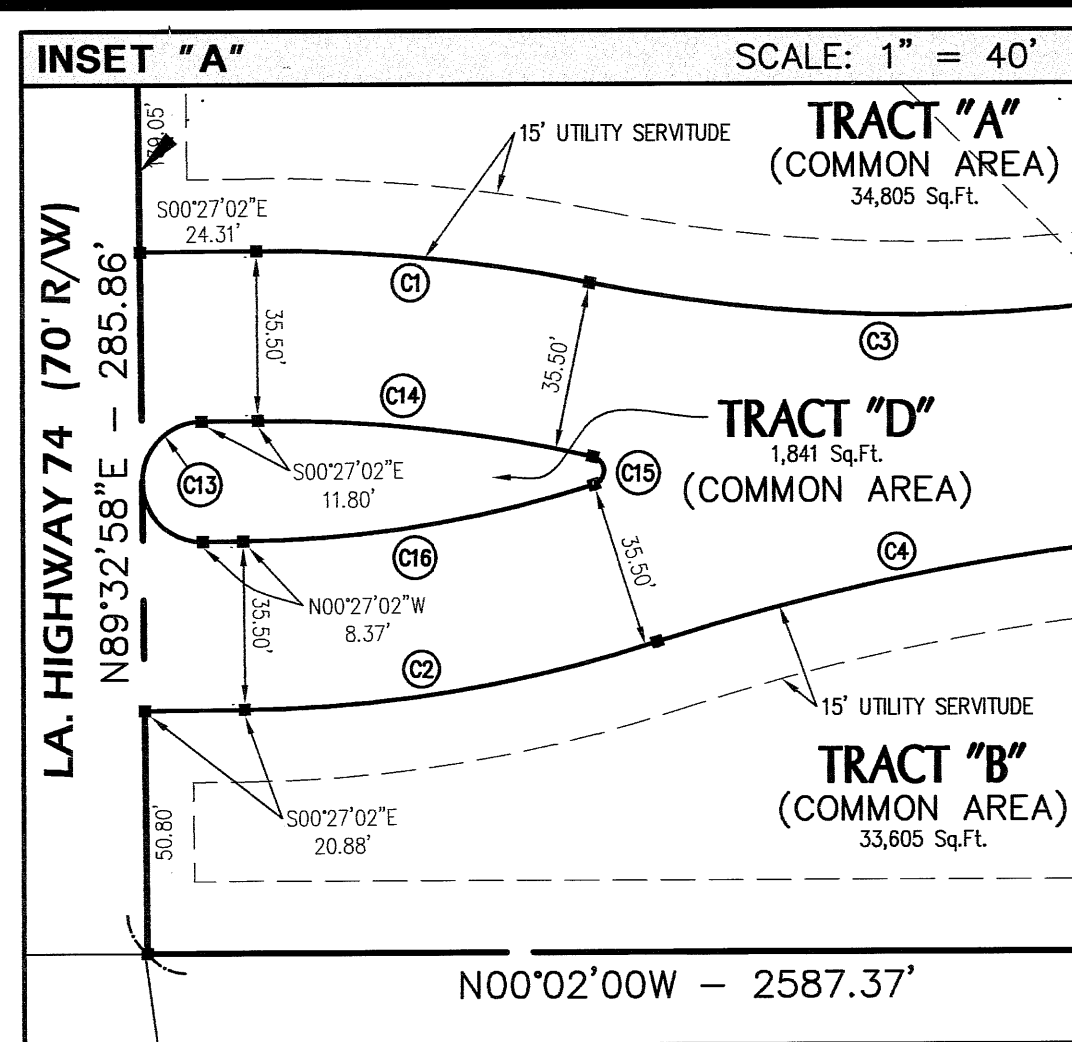
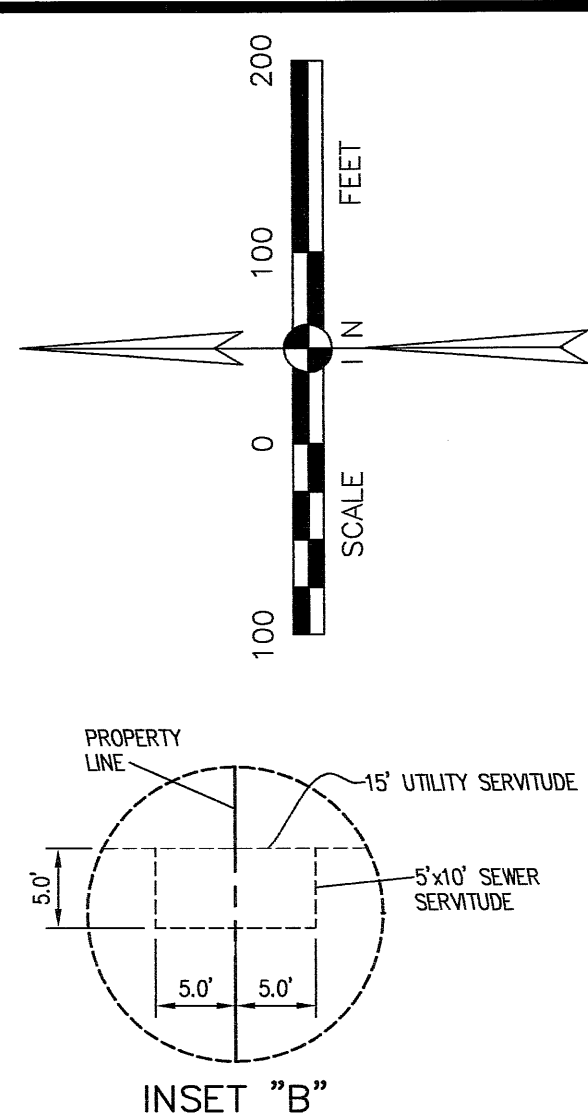


