

# GOODHUE MEREDITH REAL PROPERTY, LLC

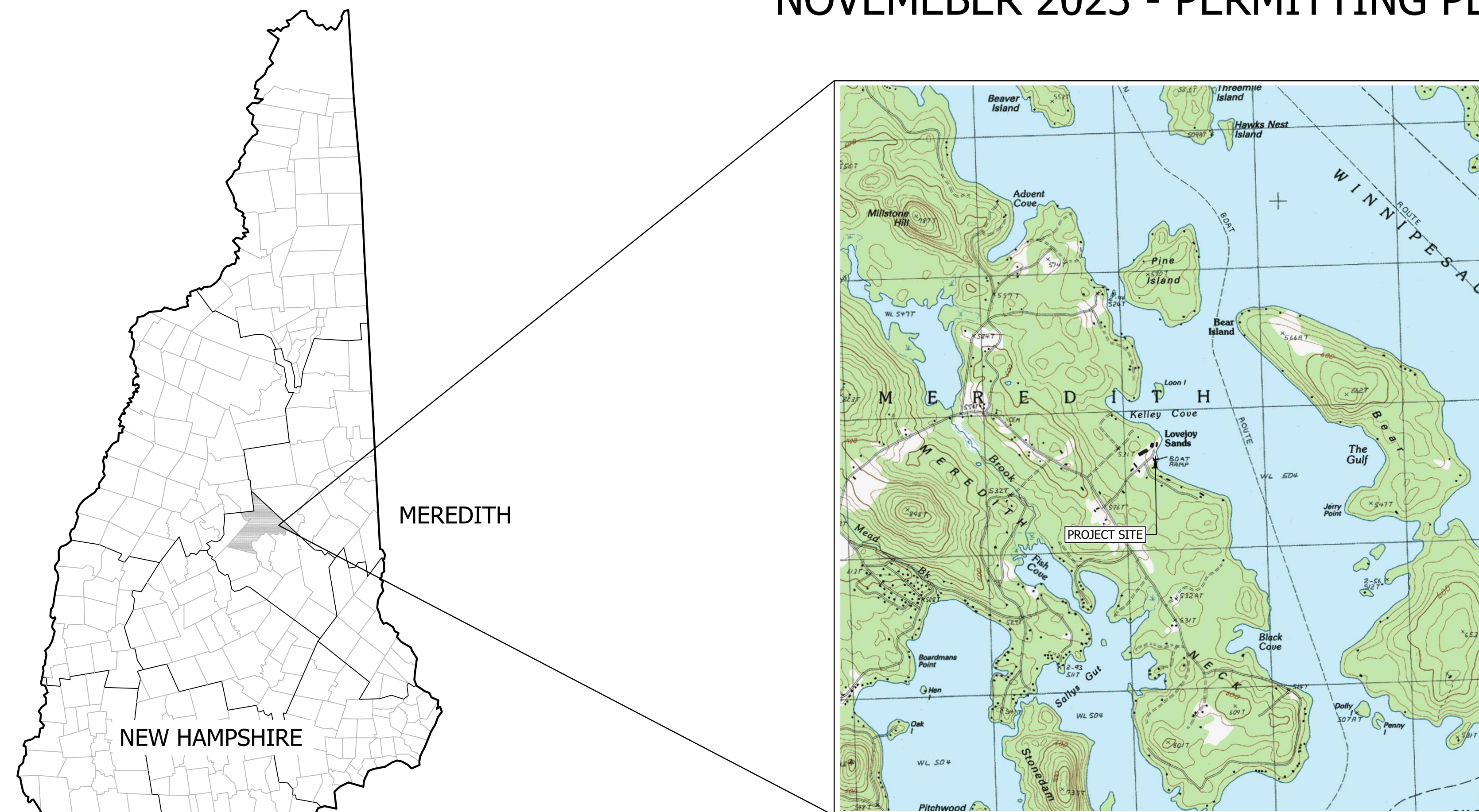
## 31 LOVEJOY SANDS ROAD - COMMERCIAL BOAT LAUNCH AND NEGATIVE LIFT IMPROVEMENTS

MEREDITH, NEW HAMPSHIRE

TAX MAP U35 LOTS 8A & 11

ZONING DISTRICT - SHORELINE "S"

NOVEMEBER 2023 - PERMITTING PLANS



### LOCATION PLAN

SCALE: 1" = 2000'

#### CIVIL SHEET LIST:

	COVER
C1.0	OVERVIEW, GENERAL NOTES AND LEGEND
C1.1-1.2	EXISTING CONDITIONS PLAN
C2.0	SITE PLAN NOTES AND LOCAL & STATE TABLES
C2.1	PROPOSED COMMERCIAL BOAT RAMP & NEGATIVE LIFT PLAN & PROFILE
C2.2	DOCKING RECONFIGURATION PLAN
C3.1	EROSION CONTROL NOTES AND DETAILS
C3.2	BOAT RAMP DETAILS
C3.3	CONSTRUCTION DETAILS

#### SEE ALSO BY AMES ASSOCIATES

- BOUNDARY PLAN (AS RECORDED IN BELKNAP COUNTY REGISTRY OF DEEDS)
- CERTIFIED TOPOGRAPHICAL AND WETLAND DELINEATION PLAN

#### CLIENT & OWNER:

GOODHUE MEREDITH REAL  
PROPERTY, LLC  
31 LOVEJOY SANDS ROAD  
MEREDITH, NH 03253  
(603) 279-4573

#### ENGINEER:

**horizons**  
*Engineering*

176 NEWPORT ROAD  
SUITE 8  
NEW LONDON, NH 03766  
(603) 877-0116

#### SURVEYOR & WETLAND SCIENTIST:

AMES ASSOCIATES  
164 NH Route 25  
MEREDITH, NH 03253  
(603) 279-5705

#### SOIL SCIENTIST:

GOVE ENVIRONMENTAL  
SERVICES, INC.  
8 CONTINENTAL DRIVE  
BLDG 2, UNIT H  
EXETER, NH 03833  
(603) 778-0644

#### PERMIT APPROVALS

THIS PROJECT SHALL COMPLY WITH ALL CONDITIONS OF ALL PERMITS FOR THE PROJECT. OWNER SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION. COPIES OF THESE PERMITS MAY BE REQUESTED FROM THE HORIZONS ENGINEERING NEW LONDON OFFICE.

#### NHDES

WETLANDS PERMIT - MINOR IMPACT  
SHORELAND IMPACT

PENDING  
PENDING

TOWN OF MEREDITH

TO BE COORDINATED

#### FUNCTIONAL ASSESSMENT CONSULTANT:

AMBIT ENGINEERING, INC.  
200 GRIFFIN, UNIT 3  
PORTSMOUTH, NH 03801



900  
 902  
 EXISTING MAJOR CONTOUR  
 EXISTING MINOR CONTOUR  
 DRILL HOLE  
 CONCRETE BOUND, FOUND  
 IRON PIPE, SET  
 IRON PIPE, FOUND  
 PROPERTY LINE  
 ABUTTER PROPERTY LINE  
 TIELINE  
 SETBACK LINE  
 TB TB  
 EXISTING TOP OF BANK (APPROXIMATED BY AMES ASSOCIATES)  
 SPB-50  
 50' SHORELAND SETBACK LINE  
 SPB-150  
 150' SHORELAND SETBACK LINE  
 SPB-250  
 250' SHORELAND SETBACK LINE  
 RLE  
 EXISTING LAKE REFERENCE LINE  
 EXISTING TREELINE  
 EXISTING PAVEMENT  
 EXISTING GRAVEL  
 EXISTING CONCRETE  
 EXISTING BUILDING  
 EXISTING WETLAND / WETLAND BOUNDARY  
 EXISTING WETLAND SETBACK  
 EXISTING BARBWARE FENCELINE  
 EXISTING WOOD FENCELINE  
 EXISTING CHAINLINK FENCELINE  
 EXISTING OVERHEAD ELECTRIC / UTILITY POLE / GUY  
 EXISTING SEPTIC PUMP LINE / SEPTIC TANK / LEACH FIELD  
 EXISTING WATER LINE  
 EXISTING POST  
 EXISTING WELL  
 EXISTING HYDRANT  
 EXISTING CATCH BASIN  
 EXISTING CULVERT  
 EXISTING PATIO  
 EXISTING BENCHMARK  
 EXISTING DOCK  
 APPROXIMATE TEST PIT LOCATION  
 TP-99  
 LIMITS OF HORIZONS GROUND & BATHYMETRIC SURVEY  
 NHDES SHORELAND UNALTERED AREA (3,759 SF)  
 900  
 902  
 PROPOSED MAJOR CONTOUR  
 PROPOSED MINOR CONTOUR  
 PROPOSED TREELINE  
 PROPOSED GRAVEL  
 PROPOSED CONCRETE  
 PROPOSED DOCK  
 SF SF  
 DSF DSF DSF DSF  
 PROPOSED EROSION CONTROLS  
 PROPOSED DOUBLE EROSION CONTROLS (WITHIN 50' OF WETLANDS)  
 PROPOSED COFFER DAM  
 PROPOSED EROSION CONTROL TURBIDITY FENCE

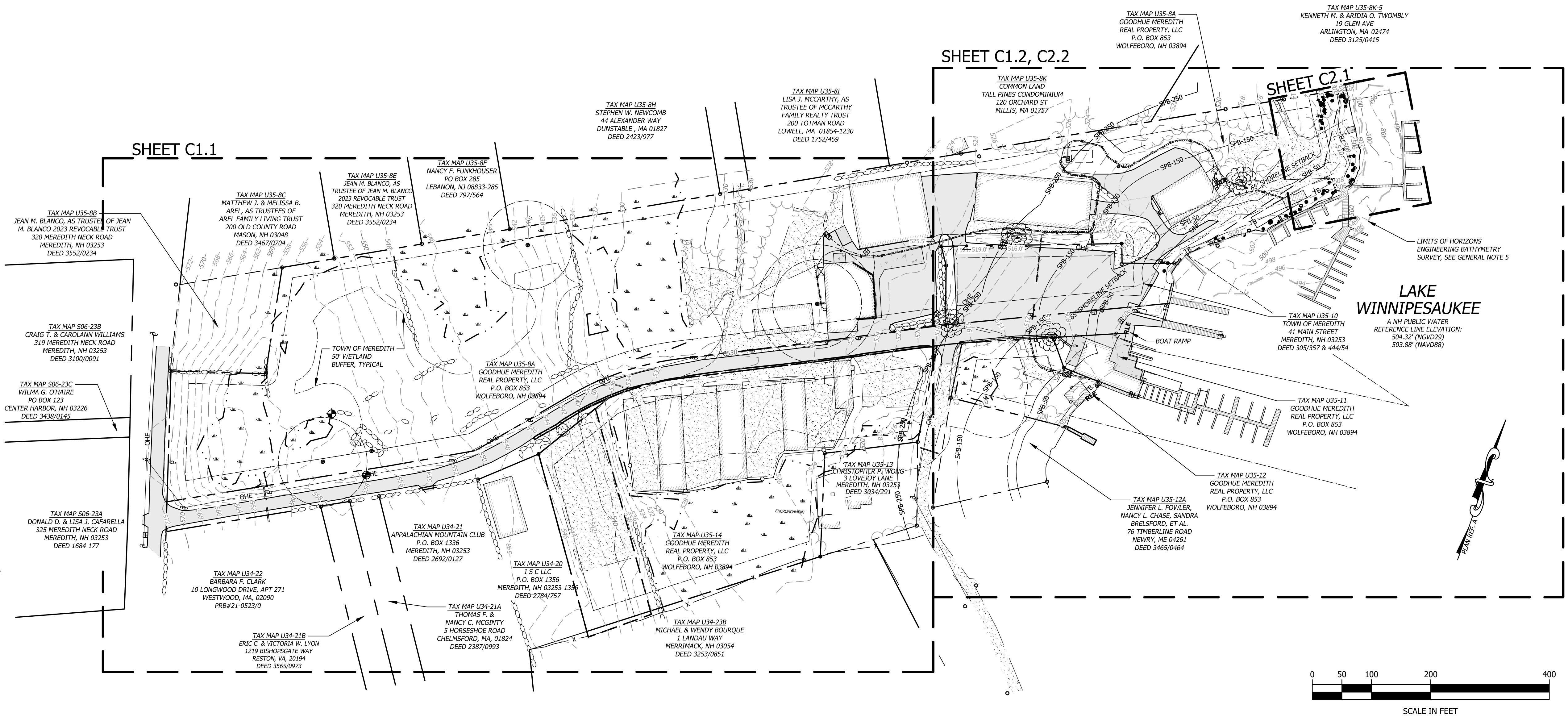
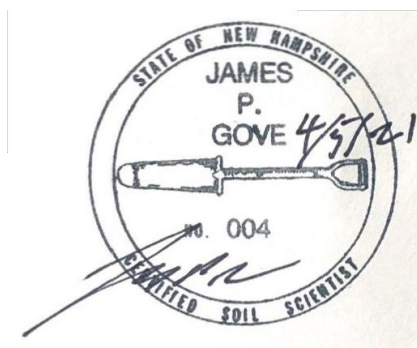
1. OWNER OF RECORD:  
  
GOODHUE MEREDITH REAL PROPERTY, LLC  
PO BOX 853  
WOLFEBORO, NH 03894
2. RECORDS DEED(S):  
  
(A) DEED BOOK 3123 PAGE 110 RECORDED IN THE BELKNAP COUNTY REGISTRY OF DEEDS PLAN BOOK L78 PAGE 65, PAGE 1 OF 1.
3. PLAN REFERENCE(S):  
  
(A) "BOUNDARY SURVEY LAND OF DEEPWATER MARINE MANAGEMENT, INC. - TAX MAP U35, LOT 8A, 11, 12 & 14" PREPARED BY AMES ASSOCIATES DATED JULY 25, 2017 (AMES PROJECT NO. "DEEPWATER MARINE U35-8A"), RECORDED IN THE BELKNAP COUNTY REGISTRY OF DEEDS PLAN BOOK L78 PAGE 65, PAGE 1 OF 1.  
  
