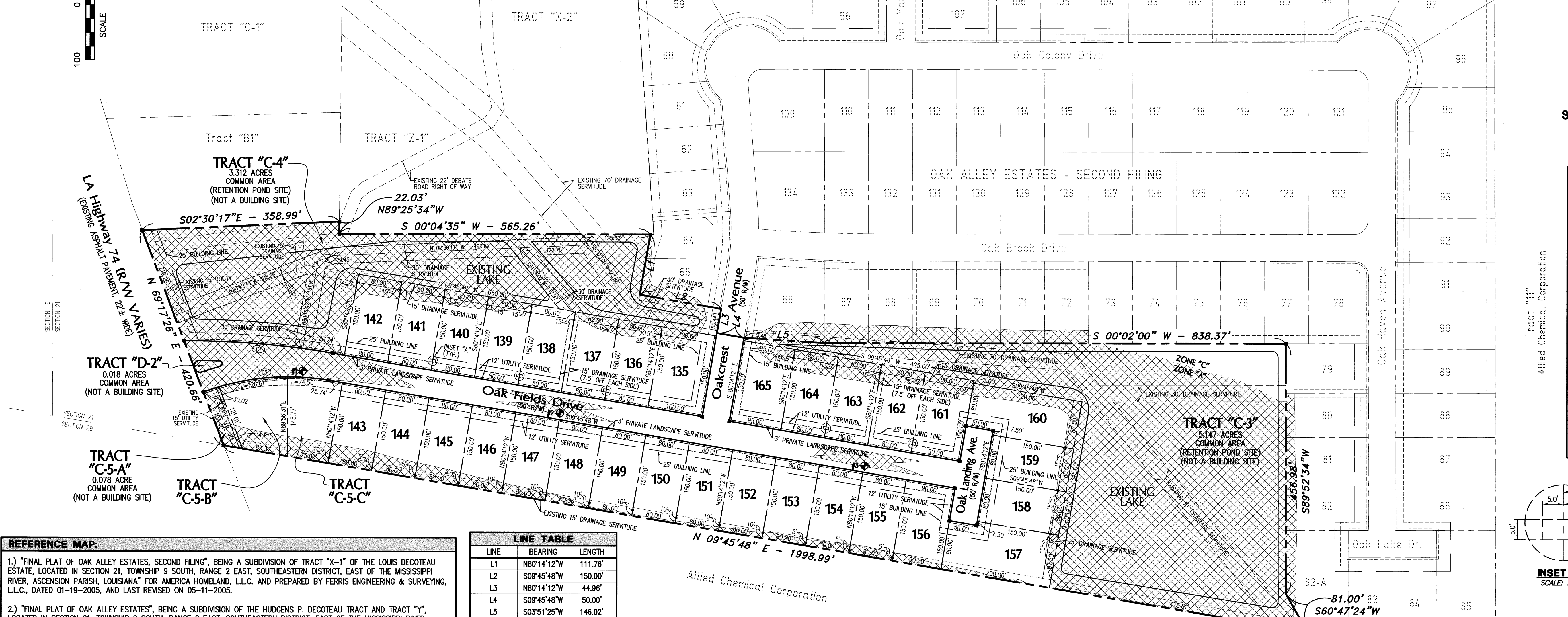


REVISION NO. 1: 03/28/2006
1. TO CORRECT FLOOD MAP PANEL NUMBERS, SHOW REAR OFFSET CORNERS ON LOTS 135 THROUGH 160 AND TO SUBDIVIDE TRACT "C-5" INTO TRACTS "C-5-A", "C-5-B" & "C-5-C".
APPROVED:
/S/ MICHAEL MARCHAND
MICHAEL MARCHAND, CHAIRMAN
ASCENSION PARISH PLANNING COMMISSION
6-7-06
DATE
3858
FILE NO.