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RIGHT-OF-WAY CURVE TABLE						
CURVE	DELTA	RADIUS	LENGTH	TANGENT	BEARING	DISTANCE
C1	11°56'42"	335.50'	69.95'	35.10'	N05°31'20"E	69.82'
C2	17°34'12"	285.50'	87.55'	44.12'	S09°14'08"E	87.21'
C3	18°16'25"	338.50'	107.96'	54.44'	S02°21'28"W	107.50'
C4	11°23'36"	488.50'	97.14'	48.73'	N12°19'26"W	96.98'
C5	16°49'56"	1725.00'	506.77'	255.22'	S15°11'42"E	504.95'
C6	16°59'02"	1775.00'	526.16'	265.02'	S15°07'09"E	524.23'
C7	23°48'41"	1775.00'	737.67'	374.23'	N11°42'20"W	732.37'
C8	23°48'41"	1725.00'	716.89'	363.69'	N11°42'20"W	711.74'
C9	17°57'06"	2025.00'	634.46'	318.85'	N09°10'33"E	631.87'
C10	21°34'48"	1975.00'	743.87'	376.39'	N10°59'24"E	739.48'
C11	64°42'27"	75.00'	84.70'	47.51'	S14°12'07"E	80.27'
C12	24°20'09"	68.00'	294.73'	100.18'	N77°36'44"E	112.53'
C13	18°00'00"	12.51'	39.29'	35.36'	S89°32'58"W	25.01'
C14	13°28'35"	300.00'	70.39'	35.36'	N06°16'18"E	70.23'
C15	149°29'34"	3.00'	7.83'	11.00'	N87°44'20"E	5.79'
C16	17°03'52"	250.00'	74.46'	37.51'	S08°58'57"E	74.18'

**SUBDIVISION BENCHMARKS:**

- TOP OF SOUTH BOLT ON CATCH BASIN ON EAST SIDE OF OAK ALLEY DRIVE IN FRONT OF LOT 54. ELEVATION 14.42' N.G.V.D.
- TOP OF SOUTH BOLT ON CATCH BASIN ON EAST SIDE OF OAK ALLEY DRIVE IN FRONT OF LOT 45. ELEVATION 15.31' N.G.V.D.
- TOP OF SOUTH BOLT ON CATCH BASIN ON EAST SIDE OF OAK ALLEY DRIVE IN FRONT OF LOT 33. ELEVATION 15.37' N.G.V.D.