(B) "TOPOGRAPHICAL & WETLAND DELINEATION PLAN - LAND OF GOODHUE & HAWKINS NAVY YARD - TAX MAP U35, LOT 8A, 11, 12 & 14" PREPARED BY AMES ASSOCIATES DATED JULY 19, 2018 (AMES PROJECT NO. "GOODHUE & HAWKINS U25-8A").  
  
(C) A DRAFT PLAN (NOT RECORDED) TITLED "BOUNDARY LINE ADJUSTMENT SURVEY, LAND OF GOODHUE MEREDITH REAL PROPERTY LLC - TAX MAP U35, LOT 8A & 11 & TOWN OF MEREDITH - TAX MAP U35, LOT 10" PREPARED BY AMES ASSOCIATES DATED NOVEMBER 16, 2022 (AMES PROJECT NO. "BLA GHNY & MEREDITH").
4. BASE MAP INFORMATION INCLUDING BOUNDARY, TOPOGRAPHY AND WETLANDS ON THESE PLANS IS TAKEN FROM PLAN REFERENCE A, B AND C.
5. TOPOGRAPHY SHOWN IN THE PUBLIC WATERS OF LAKE WINNIPESAUKE IS BASED ON BATHOMETRY MEASUREMENTS TAKEN BY HORIZONS ENGINEERING, INC IN FEBRUARY 2021.
6. THE WORD "CERTIFY" OR "CERTIFICATION" AS SHOWN AND USED HEREON MEANS COMPLIANCE WITH APPLICABLE LAND SURVEY LAWS AND RULES AND AN EXPRESSION OF PROFESSIONAL OPINION BASED ON THE FACTS OF THE SURVEY, PRINCIPLES OF BOUNDARY RETRACEMENT AND LOCAL STANDARD OF CARE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.

7. THE SUBJECT PROPERTY IS MAPPED AS BEING WITHIN THE TOWN OF MEREDITH SHORELINE ZONING DISTRICT.

MINIMUM STANDARDS FOR SHORELINE DISTRICT:	
LOT SIZE:	40,000 SQUARE FEET
WIDTH:	150 FEET
FRONT SETBACK:	65 FEET FROM SHORELINE
HIGHWAY SETBACK:	30 FEET FROM PROPERTY LINE
SIDE SETBACK:	20 FEET
REAR SETBACK:	30 FEET FROM PROPERTY LINE
MAX. HEIGHT:	38 FEET
MAX. COVERAGE:	30%

8. THE SITE SPECIFIC SOIL SURVEY WAS PRODUCED 23 JUNE, 2020, AND WAS PREPARED BY JAMES P. GOVE, CSS # 004, GOVE ENVIRONMENTAL SERVICES, INC.. THE SURVEY AREA IS LOCATED ON LOVEJOY SANDS, MEREDITH, NH. THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP. SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOIL LEGEND, USDA NRCS, DURHAM, NH. ISSUE # 10, JANUARY 2011 HYDROLOGIC SOIL GROUP FROM KSAT VALUES FOR NEW HAMPSHIRE SOILS, SOCIETY OF SOIL SCIENTISTS OF NEW ENGLAND, SPECIAL PUBLICATION NO. 5, SEPTEMBER, 2009.
9. UTILITY LOCATIONS ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR LOCATION AND PROTECTION OF EXISTING UTILITIES AND SHALL REPAIR ANY DAMAGE AS QUICKLY AS POSSIBLE AT HIS OWN EXPENSE. ALL UTILITIES ENCOUNTERED SHALL BE LOCATED BY DEPTH AND TIES AND SHOWN BY THE CONTRACTOR ON HIS "AS BUILT" DRAWINGS. HAND EXCAVATION SHALL BE DONE WHEREVER UNDERGROUND UTILITIES ARE SHOWN OR ANTICIPATED. THE CONTRACTOR SHALL CONTACT CITY SAFE AND THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION IN ORDER TO VERIFY EXISTING CONDITIONS AND UTILITY LOCATIONS.
10. HORIZONS ENGINEERING DID NOT PERFORM TEST PIT NUMBER 9 IN JUNE 2021 AND IS NOT SHOWN ON THESE PLANS.

11. NO EXISTING MONUMENTS, BOUNDS, OR BENCHMARKS SHALL BE DISTURBED WITHOUT FIRST MAKING PROVISIONS FOR RELOCATION.
12. ALL WORK SHALL BE PERFORMED WITHIN THE PROPERTY OF, AND EASEMENTS SECURED BY, THE OWNER.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DATA COLLECTION AND PREPARATION OF RECORD DRAWINGS.
14. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONTROLLING EROSION IN ALL AREAS DISTURBED BY HIS ACTIONS. COSTS FOR REQUIRED EROSION CONTROL, REGARDLESS OF WHETHER OR NOT SUCH MEASURES ARE SHOWN ON THE ENGINEERING DRAWINGS, SHALL BE BORNE BY HIM.



**horizons**  
*Engineering*

**Civil and Structural Engineering  
Land Surveying and Environmental Consulting**  
MAINE • NEW HAMPSHIRE • VERMONT  
[www.horizonsengineering.com](http://www.horizonsengineering.com)

GOODHUE MEREDITH, LLC

31 LOVEJOY SANDS ROAD  
COMMERCIAL BOAT LAUNCH AND  
NEGATIVE LIFT IMPROVEMENTS

MEREDITH, NEW HAMPSHIRE  
TAX MAP U35 LOTS 8A & 11SHORELINE "S" DISTRICT

## OVERVIEW PLAN

NO.	DATE	REVISION DESCRIPTION	ENG	DWG

DATE: NOV 2023	PROJECT # 20818
ENGIN'D BY: -	DRAWN BY: WAM
CHECK'D BY: WTD	ARCHIVE # -

SEE NOTES 4 AND 5, SHEET C1.0

DATE OF PRINT  
NOVEMBER 13 2023  
HORIZONS ENGINEERING

© 2023  
**horizons**  
*Engineering*  
All rights reserved

SHEET C1.0





**horizons**  
*Engineering*

Civil and Structural Engineering  
Land Surveying and Environmental Consulting  
MAINE • NEW HAMPSHIRE • VERMONT  
www.horizonsengineering.com

GOODHUE MEREDITH, LLC

31 LOVEJOY SANDS ROAD  
COMMERCIAL BOAT LAUNCH AND  
NEGATIVE LIFT IMPROVEMENTS  
MEREDITH, NEW HAMPSHIRE  
TAX MAP U35 LOTS 8A & 11SHORELINE "S" DISTRICT

EXISTING CONDITIONS PLAN

NO.	DATE	REVISION DESCRIPTION	ENG	DWG

DATE: NOV 2023	PROJECT #: 20818
ENG'D BY: -	DRAWN BY: WAM
CHECK'D BY: WTD	ARCHIVE #: -

SEE NOTES 4 AND 5, SHEET C1.0

DATE OF PRINT  
NOVEMBER 13 2023  
HORIZONS ENGINEERING

© 2023  
All rights reserved

SHEET C1.1







SITE PLAN NOTES

1. ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE PLANS. PRIOR TO CONSTRUCTION, OWNER SHALL OBTAIN ALL LOCATE, STATE AND FEDERAL PERMITS AS APPLICABLE TO THE PROJECT.

PROJECT IMPACTS ARE SUCH THAT NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES (NHDES) SHORELAND AND WETLAND PERMITS ARE REQUIRED. JURISDICTIONAL IMPACTS SHOWN HAVE BEEN CALCULATED BASED ON THE APPARENT TOP OF BANK. SEE ALSO SHEET C1.0, GENERAL NOTE 4.
2. NO EXISTING MONUMENTS, BOUNDS, OR BENCHMARKS SHALL BE DISTURBED WITHOUT FIRST MAKING PROVISIONS FOR RELOCATION.
3. ALL WORK SHALL BE PERFORMED WITHIN THE PROPERTY OF, AND EASEMENTS SECURED BY, THE OWNER.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DATA COLLECTION AND PREPARATION OF RECORD DRAWINGS.
5. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONTROLLING EROSION IN ALL AREAS DISTURBED BY HIS ACTIONS. COSTS FOR REQUIRED EROSION CONTROL, REGARDLESS OF WHETHER OR NOT SUCH MEASURES ARE SHOWN ON THE ENGINEERING DRAWINGS, SHALL BE BORNE BY HIM.
6. UTILITY LOCATIONS ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR LOCATION AND PROTECTION OF EXISTING UTILITIES AND SHALL REPAIR ANY DAMAGE AS QUICKLY AS POSSIBLE AT HIS OWN EXPENSE. ALL UTILITIES ENCOUNTERED SHALL BE LOCATED BY DEPTH AND TIES AND SHOWN BY THE CONTRACTOR ON HIS "AS BUILT" DRAWINGS. HAND EXCAVATION SHALL BE DONE WHEREVER UNDERGROUND UTILITIES ARE SHOWN OR ANTICIPATED. THE CONTRACTOR SHALL CONTACT DIG SAFE AND THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION IN ORDER TO VERIFY EXISTING CONDITIONS AND UTILITY LOCATIONS.

NHDES TREE COUNT SUMMARY PRE-CONSTRUCTION					
CELL SEGMENT	1" to 3"	>3" to 6"	>6" to 12"	>12"	POINT TOTALS
	1 pt each	5 pts each	10 pts each	15 pts each	
A	15	5	3	2	100
B	4	1	3	0	39
C	0	0	2	0	20
D	0	0	0	0	0
E	0	1	2	4	85
F	0	0	2	2	50
G	0	6	3	1	75
H	0	2	0	1	25
I	0	1	0	1	20
J	0	1	2	1	40
K	0	0	2	1	35
L	0	6	1	0	40
M	0	6	0	0	30
N	0	5	0	0	25
O	0	0	2	0	20
P	0	0	2	0	20
Q	0	0	0	0	0
R	0	0	0	0	0
S	0	4	0	1	35

\*MINIMUM TREE SCORE OF AT LEAST 25 POINTS SHALL BE MAINTAINED FOR EACH 25'x50' SEGMENT.

NHDES TREE COUNT SUMMARY POST-CONSTRUCTION						
CELL SEGMENT	1" to 3"	>3" to 6"	>6" to 12"	>12"	POINT TOTALS	CHANGE IN POINTS
	1 pt each	5 pts each	10 pts each	15 pts each		
A	15	5	3	2	100	0
B	4	1	3	0	39	0
C	0	0	2	0	20	0
D	0	0	0	0	0	0
E	0	1	2	0	25	-60
F	0	0	2	2	50	0
G	0	6	3	1	75	0
H	0	2	0	1	25	0
I	0	1	0	1	20	0
J	0	1	2	1	40	0
K	0	0	2	1	35	0
L	0	6	1	0	40	0
M	0	6	0	0	30	0
N	0	5	0	0	25	0
O	0	0	2	0	20	0
P	0	0	2	0	20	0
Q	0	0	0	0	0	0
R	0	0	0	0	0	0
S	0	4	0	1	35	0

\*MINIMUM TREE SCORE OF AT LEAST 25 POINTS SHALL BE MAINTAINED FOR EACH 25'x50' SEGMENT.

