIL**

March 18, 2024

Kenneth M. & Aridia O. Twombly  
19 Glen Avenue  
Arlington, MA 02474  
Town of Meredith Lot: U35 / 8K-5

**RE: NHDES Shoreland Permit Application – Goodhue Meredith Real Property, LLC**  
**31 Lovejoy Sands Road, Meredith, NH**  
**Tax Map U35, Lot 8A**  
Horizons Reference No. 20818

To Whom it May Concern:

Horizons Engineering, on behalf of Goodhue Meredith Real Property, LLC, will submit a Shoreland permit application to the NH Department of Environmental Services associated with the above referenced project for review. You are being notified as an abutter with property on Tax Map U35 / 8K-5.

The proposed project includes reconstructing an existing commercial boat launch and constructing a new negative lift, both located on the eastern shoreline of Tax Map U35, Lot 8A. No other improvements are proposed at this time. Under state law RSA 483-B:5-b, IV-a, we are required to notify you about the application, which proposes work on a lot abutting your property.

Once it is filed, the permit application, including plans that show the proposed project, will be available for viewing at the Town Clerk's Office in Meredith, NH or at the NHDES offices by scheduling a file review by calling (603) 271-2919 or (603) 271-8808 between 8am-4pm Monday through Friday, or online through the NHDES Public Records Center system.

If you have any questions, please feel free to contact us at 603-877-0116 or [wdavis@horizonsengineering.com](mailto:wdavis@horizonsengineering.com) or [dmacdermott@horizonsengineering.com](mailto:dmacdermott@horizonsengineering.com).

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**VIA CERTIFIED MAIL**

March 18, 2024

Leon J. & Doris P. Binkunski  
22 TARPON DR  
Sea Girt, NJ 08750  
Town of Meredith Lot: U35 / 8K-4

**RE: NHDES Shoreland Permit Application – Goodhue Meredith Real Property, LLC**  
**31 Lovejoy Sands Road, Meredith, NH**  
**Tax Map U35, Lot 8A**  
Horizons Reference No. 20818

To Whom it May Concern:

Horizons Engineering, on behalf of Goodhue Meredith Real Property, LLC, will submit a Shoreland permit application to the NH Department of Environmental Services associated with the above referenced project for review. You are being notified as an abutter with property on Tax Map U35 / 8K-4.

The proposed project includes reconstructing an existing commercial boat launch and constructing a new negative lift, both located on the eastern shoreline of Tax Map U35, Lot 8A. No other improvements are proposed at this time. Under state law RSA 483-B:5-b, IV-a, we are required to notify you about the application, which proposes work on a lot abutting your property.

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Will Davis, PE, LEED AP  
*Vice President*

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**VIA CERTIFIED MAIL**

March 18, 2024

COZY HARBOR LLC  
PO BOX 517  
Charles Town, WV 25414  
Town of Meredith Lot: U35 / 8K-3

**RE: NHDES Shoreland Permit Application – Goodhue Meredith Real Property, LLC**  
**31 Lovejoy Sands Road, Meredith, NH**  
**Tax Map U35, Lot 8A**  
Horizons Reference No. 20818

To Whom it May Concern:

Horizons Engineering, on behalf of Goodhue Meredith Real Property, LLC, will submit a Shoreland permit application to the NH Department of Environmental Services associated with the above referenced project for review. You are being notified as an abutter with property on Tax Map U35 / 8K-3.

The proposed project includes reconstructing an existing commercial boat launch and constructing a new negative lift, both located on the eastern shoreline of Tax Map U35, Lot 8A. No other improvements are proposed at this time. Under state law RSA 483-B:5-b, IV-a, we are required to notify you about the application, which proposes work on a lot abutting your property.

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*Vice President*

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**VIA CERTIFIED MAIL**

March 18, 2024

Eileen Crofts, Lenore Crofts, & James L. Crofts  
7643 North Oriole Ave  
Niles, IL 60714  
Town of Meredith Lot: U35 / 8K-2

**RE: NHDES Shoreland Permit Application – Goodhue Meredith Real Property, LLC**  
**31 Lovejoy Sands Road, Meredith, NH**  
**Tax Map U35, Lot 8A**  
Horizons Reference No. 20818

To Whom it May Concern:

Horizons Engineering, on behalf of Goodhue Meredith Real Property, LLC, will submit a Shoreland permit application to the NH Department of Environmental Services associated with the above referenced project for review. You are being notified as an abutter with property on Tax Map U35 / 8K-2.

The proposed project includes reconstructing an existing commercial boat launch and constructing a new negative lift, both located on the eastern shoreline of Tax Map U35, Lot 8A. No other improvements are proposed at this time. Under state law RSA 483-B:5-b, IV-a, we are required to notify you about the application, which proposes work on a lot abutting your property.

Once it is filed, the permit application, including plans that show the proposed project, will be available for viewing at the Town Clerk's Office in Meredith, NH or at the NHDES offices by scheduling a file review by calling (603) 271-2919 or (603) 271-8808 between 8am-4pm Monday through Friday, or online through the NHDES Public Records Center system.

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*Vice President*

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**VIA CERTIFIED MAIL**

March 18, 2024

Robert & Rita L. Harlow  
120 Orchard St  
Millis, MA 02054  
Town of Meredith Lot: U35 / 8K-1

**RE: NHDES Shoreland Permit Application – Goodhue Meredith Real Property, LLC**  
**31 Lovejoy Sands Road, Meredith, NH**  
**Tax Map U35, Lot 8A**  
Horizons Reference No. 20818

To Whom it May Concern:

Horizons Engineering, on behalf of Goodhue Meredith Real Property, LLC, will submit a Shoreland permit application to the NH Department of Environmental Services associated with the above referenced project for review. You are being notified as an abutter with property on Tax Map U35 / 8K-1.

The proposed project includes reconstructing an existing commercial boat launch and constructing a new negative lift, both located on the eastern shoreline of Tax Map U35, Lot 8A. No other improvements are proposed at this time. Under state law RSA 483-B:5-b, IV-a, we are required to notify you about the application, which proposes work on a lot abutting your property.

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*Vice President*

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**VIA CERTIFIED MAIL**

March 18, 2024

Tall Pines Condo Association, C/O Mr. Robert Harlow  
120 Orchard St  
Millis, MA 02054  
Town of Meredith Lot: U35 / 8K

**RE: NHDES Shoreland Permit Application – Goodhue Meredith Real Property, LLC**  
**31 Lovejoy Sands Road, Meredith, NH**  
**Tax Map U35, Lot 8A**  
Horizons Reference No. 20818

To Whom it May Concern:

Horizons Engineering, on behalf of Goodhue Meredith Real Property, LLC, will submit a Shoreland permit application to the NH Department of Environmental Services associated with the above referenced project for review. You are being notified as an abutter with property on Tax Map U35 / 8K.

The proposed project includes reconstructing an existing commercial boat launch and constructing a new negative lift, both located on the eastern shoreline of Tax Map U35, Lot 8A. No other improvements are proposed at this time. Under state law RSA 483-B:5-b, IV-a, we are required to notify you about the application, which proposes work on a lot abutting your property.

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Will Davis, PE, LEED AP  
*Vice President*

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**VIA CERTIFIED MAIL**

March 18, 2024

Lisa J. McCarthy, As Trustee Of McCarthy Family Realty Trust  
200 Totman Road  
Lowell, MA 01854-1230  
Town of Meredith Lot: U35 / 8I

**RE: NHDES Shoreland Permit Application – Goodhue Meredith Real Property, LLC**  
**31 Lovejoy Sands Road, Meredith, NH**  
**Tax Map U35, Lot 8A**  
Horizons Reference No. 20818

To Whom it May Concern:

Horizons Engineering, on behalf of Goodhue Meredith Real Property, LLC, will submit a Shoreland permit application to the NH Department of Environmental Services associated with the above referenced project for review. You are being notified as an abutter with property on Tax Map U35 / 8I.

The proposed project includes reconstructing an existing commercial boat launch and constructing a new negative lift, both located on the eastern shoreline of Tax Map U35, Lot 8A. No other improvements are proposed at this time. Under state law RSA 483-B:5-b, IV-a, we are required to notify you about the application, which proposes work on a lot abutting your property.

Once it is filed, the permit application, including plans that show the proposed project, will be available for viewing at the Town Clerk's Office in Meredith, NH or at the NHDES offices by scheduling a file review by calling (603) 271-2919 or (603) 271-8808 between 8am-4pm Monday through Friday, or online through the NHDES Public Records Center system.

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*Project Engineer*

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Will Davis, PE, LEED AP  
*Vice President*

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**VIA CERTIFIED MAIL**

March 18, 2024

Stephen W. Newcomb  
44 Alexander Way  
Dunstable, MA 01827  
Town of Meredith Lot: U35 / 8H

**RE: NHDES Shoreland Permit Application – Goodhue Meredith Real Property, LLC**  
**31 Lovejoy Sands Road, Meredith, NH**  
**Tax Map U35, Lot 8A**  
Horizons Reference No. 20818

To Whom it May Concern:

Horizons Engineering, on behalf of Goodhue Meredith Real Property, LLC, will submit a Shoreland permit application to the NH Department of Environmental Services associated with the above referenced project for review. You are being notified as an abutter with property on Tax Map U35 / 8H.

The proposed project includes reconstructing an existing commercial boat launch and constructing a new negative lift, both located on the eastern shoreline of Tax Map U35, Lot 8A. No other improvements are proposed at this time. Under state law RSA 483-B:5-b, IV-a, we are required to notify you about the application, which proposes work on a lot abutting your property.

Once it is filed, the permit application, including plans that show the proposed project, will be available for viewing at the Town Clerk's Office in Meredith, NH or at the NHDES offices by scheduling a file review by calling (603) 271-2919 or (603) 271-8808 between 8am-4pm Monday through Friday, or online through the NHDES Public Records Center system.

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*Project Engineer*

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*Vice President*

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**VIA CERTIFIED MAIL**

March 18, 2024

Nancy F. Funkhouser  
PO Box 285  
Lebanon, NJ 08833-0285  
Town of Meredith Lot: U35 / 8F

**RE: NHDES Shoreland Permit Application – Goodhue Meredith Real Property, LLC**  
**31 Lovejoy Sands Road, Meredith, NH**  
**Tax Map U35, Lot 8A**  
Horizons Reference No. 20818

To Whom it May Concern:

Horizons Engineering, on behalf of Goodhue Meredith Real Property, LLC, will submit a Shoreland permit application to the NH Department of Environmental Services associated with the above referenced project for review. You are being notified as an abutter with property on Tax Map U35 / 8F.

The proposed project includes reconstructing an existing commercial boat launch and constructing a new negative lift, both located on the eastern shoreline of Tax Map U35, Lot 8A. No other improvements are proposed at this time. Under state law RSA 483-B:5-b, IV-a, we are required to notify you about the application, which proposes work on a lot abutting your property.

Once it is filed, the permit application, including plans that show the proposed project, will be available for viewing at the Town Clerk's Office in Meredith, NH or at the NHDES offices by scheduling a file review by calling (603) 271-2919 or (603) 271-8808 between 8am-4pm Monday through Friday, or online through the NHDES Public Records Center system.

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*Vice President*

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**VIA CERTIFIED MAIL**

March 18, 2024

Jean M. Blanco, As Trustee Of Jean M. Blanco 2023 Revocable Trust  
320 Meredith Neck Road  
Meredith, NH 03253  
Town of Meredith Lot: U35 / 8E

**RE: NHDES Shoreland Permit Application – Goodhue Meredith Real Property, LLC**  
**31 Lovejoy Sands Road, Meredith, NH**  
**Tax Map U35, Lot 8A**  
Horizons Reference No. 20818

To Whom it May Concern:

Horizons Engineering, on behalf of Goodhue Meredith Real Property, LLC, will submit a Shoreland permit application to the NH Department of Environmental Services associated with the above referenced project for review. You are being notified as an abutter with property on Tax Map U35 / 8E.

The proposed project includes reconstructing an existing commercial boat launch and constructing a new negative lift, both located on the eastern shoreline of Tax Map U35, Lot 8A. No other improvements are proposed at this time. Under state law RSA 483-B:5-b, IV-a, we are required to notify you about the application, which proposes work on a lot abutting your property.

Once it is filed, the permit application, including plans that show the proposed project, will be available for viewing at the Town Clerk's Office in Meredith, NH or at the NHDES offices by scheduling a file review by calling (603) 271-2919 or (603) 271-8808 between 8am-4pm Monday through Friday, or online through the NHDES Public Records Center system.

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**VIA CERTIFIED MAIL**

March 18, 2024

Matthew J. & Melissa B. Arel, As Trustees Of Arel Family Living Trust  
200 Old County Rd  
Mason, NH 03048  
Town of Meredith Lot: U35 / 8C

**RE: NHDES Shoreland Permit Application – Goodhue Meredith Real Property, LLC**  
**31 Lovejoy Sands Road, Meredith, NH**  
**Tax Map U35, Lot 8A**  
Horizons Reference No. 20818

To Whom it May Concern:

Horizons Engineering, on behalf of Goodhue Meredith Real Property, LLC, will submit a Shoreland permit application to the NH Department of Environmental Services associated with the above referenced project for review. You are being notified as an abutter with property on Tax Map U35 / 8C.

The proposed project includes reconstructing an existing commercial boat launch and constructing a new negative lift, both located on the eastern shoreline of Tax Map U35, Lot 8A. No other improvements are proposed at this time. Under state law RSA 483-B:5-b, IV-a, we are required to notify you about the application, which proposes work on a lot abutting your property.