REFERENCE MAP:
1.) "FINAL PLAT OF OAK ALLEY ESTATES, SECOND FILING", BEING A SUBDIVISION OF TRACT "X-1" OF THE LOUIS DECOTEAU ESTATE, LOCATED IN SECTION 21, TOWNSHIP 9 SOUTH, RANGE 2 EAST, SOUTHEASTERN DISTRICT, EAST OF THE MISSISSIPPI RIVER, ASCENSION PARISH, LOUISIANA FOR AMERICA HOMELAND, L.L.C. AND PREPARED BY FERRIS ENGINEERING & SURVEYING, L.L.C., DATED 01-19-2005, AND LAST REVISED ON 05-11-2005.
2.) "FINAL PLAT OF OAK ALLEY ESTATES", BEING A SUBDIVISION OF THE HUDGENS P. DECOTEAU TRACT AND TRACT "Y", LOCATED IN SECTION 21, TOWNSHIP 9 SOUTH, RANGE 2 EAST, SOUTHEASTERN DISTRICT, EAST OF THE MISSISSIPPI RIVER, ASCENSION PARISH, LOUISIANA FOR AMERICA HOMELAND, L.L.C. AND PREPARED BY FERRIS ENGINEERING & SURVEYING, L.L.C., DATED 6-25-2003, AND LAST REVISED ON 11-17-2004.
3.) "MAP SHOWING RESUBDIVISION OF TRACTS X AND Z OF THE LOUIS DECOTEAU ESTATE INTO TRACTS X-1, X-2, X-3 AND Z-1, LOCATED IN SECTION 21, TOWNSHIP 9 SOUTH, RANGE 2 EAST, SOUTHEASTERN LAND DISTRICT, EAST OF THE MISSISSIPPI RIVER, ASCENSION PARISH, LOUISIANA FOR AMERICA HOMELAND, L.L.C." PREPARED BY FERRIS ENGINEERING & SURVEYING, L.L.C., DATED 01-27-2004.

BASIS FOR BEARING:
ALL BEARINGS SHOWN HEREON ARE REFERENCED OFF OF AND RELATIVE TO THE BEARINGS SHOWN ON REFERENCE MAP NO. 1 LISTED ABOVE.

RESTRICTIONS:
ALL LOTS ARE SUBJECT TO THE DECLARATION OF RESTRICTIVE COVENANTS RECORDED AS AN ADJUNCT HERETO.

COMMON PROPERTY:
THOSE AREAS NOT SPECIFICALLY DESIGNATED AS LOTS ARE HEREBY DESIGNATED AS "COMMON PROPERTY" AND DEDICATED TO THE HOMEOWNERS AND OCCUPANTS OF OAK ALLEY ESTATES FOR RECREATION, SERVICED, AND OTHER RELATED ACTIVITIES. THE "COMMON PROPERTY" IS NOT HEREBY DEDICATED FOR USE BY THE GENERAL PUBLIC AND THE PUBLIC IS NOT RESPONSIBLE FOR MAINTENANCE THEREOF. THE "COMMON PROPERTY" IS, HOWEVER, DEDICATED FOR THE COMMON USE AND ENJOYMENT OF THE HOMEOWNERS AND OCCUPANTS OF OAK ALLEY ESTATES, WHO SHALL BE RESPONSIBLE FOR THE MAINTENANCE THEREOF.

LOT GRADING:
AS PART OF THE HOUSE CONSTRUCTION, IT SHALL BE THE RESPONSIBILITY OF EACH LOT OWNER OR HIS REPRESENTATIVE TO GRADE EACH LOT SO THAT THE STORM DRAINAGE RUNOFF CONFORMS TO THE APPROVED STORM DRAINAGE PLAN FOR OAK ALLEY ESTATES, UNLESS OTHERWISE APPROVED BY THE ASCENSION PARISH DEPARTMENT OF PUBLIC WORKS.

NOTES:
1. NO ATTEMPT HAS BEEN MADE BY FERRIS ENGINEERING & SURVEYING, L.L.C. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVICED, EASEMENTS, RIGHTS-OF-WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.
2. ALL LOTS SHOWN HEREON HAVE THE MINIMUM LOT SIZE AND LOT FRONTAGE FOR THEIR RESPECTIVE ZONING DISTRICTS AS SET FORTH IN THE ASCENSION PARISH DEVELOPMENT CODE.
3. MANY LOTS WITHIN THIS DEVELOPMENT HAVE RECEIVED COMPACTED FILL DURING THE CONSTRUCTION PHASE OF THE PROJECT. THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY PERFORMED BY FERRIS ENGINEERING PRIOR TO PLACEMENT OF FILL. EACH BUILDER/OWNER SHALL INDEPENDENTLY INVESTIGATE EXISTING SOIL CONDITIONS PRIOR TO COMMENCING CONSTRUCTION TO ENSURE APPROPRIATE FOUNDATION/SLAB DESIGN. THE DEVELOPER DOES NOT WARRANT SOIL CONDITIONS.
4. ALL PROPERTY CORNERS SHOWN HEREON HAVE BEEN MONUMENTED WITH 1/2" IRON PIPES, UNLESS OTHERWISE INDICATED.