NHDES UNALTERED STATE CALCULATION - LOT 8A	
CALCULATION	AREA (SF)
TOTAL UNALTERED AREA 50' TO 150' BUFFER	3,759
TOTAL LOT AREA 50' TO 150' BUFFER	44,789
25% OF TOTAL LOT AREA 50' TO 150' BUFFER	11,197
MINIMUM AREA TO REMAIN UNALTERED	3,759

NHDES UNALTERED STATE CALCULATION - LOT 8A	
CALCULATION	AREA (SF)
TOTAL UNALTERED AREA 50' TO 150' BUFFER	3,759
TOTAL LOT AREA 50' TO 150' BUFFER	44,789
25% OF TOTAL LOT AREA 50' TO 150' BUFFER	11,197
MINIMUM AREA TO REMAIN UNALTERED	3,759
POST-CONSTRUCTION UNALTERED AREA	3,759

PRE-CONSTRUCTION IMPERVIOUS AREA - LOT 8A	
STRUCTURE	AREA (SF)
PRIMARY STRUCTURES	14,062
ACCESSORY STRUCTURES	0
DRIVEWAYS	41,480
WALKWAYS, RETAINING WALLS, CONCRETE PADS	29
TOTAL IMPERVIOUS W/IN 250' BUFFER	55,571
TOTAL LOT AREA W/IN 250' BUFFER	99,421
PRE-CONSTRUCTION % COVERAGE	55.9%
TOTAL IMPERVIOUS W/IN 50' BUFFER	11,114

NOTE: AREAS CALCULATED ABOVE TOP OF BANK WETLAND JURISDICTION, PER 1406.02(b)(2).

POST-CONSTRUCTION IMPERVIOUS AREA - LOT 8A	
STRUCTURE	AREA (SF)
PRIMARY STRUCTURES	14,062
ACCESSORY STRUCTURES	0
DRIVEWAYS	41,446
WALKWAYS, RETAINING WALLS, CONCRETE PADS	53
TOTAL IMPERVIOUS W/IN 250' BUFFER	55,561
TOTAL LOT AREA W/IN 250' BUFFER	99,421
POST-CONSTRUCTION % COVERAGE	55.9%
TOTAL IMPERVIOUS W/IN 50' BUFFER	11,384

NOTE: AREAS CALCULATED ABOVE TOP OF BANK WETLAND JURISDICTION, PER 1406.02(b)(2).



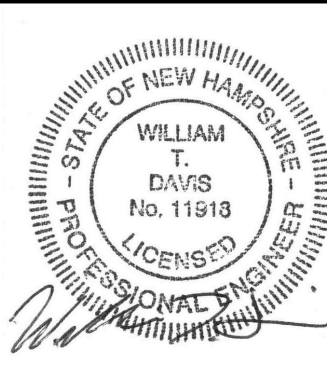
Civil and Structural Engineering  
Land Surveying and Environmental Consulting  
MAINE • NEW HAMPSHIRE • VERMONT  
www.horizonsengineering.com

GOODHUE MEREDITH, LLC

31 LOVEJOY SANDS ROAD  
SITE IMPROVEMENTS  
MEREDITH, NEW HAMPSHIRE  
TAX MAP U35 LOTS 8A & 11  
ZONING DISTRICT - SHORELINE "S"

SITE PLAN NOTES AND  
LOCAL AND STATE TABLES

NO.	DATE	REVISION DESCRIPTION	ENG	DWG



DATE: NOV 2023	PROJECT #: 20818
ENGIN'D BY: -	DRAWN BY: WAM
CHECK'D BY: WTD	ARCHIVE #: H-5620

SHEET C2.0

DATE OF PRINT  
NOVEMBER 13 2023  
HORIZONS ENGINEERING

© 2023  
horizons Engineering  
All rights reserved





*LAKE WINNIPESAUKEE*

SITE PLAN REVIEW PLAN  
SHEET 1 OF 2

SHEET 1 OF 2  
APPROVED

## APPROVED

PLANNING BOARD  
Meredith, New Hampshire

## NEGATIVE LIFT AND BOAT LAUNCH NOTES

1. RECONFIGURED DOCK CONSTRUCTION WILL BE WOOD PILE AND CRIB.
2. RECONFIGURED DOCKING ELEVATION SHALL BE SET AT 505.82.
3. INSTALL COFFER DAM AND NEGATIVE LIFT FIRST, RESTRICTING CONSTRUCTION IMPACTS TO WITHIN 15' OF THE NEGATIVE LIFT STRUCTURE.
4. DREDGED MATERIAL SHALL BE DISPOSED OF OUTSIDE OF WETLAND AND SHORELAND JURISDICTIONAL AREAS. IF SUCH MATERIAL IS FOUND TO HAVE VISUAL OR OLFACTORY EVIDENCE OF CONTAMINATION SUCH MATERIAL SHALL BE MANAGED AND DISPOSED OF IN ACCORDANCE APPLICABLE STATE STATUTES.
5. REMOVE TURBIDITY CURTAIN AND COFFER DAM ONCE WATER CLARITY HAS RETURNED TO BACKGROUND CLARITY
6. CONSTRUCTION OF THE BOAT LAUNCH AND NEGATIVE LIFT REQUIRES A NET 22.0 CY CUT (110.3 CY CUT; 88.3 CY FILL) BELOW TOP OF BANK. THIS EQUATES TO 2,421 SF CUT AND 3,122 SF FILL IN PLAIN VIEW.

### PROPOSED NEGATIVE LIFT ACCESS VERTICAL PROFILE

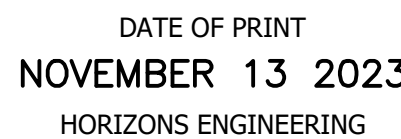
STA: 0+50 to STA: 3+50

## NEGATIVE LIFT PROFILE NOTES

1. ALL ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988, OR AS OTHERWISE NOTED.
2. THE LOWEST 1982-2021 AVERAGE WATER LEVEL ELEVATION SHOWN ON THESE PLANS BETWEEN MAY 1 AND OCTOBER 1 IS BASED ON THE NHDES "LAKE WINNIPESAUKEE LAKE LEVEL DATA", AS OF DECEMBER 31, 2022.



STA: 0+00 to STA: 2+40



© 2023  
**horizons**  
*Engineering*  
All rights reserved

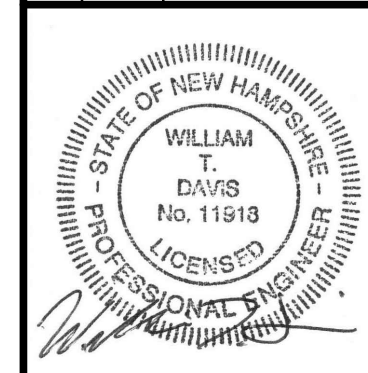


GOODHUE MEREDITH, LLC

31 LOVEJOY SANDS ROAD  
COMMERCIAL BOAT LAUNCH AND  
NEGATIVE LIFT IMPROVEMENTS

MEREDITH, NEW HAMPSHIRE  
 TAX MAP U35 LOTS 8A & 11 - SHORELINE "S" DISTRICT  
 PROPOSED COMMERCIAL BOAT RAMP  
 & NEGATIVE LIFT PLAN & PROFILE

NO.	DATE	REVISION DESCRIPTION	ENG	DWG



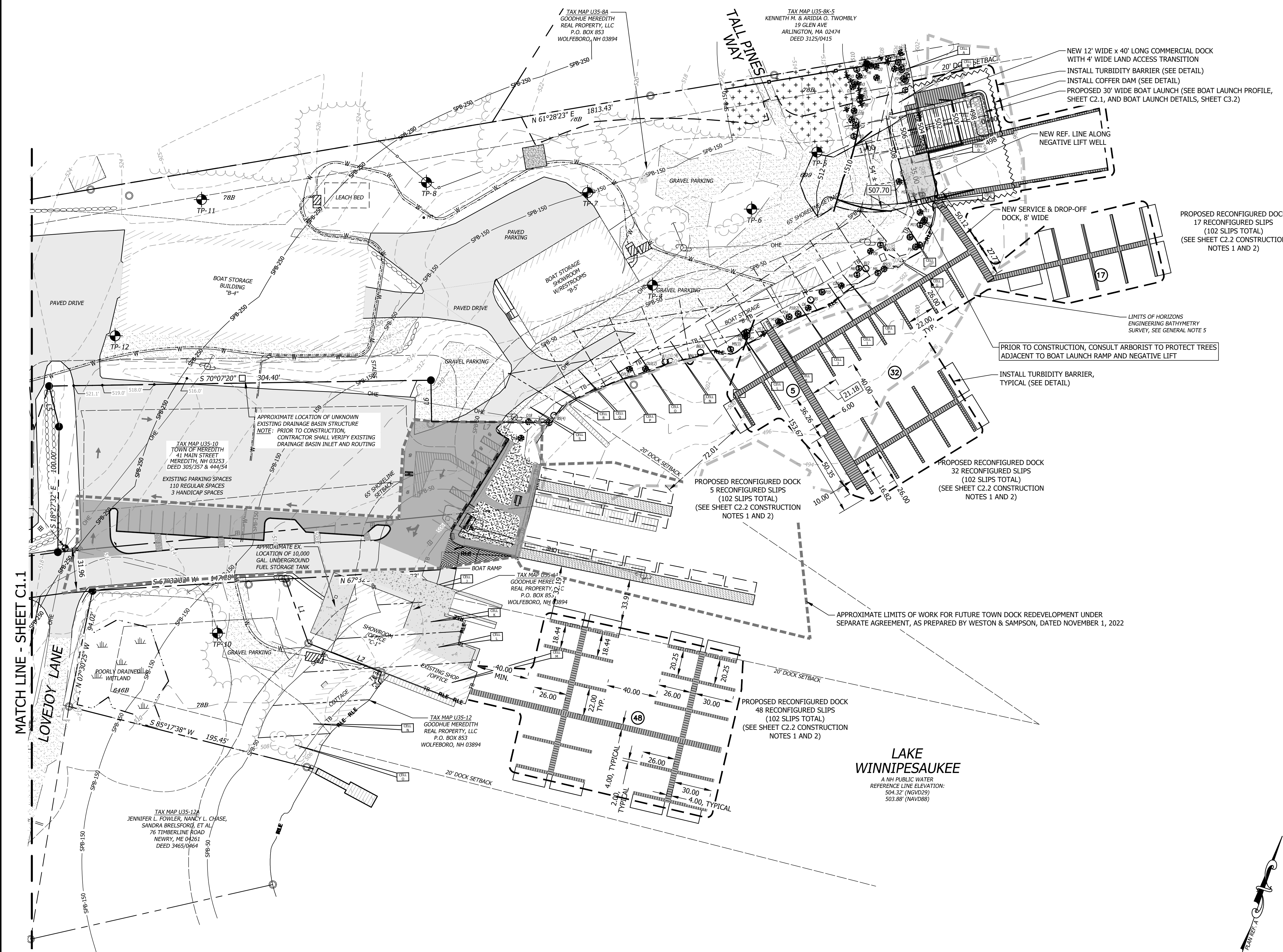
DATE: NOV 2023	PROJECT # 20818
ENGIN'D BY:	DRAWN BY

-	WAM
CHECK'D BY:	ARCHIVE #

WTD	-
-----	---

SHEET C2.1





SHEET C2.2 CONSTRUCTION NOTES

1. RECONFIGURED DOCK CONSTRUCTION WILL BE WOOD PILE AND CRIB.
2. RECONFIGURED DOCKING ELEVATION SHALL BE SET AT 505.82.
3. PRIOR TO CONSTRUCTION, INSTALL TURBIDITY CURTAIN FOR ALL DOCK RECONFIGURATION AREAS. REMOVE TURBIDITY CURTAIN AND COFFER DAM ONCE WATER CLARITY HAS RETURNED TO BACKGROUND CLARITY.

RECONFIGURED DOCKING SUMMARY		
DESCRIPTION	EXISTING	PROPOSED
BOAT SLIPS	102	102*
RECONFIGURED DOCKING	8,801 SF	8,801 SF
NET BOAT SLIPS (+ / -)		0 SLIPS
NET DOCKING AREA (+ / -)		0 SF

\*PROPOSED PERMANENT BOAT SLIPS TOTAL DOES NOT INCLUDE GAS FACILITY, SERVICE & DROP-OFF, BOAT LAUNCH, OR NEGATIVE WELLS

SITE PLAN REVIEW PLAN  
SHEET 2 OF 2  
APPROVED  
PLANNING BOARD  
Meredith, New Hampshire

DATE: \_\_\_\_\_ CHAIRMAN: \_\_\_\_\_  
SECRETARY: \_\_\_\_\_

THE SITE PLAN REGULATIONS OF THE TOWN OF MEREDITH, NEW HAMPSHIRE ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY ANY VARIANCES OR MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

**horizons**  
*Engineering*

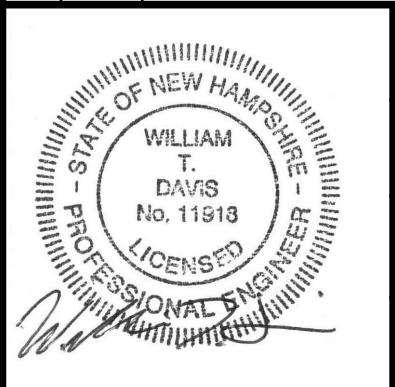
Civil and Structural Engineering  
Land Surveying and Environmental Consulting

MAINE • NEW HAMPSHIRE • VERMONT  
www.horizonsengineering.com

GOODHUE MEREDITH, LLC

31 LOVEJOY SANDS ROAD  
SITE IMPROVEMENTS  
MEREDITH, NEW HAMPSHIRE  
TAX MAP U35 LOTS 8A & 11  
ZONING DISTRICT - SHORELINE "S"

DOCKING RECONFIGURATION PLAN			
NO.	DATE	REVISION DESCRIPTION	ENG. DWG.