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**VIA CERTIFIED MAIL**

March 18, 2024

Jean M. Blanco, As Trustee Of Jean M. Blanco 2023 Revocable Trust  
320 Meredith Neck Road  
Meredith, NH 03253  
Town of Meredith Lot: U35 / 8B

**RE: NHDES Shoreland Permit Application – Goodhue Meredith Real Property, LLC**  
**31 Lovejoy Sands Road, Meredith, NH**  
**Tax Map U35, Lot 8A**  
Horizons Reference No. 20818

To Whom it May Concern:

Horizons Engineering, on behalf of Goodhue Meredith Real Property, LLC, will submit a Shoreland permit application to the NH Department of Environmental Services associated with the above referenced project for review. You are being notified as an abutter with property on Tax Map U35 / 8B.

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**VIA CERTIFIED MAIL**

March 18, 2024

Town Of Meredith  
41 Main Street  
Meredith, NH 03253-5861  
Town of Meredith Lot: U35 / 10

**RE: NHDES Shoreland Permit Application – Goodhue Meredith Real Property, LLC**  
**31 Lovejoy Sands Road, Meredith, NH**  
**Tax Map U35, Lot 8A**  
Horizons Reference No. 20818

To Whom it May Concern:

Horizons Engineering, on behalf of Goodhue Meredith Real Property, LLC, will submit a Shoreland permit application to the NH Department of Environmental Services associated with the above referenced project for review. You are being notified as an abutter with property on Tax Map U35 / 10.

The proposed project includes reconstructing an existing commercial boat launch and constructing a new negative lift, both located on the eastern shoreline of Tax Map U35, Lot 8A. No other improvements are proposed at this time. Under state law RSA 483-B:5-b, IV-a, we are required to notify you about the application, which proposes work on a lot abutting your property.

Once it is filed, the permit application, including plans that show the proposed project, will be available for viewing at the Town Clerk's Office in Meredith, NH or at the NHDES offices by scheduling a file review by calling (603) 271-2919 or (603) 271-8808 between 8am-4pm Monday through Friday, or online through the NHDES Public Records Center system.

If you have any questions, please feel free to contact us at 603-877-0116 or [wdavis@horizonsengineering.com](mailto:wdavis@horizonsengineering.com) or [dmacdermott@horizonsengineering.com](mailto:dmacdermott@horizonsengineering.com).

Respectfully,

A handwritten signature in blue ink, appearing to read "Drew MacDermott".

Drew MacDermott  
*Project Engineer*

A handwritten signature in blue ink, appearing to read "Will Davis".

Will Davis, PE, LEED AP  
*Vice President*

**Horizons Engineering, Inc.**

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**APPENDIX H**

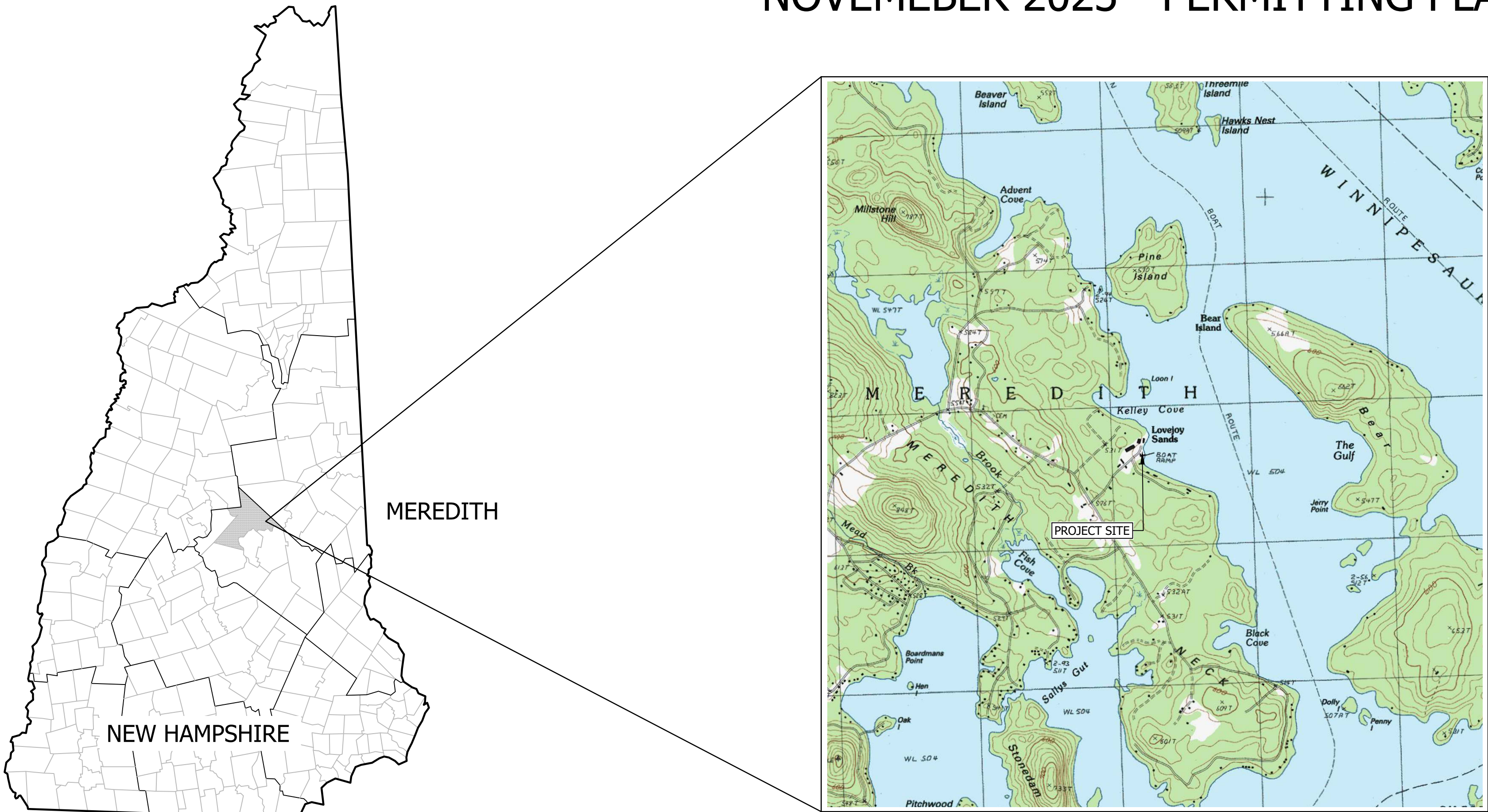
**DESIGN PLANS**  
**(Unbound and Folded)**



# GOODHUE MEREDITH REAL PROPERTY, LLC

## 31 LOVEJOY SANDS ROAD - COMMERCIAL BOAT LAUNCH AND NEGATIVE LIFT IMPROVEMENTS

MEREDITH, NEW HAMPSHIRE  
TAX MAP U35 LOT 8A  
ZONING DISTRICT - SHORELINE "S"  
NOVEMEBER 2023 - PERMITTING PLANS



### LOCATION PLAN

SCALE: 1" = 2000'

#### CIVIL SHEET LIST:

	COVER
C1.0	OVERVIEW, GENERAL NOTES AND LEGEND
C1.1-1.2	EXISTING CONDITIONS PLAN
C2.0	SITE PLAN NOTES AND LOCAL & STATE TABLES
C2.1	PROPOSED COMMERCIAL BOAT RAMP & NEGATIVE LIFT PLAN & PROFILE
C3.1	EROSION CONTROL NOTES AND DETAILS
C3.2	BOAT RAMP DETAILS
C3.3	CONSTRUCTION DETAILS

#### SEE ALSO BY AMES ASSOCIATES

- BOUNDARY PLAN (AS RECORDED IN BELKNAP COUNTY REGISTRY OF DEEDS)
- CERTIFIED TOPOGRAPHICAL AND WETLAND DELINEATION PLAN

CLIENT & OWNER:  
GOODHUE MEREDITH REAL  
PROPERTY, LLC  
31 LOVEJOY SANDS ROAD  
MEREDITH, NH 03253  
(603) 279-4573

ENGINEER:  
**horizons**  
*Engineering*  
176 NEWPORT ROAD  
SUITE 8  
NEW LONDON, NH 03766  
(603) 877-0116

FUNCTIONAL ASSESSMENT  
CONSULTANT:  
AMBIT ENGINEERING, INC.  
200 GRIFFIN, UNIT 3  
PORTSMOUTH, NH 03801

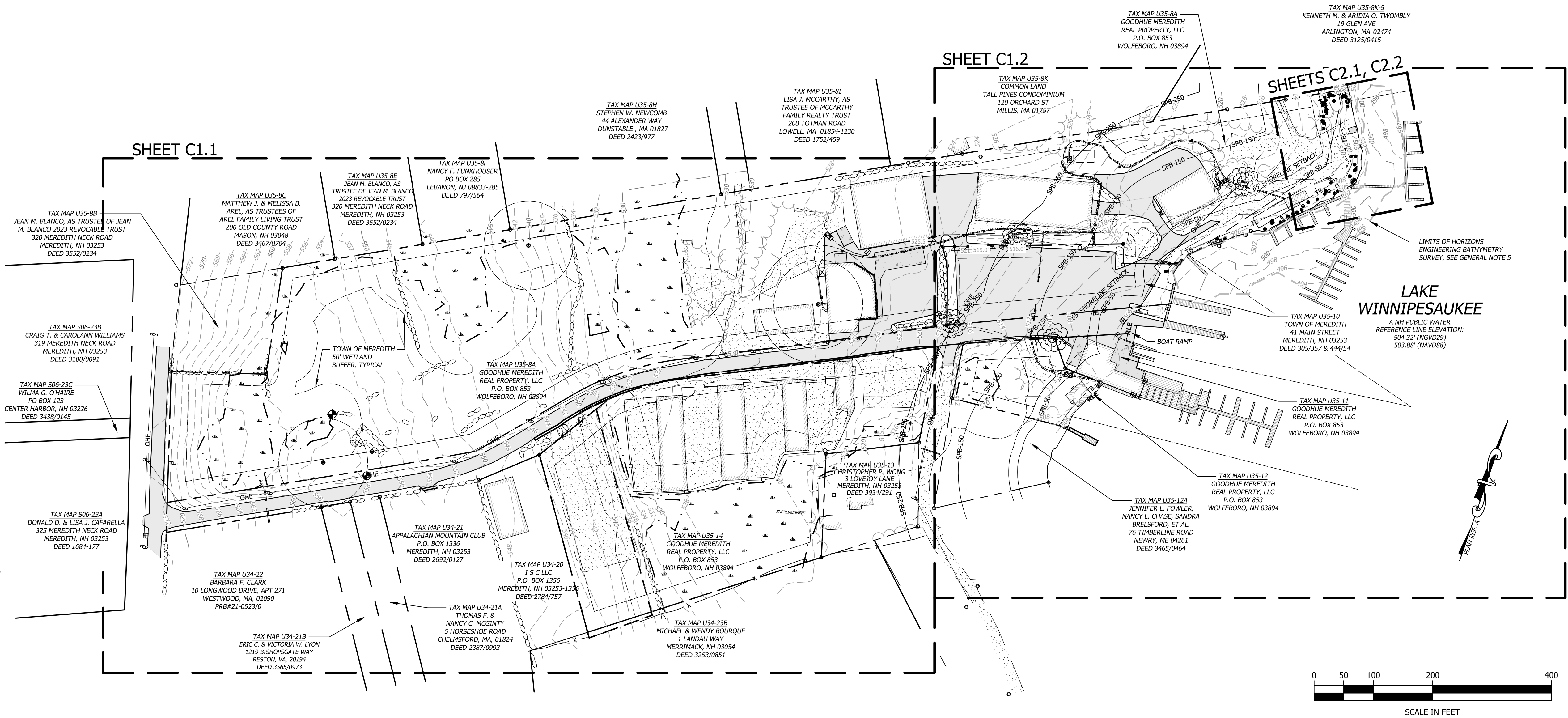
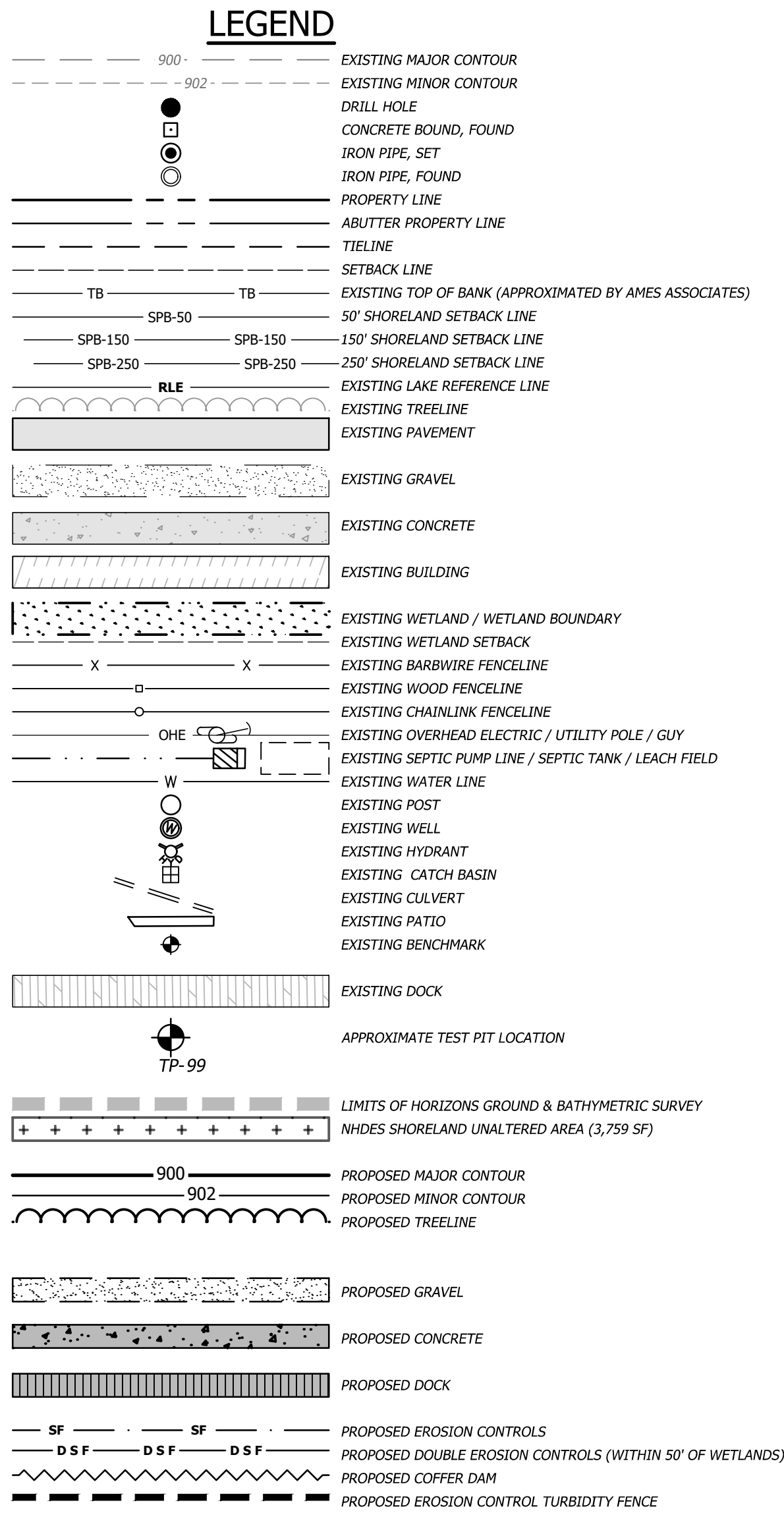
SURVEYOR &  
WETLAND SCIENTIST:  
AMES ASSOCIATES  
164 NH Route 25  
MEREDITH, NH 03253  
(603) 279-5705