**NOTES:**

- NO ATTEMPT HAS BEEN MADE BY FERRIS ENGINEERING & SURVEYING, L.L.C. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS-OF-WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.
- ALL LOTS SHOWN HEREON HAVE THE MINIMUM LOT SIZE AND LOT FRONTAGE FOR THEIR RESPECTIVE ZONING DISTRICTS AS SET FORTH IN THE ASCENSION PARISH DEVELOPMENT CODE.
- MANY LOTS WITHIN THIS DEVELOPMENT HAVE RECEIVED COMPACTED FILL DURING THE CONSTRUCTION PHASE OF THE PROJECT. THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY PERFORMED BY FERRIS ENGINEERING PRIOR TO PLACEMENT OF FILL. EACH BUILDER/OWNER SHALL INDEPENDENTLY INVESTIGATE EXISTING SOIL CONDITIONS PRIOR TO COMMENCING CONSTRUCTION TO ENSURE APPROPRIATE FOUNDATION/SLAB DESIGN. THE DEVELOPER DOES NOT WARRANT SOIL CONDITIONS.
- BASED ON THE ROUTING CALCULATIONS OF THE DETENTION PONDS SHOWN HEREON (TRACT C-1 & C-2) THE 100-YEAR DYNAMIC WATER LEVEL OF THOSE PONDS IS 15.40'. THEREFORE, IN ACCORDANCE WITH THE FLOOD PREVENTION PRACTICES OF ASCENSION PARISH, THE MINIMUM FINISHED FLOOR ELEVATION FOR HOUSE WITHIN THIS DEVELOPMENT SHOULD BE 16.40' N.G.V.D.