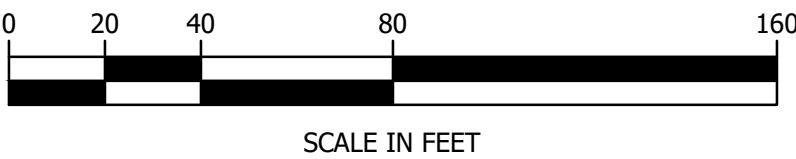
DATE: NOV 2023 PROJECT #: 20818  
ENG'ND BY: - DRAWN BY: WAM  
CHECK'D BY: WTD ARCHIVE #: H-5620

SHEET C2.2

FOR PERMITTING REVIEW  
NOT FOR CONSTRUCTION

DATE OF PRINT  
NOVEMBER 13 2023  
HORIZONS ENGINEERING

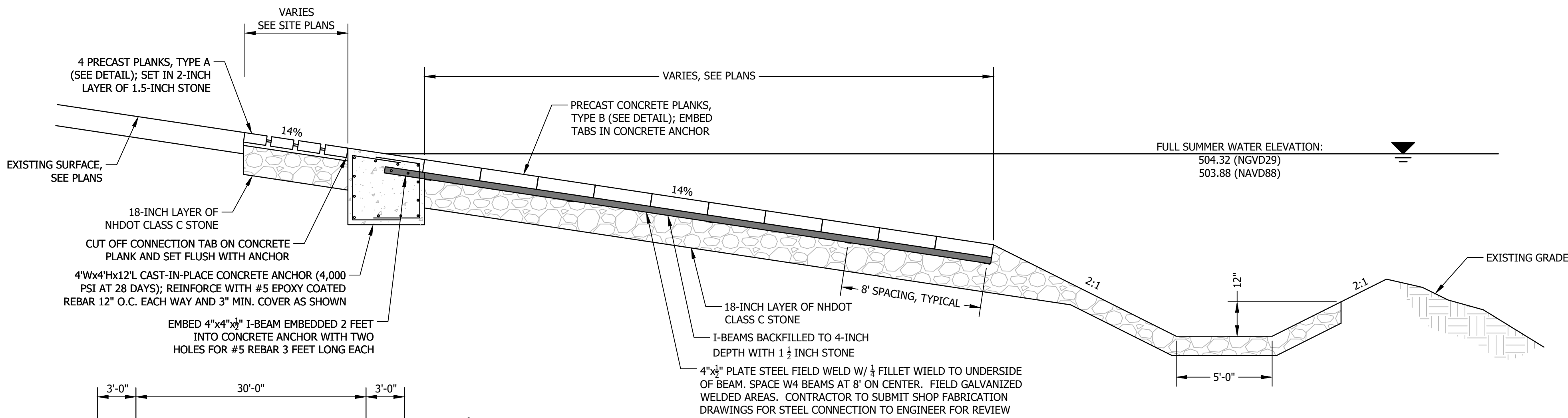
© 2023  
horizons  
Engineering  
All rights reserved