SOIL SCIENTIST:  
GOVE ENVIRONMENTAL  
SERVICES, INC.  
8 CONTINENTAL DRIVE  
BLDG 2, UNIT H  
EXETER, NH 03833  
(603) 778-0644

PERMIT APPROVALS  
THIS PROJECT SHALL COMPLY WITH ALL CONDITIONS OF ALL PERMITS FOR THE  
PROJECT. OWNER SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO  
CONSTRUCTION. COPIES OF THESE PERMITS MAY BE REQUESTED FROM THE  
HORIZONS ENGINEERING NEW LONDON OFFICE.

NHDES	
WETLANDS PERMIT - MINOR IMPACT	PENDING
SHORELAND IMPACT	PENDING
TOWN OF MEREDITH	TO BE COORDINATED





## GENERAL NOTES

### 1. OWNER OF RECORD:

GOODHUE MEREDITH REAL PROPERTY, LLC  
PO BOX 853  
WOLFEBORO, NH 03894

### 2. RECORDS DEED(S):

(A) DEED BOOK 3123 PAGE 110 RECORDED IN THE BELKNAP COUNTY REGISTRY OF DEEDS PLAN BOOK L78 PAGE 65, PAGE 1 OF 1.

### 3. PLAN REFERENCE(S):

(A) "BOUNDARY SURVEY LAND OF DEEPWATER MARINE MANAGEMENT, INC. - TAX MAP U35, LOT 8A, 11, 12 & 14" PREPARED BY AMES ASSOCIATES DATED JULY 25, 2017 (AMES PROJECT NO. "DEEPWATER MARINE U35-8A"), RECORDED IN THE BELKNAP COUNTY REGISTRY OF DEEDS PLAN BOOK L78 PAGE 65, PAGE 1 OF 1.

(B) "TOPOGRAPHICAL & WETLAND DELINEATION PLAN - LAND OF GOODHUE & HAWKINS NAVY YARD - TAX MAP U35, LOT 8A, 11, 12 & 14" PREPARED BY AMES ASSOCIATES DATED JULY 19, 2018 (AMES PROJECT NO. "GOODHUE & HAWKINS U25-8A").

(C) A DRAFT PLAN (NOT RECORDED) TITLED "BOUNDARY LINE ADJUSTMENT SURVEY, LAND OF GOODHUE MEREDITH REAL PROPERTY LLC - TAX MAP U35, LOT 8A & 11 & TOWN OF MEREDITH - TAX MAP U35, LOT 10" PREPARED BY AMES ASSOCIATES DATED NOVEMBER 16, 2022 (AMES PROJECT NO. "BLA GHNY & MEREDITH").

4. BASE MAP INFORMATION INCLUDING BOUNDARY, TOPOGRAPHY AND WETLANDS ON THESE PLANS IS TAKEN FROM PLAN REFERENCE A, B AND C.

5. TOPOGRAPHY SHOWN IN THE PUBLIC WATERS OF LAKE WINNIPESAUKEE IS BASED ON BATHEMETRY MEASUREMENTS TAKEN BY HORIZONS ENGINEERING, INC IN FEBRUARY 2021.

6. THE WORD "CERTIFY" OR "CERTIFICATION" AS SHOWN AND USED HEREON MEANS COMPLIANCE WITH APPLICABLE LAND SURVEY LAWS AND RULES AND AN EXPRESSION OF PROFESSIONAL OPINION BASED ON THE FACTS OF THE SURVEY, PRINCIPLES OF BOUNDARY RETRACEMENT AND LOCAL STANDARD OF CARE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.

### 7. THE SUBJECT PROPERTY IS MAPPED AS BEING WITHIN THE TOWN OF MEREDITH SHORELINE ZONING DISTRICT.

#### MINIMUM STANDARDS FOR SHORELINE DISTRICT:

LOT SIZE: 40,000 SQUARE FEET  
WIDTH: 150 FEET  
FRONT SETBACK: 65 FEET FROM SHORELINE  
HIGHWAY SETBACK: 30 FEET FROM PROPERTY LINE  
SIDE SETBACK: 20 FEET  
REAR SETBACK: 30 FEET FROM PROPERTY LINE  
MAX. HEIGHT: 38 FEET  
MAX. COVERAGE: 30%

8. THE SITE SPECIFIC SOIL SURVEY WAS PRODUCED 23 JUNE, 2020, AND WAS PREPARED BY JAMES P. GOVE, CSS # 004, GOVE ENVIRONMENTAL SERVICES, INC. THE SURVEY AREA IS LOCATED ON LOVEJOY SANDS, MEREDITH, NH. THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP. SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NRCS, DURHAM, NH. ISSUE # 10, JANUARY 2011 HYDROLOGIC SOIL GROUP FROM KSAT VALUES FOR NEW HAMPSHIRE SOILS, SOCIETY OF SOIL SCIENTISTS OF NEW ENGLAND, SPECIAL PUBLICATION NO. 5, SEPTEMBER, 2009.

9. UTILITY LOCATIONS ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR LOCATION AND PROTECTION OF EXISTING UTILITIES AND SHALL REPAIR ANY DAMAGE AS QUICKLY AS POSSIBLE AT HIS OWN EXPENSE. ALL UTILITIES ENCOUNTERED SHALL BE LOCATED BY DEPTH AND TIES AND SHOWN BY THE CONTRACTOR ON HIS "AS BUILT" DRAWINGS. HAND EXCAVATION SHALL BE DONE WHEREVER UNDERGROUND UTILITIES ARE SHOWN OR ANTICIPATED. THE CONTRACTOR SHALL CONTACT DIG SAFE AND THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION IN ORDER TO VERIFY EXISTING CONDITIONS AND UTILITY LOCATIONS.

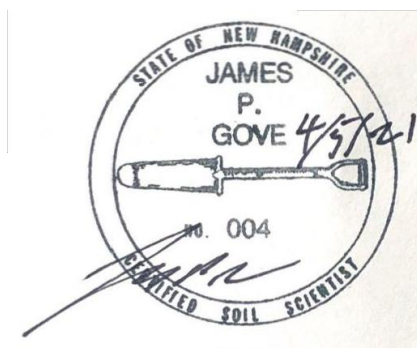
10. HORIZONS ENGINEERING DID NOT PERFORM TEST PIT NUMBER 9 IN JUNE 2021 AND IS NOT SHOWN ON THESE PLANS.

11. NO EXISTING MONUMENTS, BOUNDS, OR BENCHMARKS SHALL BE DISTURBED WITHOUT FIRST MAKING PROVISIONS FOR RELOCATION.

12. ALL WORK SHALL BE PERFORMED WITHIN THE PROPERTY OF, AND EASEMENTS SECURED BY, THE OWNER.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DATA COLLECTION AND PREPARATION OF RECORD DRAWINGS.

14. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONTROLLING EROSION IN ALL AREAS DISTURBED BY HIS ACTIONS. COSTS FOR REQUIRED EROSION CONTROL, REGARDLESS OF WHETHER OR NOT SUCH MEASURES ARE SHOWN ON THE ENGINEERING DRAWINGS, SHALL BE BORNE BY HIM.



DATE OF PRINT  
NOVEMBER 03 2023  
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*Engineering*  
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**GOODHUE MEREDITH, LLC**  
31 LOVEJOY SANDS ROAD  
COMMERCIAL BOAT LAUNCH AND  
NEGATIVE LIFT IMPROVEMENTS  
MEREDITH, NEW HAMPSHIRE  
TAX MAP U35 LOT 8A - SHORELINE "S" DISTRICT

### OVERVIEW PLAN

NO.	DATE	REVISION DESCRIPTION	ENG	DWG

DATE:	PROJECT #:
NOV 2023	20818
ENG'D BY:	DRAWN BY:
-	WAM
CHECK'D BY:	ARCHIVE #:
WTD	-
SHEET C1.0	

SEE NOTES 4 AND 5, SHEET C1.0





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GOODHUE MEREDITH, LLC

31 LOVEJOY SANDS ROAD  
COMMERCIAL BOAT LAUNCH AND  
NEGATIVE LIFT IMPROVEMENTS  
MEREDITH, NEW HAMPSHIRE  
TAX MAP U35 LOT 8A - SHORELINE "S" DISTRICT

EXISTING CONDITIONS PLAN

NO.	DATE	REVISION DESCRIPTION	ENG	DWG

DATE: NOV 2023  
ENG'D BY: -  
CHECK'D BY: WTD

PROJECT #: 20818  
DRAWN BY: WAM  
ARCHIVE #: -

SEE NOTES 4 AND 5, SHEET C1.0

SHEET C1.1

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SITE PLAN NOTES

1. ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE PLANS. PRIOR TO CONSTRUCTION, OWNER SHALL OBTAIN ALL LOCATE, STATE AND FEDERAL PERMITS AS APPLICABLE TO THE PROJECT.
- PROJECT IMPACTS ARE SUCH THAT NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES (NHDES) SHORELAND AND WETLAND PERMITS ARE REQUIRED. JURISDICTIONAL IMPACTS SHOWN HAVE BEEN CALCULATED BASED ON THE APPARENT TOP OF BANK. SEE ALSO SHEET C1.0, GENERAL NOTE 4.
2. NO EXISTING MONUMENTS, BOUNDS, OR BENCHMARKS SHALL BE DISTURBED WITHOUT FIRST MAKING PROVISIONS FOR RELOCATION.
3. ALL WORK SHALL BE PERFORMED WITHIN THE PROPERTY OF, AND EASEMENTS SECURED BY, THE OWNER.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DATA COLLECTION AND PREPARATION OF RECORD DRAWINGS.
5. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONTROLLING EROSION IN ALL AREAS DISTURBED BY HIS ACTIONS. COSTS FOR REQUIRED EROSION CONTROL, REGARDLESS OF WHETHER OR NOT SUCH MEASURES ARE SHOWN ON THE ENGINEERING DRAWINGS, SHALL BE BORNE BY HIM.
6. UTILITY LOCATIONS ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR LOCATION AND PROTECTION OF EXISTING UTILITIES AND SHALL REPAIR ANY DAMAGE AS QUICKLY AS POSSIBLE AT HIS OWN EXPENSE. ALL UTILITIES ENCOUNTERED SHALL BE LOCATED BY DEPTH AND TIES AND SHOWN BY THE CONTRACTOR ON HIS "AS BUILT" DRAWINGS. HAND EXCAVATION SHALL BE DONE WHEREVER UNDERGROUND UTILITIES ARE SHOWN OR ANTICIPATED. THE CONTRACTOR SHALL CONTACT DIG SAFE AND THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION IN ORDER TO VERIFY EXISTING CONDITIONS AND UTILITY LOCATIONS.

NHDES TREE COUNT SUMMARY PRE-CONSTRUCTION					
CELL SEGMENT	1" to 3"	>3" to 6"	>6" to 12"	>12"	POINT TOTALS
	1 pt each	5 pts each	10 pts each	15 pts each	
A	15	5	3	2	100
B	4	1	3	0	39
C	0	0	2	0	20
D	0	0	0	0	0
E	0	1	2	4	85
F	0	0	2	2	50
G	0	6	3	1	75
H	0	2	0	1	25
I	0	1	0	1	20
J	0	1	2	1	40
K	0	0	2	1	35
L	0	6	1	0	40
M	0	6	0	0	30
N	0	5	0	0	25
O	0	0	2	0	20
P	0	0	2	0	20
Q	0	0	0	0	0
R	0	0	0	0	0
S	0	4	0	1	35

\*MINIMUM TREE SCORE OF AT LEAST 25 POINTS SHALL BE MAINTAINED FOR EACH 25'x50' SEGMENT.

NHDES TREE COUNT SUMMARY POST-CONSTRUCTION						
CELL SEGMENT	1" to 3"	>3" to 6"	>6" to 12"	>12"	POINT TOTALS	CHANGE IN POINTS
	1 pt each	5 pts each	10 pts each	15 pts each		
A	15	5	3	2	100	0
B	4	1	3	0	39	0
C	0	0	2	0	20	0
D	0	0	0	0	0	0
E	0	1	2	0	25	-60
F	0	0	2	2	50	0
G	0	6	3	1	75	0
H	0	2	0	1	25	0
I	0	1	0	1	20	0
J	0	1	2	1	40	0
K	0	0	2	1	35	0
L	0	6	1	0	40	0
M	0	6	0	0	30	0
N	0	5	0	0	25	0
O	0	0	2	0	20	0
P	0	0	2	0	20	0
Q	0	0	0	0	0	0
R	0	0	0	0	0	0
S	0	4	0	1	35	0

\*MINIMUM TREE SCORE OF AT LEAST 25 POINTS SHALL BE MAINTAINED FOR EACH 25'x50' SEGMENT.