**BASIS FOR ELEVATIONS:**

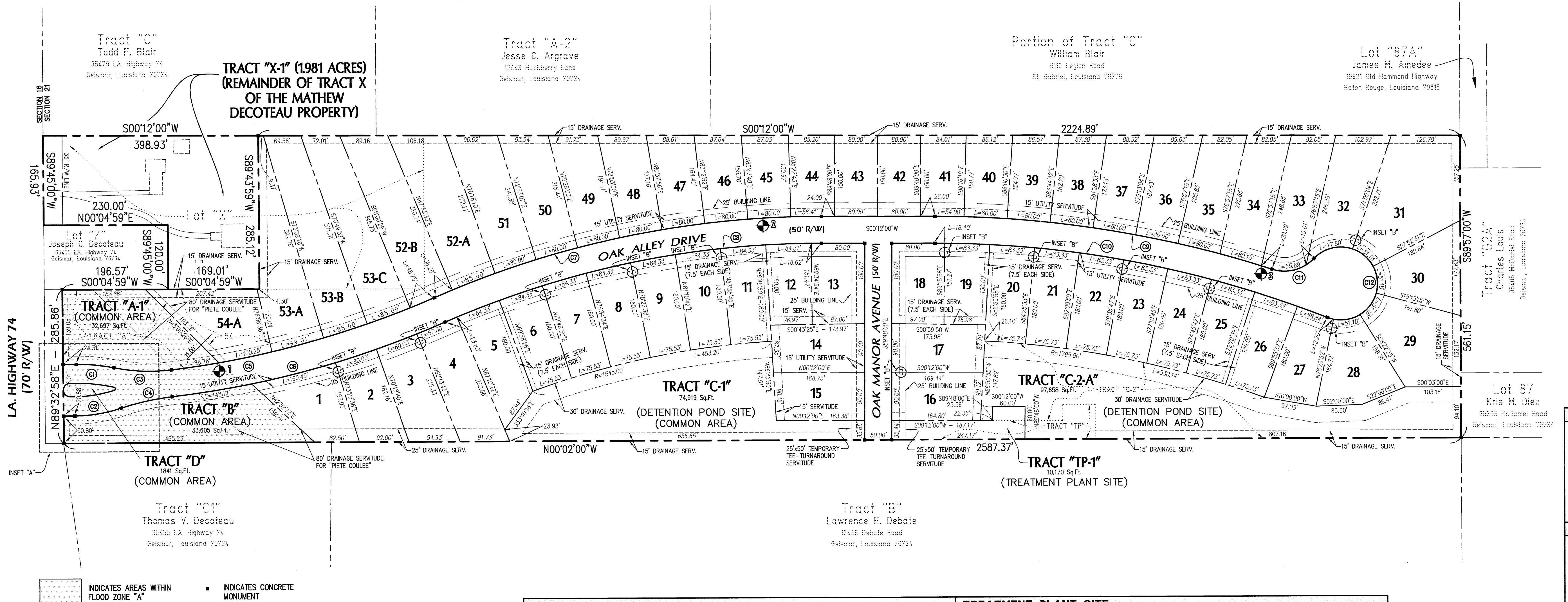
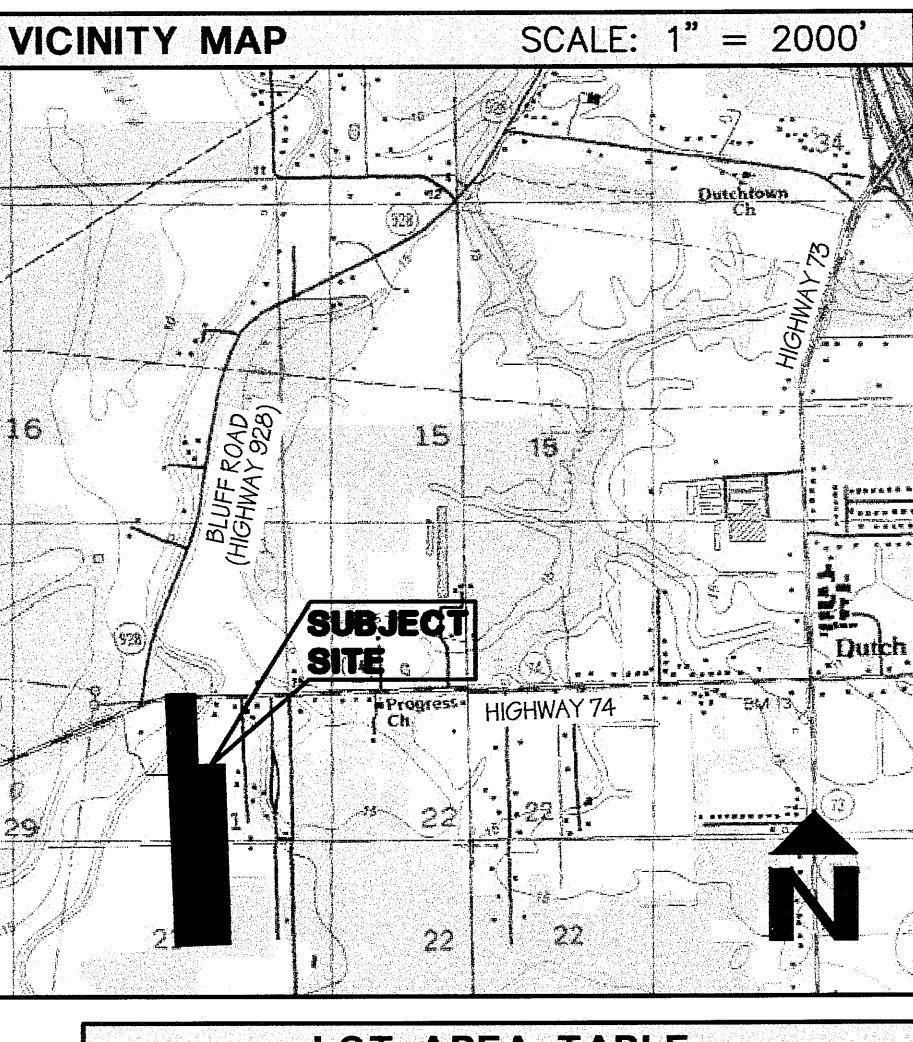
ALL ELEVATIONS SHOWN HEREON ARE REFERENCED OFF OF AND RELATIVE TO NATIONAL GEODETIC SURVEY BENCHMARK NO. 3-V-17 LADH WITH A GIVEN ELEVATION OF 13.81 FT. N.G.V.D.