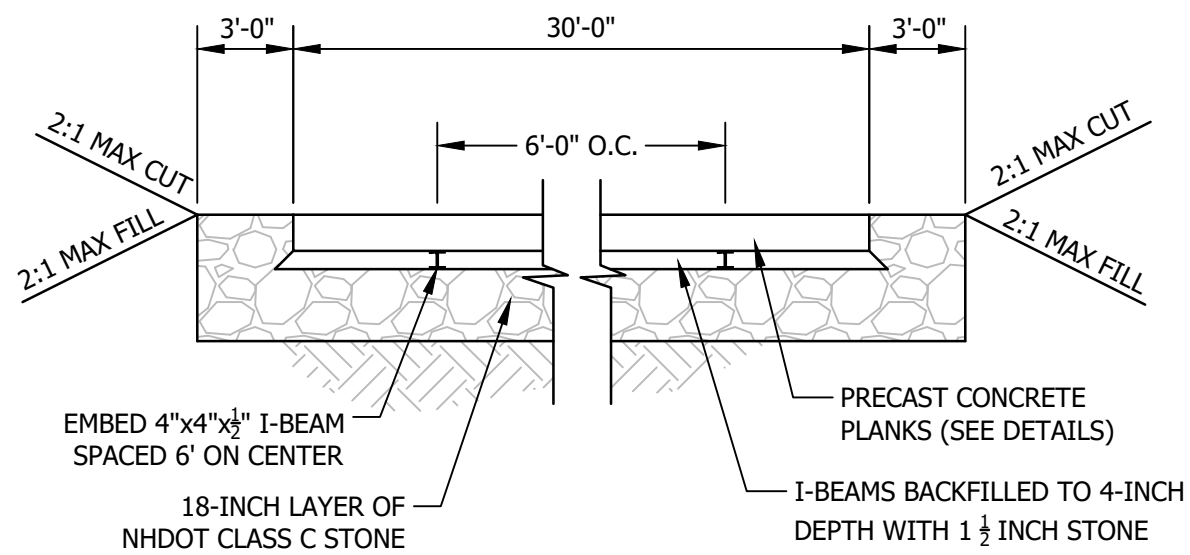






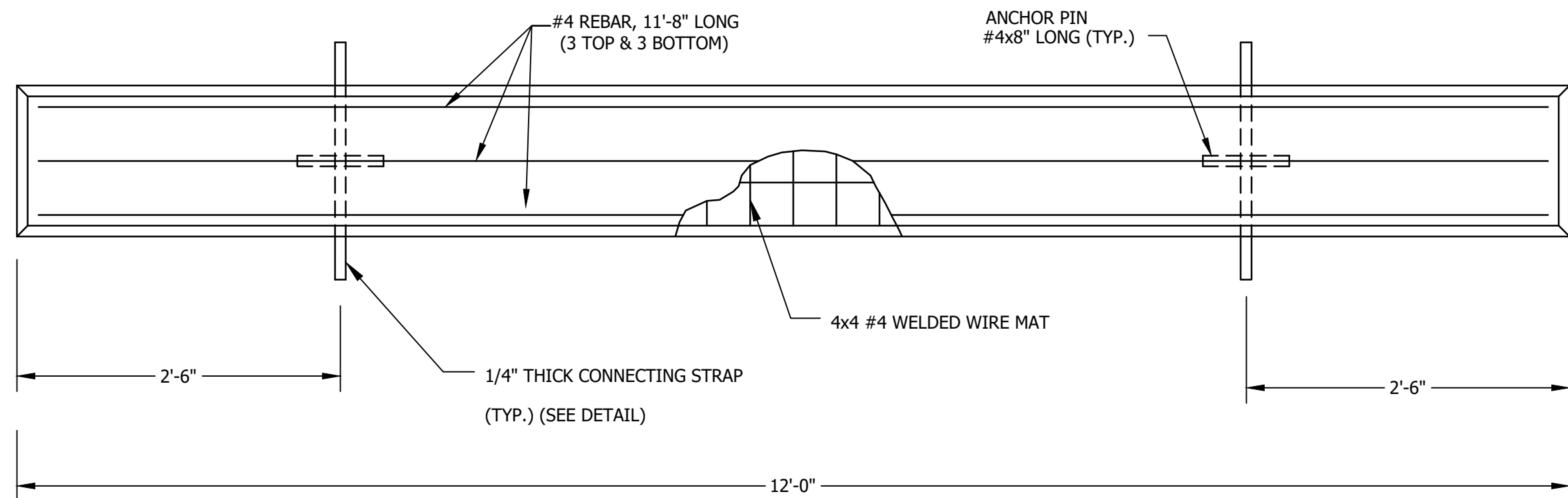
TYPICAL BOAT RAMP PROFILE SECTION

NOT TO SCALE



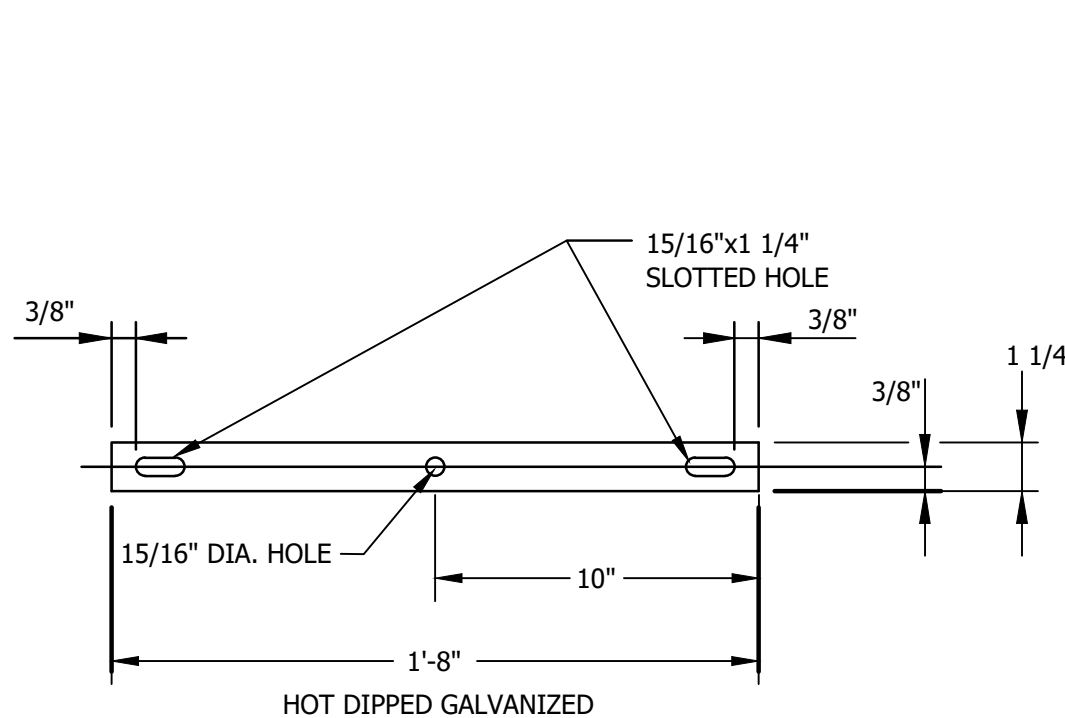
TYPICAL BOAT RAMP CROSS SECTION

NOT TO SCALE



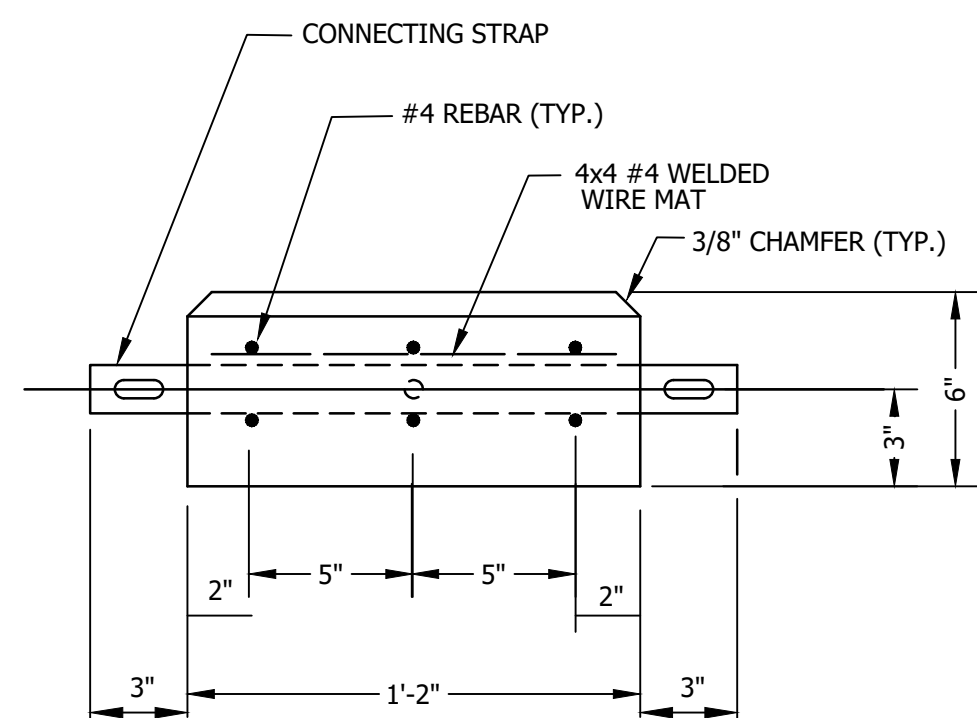
TYPE A PLANK - PLAN

NOT TO SCALE



TYPE A PLANK CONNECTING STRAP

NOT TO SCALE

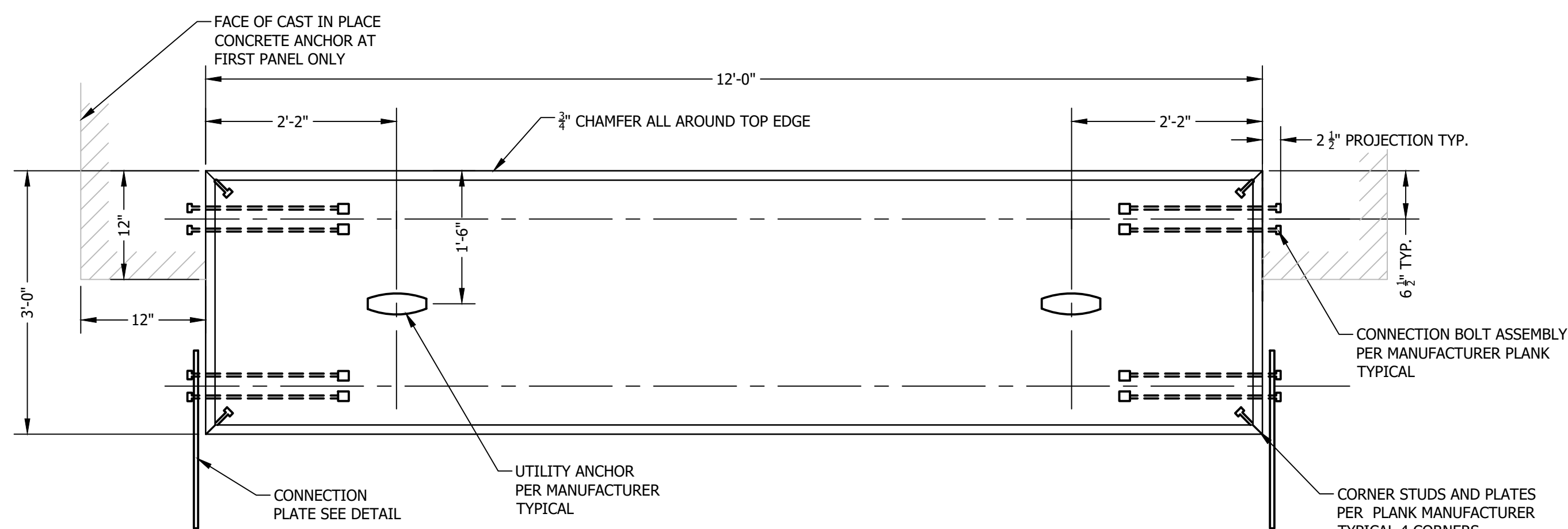


TYPE A PLANK SECTION

NOT TO SCALE

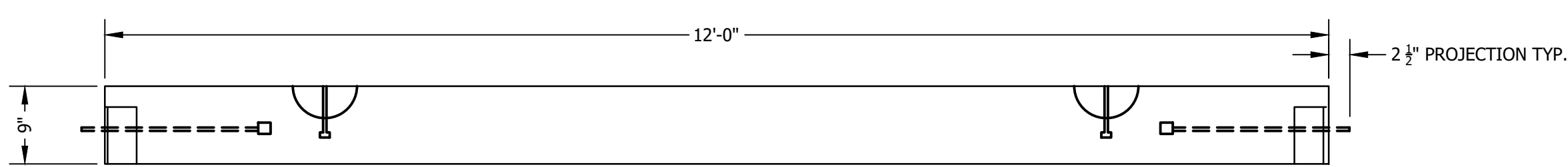
TYPE A PLANK NOTES

1. COMPRESSIVE STRENGTH OF CONCRETE: 5000 P.S.I. AT 28 DAYS
2. PLANKS TO HAVE BROOM FINISH LONGITUDINALLY.
3. CONNECTING BOLTS AND NUTS: 1/4"x2" STAINLESS STEEL.
4. THE APPROXIMATE WEIGHT PER PLANK IS 1050 LBS.
5. BOAT RAMP CONSTRUCTION DETAIL DERIVED FROM NEW HAMPSHIRE FISH AND WILDLIFE BOAT RAMP STANDARD DETAIL WITH PERMISSION.



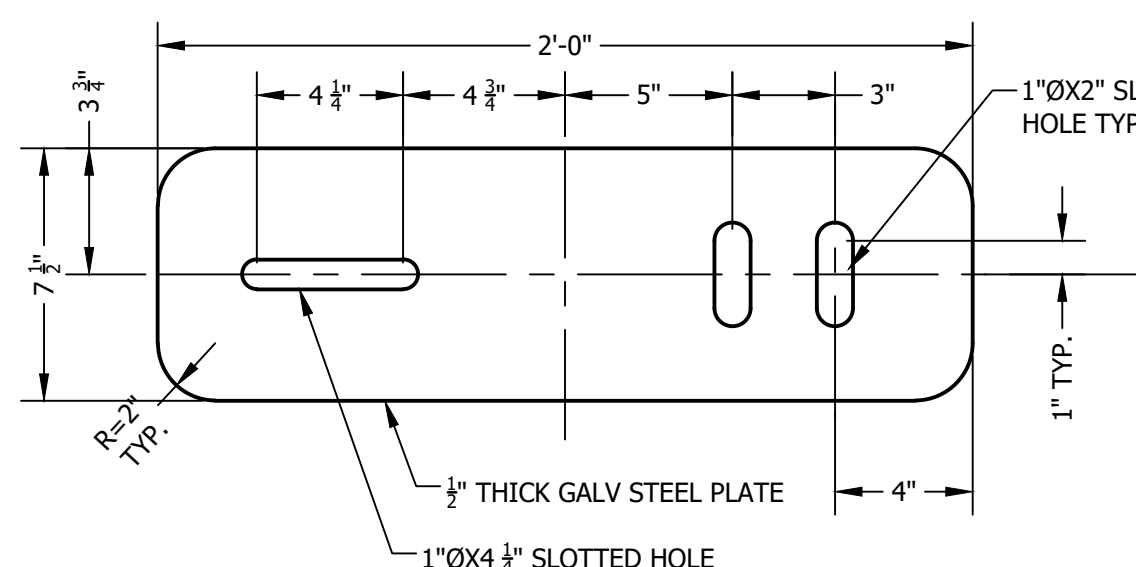
TYPE B PLANK - PLAN

NOT TO SCALE



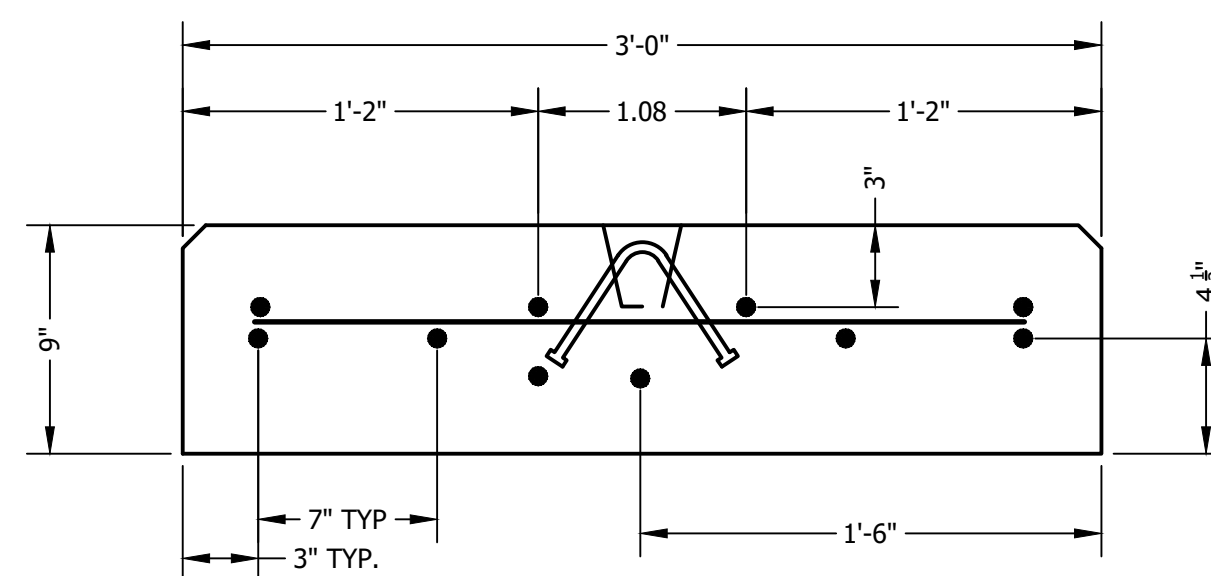
TYPE B PLANK - ELEVATION

NOT TO SCALE



TYPE B PLANK CONNECTION PLATE DETAIL

NOT TO SCALE

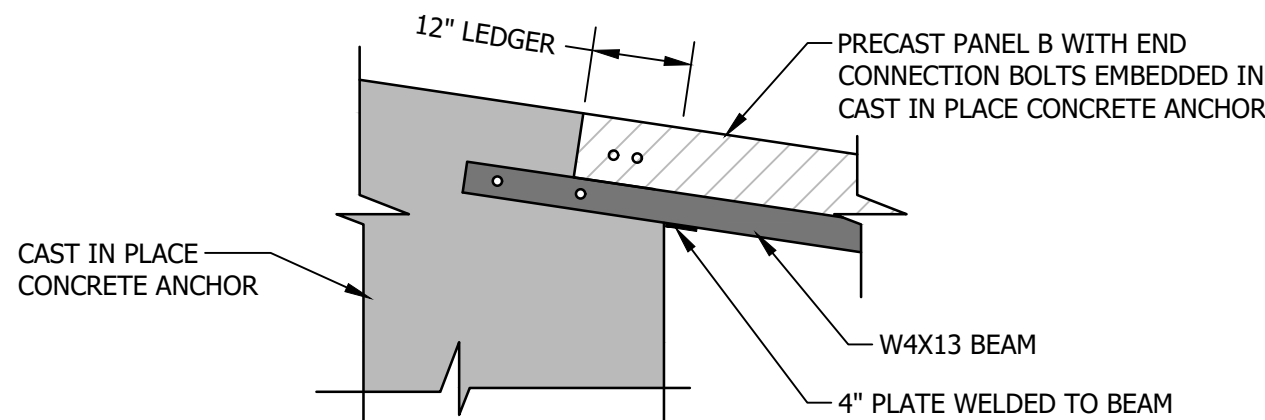


TYPE B PLANK SECTION

NOT TO SCALE

TYPE B PLANK NOTES

1. COMPRESSIVE STRENGTH OF CONCRETE: 4000 P.S.I. - NHDOT CLASS AA
2. PLANKS REINFORCING STEEL: ASTM A775 (REBAR) GRADE 60, EPOXY COATED
3. PLANKS SHALL HAVE A LONGITUDINAL COURSE BROOM FINISH.
4. MISCELLANEOUS STEEL: ASTM A36, ALL EMBEDDED STEEL, CONNECTION PLATES, BOLTS AND HARDWARE SHALL BE HOT DIPPED GALVANIZED.
5. TOP AND SIDE OF PLANKS TO BE COATED WITH WATER REPELLENT (SILANE SILOXANE) BY PLANK MANUFACTURER
6. EACH ANHOR BOLT ASSEMBLY CAST INTO PLAN CONSIST OF (2) 3/4"ØX22" LONG THREADED RODS, (4) 2" HEAVY DUTY NUTS, (1) 3/4"X3"X6" PLATE WASHER AND (4) LOCK WASHERS.
7. LOOSE HARDWARE (INCLUDING (8) 3/8" HEAVY DUTY NUTS, (8) LOKC WASHERS AND (2) CONNECTION PLATES) TO BE ATTACHED TO PLANK DURING SHIPPING.
8. ALL REBAR TO BE EPOXY #6 BARS
9. CORNER PLATES SHALL CONSIST OF L4"X4"X3/8"X7" LONG WITH (2) 1/2"ØX6" LONG STUDS TYPICAL 4 CORNERS.
10. CONNECTION PLATE BOLTS SHALL CONSIST OF 3/4"Ø X1'-10" LONG THREAD ROD GALV. 3/4"X3"X6" PLATE WASHER, LOCK WASHER AND HEAVY HEX NUTS TYPICAL.