NHDES UNALTERED STATE CALCULATION - LOT 8A	
CALCULATION	AREA (SF)
TOTAL UNALTERED AREA 50' TO 150' BUFFER	3,759
TOTAL LOT AREA 50' TO 150' BUFFER	44,789
25% OF TOTAL LOT AREA 50' TO 150' BUFFER	11,197
MINIMUM AREA TO REMAIN UNALTERED	3,759

NHDES UNALTERED STATE CALCULATION - LOT 8A	
CALCULATION	AREA (SF)
TOTAL UNALTERED AREA 50' TO 150' BUFFER	3,759
TOTAL LOT AREA 50' TO 150' BUFFER	44,789
25% OF TOTAL LOT AREA 50' TO 150' BUFFER	11,197
MINIMUM AREA TO REMAIN UNALTERED	3,759
POST-CONSTRUCTION UNALTERED AREA	3,759

PRE-CONSTRUCTION IMPERVIOUS AREA - LOT 8A	
STRUCTURE	AREA (SF)
PRIMARY STRUCTURES	14,062
ACCESSORY STRUCTURES	0
DRIVEWAYS	41,480
WALKWAYS, RETAINING WALLS, CONCRETE PADS	29
TOTAL IMPERVIOUS W/IN 250' BUFFER	55,571
TOTAL LOT AREA W/IN 250' BUFFER	99,421
PRE-CONSTRUCTION % COVERAGE	55.9%
TOTAL IMPERVIOUS W/IN 50' BUFFER	11,114

NOTE: AREAS CALCULATED ABOVE TOP OF BANK WETLAND JURISDICTION, PER 1406.02(b)(2).

POST-CONSTRUCTION IMPERVIOUS AREA - LOT 8A	
STRUCTURE	AREA (SF)
PRIMARY STRUCTURES	14,062
ACCESSORY STRUCTURES	0
DRIVEWAYS	41,446
WALKWAYS, RETAINING WALLS, CONCRETE PADS	53
TOTAL IMPERVIOUS W/IN 250' BUFFER	55,561
TOTAL LOT AREA W/IN 250' BUFFER	99,421
POST-CONSTRUCTION % COVERAGE	55.9%
TOTAL IMPERVIOUS W/IN 50' BUFFER	11,384

NOTE: AREAS CALCULATED ABOVE TOP OF BANK WETLAND JURISDICTION, PER 1406.02(b)(2).

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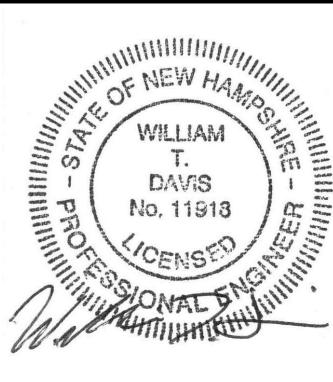
GOODHUE MEREDITH, LLC

31 LOVEJOY SANDS ROAD  
SITE IMPROVEMENTS

MEREDITH, NEW HAMPSHIRE  
TAX MAP U35 LOTS 8A, 11, 12 AND 14  
ZONING DISTRICT - SHORELINE "S"

SITE PLAN NOTES AND  
LOCAL AND STATE TABLES

NO.	DATE	REVISION DESCRIPTION	ENG	DWG



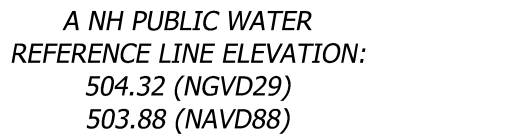
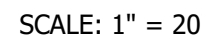
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CHECK'D BY: WTD	ARCHIVE #: H-5620

SHEET C2.0

DATE OF PRINT  
NOVEMBER 03 2023  
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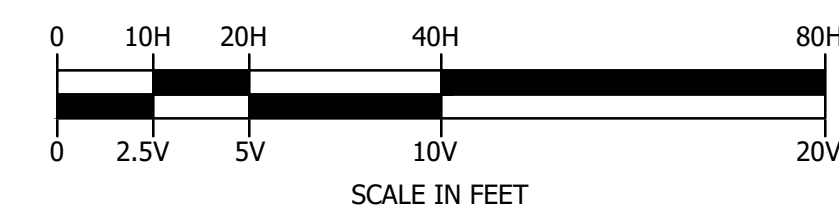




FOR US A.C.O.E. AREA CALCULATIONS BELOW ORDINARY HIGH WATER MARK (REFERENCE LINE), THE PROJECT REQUIRES NET 34.7 CY CUT (95.3 CY CUT; 60.6 CY FILL). THIS EQUATES TO 1,698 SF CUT AND 2,015 SF FILL IN PLAN VIEW.



1. ALL ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988, OR AS OTHERWISE NOTED.
2. THE LOWEST 1982-2021 AVERAGE WATER LEVEL ELEVATION SHOWN ON THESE PLANS BETWEEN MAY 1 AND OCTOBER 1 IS BASED ON THE NHDES "LAKE WINNIPESAUKEE LAKE LEVEL DATA", AS OF DECEMBER 31, 2022.



DATE OF PRINT  
NOVEMBER 03 2023  
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## GOODHUE MEREDITH, LLC

31 LOVEJOY SANDS ROAD  
 COMMERCIAL BOAT LAUNCH AND  
 NEGATIVE LIFT IMPROVEMENTS  
 MEREDITH, NEW HAMPSHIRE  
 TAX MAP U35 LOT 8A - SHORELINE "S" DISTRICT

### PROPOSED COMMERCIAL BOAT RAMP & NEGATIVE LIFT PLAN & PROFILE

NO.	DATE	REVISION DESCRIPTION	ENG	DWG



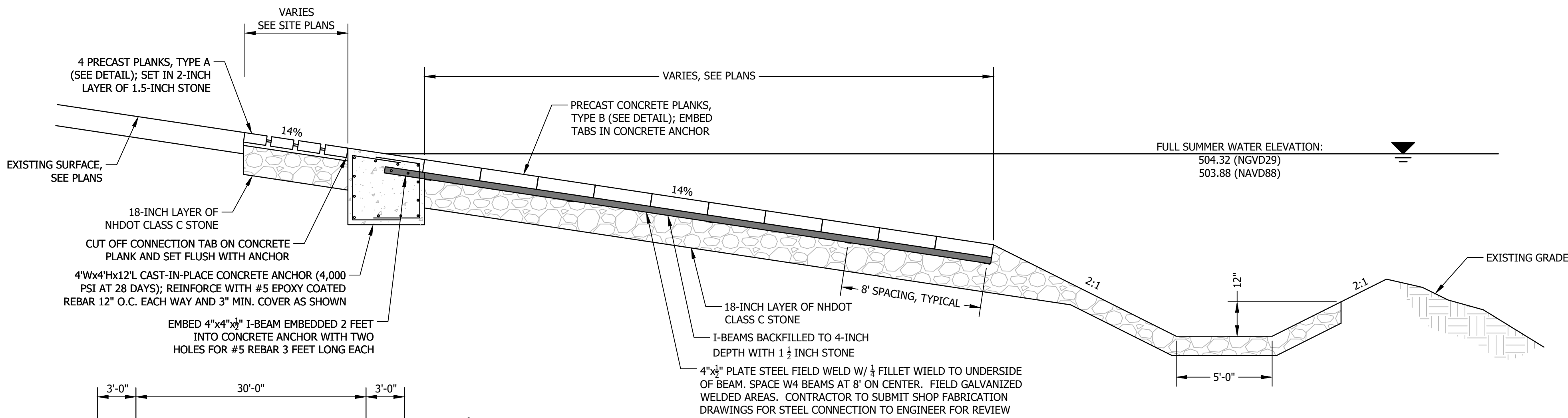
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ENG'N'D BY: -	DRAWN BY: WAM
CHECK'D BY: WTD	ARCHIVE #: -