**REFERENCE MAP:**

- "MAP SHOWING BOUNDARY & TOPOGRAPHIC SURVEY OF THE HUDGENS P. DECOTEAU TRACT AND TRACT "Y" OF THE MURRAY A. DECOTEAU TRACT LOCATED IN SECTION 21, TOWNSHIP 9 SOUTH, RANGE 2 EAST, SOUTHEASTERN DISTRICT, EAST OF THE MISSISSIPPI RIVER, ASCENSION PARISH, LOUISIANA" FOR AMERICA HOMELAND, L.L.C. AND PREPARED BY FERRIS ENGINEERING & SURVEYING, L.L.C. AND DATED MARCH 15, 2002.
- "MAP SHOWING PARTITION OF PART OF THE NE 1/4 OF SECTION 21, T9S R2E, SE DISTRICT E. OF MISS. RIVER IN ASCENSION PARISH, LOUISIANA WITH OWNER & ACREAGE AS SHOWN," PREPARED BY HENRY E. KLEINPETER, C.E. & SURVEYOR, DATED MAY 19, 1960.
- "SURVEY MAP FOR THE LOUIS DECOTEAU EST. SHOWING CERTAIN TRACTS OF LAND LOCATED IN SEC. 15 AND SEC. 21, T-9-S, R-2-E, SOUTHEASTERN LAND DIST. EAST OF MISS. RIVER, PARISH OF ASCENSION, LOUISIANA," PREPARED BY ALEX THERIOT, JR. CONSULTING ENGINEERS, ALEX THERIOT, JR., L.S., DATED JAN. 1973 AND REVISED MAY 22, 1978.
- "MAP SHOWING RESUBDIVISION OF A 1.98 AC. TRACT AND 14.44 AC. TRACT INTO TRACT "X" AND TRACT "Y" LOCATED IN SECTION 21, T9S-R2E, SOUTHEASTERN DISTRICT, ASCENSION PARISH, LOUISIANA FOR MURRAY A. DECOTEAU AND MATHEW DECOTEAU," PREPARED BY LAM SURVEYING, INC., LESTER A. MCJUN, JR., P.L.S., DATED 10-29-96.
- "MAP SHOWING SURVEY OF TRACT "X" OF THE MATHEW DECOTEAU PROPERTY LOCATED IN SECTION 21, TOWNSHIP 9 SOUTH, RANGE 2 EAST, SOUTHEASTERN LAND DISTRICT, EAST OF THE MISSISSIPPI RIVER, ASCENSION PARISH, LOUISIANA FOR MATHEW DECOTEAU," PREPARED BY FERRIS ENGINEERING & SURVEYING, L.L.C., DARVIN W. FERGUSON, P.L.S., DATED APRIL 29, 2003.

**BASIS FOR BEARING:**

ALL BEARINGS SHOWN HEREON ARE REFERENCED OFF OF AND RELATIVE TO THE BEARINGS SHOWN ON REFERENCE MAP NO. 1 LISTED ABOVE.



**GENERAL NOTES:**

ZONING: RM (MEDIUM INTENSITY RESIDENTIAL)

LAND USE: SINGLE FAMILY RESIDENTIAL

ACREAGE: 31.272 ACRES

NO. OF LOTS: 57

OVERALL DENSITY: 1.823 LOTS/ACRE

STREET: STREETS TWENTY-SEVEN (27) FEET WIDE WITH THREE (3) INCHES ASPHALTIC CONCRETE WEARING SURFACE ON A MINIMUM TEN (10) INCH SOIL CEMENT BASE WITH CONCRETE CURB AND GUTTER.