PANEL B - EMBEDMENT DETAIL

NOT TO SCALE

STONE SPECIFICATIONS

2.1 MATERIALS - STONE FILL

- A. MATERIALS SHALL MEET THE REQUIREMENTS OF SECTION 585, STONE FILL, NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS (NHS) FOR THE APPROPRIATE ITEM AS INDICATED ON THE DRAWINGS.
- B. STONE FOR STONE FILL SHALL BE APPROVED QUARRY STONE, OR BROKEN ROCK OF A HARD, SOUND, AND DURABLE QUALITY. THE STONES AND SPALLS SHALL BE SO GRADED AS TO PRODUCE A DENSE FILL WITH A MINIMUM OF VOIDS.
1. **CLASS A STONE** SHALL BE IRREGULAR IN SHAPE WITH APPROXIMATELY 50 % OF THE MASS HAVING A MINIMUM VOLUME OF 12 CUBIC FEET, APPROXIMATELY 30 % OF THE MASS RANGING BETWEEN 3 AND 12 CUBIC FEET, APPROXIMATELY 10 % OF THE MASS RANGING BETWEEN 1 AND 3 CUBIC FEET, AND THE REMAINDER OF THE MASS COMPOSED OF SPALLS.

2. **CLASS B STONE** SHALL BE IRREGULAR IN SHAPE WITH APPROXIMATELY 50 % OF THE MASS HAVING A MINIMUM VOLUME OF 3 CUBIC FEET, APPROXIMATELY 40 % OF THE MASS RANGING BETWEEN 1 AND 3 CUBIC FEET, AND THE REMAINDER OF THE MASS COMPOSED OF SPALLS.

3. **CLASS C STONE** SHALL CONSIST OF CLEAN, DURABLE FRAGMENTS OF LEDGE ROCK, OF UNIFORM QUALITY, REASONABLY FREE FROM THIN OR ELONGATED PIECES. THE STONE SHALL BE MADE FROM ROCK WHICH IS FREE FROM TOPSOIL AND OTHER ORGANIC MATERIAL. THE STONE SHALL BE GRADED AS FOLLOWS:

SIEVE SIZE	PERCENTAGE PASSING BY WEIGHT
12 INCH	100
4 INCH	50-90
1-1/2 INCH	0-30
3/4 INCH	0-10

4. **CLASS D STONE** SHALL CONSIST OF CRUSHED STONE, GRAVEL, OR OTHER APPROVED INERT MATERIALS WITH SIMILAR CHARACTERISTICS OR COMBINATIONS THEREOF, HAVING HARD, STRONG, DURABLE PARTICLES, FREE FROM SURFACE COATING AND INJURIOUS AMOUNTS OF SOFT, FRAGILE, OR LAMINATED PIECES, AND FREE OF ALKALINE, ORGANIC, OR OTHER HARMFUL MATTER. THE STONE SHALL BE STANDARD STONE SIZE 467 (NO. 4 TO 1-1/2").

5. **EROSION STONE** SHALL BE IRREGULAR IN SHAPE WITH APPROXIMATELY 50% OF THE MASS HAVING A MINIMUM DIMENSION BETWEEN 6-INCHES AND 8-INCHES, APPROXIMATELY 40% OF THE MASS HAVING A MINIMUM DIMENSION BETWEEN 2-INCHES AND 6-INCHES AND THE REMAINDER OF THE MASS COMPOSED OF SPALLS.

6. **SPALLS** FOR FILLING VOIDS SHALL CONSIST OF A MIXTURE OF STONES OR ROCK FRAGMENTS AND PARTICLES WITH 95 TO 100% PASSING THE 3-INCH SIEVE AND 25 TO 70% PASSING THE NO. 4 SIEVE.

C. MINIMUM DEPTH OF STONE LAYER SHALL CONFORM TO THE FOLLOWING

STONE SIZE CLASS	MIN. DEPTH
EROSION STONE	12"
CLASS C	12"
CLASS B	18"
CLASS A	30"

**horizons**  
Engineering

Civil and Structural Engineering  
Land Surveying and Environmental Consulting

MAINE • NEW HAMPSHIRE • VERMONT  
www.horizonsengineering.com

GOODHUE MEREDITH, LLC

31 LOVEJOY SANDS ROAD  
COMMERCIAL BOAT LAUNCH AND  
NEGATIVE LIFT IMPROVEMENTS

MEREDITH, NEW HAMPSHIRE  
TAX MAP U35 LOTS 8A & 11 - SHORELINE "S" DISTRICT

BOAT LAUNCH DETAILS

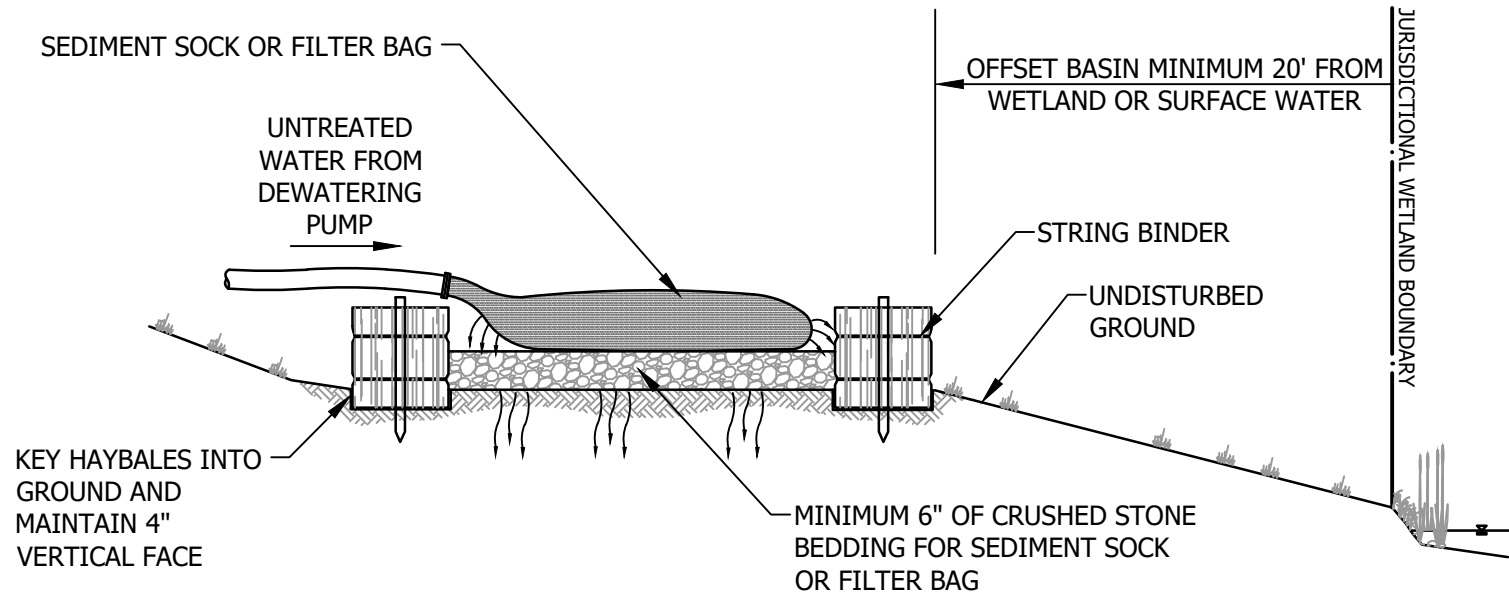
NO.	DATE	REVISION DESCRIPTION	ENG	DWG

	DATE: NOV 2023	PROJECT #: 20818
	ENGINE'D BY: -	DRAWN BY: WAM
	CHECK'D BY: WTD	ARCHIVE #: -
	SHEET C3.2	

DATE OF PRINT  
NOVEMBER 13 2023  
HORIZONS ENGINEERING

© 2023  
horizons  
Engineering  
All rights reserved

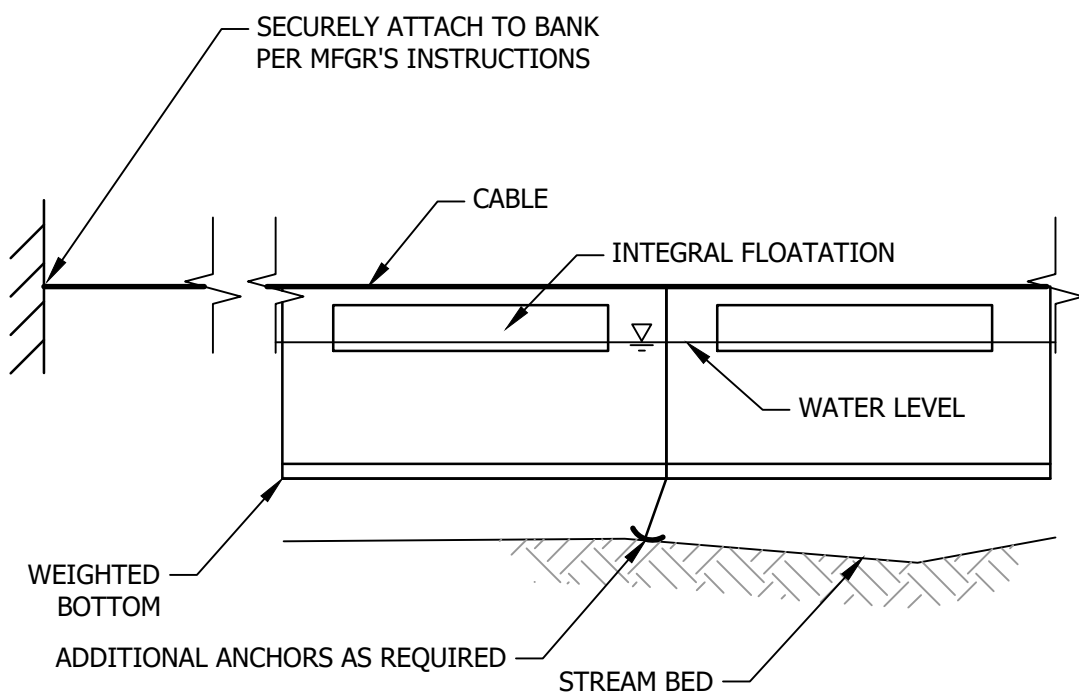




- NOTE:
1. DESIGN INTENT FOR TEMPORARY DEWATERING FILTER PAD IS TO ENHANCE PUMP WATER QUALITY PRIOR TO INFILTRATION INTO UNDISTURBED GROUND.
  2. CONTRACTOR TO OPERATE PUMPS AND SIZE TEMPORARY DEWATERING FILTER PAD TO ENCOURAGE INFILTRATION AND PREVENT DISCHARGE TO SURFACE WATERS OR WETLANDS.
  3. COVERAGE UNDER EPA'S CONSTRUCTION DEWATERING GENERAL PERMIT OR CONSTRUCTION GENERAL PERMIT MUST BE OBTAINED IF DEWATERING ACTIVITIES RESULT IN A DISCHARGE TO SURFACE WATERS OR WETLANDS.

TEMPORARY DEWATERING FILTER PAD DETAIL

NO SCALE



- NOTES:
1. FLOATING TURBIDITY BARRIER SHALL BE TYPE III HEAVY DUTY.
  2. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
  3. TURBIDITY BARRIER SHALL BE DEPLOYED DURING ACTIVITIES WHICH HAVE THE POTENTIAL TO CAUSE TURBIDITY. BARRIER SHALL BE TEMPORARILY REMOVED WHEN SIGNIFICANT ICE OR FLOATING DEBRIS IS EXPECTED AND NO WORK IS TAKING PLACE.

FLOATING TURBIDITY BARRIER DETAIL

NOT TO SCALE

SEDIMENT RETENTION WATTLES

DESCRIPTION  
EROSION CONTROL AND SEDIMENT RETENTION WATTLES (ESW) OR SLOPE INTERRUPTION DEVICES (SID) COMMONLY KNOWN AS WATTLES, ARE ELONGATED TUBES OF COMPACTED STRAW THAT ARE INSTALLED ALONG CONTOURS OR AT THE BASE OF SLOPES TO HELP REDUCE SOIL EROSION AND RETAIN SEDIMENT. THEY FUNCTION BY SHORTENING SLOPE LENGTH, REDUCING RUNOFF WATER VELOCITY, TRAPPING DISLODGED SOIL PARTICLES AND AMELIORATING THE EFFECTS OF SLOPE STEEPNESS.

WATTLES ARE USED AS WATER FLOW DISSIPATERS TRAPPING SEDIMENT WHEN LOCATED PRIOR TO DRAIN INLETS, ETC. WATTLES ARE HIGHLY EFFECTIVE WHEN THEY ARE USED IN COMBINATION WITH OTHER SURFACE SOIL EROSION/RE-VEGETATION PRACTICES SUCH AS SURFACE ROUGHENING, STRAW MULCHING, EROSION CONTROL BLANKETS, HYDRAULIC MULCHING AND APPLICATION OF BONDED FIBER MATRIX OR OTHER HYDRAULIC SOIL STABILIZERS.