**SHEET C.2.1**



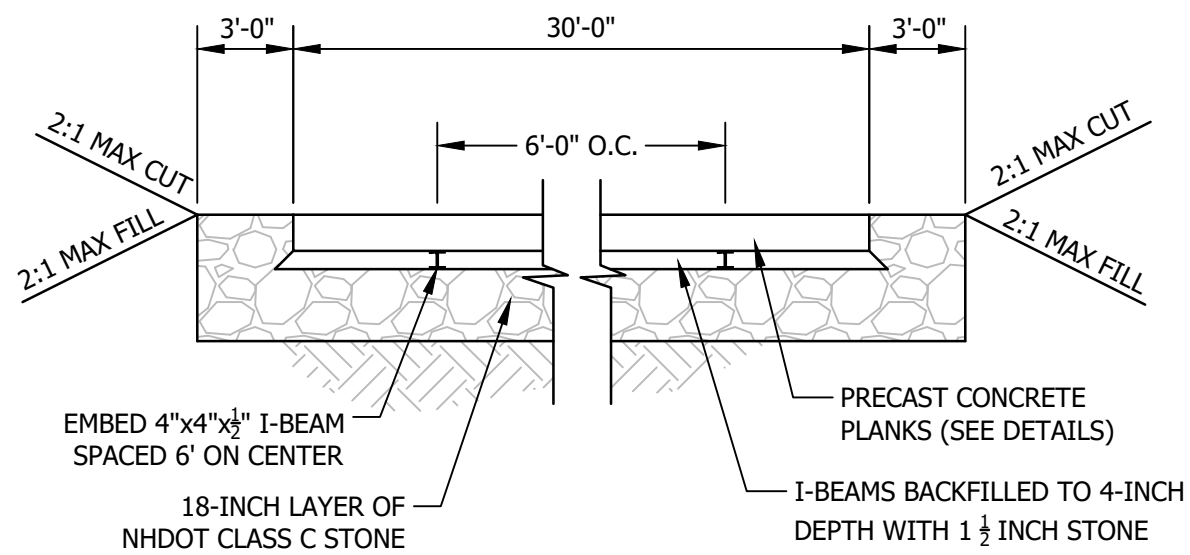






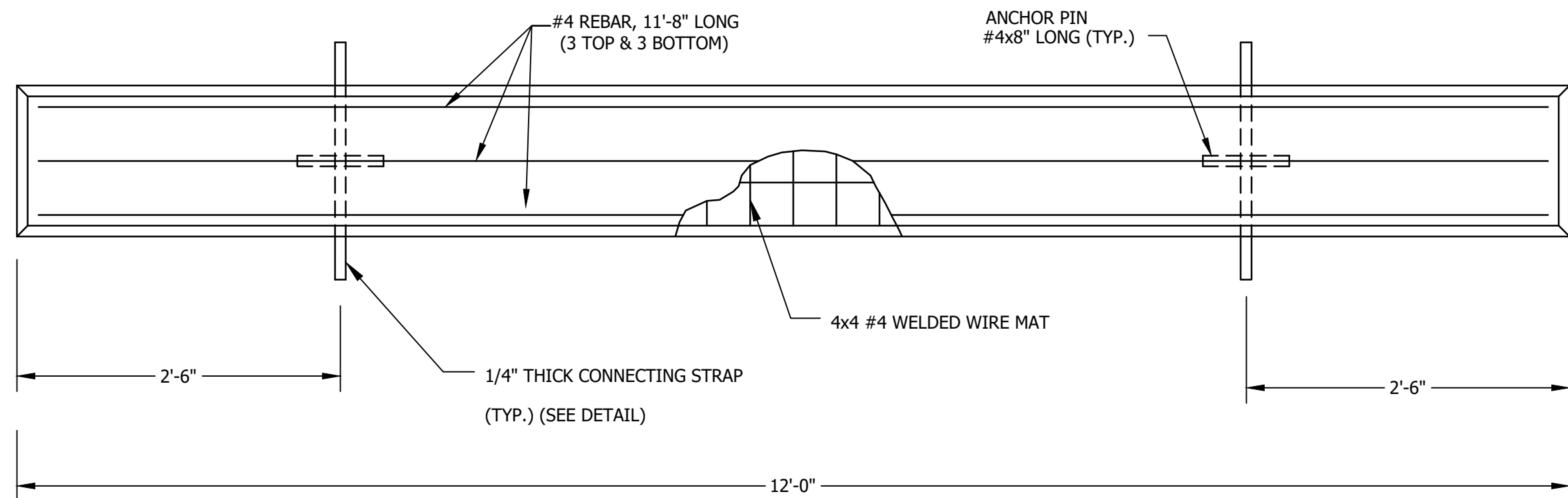
TYPICAL BOAT RAMP PROFILE SECTION

NOT TO SCALE



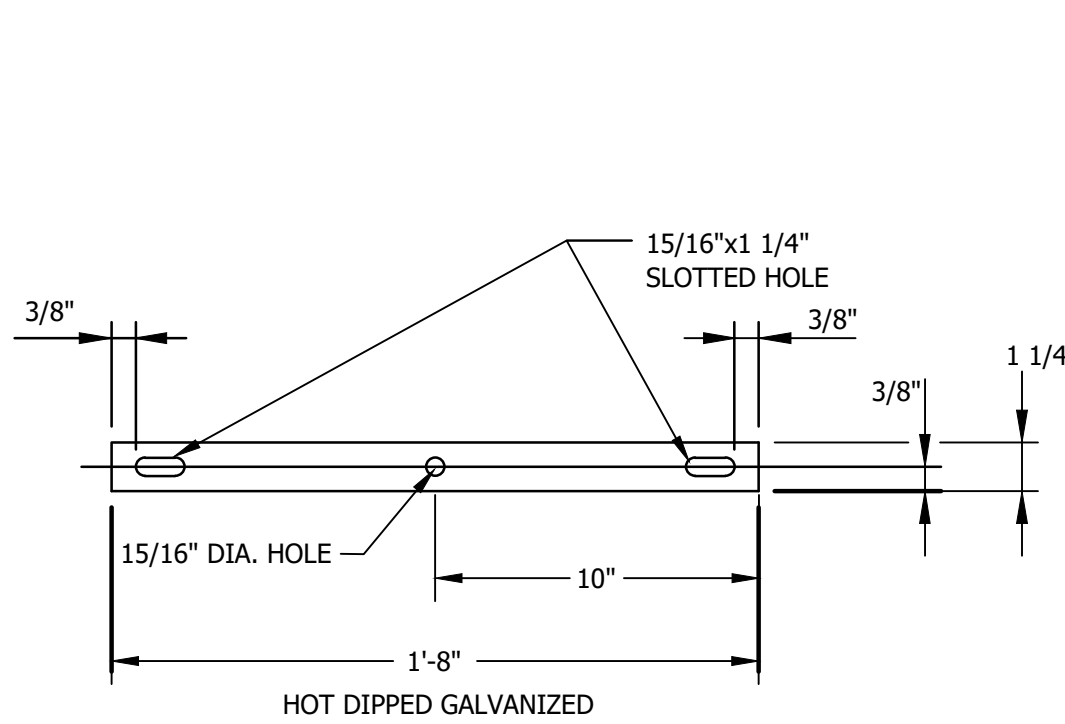
TYPICAL BOAT RAMP CROSS SECTION

NOT TO SCALE



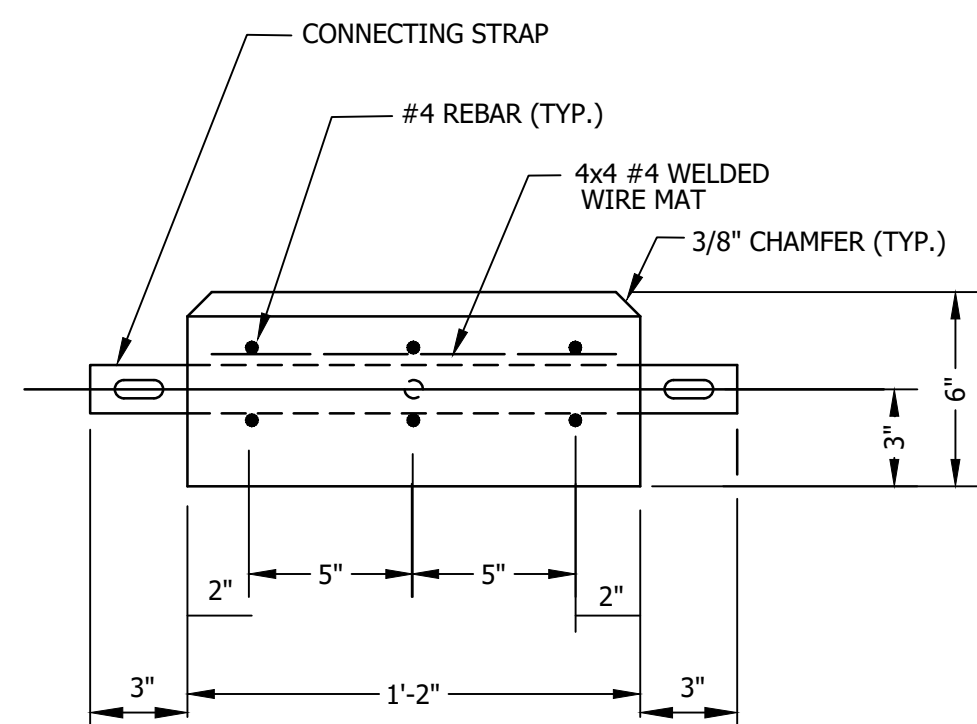
TYPE A PLANK - PLAN

NOT TO SCALE



TYPE A PLANK CONNECTING STRAP

NOT TO SCALE

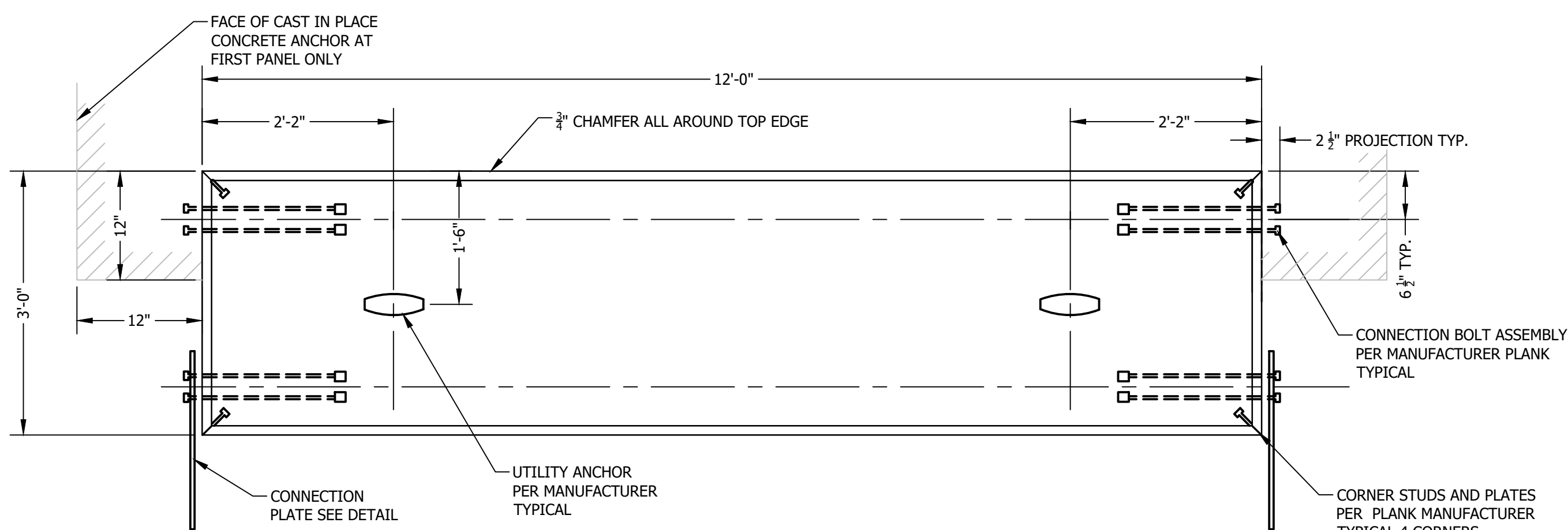


TYPE A PLANK SECTION

NOT TO SCALE

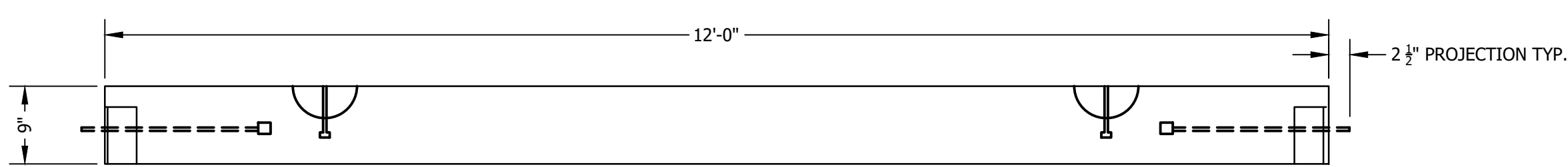
TYPE A PLANK NOTES

1. COMPRESSIVE STRENGTH OF CONCRETE: 5000 P.S.I. AT 28 DAYS
2. PLANKS TO HAVE BROOM FINISH LONGITUDINALLY.
3. CONNECTING BOLTS AND NUTS: 1/4"x2" STAINLESS STEEL.
4. THE APPROXIMATE WEIGHT PER PLANK IS 1050 LBS.
5. BOAT RAMP CONSTRUCTION DETAIL DERIVED FROM NEW HAMPSHIRE FISH AND WILDLIFE BOAT RAMP STANDARD DETAIL WITH PERMISSION.