SEWER: GRAVITY COLLECTION LINES TO COMMUNITY TREATMENT PLANT

WATER: BATON ROUGE WATER COMPANY

ELECTRIC: ENTERGY

TELEPHONE: EATEL

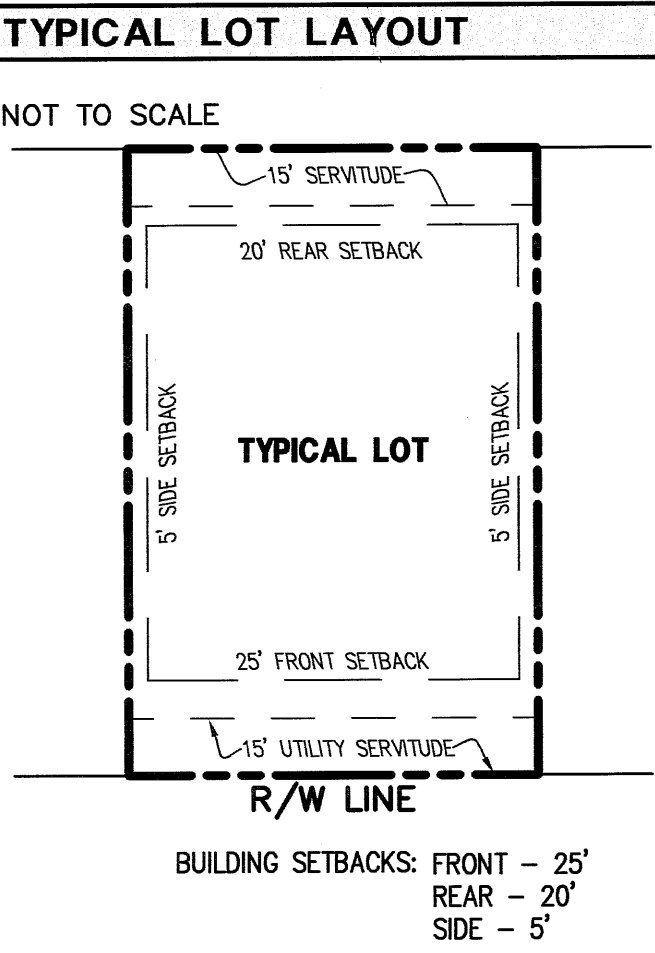
FLOOD ZONE: ZONES "C" AND "A" ACCORDING TO H.U.D. F.I.R.M. NO. 220013-0110 C, DATED JANUARY 20, 1993.

BASE FLOOD ELEV.: 15' AS PROVIDED BY PARISH OF ASCENSION (SEE NOTE #4 ABOVE)

HIGH SCHOOL: DUTCOTOWN HIGH

MIDDLE SCHOOL: DUTCOTOWN MIDDLE

ELEMENTARY SCHOOL: DUTCOTOWN ELEMENTARY



**COMMON PROPERTY:**

THOSE AREAS DESIGNATED AS TRACT "A", TRACT "B", TRACT "C-1", TRACT "C-2" AND TRACT "D" ARE HEREBY DESIGNATED AS "COMMON PROPERTY" AND DEDICATED TO THE HOMEOWNERS AND OCCUPANTS OF OAK ALLEY ESTATES FOR RECREATION, SERVITUDES, AND OTHER RELATED ACTIVITIES. THE "COMMON PROPERTY" IS NOT HEREBY DEDICATED FOR USE BY THE GENERAL PUBLIC AND THE PUBLIC IS NOT RESPONSIBLE FOR MAINTENANCE THEREOF.

**RESTRICTIONS:**

ALL LOTS ARE SUBJECT TO THE DECLARATION OF RESTRICTIVE COVENANTS RECORDED AS AN ADJUNCT HERETO.