PROPERTIES:  
MATERIAL: 100% WEED FREE STRAW  
LONGEVITY: 24 MONTHS  
NETTING: PHOTODEGRADABLE

DIAMETER	LENGTH	WEIGHT
9"	8' TO 25'	1.6 LBS/FT
12"	8' TO 20'	2.8 LBS/FT
18"	8' TO 20'	3.2 LBS/FT
20"	8' TO 20'	3.5 LBS/FT

NOTE: WATTLE SIZES, LENGTHS, WEIGHTS, AND LONGEVITY ARE APPROXIMATE.

INFORMATION PROVIDED BY:  
ULTRATECH INTERNATIONAL, INC.  
11542 DAVIS CREEK COURT, JACKSONVILLE, FL 32256 USA  
PHONE: 800.353.1611 FAX: 904.292.1325 WWW.STORMWATER-PRODUCTS.COM

horizons  
Engineering

Civil and Structural Engineering  
Land Surveying and Environmental Consulting

MAINE • NEW HAMPSHIRE • VERMONT  
www.horizonsengineering.com

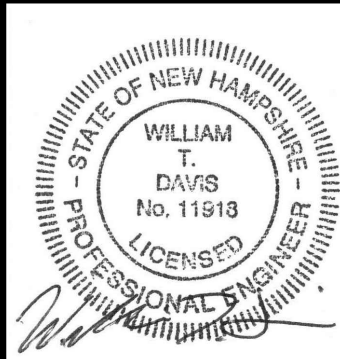
GOODHUE MEREDITH, LLC

31 LOVEJOY SANDS ROAD  
COMMERCIAL BOAT LAUNCH AND  
NEGATIVE LIFT IMPROVEMENTS

MEREDITH, NEW HAMPSHIRE  
TAX MAP U35 LOTS 8A & 11 - SHORELINE "S" DISTRICT

CONSTRUCTION DETAILS

NO.	DATE	REVISION DESCRIPTION	ENG	DWG



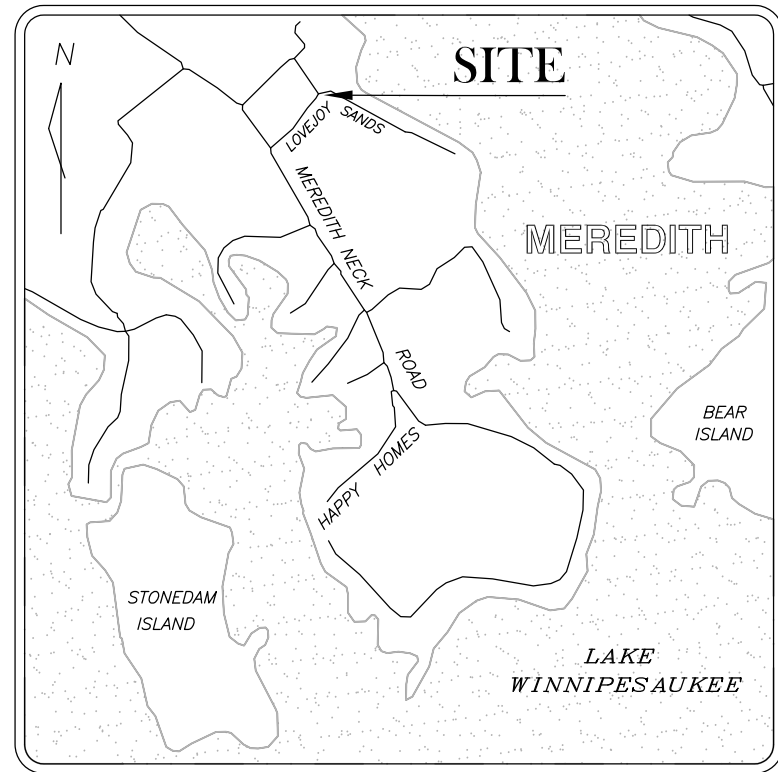
DATE: NOV 2023	PROJECT #: 20818
ENGIND BY: -	DRAWN BY: WAM
CHECK'D BY: WTD	ARCHIVE #: -

SHEET C3.3

DATE OF PRINT  
NOVEMBER 13 2023  
HORIZONS ENGINEERING

© 2023  
horizons  
Engineering  
All rights reserved





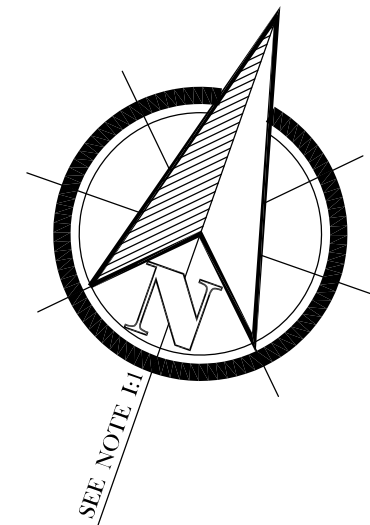
Locus Map  
-not to scale-

### Zoning:

Zone: Shoreline District  
Dimensional requirements:  
Minimum Area: 40,000 s.f.  
Width: 150 ft.  
Shoreline Setback: 65 ft.  
Side Setback: 20 ft.  
Waterfront Rear Setback: 30 ft.  
Non-waterfront Rear Setback 40 ft.  
Non-waterfront Front Setback 30 ft.  
Maximum Height: 38 ft.

### Legend

○ iron rod / pipe found  
□ stone / concrete monument found  
● capped rebar / pipe to be set  
● drill hole  
W utility pole with numbers,  
overhead wires and guy anchor  
W well  
H catch basin  
stone wall  
property line  
approx. water line  
approx. pump/sewer line  
approx. existing septic tank

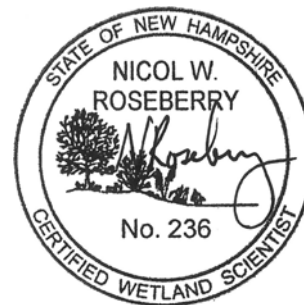


Tax Map U35-BK-5  
Beverly R. Schavone Declaration of Trust  
9 Tall Pines Way  
Meredith, NH 03253  
Deed 1629/801  
Plan Ref. 6



A wetland delineation was performed by Nicol Roseberry, CWS-236, of Ames Associates, Meredith NH in May 2018. The following standards were utilized:

- US Army Corps of Engineers Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region, Final Report ERDC/EL TR-12-1 (Jan 2012).
- Field Indicators of Hydric Soils in the United States, A Guide for Identifying and Delineating Hydric Soils, Version 7.0, United States Department of Agriculture (2010).
- New England Hydric Soils Technical Committee, 2017 Version 4, Field Indicators for Identifying Hydric Soils in New England, New England Interstate Water Pollution Control Commission, Lowell MA.
- North American Digital Flora: National Wetland Plant List, Version 2.2.1 (2009)
- Classification of Wetlands and Deepwater Habitats of the United States, USFW Manual FWS/OBS-79/31 (1979).



**AMES ASSOCIATES**  
P.O. Box 1398 • 169 DANIEL WEBSTER HIGHWAY  
MEREDITH, NH 03253  
603-279-5705  
603-279-7878 FAX

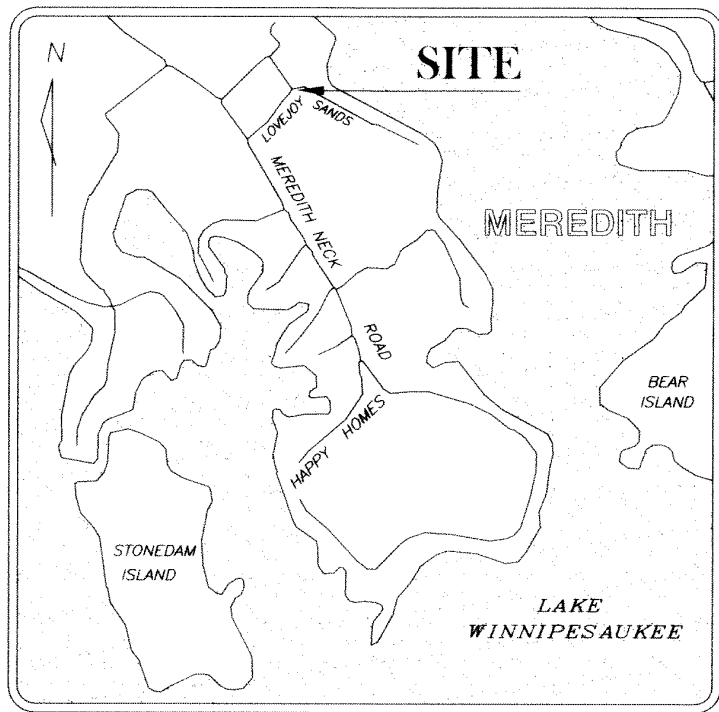
**LAND SURVEYORS • SEPTIC SYSTEM DESIGNERS  
ENVIRONMENTAL CONSULTANTS  
FORESTRY • WETLAND & SOIL SCIENCE**  
WWW.AMESASSOCIATES.COM

**PLAN DATE** 7/19/2018  
**DATE SURVEY** 5/3/2018

**PROJECT NO.** GOODHUE & HAWKINS U35-BA  
**SCALE** 1"=60'

**DRAWN BY** WPH  
**CHECKED BY** RE





Locus Map  
-not to scale-

## Legend

- iron rod / pipe found
- stone / concrete monument found
- capped rebar / pipe to be set
- drill hole
- utility pole with numbers, overhead wires and guy anchor
- well
- catch basin
- stone wall
- property line
- approx. water line per plan ref. #11
- approx. pump/sewer line per plan ref. #11
- approx. existing septic tank per plan ref. #11

## I. Survey Notes:

- BEARINGS SHOWN HEREON ARE BASED ON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF SURVEY AND SERVE ONLY TO DEFINE ANGULAR RELATIONSHIPS.
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF AN UP-TO-DATE TITLE REPORT AND IS SUBJECT TO THE SAME.
- LAKE WINNEPESAUKEE IS A GREAT POND WITH A NATURAL MEAN HIGH WATER ELEVATION OF 504.32' (NGVD 1929) PER THE OFFICIAL LIST OF PUBLIC WATERS IN THE STATE OF NEW HAMPSHIRE. THE WATER BOUNDARY SHOWN IS THE CURRENT LOCATION OF ELEVATION 504.32'. A SIGNIFICANT AREA OF THE SUBJECT PROPERTY IS LAND CREATED BY PLACING FILL IN THE LAKE, ACCORDING TO HISTORIC SURVEY PLANS. THE WATER BOUNDARY SHOWN IS SUBJECT TO CHANGE DUE TO NATURAL CAUSES SUCH AS EROSION OR ACCRETION AND MAY OR MAY NOT REPRESENT THE ACTUAL LOCATION OF THE LIMIT OF TITLE.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE LAKE ELEVATION AT THE TIME OF SURVEY AS PUBLISHED HOURLY BY THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES.
- ALL LAND WITHIN 250' OF ANY NH PUBLIC WATERBODY (PER THE OFFICIAL LIST OF PUBLIC WATERS, PUBLISHED AND MAINTAINED BY THE STATE OF NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES, WATER DIVISION, DAM BUREAU) IS SUBJECT TO THE REGULATIONS OF THE COMPREHENSIVE SHORELAND PROTECTION ACT (RSA 483-B) AS AMENDED JULY 1, 2008. ANY DEVELOPMENT OR REDEVELOPMENT IN THIS AREA MAY REQUIRE A SHORELAND PERMIT FROM THE STATE OF NEW HAMPSHIRE.
- DIAMETERS OF IRON PIPES FOUND OR SET HEREON ARE OUTSIDE DIAMETER UNLESS OTHERWISE NOTED.
- TAX MAP U35 LOT 14 IS SUBJECT TO A PARKING EASEMENT BENEFITING THE TOWN OF MEREDITH AS SHOWN HEREON. SEE PLAN REFERENCE 1 AND DEED 1813/237.
- TAX MAP U35 LOT 8A IS BENEFITED BY TWO ACCESS EASEMENTS AND A UTILITY EASEMENT ACROSS TAX MAP U35 LOT 10 AS SHOWN HEREON. SEE PLAN REFERENCE 1 AND DEED 1813/237.
- THE SUBJECT PROPERTY IS BENEFITED BY A PARKING EASEMENT FOUR (4) FEET IN WIDTH ALONG THE SOUTHERLY SIDELINE OF LOVEJOY SANDS ROAD AS SHOWN HEREON. SEE PLAN REFERENCE 1 AND DEED 1813/237.
- THE SUBJECT PROPERTY IS SUBJECT TO AND BENEFITED BY RECIPROCAL EASEMENTS WITH THE TOWN OF MEREDITH FOR USE OF THE BOAT RAMP. SEE PLAN REFERENCE 1 AND DEED 1813/237.
- TAX MAP U35 LOT 8A IS SUBJECT TO AND BENEFITED BY TWO ACCESS EASEMENTS CONNECTING TO TALL PINES WAY AND TURTLE LANE TO THE NORTH. SEE DEED 403/121, EASEMENT AGREEMENT 794/201 AND PLAN REFERENCE 5.
- TAX MAP U35 LOT 12 TO BE SUBJECT TO AN EASEMENT BENEFITING TAX MAP U35 LOT 8A AND U35 LOT 11 FOR THE PURPOSE OF MAINTAINING THE EXISTING SEPTIC TANK AND ASSOCIATED UNDERGROUND PIPELINES AND WATER LINE LOCATED ON U35 LOT 12.
- UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY AND ARE BASED ON PLANS OF RECORD AND OTHER INFORMATION FOUND. NOT ALL UNDERGROUND UTILITIES ARE SHOWN. ALL UNDERGROUND UTILITY LOCATIONS SHOULD BE VERIFIED BEFORE ANY EXCAVATION. CALL DIGSAFE! 1-800-DIG-SAFE.
- THE PROPERTY IS SUBJECT TO ANY UTILITY EASEMENTS WHICH MAY EXIST INCLUDING BUT NOT LIMITED TO RIGHT OF EASEMENT DEED 2896/263.
- TAX MAP U35-12 AND U35-12A ARE BENEFITED BY A RESTRICTIVE COVENANT (SEE DEED 2973/723) PERTAINING TO THE EXISTING DOCK LOCATED NEAR THE SOUTHEASTERLY CORNER OF TAX MAP U35-12. FOR TITLE SEE QUITCLAIM AND EASEMENT DEED 2973/720.