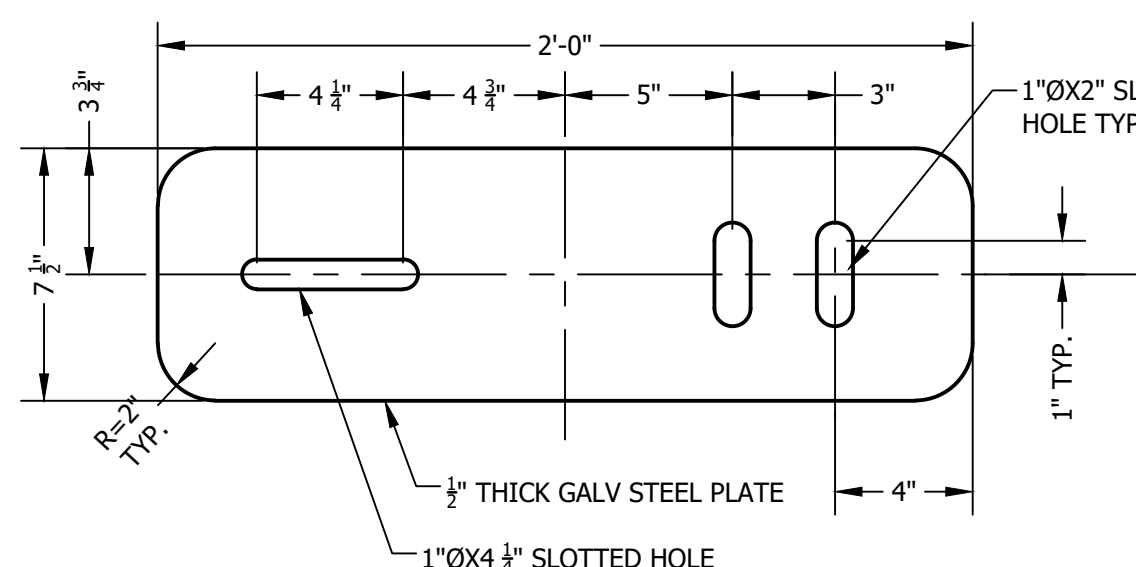
TYPE B PLANK - PLAN

NOT TO SCALE



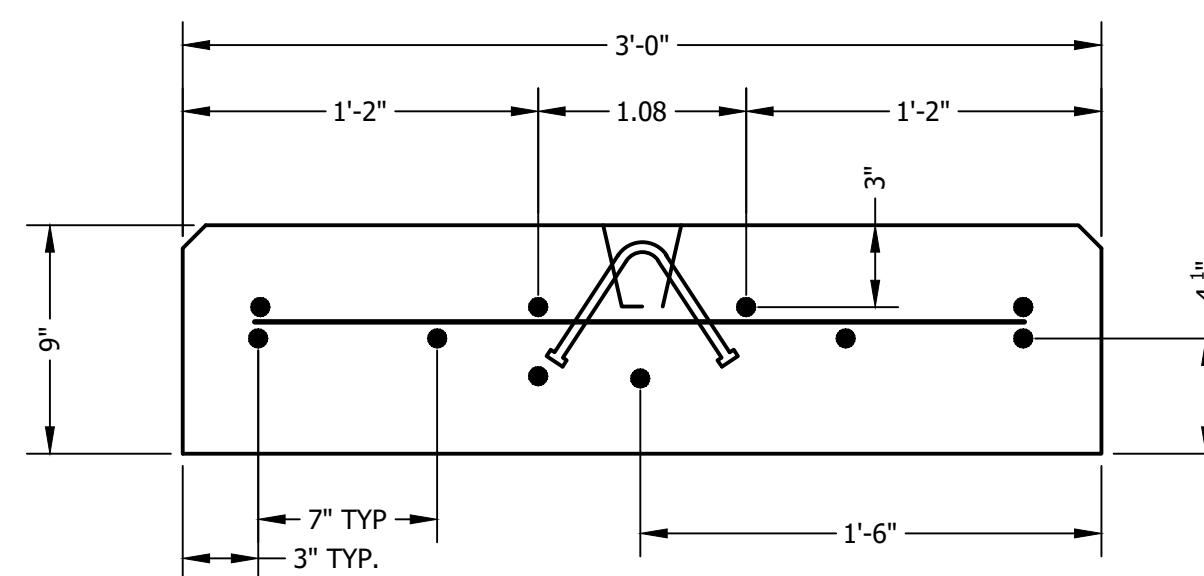
TYPE B PLANK - ELEVATION

NOT TO SCALE



TYPE B PLANK CONNECTION PLATE DETAIL

NOT TO SCALE

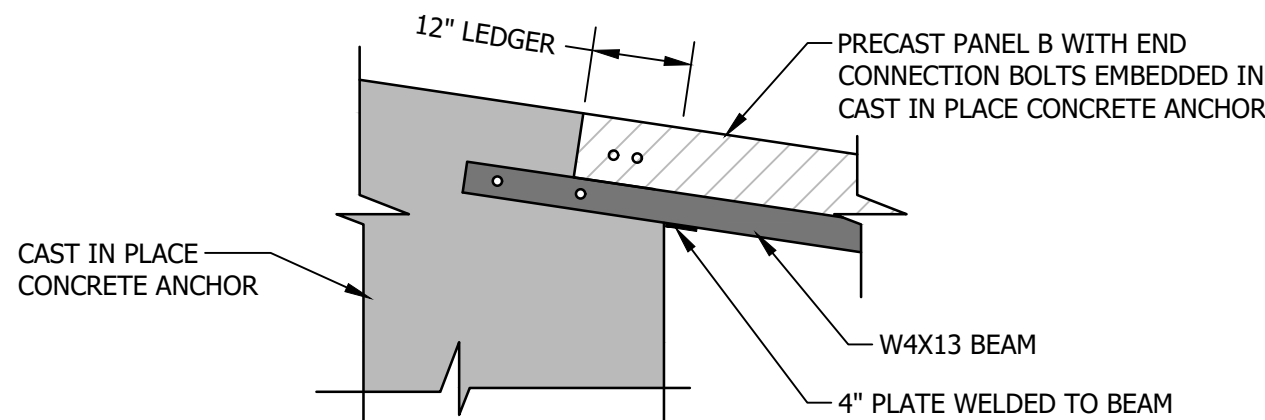


TYPE B PLANK SECTION

NOT TO SCALE

TYPE B PLANK NOTES

1. COMPRESSIVE STRENGTH OF CONCRETE: 4000 P.S.I. - NHDOT CLASS AA
2. PLANKS REINFORCING STEEL: ASTM A775 (REBAR) GRADE 60, EPOXY COATED
3. PLANKS SHALL HAVE A LONGITUDINAL COURSE BROOM FINISH.
4. MISCELLANEOUS STEEL: ASTM A36, ALL EMBEDDED STEEL, CONNECTION PLATES, BOLTS AND HARDWARE SHALL BE HOT DIPPED GALVANIZED.
5. TOP AND SIDE OF PLANKS TO BE COATED WITH WATER REPELLENT (SILANE SILOXANE) BY PLANK MANUFACTURER
6. EACH ANHOR BOLT ASSEMBLY CAST INTO PLAN CONSIST OF (2) 3/4"x22" LONG THREADED RODS, (4) 2" HEAVY DUTY NUTS, (1) 3/4"x3"x6" PLATE WASHER AND (4) LOCK WASHERS.
7. LOOSE HARDWARE (INCLUDING (8) 3/4" HEAVY DUTY NUTS, (8) LOC WASHERS AND (2) CONNECTION PLATES) TO BE ATTACHED TO PLANK DURING SHIPPING.
8. ALL REBAR TO BE EPOXY #6 BARS
9. CORNER PLATES SHALL CONSIST OF L4"x4"x3/8"x7" LONG WITH (2) 1/2"x6" LONG STUDS TYPICAL 4 CORNERS.
10. CONNECTION PLATE BOLTS SHALL CONSIST OF 3/4"x1'-10" LONG THREAD ROD GALV. 3/4"x3"x6" PLATE WASHER, LOCK WASHER AND HEAVY HEX NUTS TYPICAL.



PANEL B - EMBEDMENT DETAIL

NOT TO SCALE

STONE SPECIFICATIONS

2.1 MATERIALS - STONE FILL

- A. MATERIALS SHALL MEET THE REQUIREMENTS OF SECTION 585, STONE FILL, NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS (NHS) FOR THE APPROPRIATE ITEM AS INDICATED ON THE DRAWINGS.
- B. STONE FOR STONE FILL SHALL BE APPROVED QUARRY STONE, OR BROKEN ROCK OF A HARD, SOUND, AND DURABLE QUALITY. THE STONES AND SPALLS SHALL BE SO GRADED AS TO PRODUCE A DENSE FILL WITH A MINIMUM OF VOIDS.
1. **CLASS A STONE** SHALL BE IRREGULAR IN SHAPE WITH APPROXIMATELY 50 % OF THE MASS HAVING A MINIMUM VOLUME OF 12 CUBIC FEET, APPROXIMATELY 30 % OF THE MASS RANGING BETWEEN 3 AND 12 CUBIC FEET, APPROXIMATELY 10 % OF THE MASS RANGING BETWEEN 1 AND 3 CUBIC FEET, AND THE REMAINDER OF THE MASS COMPOSED OF SPALLS.

2. **CLASS B STONE** SHALL BE IRREGULAR IN SHAPE WITH APPROXIMATELY 50 % OF THE MASS HAVING A MINIMUM VOLUME OF 3 CUBIC FEET, APPROXIMATELY 40 % OF THE MASS RANGING BETWEEN 1 AND 3 CUBIC FEET, AND THE REMAINDER OF THE MASS COMPOSED OF SPALLS.

3. **CLASS C STONE** SHALL CONSIST OF CLEAN, DURABLE FRAGMENTS OF LEDGE ROCK, OF UNIFORM QUALITY, REASONABLY FREE FROM THIN OR ELONGATED PIECES. THE STONE SHALL BE MADE FROM ROCK WHICH IS FREE FROM TOPSOIL AND OTHER ORGANIC MATERIAL. THE STONE SHALL BE GRADED AS FOLLOWS:

SIEVE SIZE	PERCENTAGE PASSING BY WEIGHT
12 INCH	100
4 INCH	50-90
1-1/2 INCH	0-30
3/4 INCH	0-10

4. **CLASS D STONE** SHALL CONSIST OF CRUSHED STONE, GRAVEL, OR OTHER APPROVED INERT MATERIALS WITH SIMILAR CHARACTERISTICS OR COMBINATIONS THEREOF, HAVING HARD, STRONG, DURABLE PARTICLES, FREE FROM SURFACE COATING AND INJURIOUS AMOUNTS OF SOFT, FRAGILE, OR LAMINATED PIECES, AND FREE OF ALKALINE, ORGANIC, OR OTHER HARMFUL MATTER. THE STONE SHALL BE STANDARD STONE SIZE 467 (NO. 4 TO 1-1/2").

5. **EROSION STONE** SHALL BE IRREGULAR IN SHAPE WITH APPROXIMATELY 50% OF THE MASS HAVING A MINIMUM DIMENSION BETWEEN 6-INCHES AND 8-INCHES, APPROXIMATELY 40% OF THE MASS HAVING A MINIMUM DIMENSION BETWEEN 2-INCHES AND 6-INCHES AND THE REMAINDER OF THE MASS COMPOSED OF SPALLS.

6. **SPALLS** FOR FILLING VOIDS SHALL CONSIST OF A MIXTURE OF STONES OR ROCK FRAGMENTS AND PARTICLES WITH 95 TO 100% PASSING THE 3-INCH SIEVE AND 25 TO 70% PASSING THE NO. 4 SIEVE.

C. MINIMUM DEPTH OF STONE LAYER SHALL CONFORM TO THE FOLLOWING

STONE SIZE CLASS	MIN. DEPTH
EROSION STONE	12"
CLASS C	12"
CLASS B	18"
CLASS A	30"

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GOODHUE MEREDITH, LLC

31 LOVEJOY SANDS ROAD  
COMMERCIAL BOAT LAUNCH AND  
NEGATIVE LIFT IMPROVEMENTS

MEREDITH, NEW HAMPSHIRE  
TAX MAP U35 LOT 8A - SHORELINE "S" DISTRICT

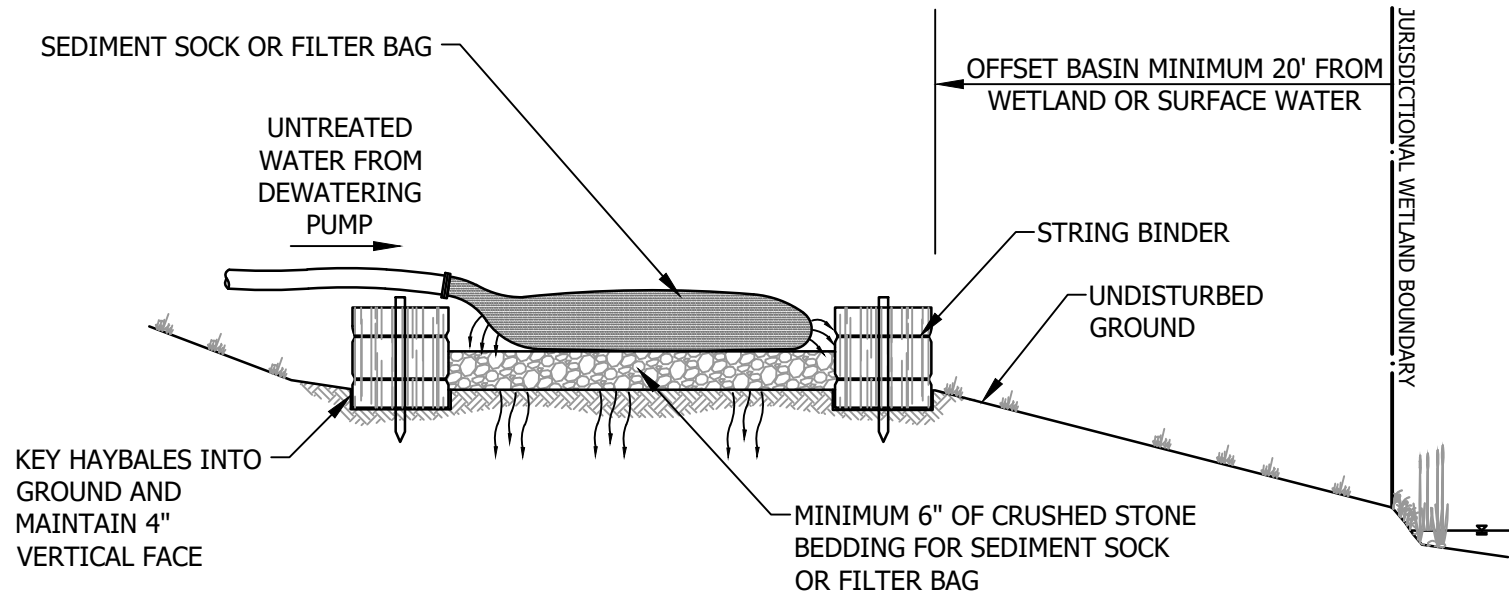
BOAT LAUNCH DETAILS

NO.	DATE	REVISION DESCRIPTION	ENG	DWG

	DATE: NOV 2023	PROJECT #: 20818
	ENGINE'D BY: -	DRAWN BY: WAM
	CHECK'D BY: WTD	ARCHIVE #: -
	SHEET C3.2	

DATE OF PRINT  
NOVEMBER 03 2023  
HORIZONS ENGINEERING

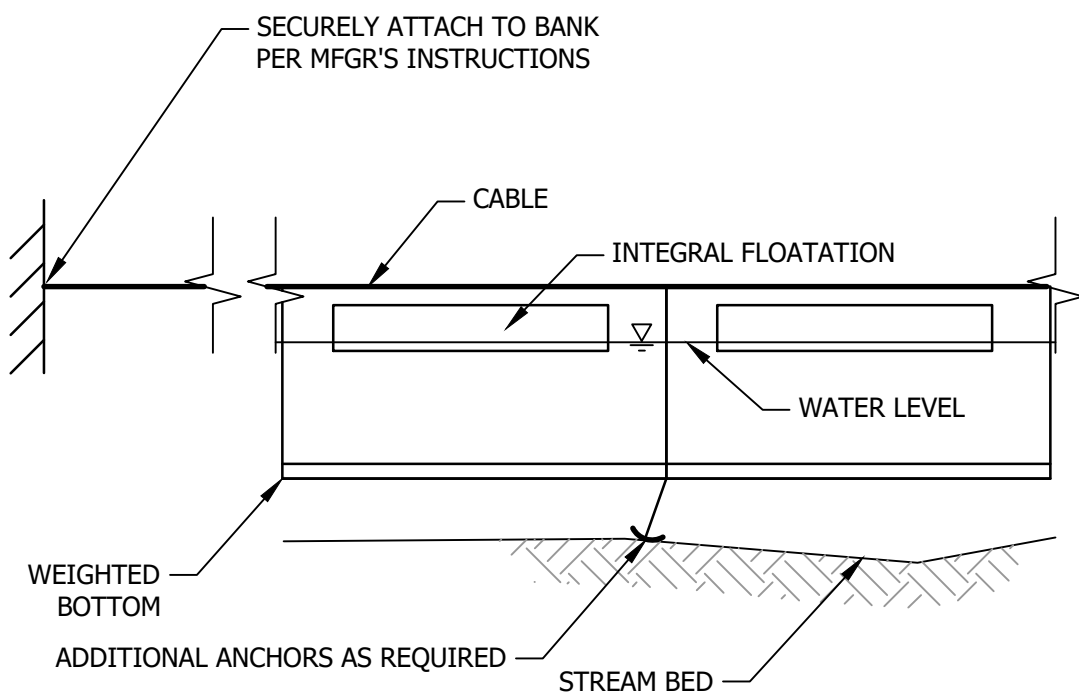
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Engineering  
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- NOTE:
1. DESIGN INTENT FOR TEMPORARY DEWATERING FILTER PAD IS TO ENHANCE PUMP WATER QUALITY PRIOR TO INFILTRATION INTO UNDISTURBED GROUND.
  2. CONTRACTOR TO OPERATE PUMPS AND SIZE TEMPORARY DEWATERING FILTER PAD TO ENCOURAGE INFILTRATION AND PREVENT DISCHARGE TO SURFACE WATERS OR WETLANDS.
  3. COVERAGE UNDER EPA'S CONSTRUCTION DEWATERING GENERAL PERMIT OR CONSTRUCTION GENERAL PERMIT MUST BE OBTAINED IF DEWATERING ACTIVITIES RESULT IN A DISCHARGE TO SURFACE WATERS OR WETLANDS.

TEMPORARY DEWATERING FILTER PAD DETAIL

NO SCALE



- NOTES:
1. FLOATING TURBIDITY BARRIER SHALL BE TYPE III HEAVY DUTY.
  2. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
  3. TURBIDITY BARRIER SHALL BE DEPLOYED DURING ACTIVITIES WHICH HAVE THE POTENTIAL TO CAUSE TURBIDITY. BARRIER SHALL BE TEMPORARILY REMOVED WHEN SIGNIFICANT ICE OR FLOATING DEBRIS IS EXPECTED AND NO WORK IS TAKING PLACE.