**SEWER DISPOSAL:**

NO PERSON SHALL PROVIDE A METHOD OF SEWAGE DISPOSAL, EXCEPT CONNECTION TO AN APPROVED SANITARY SEWER SYSTEM, UNTIL THE METHOD OF SEWAGE TREATMENT AND DISPOSAL HAS BEEN APPROVED BY THE HEALTH UNIT OF ASCENSION PARISH, LOUISIANA.

**DEDICATION:**

THE STREETS AND RIGHTS-OF-WAY SHOWN HEREON, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER PURPOSES. ALL AREAS SHOWN AS SERVITUDES ARE GRANTED TO THE PUBLIC FOR USE OF UTILITIES, DRAINAGE, SEWAGE REMOVAL OR OTHER PROPER PURPOSE FOR THE GENERAL USE OF THE PUBLIC. NO TREES, SHRUBS OR OTHER PLANTS MAY BE PLANTED, NOR SHALL ANY BUILDING, FENCE, STRUCTURE OR IMPROVEMENTS BE CONSTRUCTED OR INSTALLED WITHIN OR OVER ANY SERVITUDE OR RIGHT-OF-WAY SO AS TO PREVENT OR UNREASONABLY INTERFERE WITH ANY PURPOSE FOR WHICH THE SERVITUDE OR RIGHT-OF-WAY IS GRANTED.

/s/ KEVIN NGUYEN 7-02-2003  
AMERICA HOMELAND, L.L.C. DATE

**TREATMENT PLANT SITE:**

THAT AREA DESIGNATED AS TRACT "TP" SHALL BE DEDICATED TO WASTEWATER TREATMENT OF LOUISIANA INC., FOR THE PURPOSE OF SANITARY SEWER COLLECTION AND TREATMENT FOR OAK ALLEY ESTATES SUBDIVISION. TRACT "TP" IS NOT HEREBY DEDICATED FOR USE BY THE GENERAL PUBLIC AND THE PUBLIC IS NOT RESPONSIBLE FOR MAINTENANCE THEREOF.

**ASCENSION PARISH PLANNING COMMISSION**

**APPROVED:**

/s/ JAMES E. ALTON 6-25-2003 2375  
JAMES E. ALTON, CHAIRMAN DATE FILE NO.  
ASCENSION PARISH PLANNING COMMISSION

**CERTIFICATION:**

THIS IS TO CERTIFY THAT THE SURVEY SHOWN HEREON WAS ACTUALLY MADE ON THE GROUND AS PER RECORD DESCRIPTION AND THAT IT CONFORMS TO THE "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS "C" SURVEYS AS ESTABLISHED BY THE LOUISIANA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS. THIS PLAT IS MADE IN ACCORDANCE WITH LOUISIANA REVISED STATUTES 33:501 ET SEQ. AND CONFORMS TO ALL PARISH ORDINANCES GOVERNING THE SUBDIVISION OF LAND.

/s/ RONALD K. FERRIS 6-25-03  
RONALD K. FERRIS, P.E., P.L.S. DATE  
FERRIS ENGINEERING & SURVEYING, L.L.C.



## FINAL PLAT

# OAK ALLEY ESTATES

DESCRIPTION: BEING A SUBDIVISION THE HUDGENS P. DECOTEAU TRACT AND TRACT "Y", LOCATED IN SECTION 21, TOWNSHIP 9 SOUTH, RANGE 2 EAST, SOUTHEASTERN LAND DISTRICT, EAST OF THE MISSISSIPPI RIVER, ASCENSION PARISH, LOUISIANA

CLIENT: AMERICA HOMELAND, L.L.C.  
12315 ARCEAUX LANE, GEISMAR, LA 70734

## FERRIS ENGINEERING & SURVEYING, L.L.C.

CIVIL ENGINEERS • LAND SURVEYORS • LAND PLANNING • MUNICIPAL/HIGHWAY  
11854 BRICKSOME AVENUE - BATON ROUGE, LOUISIANA 70816 / PH 225-292-6838 - FAX 225-292-0441

DRAWN BY: DHM CADFILE: 01123\_FP4 DATE: 06-25-2003 PROJECT NO: 01-123 DWG NO.: 03-F-0010