## II. Roads:

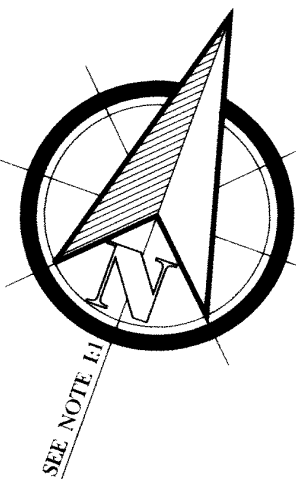
- LOVEJOY SANDS ROAD IS A PUBLIC WAY PER TOWN OF MEREDITH RECORDS. THE RIGHT OF WAY WAS RE-ESTABLISHED BY THE SELECTMEN OF THE TOWN OF MEREDITH ON DECEMBER 3, 2002 IN ACCORDANCE WITH NH RSA 231:27, AS PER PLAN REFERENCE 1. THE RIGHT OF WAY SHOWN HEREON IS BASED ON PLAN REFERENCE 1.
- LOVEJOY LANE IS A PUBLIC WAY PER TOWN OF MEREDITH RECORDS. IT WAS LAID OUT NOVEMBER 29, 1902, TWELVE FEET WIDE. NO OTHER LAYOUT RECORDS WERE FOUND. THE RIGHT OF WAY SHOWN HEREON IS BASED ON MONUMENTS FOUND AND IS SUBJECT TO AND BENEFITED BY ANY LAYOUT OF RECORD.
- MEREDITH NECK ROAD IS A PUBLIC WAY PER TOWN OF MEREDITH RECORDS. THE RIGHT OF WAY SHOWN HEREON IS BASED ON PHYSICAL EVIDENCE OF STONE WALLS AND IS SUBJECT TO AND BENEFITED BY THE LAYOUT OF RECORD.

## III. Plan References:

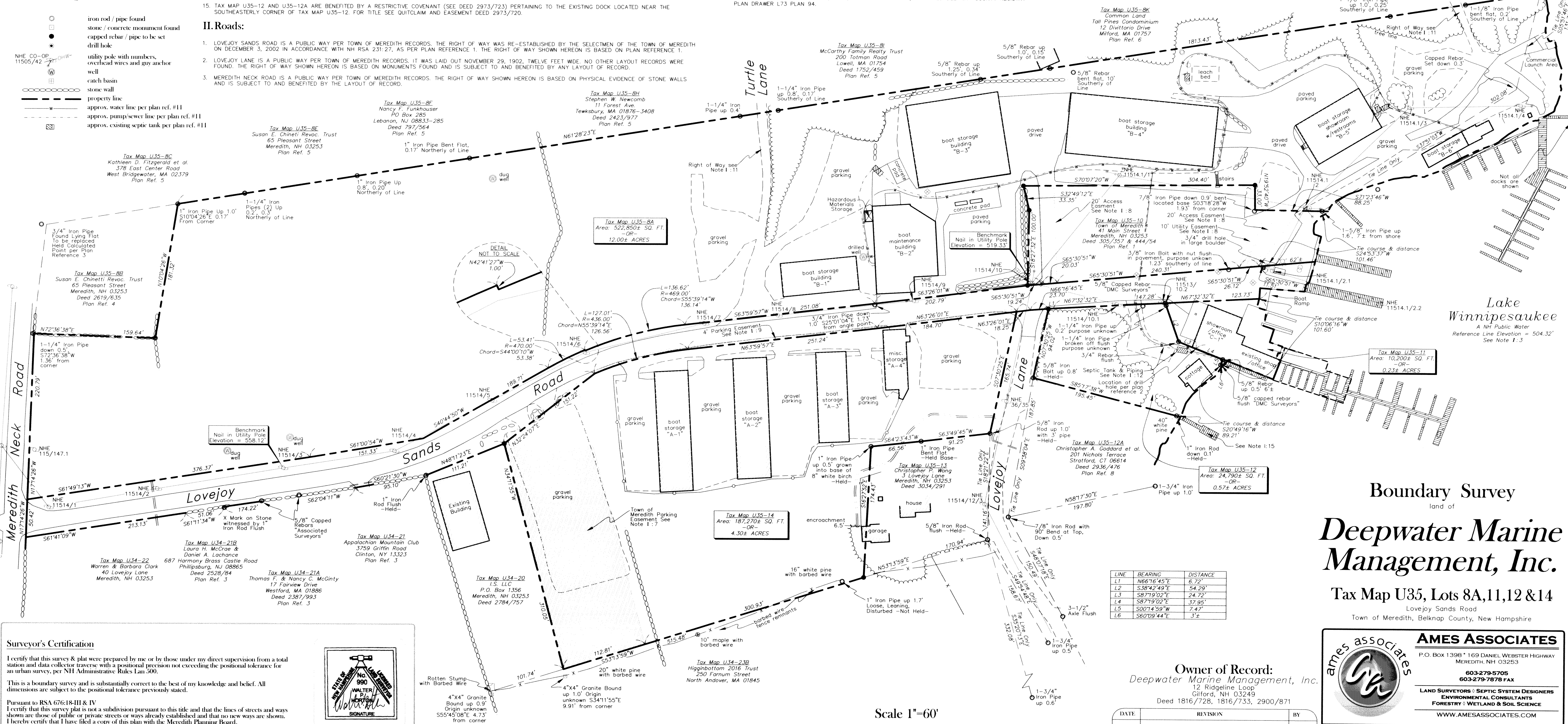
- "BOUNDARY SURVEY & ROAD LAYOUT LOCATED ON LOVEJOY SANDS ROAD" BY DMC SURVEYORS, DATED SEPTEMBER 13, 2002, RECORDED IN PLAN DRAWER L42 #70 & 71 AT THE BELKNAP COUNTY REGISTRY OF DEEDS. (B.C.R.D.)
- "PLAN SHOWING LAND FOR SHEP BROWN BOAT BASIN" BY THOMAS COLLARD, DATED FEBRUARY, 1960
- "SUBDIVISION PLAN PREPARED FOR LOVEJOY SANDS DEVELOPMENT, LLC" BY ASSOCIATED SURVEYORS, DATED MARCH 27, 2006 RECORDED IN PLAN DRAWER L56 #80 AT THE B.C.R.D.
- "PLAN SHOWING LAND OF CARLISLE H. BOGER, JR.", BY ASSOCIATED SURVEYORS, DATED MAY, 1980, RECORDED IN PLAN BOOK 83 PAGE 75 AT THE B.C.R.D.
- "SUBDIVISION OF LAND FOR FRANCIS J. & BEVERLY R. SCHAVONE" BY ASSOCIATED SURVEYORS, DATED SEPTEMBER, 1978, RECORDED IN PLAN BOOK 73 PAGE 71 AT THE B.C.R.D.
- "TALL PINES CONDOMINIUM FOR FRANCIS J. & BEVERLY R. SCHAVONE", BY ASSOCIATED SURVEYORS, DATED FEBRUARY, 1979, RECORDED IN PLAN BOOK 78 PAGE 73 AT THE B.C.R.D.
- "BOUNDARY LINE ADJUSTMENT LAND OF J. KENT BIRD", BY ASSOCIATED SURVEYORS, DATED NOVEMBER, 1979, RECORDED IN PLAN BOOK 87 PAGE 95 AT THE B.C.R.D.
- "PROPERTY OF MRS. ELIZABETH M. SWEETSER", A WORKSHEET BY THOMAS COLLARD DATED 1945.
- "PLAN OF LAND BELONGING TO WINIFRED CULLEN", BY THOMAS COLLARD, DATED OCTOBER 1939.
- "PLAN SHOWING LAND FOR SHEPHERD F. BROWN AND OTHERS", BY THOMAS COLLARD, DATED MAY, 1958, RECORDED IN PLAN BOOK 11 PAGE 780 AT THE B.C.R.D.
- "SEWAGE DISPOSAL SYSTEM FOR SHEP BROWN'S BOAT BASIN TAX MAP U35 LOT 8A, 11, & 12" BY AMES ASSOCIATES, SEE CONSTRUCTION APPROVAL CA2004 061829 DATED 5/3/2004.
- "PLAN OF LAND DEEP WATER MARINE MANAGEMENT, INC.", DATED JANUARY 2014, BY ADVANCED LAND SURVEY CONSULTANTS, RECORDED BELKNAP COUNTY REGISTRY PLAN DRAWER M4 PLAN 36.
- "TAX MAP NO. U-35 LOTS 11 & 12 PLAN OF BOUNDARY LINE AGREEMENT LOCATED ON LOVEJOY SANDS ROAD MEREDITH", DATED MAY 17, 2003, BY DMC SURVEYORS, RECORDED BELKNAP COUNTY REGISTRY PLAN DRAWER L73 PLAN 94.

## Zoning:

- Zone: Shoreline District
- Dimensional requirements:
- Minimum Area: 40,000 s.f.
  - Width: 150 ft.
  - Shoreline Setback: 65 ft.
  - Side Setback: 20 ft.
  - Waterfront Rear Setback: 30 ft.
  - Non-waterfront Rear Setback 40 ft.
  - Non-waterfront Front Setback 30 ft.
  - Maximum Height: 38 ft.



# 1708577  
08/17/2017 9:12:12 PM  
BK: L78 PG: 65 PAGE 1 OF 1  
JUDITH A. MCGRATH  
C/H  
L-CLIP  
REAS9900



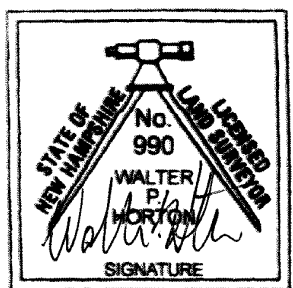
## Surveyor's Certification

I certify that this survey & plat were prepared by me or by those under my direct supervision from a total station and data collector traverse with a positional precision not exceeding the positional tolerance for an urban survey, per NH Administrative Rules Lau 500.

This is a boundary survey and is substantially correct to the best of my knowledge and belief. All dimensions are subject to the positional tolerance previously stated.

Pursuant to RSA 676:III-IV

I certify that this survey plat is not a subdivision pursuant to this title and that the lines of streets and ways shown are those of public or private streets or ways already established and that no new ways are shown. I hereby certify that I have filed a copy of this plan with the Meredith Planning Board.



Date 8-17-2017

Owner of Record:  
Deepwater Marine Management, Inc.  
12 Ridgeline Loop  
Gilford, NH 03249  
Deed 1816/728, 1816/733, 2900/871

DATE	REVISION	BY

ames associates

**AMES ASSOCIATES**  
P.O. Box 1398 • 169 DANIEL WEBSTER HIGHWAY  
MEREDITH, NH 03253  
603-279-5705  
603-279-7878 FAX

LAND SURVEYORS • SEPTIC SYSTEM DESIGNERS  
ENVIRONMENTAL CONSULTANTS  
FORESTRY • WETLAND & SOIL SCIENCE

WWW.AMESASSOCIATES.COM

PLAN DATE  
7-25-2017  
DATE SURVEY  
7-18-2017

PROJECT NO.  
DEEPWATER MARINE U35-BA  
SCALE  
1"=60'

DRAWN BY  
WPH  
CHECKED BY  
RE