FLOATING TURBIDITY BARRIER DETAIL

NOT TO SCALE

SEDIMENT RETENTION WATTLES

DESCRIPTION  
EROSION CONTROL AND SEDIMENT RETENTION WATTLES (ESW) OR SLOPE INTERRUPTION DEVICES (SID) COMMONLY KNOWN AS WATTLES, ARE ELONGATED TUBES OF COMPACTED STRAW THAT ARE INSTALLED ALONG CONTOURS OR AT THE BASE OF SLOPES TO HELP REDUCE SOIL EROSION AND RETAIN SEDIMENT. THEY FUNCTION BY SHORTENING SLOPE LENGTH, REDUCING RUNOFF WATER VELOCITY, TRAPPING DISLODGED SOIL PARTICLES AND AMELIORATING THE EFFECTS OF SLOPE STEEPNESS.

WATTLES ARE USED AS WATER FLOW DISSIPATERS TRAPPING SEDIMENT WHEN LOCATED PRIOR TO DRAIN INLETS, ETC. WATTLES ARE HIGHLY EFFECTIVE WHEN THEY ARE USED IN COMBINATION WITH OTHER SURFACE SOIL EROSION/RE-VEGETATION PRACTICES SUCH AS SURFACE ROUGHENING, STRAW MULCHING, EROSION CONTROL BLANKETS, HYDRAULIC MULCHING AND APPLICATION OF BONDED FIBER MATRIX OR OTHER HYDRAULIC SOIL STABILIZERS.

PROPERTIES:  
MATERIAL: 100% WEED FREE STRAW  
LONGEVITY: 24 MONTHS  
NETTING: PHOTODEGRADABLE

DIAMETER	LENGTH	WEIGHT
9"	8' TO 25'	1.6 LBS/FT
12"	8' TO 20'	2.8 LBS/FT
18"	8' TO 20'	3.2 LBS/FT
20"	8' TO 20'	3.5 LBS/FT

NOTE: WATTLE SIZES, LENGTHS, WEIGHTS, AND LONGEVITY ARE APPROXIMATE.

INFORMATION PROVIDED BY:  
ULTRATECH INTERNATIONAL, INC.  
11542 DAVIS CREEK COURT, JACKSONVILLE, FL 32256 USA  
PHONE: 800.353.1611 FAX: 904.292.1325 WWW.STORMWATER-PRODUCTS.COM

DATE OF PRINT  
NOVEMBER 03 2023  
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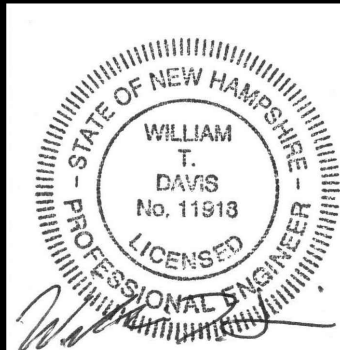
GOODHUE MEREDITH, LLC

31 LOVEJOY SANDS ROAD  
COMMERCIAL BOAT LAUNCH AND  
NEGATIVE LIFT IMPROVEMENTS

MEREDITH, NEW HAMPSHIRE  
TAX MAP U35 LOT 8A - SHORELINE "S" DISTRICT

CONSTRUCTION DETAILS

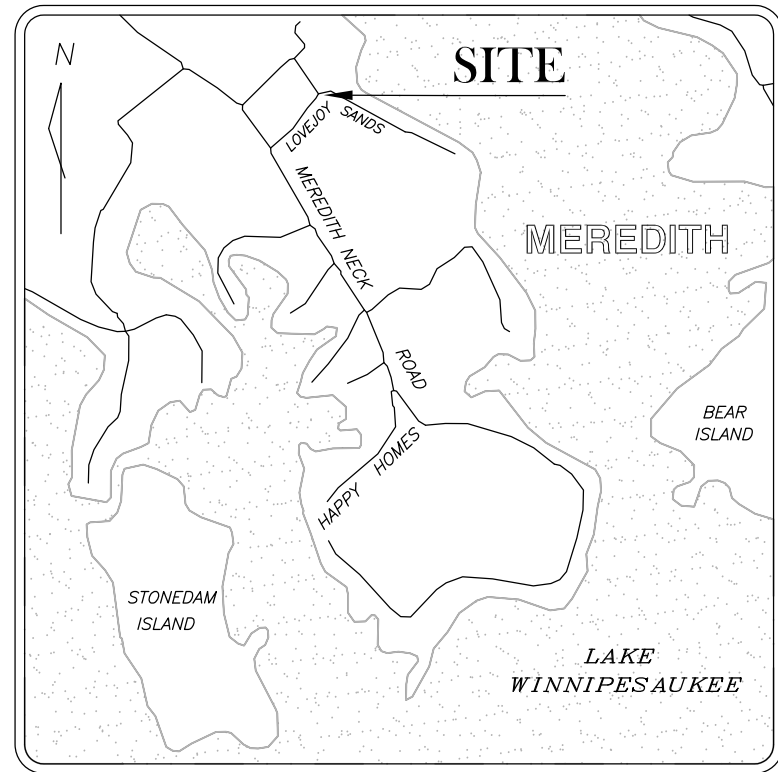
NO.	DATE	REVISION DESCRIPTION	ENG	DWG



DATE: NOV 2023	PROJECT #: 20818
ENG'ND BY: -	DRAWN BY: WAM
CHECK'D BY: WTD	ARCHIVE #: -

SHEET C3.3





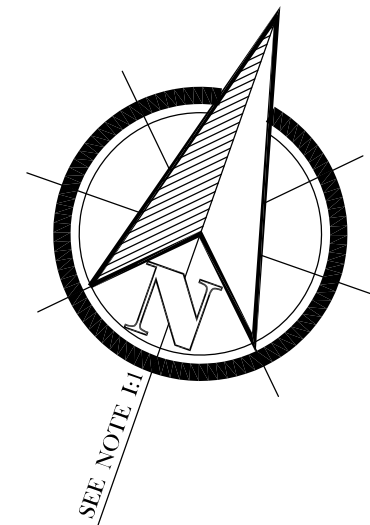
Locus Map  
-not to scale-

### Zoning:

Zone: Shoreline District  
Dimensional requirements:  
Minimum Area: 40,000 s.f.  
Width: 150 ft.  
Shoreline Setback: 65 ft.  
Side Setback: 20 ft.  
Waterfront Rear Setback: 30 ft.  
Non-waterfront Rear Setback 40 ft.  
Non-waterfront Front Setback 30 ft.  
Maximum Height: 38 ft.

### Legend

- iron rod / pipe found
- stone / concrete monument found
- capped rebar / pipe to be set
- ⊙ drill hole
- W utility pole with numbers, overhead wires and guy anchor
- 井 well
- 池 catch basin
- 石 stone wall
- property line
- - - approx. water line
- - - approx. pump/sewer line
- ▨ approx. existing septic tank

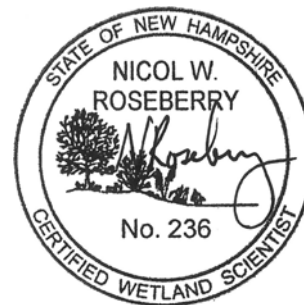


Tax Map U35-BK-5  
Beverly R. Schavone Declaration of Trust  
9 Tall Pines Way  
Meredith, NH 03253  
Deed 1629/801  
Plan Ref. 6



A wetland delineation was performed by Nicol Roseberry, CWS-236, of Ames Associates, Meredith NH in May 2018. The following standards were utilized:

- US Army Corps of Engineers Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region, Final Report ERDC/EL TR-12-1 (Jan 2012).
- Field Indicators of Hydric Soils in the United States, A Guide for Identifying and Delineating Hydric Soils, Version 7.0, United States Department of Agriculture (2010).
- New England Hydric Soils Technical Committee, 2017 Version 4, Field Indicators for Identifying Hydric Soils in New England, New England Interstate Water Pollution Control Commission, Lowell MA.
- North American Digital Flora: National Wetland Plant List, Version 2.2.1 (2009)
- Classification of Wetlands and Deepwater Habitats of the United States. USFW Manual FWS/OBS-79/31 (1979).



Tax Map U34-23B  
Higginsbottom 2018 Trust  
250 Farnum Street  
North Andover, MA 01845

Scale 1"=60'




DATE	REVISION	BY

Owner of Record:  
Goodhue & Hawkins Navy Yard.  
224 Sewall Road  
Wolfeboro, NH 03894  
Deed 1816/728, 1816/733, 2900/871

## Topographical & Wetland Delineation Plan land of *Goodhue & Hawkins* *Navy Yard*

Tax Map U35, Lots 8A,11,12 &14  
Lovejoy Sands Road  
Town of Meredith, Belknap County, New Hampshire



**AMES ASSOCIATES**  
P.O. Box 1398 • 169 DANIEL WEBSTER HIGHWAY  
MEREDITH, NH 03253  
603-279-5705  
603-279-7878 FAX

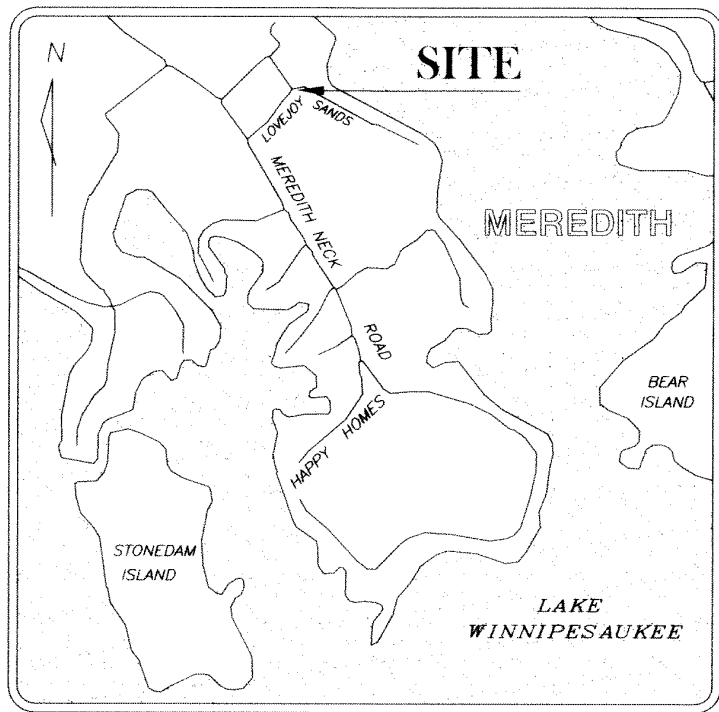
LAND SURVEYORS • SEPTIC SYSTEM DESIGNERS  
ENVIRONMENTAL CONSULTANTS  
FORESTRY • WETLAND & SOIL SCIENCE  
WWW.AMESASSOCIATES.COM

PLAN DATE  
7/19/2018  
DATE SURVEY  
5/3/2018

PROJECT NO.  
GOODHUE & HAWKINS U35-8A  
SCALE  
1"=60'

DRAWN BY  
WPH  
CHECKED BY  
RE





Locus Map  
-not to scale-

## Legend

- iron rod / pipe found
- stone / concrete monument found
- capped rebar / pipe to be set
- drill hole
- utility pole with numbers, overhead wires and guy anchor
- well
- catch basin
- stone wall
- property line
- approx. water line per plan ref. #11
- approx. pump/sewer line per plan ref. #11
- approx. existing septic tank per plan ref. #11

## I. Survey Notes:

- BEARINGS SHOWN HEREON ARE BASED ON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF SURVEY AND SERVE ONLY TO DEFINE ANGULAR RELATIONSHIPS.
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF AN UP-TO-DATE TITLE REPORT AND IS SUBJECT TO THE SAME.
- LAKE WINNEPESAUKEE IS A GREAT POND WITH A NATURAL MEAN HIGH WATER ELEVATION OF 504.32' (NGVD 1929) PER THE OFFICIAL LIST OF PUBLIC WATERS IN THE STATE OF NEW HAMPSHIRE. THE WATER BOUNDARY SHOWN IS THE CURRENT LOCATION OF ELEVATION 504.32'. A SIGNIFICANT AREA OF THE SUBJECT PROPERTY IS LAND CREATED BY PLACING FILL IN THE LAKE. ACCORDING TO HISTORIC SURVEY PLANS, THE WATER BOUNDARY SHOWN IS SUBJECT TO CHANGE DUE TO NATURAL CAUSES SUCH AS EROSION OR ACCRETION AND MAY OR MAY NOT REPRESENT THE ACTUAL LOCATION OF THE LIMIT OF TITLE.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE LAKE ELEVATION AT THE TIME OF SURVEY AS PUBLISHED HOURLY BY THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES.
- ALL LAND WITHIN 250' OF ANY NH PUBLIC WATERBODY (PER THE OFFICIAL LIST OF PUBLIC WATERS, PUBLISHED AND MAINTAINED BY THE STATE OF NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES, WATER DIVISION, DAM BUREAU) IS SUBJECT TO THE REGULATIONS OF THE COMPREHENSIVE SHORELAND PROTECTION ACT (RSA 483-B) AS AMENDED JULY 1, 2008. ANY DEVELOPMENT OR REDEVELOPMENT IN THIS AREA MAY REQUIRE A SHORELAND PERMIT FROM THE STATE OF NEW HAMPSHIRE.
- DIAMETERS OF IRON PIPES FOUND OR SET HEREON ARE OUTSIDE DIAMETER UNLESS OTHERWISE NOTED.
- TAX MAP U35 LOT 14 IS SUBJECT TO A PARKING EASEMENT BENEFITING THE TOWN OF MEREDITH AS SHOWN HEREON. SEE PLAN REFERENCE 1 AND DEED 1813/237.
- TAX MAP U35 LOT 8A IS BENEFITED BY TWO ACCESS EASEMENTS AND A UTILITY EASEMENT ACROSS TAX MAP U35 LOT 10 AS SHOWN HEREON. SEE PLAN REFERENCE 1 AND DEED 1813/237.
- THE SUBJECT PROPERTY IS BENEFITED BY A PARKING EASEMENT FOUR (4) FEET IN WIDTH ALONG THE SOUTHERLY SIDELINE OF LOVEJOY SANDS ROAD AS SHOWN HEREON. SEE PLAN REFERENCE 1 AND DEED 1813/237.
- THE SUBJECT PROPERTY IS SUBJECT TO AND BENEFITED BY RECIPROCAL EASEMENTS WITH THE TOWN OF MEREDITH FOR USE OF THE BOAT RAMP. SEE PLAN REFERENCE 1 AND DEED 1813/237.
- TAX MAP U35 LOT 8A IS SUBJECT TO AND BENEFITED BY TWO ACCESS EASEMENTS CONNECTING TO TALL PINES WAY AND TURTLE LANE TO THE NORTH. SEE DEED 403/121, EASEMENT AGREEMENT 794/201 AND PLAN REFERENCE 5.
- TAX MAP U35 LOT 12 TO BE SUBJECT TO AN EASEMENT BENEFITING TAX MAP U35 LOT 8A AND U35 LOT 11 FOR THE PURPOSE OF MAINTAINING THE EXISTING SEPTIC TANK AND ASSOCIATED UNDERGROUND PIPELINES AND WATER LINE LOCATED ON U35 LOT 12.
- UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY AND ARE BASED ON PLANS OF RECORD AND OTHER INFORMATION FOUND. NOT ALL UNDERGROUND UTILITIES ARE SHOWN. ALL UNDERGROUND UTILITY LOCATIONS SHOULD BE VERIFIED BEFORE ANY EXCAVATION. CALL DIGSAFE! 1-800-DIG-SAFE.
- THE PROPERTY IS SUBJECT TO ANY UTILITY EASEMENTS WHICH MAY EXIST INCLUDING BUT NOT LIMITED TO RIGHT OF EASEMENT DEED 2896/263.
- TAX MAP U35-12 AND U35-12A ARE BENEFITED BY A RESTRICTIVE COVENANT (SEE DEED 2973/723) PERTAINING TO THE EXISTING DOCK LOCATED NEAR THE SOUTHEASTERLY CORNER OF TAX MAP U35-12. FOR TITLE SEE QUITCLAIM AND EASEMENT DEED 2973/720.

## II. Roads:

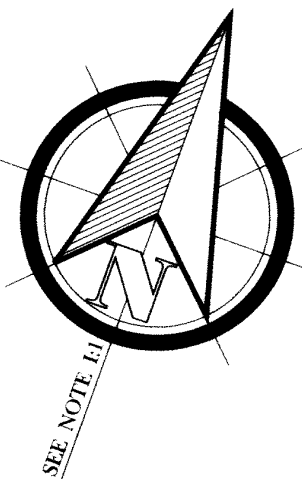
- LOVEJOY SANDS ROAD IS A PUBLIC WAY PER TOWN OF MEREDITH RECORDS. THE RIGHT OF WAY WAS RE-ESTABLISHED BY THE SELECTMEN OF THE TOWN OF MEREDITH ON DECEMBER 3, 2002 IN ACCORDANCE WITH NH RSA 231:27, AS PER PLAN REFERENCE 1. THE RIGHT OF WAY SHOWN HEREON IS BASED ON PLAN REFERENCE 1.
- LOVEJOY LANE IS A PUBLIC WAY PER TOWN OF MEREDITH RECORDS. IT WAS LAID OUT NOVEMBER 29, 1902, TWELVE FEET WIDE. NO OTHER LAYOUT RECORDS WERE FOUND. THE RIGHT OF WAY SHOWN HEREON IS BASED ON MONUMENTS FOUND AND IS SUBJECT TO AND BENEFITED BY ANY LAYOUT OF RECORD.
- MEREDITH NECK ROAD IS A PUBLIC WAY PER TOWN OF MEREDITH RECORDS. THE RIGHT OF WAY SHOWN HEREON IS BASED ON PHYSICAL EVIDENCE OF STONE WALLS AND IS SUBJECT TO AND BENEFITED BY THE LAYOUT OF RECORD.

## III. Plan References:

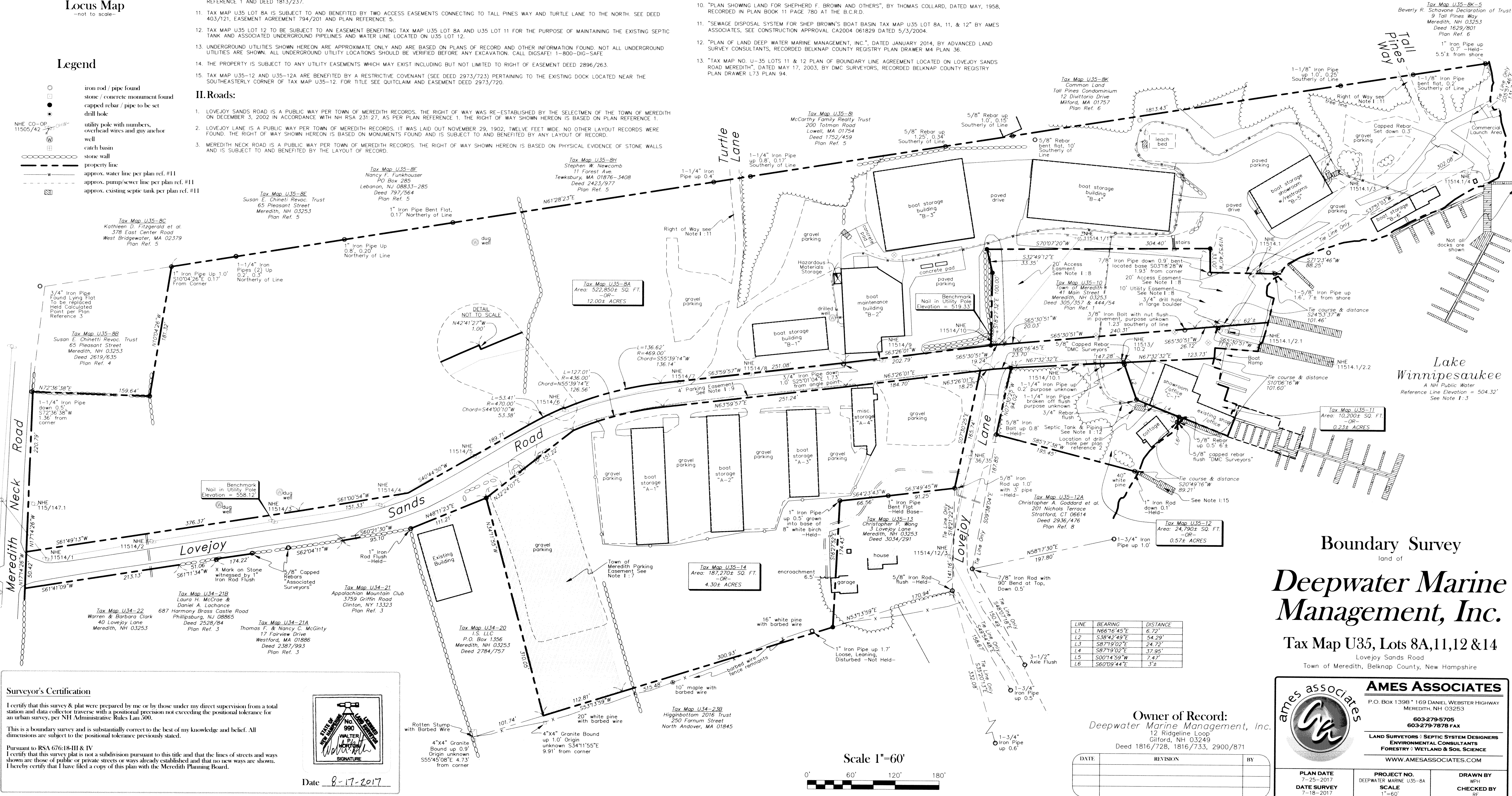
- "BOUNDARY SURVEY & ROAD LAYOUT LOCATED ON LOVEJOY SANDS ROAD" BY DMC SURVEYORS, DATED SEPTEMBER 13, 2002, RECORDED IN PLAN DRAWER L42 #70 & 71 AT THE BELKNAP COUNTY REGISTRY OF DEEDS. (B.C.R.D.)
- "PLAN SHOWING LAND FOR SHEP BROWN BOAT BASIN" BY THOMAS COLLARD, DATED FEBRUARY, 1960
- "SUBDIVISION PLAN PREPARED FOR LOVEJOY SANDS DEVELOPMENT, LLC" BY ASSOCIATED SURVEYORS, DATED MARCH 27, 2006 RECORDED IN PLAN DRAWER L56 #80 AT THE B.C.R.D.
- "PLAN SHOWING LAND OF CARLISLE H. BOGER, JR.", BY ASSOCIATED SURVEYORS, DATED MAY, 1980, RECORDED IN PLAN BOOK 83 PAGE 75 AT THE B.C.R.D.
- "SUBDIVISION OF LAND FOR FRANCIS J. & BEVERLY R. SCHAVONE" BY ASSOCIATED SURVEYORS, DATED SEPTEMBER, 1978, RECORDED IN PLAN BOOK 73 PAGE 71 AT THE B.C.R.D.
- "TALL PINES CONDOMINIUM FOR FRANCIS J. & BEVERLY R. SCHAVONE", BY ASSOCIATED SURVEYORS, DATED FEBRUARY, 1979, RECORDED IN PLAN BOOK 78 PAGE 73 AT THE B.C.R.D.
- "BOUNDARY LINE ADJUSTMENT LAND OF J. KENT BIRD", BY ASSOCIATED SURVEYORS, DATED NOVEMBER, 1979, RECORDED IN PLAN BOOK 87 PAGE 95 AT THE B.C.R.D.
- "PROPERTY OF MRS. ELIZABETH M. SWEETSER", A WORKSHEET BY THOMAS COLLARD DATED 1945.
- "PLAN OF LAND BELONGING TO WINIFRED CULLEN", BY THOMAS COLLARD, DATED OCTOBER 1939.
- "PLAN SHOWING LAND FOR SHEPHERD F. BROWN AND OTHERS", BY THOMAS COLLARD, DATED MAY, 1958, RECORDED IN PLAN BOOK 11 PAGE 780 AT THE B.C.R.D.
- "SEWAGE DISPOSAL SYSTEM FOR SHEP BROWN'S BOAT BASIN TAX MAP U35 LOT 8A, 11, & 12" BY AMES ASSOCIATES, SEE CONSTRUCTION APPROVAL CA2004 061829 DATED 5/3/2004.
- "PLAN OF LAND DEEP WATER MARINE MANAGEMENT, INC.", DATED JANUARY 2014, BY ADVANCED LAND SURVEY CONSULTANTS, RECORDED BELKNAP COUNTY REGISTRY PLAN DRAWER M4 PLAN 36.
- "TAX MAP NO. U-35 LOTS 11 & 12 PLAN OF BOUNDARY LINE AGREEMENT LOCATED ON LOVEJOY SANDS ROAD MEREDITH", DATED MAY 17, 2003, BY DMC SURVEYORS, RECORDED BELKNAP COUNTY REGISTRY PLAN DRAWER L73 PLAN 94.

## Zoning:

- Zone: Shoreline District
- Dimensional requirements:
- Minimum Area: 40,000 s.f.
  - Width: 150 ft.
  - Shoreline Setback: 65 ft.
  - Side Setback: 20 ft.
  - Waterfront Rear Setback: 30 ft.
  - Non-waterfront Rear Setback 40 ft.
  - Non-waterfront Front Setback 30 ft.
  - Maximum Height: 38 ft.



# 1708577  
08/17/2017 9:12:12 PM  
BK: L78 PG: 65 PAGE 1 OF 1  
JUDITH A. MCGRATH  
C/H  
L-CLIP  
REAS9900



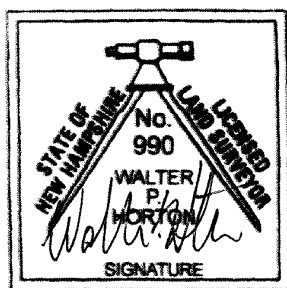
## Surveyor's Certification

I certify that this survey & plat were prepared by me or by those under my direct supervision from a total station and data collector traverse with a positional precision not exceeding the positional tolerance for an urban survey, per NH Administrative Rules Lau 500.

This is a boundary survey and is substantially correct to the best of my knowledge and belief. All dimensions are subject to the positional tolerance previously stated.

Pursuant to RSA 676:III-IV

I certify that this survey plat is not a subdivision pursuant to this title and that the lines of streets and ways shown are those of public or private streets or ways already established and that no new ways are shown. I hereby certify that I have filed a copy of this plan with the Meredith Planning Board.



Date 8-17-2017

## Boundary Survey

land of

Deepwater Marine  
Management, Inc.

Tax Map U35, Lots 8A, 11, 12 & 14

Lovejoy Sands Road  
Town of Meredith, Belknap County, New Hampshire

Owner of Record:  
Deepwater Marine Management, Inc.  
12 Ridgeline Loop  
Gilford, NH 03249  
Deed 1816/728, 1816/733, 2900/871

DATE	REVISION	BY

ames associates

**AMES ASSOCIATES**  
P.O. Box 1398 • 169 DANIEL WEBSTER HIGHWAY  
MEREDITH, NH 03253  
603-279-5705  
603-279-7878 FAX

LAND SURVEYORS • SEPTIC SYSTEM DESIGNERS  
ENVIRONMENTAL CONSULTANTS  
FORESTRY • WETLAND & SOIL SCIENCE

WWW.AMESASSOCIATES.COM

PLAN DATE  
7-25-2017  
DATE SURVEY  
7-18-2017

PROJECT NO.  
DEEPWATER MARINE U35-BA  
SCALE  
1"=60'

DRAWN BY  
WPH  
CHECKED BY  
RE