LINE TABLE		
LINE	BEARING	LENGTH
L1	N80°14'12"W	111.76'
L2	S09°45'48"W	150.00'
L3	N80°14'12"W	44.96'
L4	S09°45'48"W	50.00'
L5	S03°51'25"W	146.02'

CURVE DATA					
CURVE	LENGTH	RADIUS	TANGENT	CHORD	DIRECTION
C1	272.50'	1553.28'	136.60'	272.15'	S04°44'15"W
C2	231.13'	434.58'	118.37'	228.42'	S05°28'23"E

DETENTION POND NOTE:
THE WATER BODY SHOWN HEREON AS "EXISTING LAKE" HAS BEEN DESIGNED AS A DETENTION POND IN CONJUNCTION WITH THE OVERALL APPROVED DRAINAGE PLAN OF THIS SUBDIVISION. THE POND, SHORELINES AND/OR LEVEES SHALL BE PRIVATELY OWNED AND MAINTAINED. THE PARISH OF ASCENSION SHALL HAVE NO RESPONSIBILITY FOR THE MAINTENANCE THEREOF. NO FILLING OR ALTERING OF ANY POND AREA SHALL BE ALLOWED WITHOUT THE PRIOR APPROVAL OF THE ASCENSION PARISH DEPARTMENT OF PUBLIC WORKS.

COMMON PROPERTY:
THOSE AREAS DESIGNATED AS "COMMON PROPERTY" ARE HEREBY DEDICATED TO THE HOME OWNERS AND OCCUPANTS OF OAK ALLEY ESTATES FOR RECREATION, SERVICED, AND OTHER RELATED ACTIVITIES. THE "COMMON PROPERTY" ARE NOT HEREBY DEDICATED FOR USE OF THE GENERAL PUBLIC, BUT DEDICATED FOR THE COMMON USE AND ENJOYMENT OF THE HOME OWNERS AND OCCUPANTS OF OAK ALLEY ESTATES. OWNERSHIP AND MAINTENANCE SHALL BE BY THE OAK ALLEY ESTATES PROPERTY OWNERS ASSOCIATION. THE CITY/PARISH DEPARTMENT OF PUBLIC WORKS IS NOT RESPONSIBLE FOR MAINTENANCE WITHIN "COMMON PROPERTY."

PRIVATE DEDICATION:
THE SERVICED AREAS DESIGNATED HEREON AS "PRIVATE SERVICED" ARE HEREBY RESERVED FOR THE USE OF OAK ALLEY ESTATES HOME OWNERS ASSOCIATION PROPERTY OWNERS, ITS SUCCESSORS AND ASSIGNS PURSUANT TO THE DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS OF SAID LOTS AND TRACT. THE SALE OF ANY PROPERTY SHOWN HEREON BY REFERENCE TO THIS PLAT SHALL NOT CONSTITUTE A DEDICATION TO THE PUBLIC OF ANY "PRIVATE SERVICED" SHOWN HEREON. FURTHERMORE, THE PUBLIC SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF ANY IMPROVEMENTS LOCATED WITHIN THE "PRIVATE SERVICED." THE CITY/PARISH DEPARTMENT OF PUBLIC WORKS IS NOT RESPONSIBLE FOR MAINTENANCE OF PRIVATE FACILITIES.

PUBLIC DEDICATION:
THE STREETS AND RIGHTS-OF-WAY SHOWN HEREON, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER PURPOSES. ALL AREAS SHOWN AS SERVICED ARE GRANTED TO THE PUBLIC FOR USE OF UTILITIES, DRAINAGE, SEWAGE REMOVAL OR OTHER PROPER PURPOSE FOR THE GENERAL USE OF THE PUBLIC. NO TREES, SHRUBS OR OTHER PLANTS MAY BE PLANTED, NOR SHALL ANY BUILDING, FENCE, STRUCTURE OR IMPROVEMENTS BE CONSTRUCTED OR INSTALLED WITHIN OR OVER ANY SERVICED OR RIGHT-OF-WAY SO AS TO PREVENT OR UNREASONABLY INTERFERE WITH ANY PURPOSE FOR WHICH THE SERVICED OR RIGHT-OF-WAY IS GRANTED.

SEWER DISPOSAL:
NO PERSON SHALL PROVIDE A METHOD OF SEWAGE DISPOSAL, EXCEPT CONNECTION TO AN APPROVED SANITARY SEWER SYSTEM, UNTIL THE METHOD OF SEWAGE TREATMENT AND DISPOSAL HAS BEEN APPROVED BY THE HEALTH UNIT OF ASCENSION PARISH, LOUISIANA.

/S/ KEVIN NGUYEN
AMERICA HOMELAND, L.L.C.
OWNER TRACT X-1-A AND TRACT Y
11/30/05
DATE

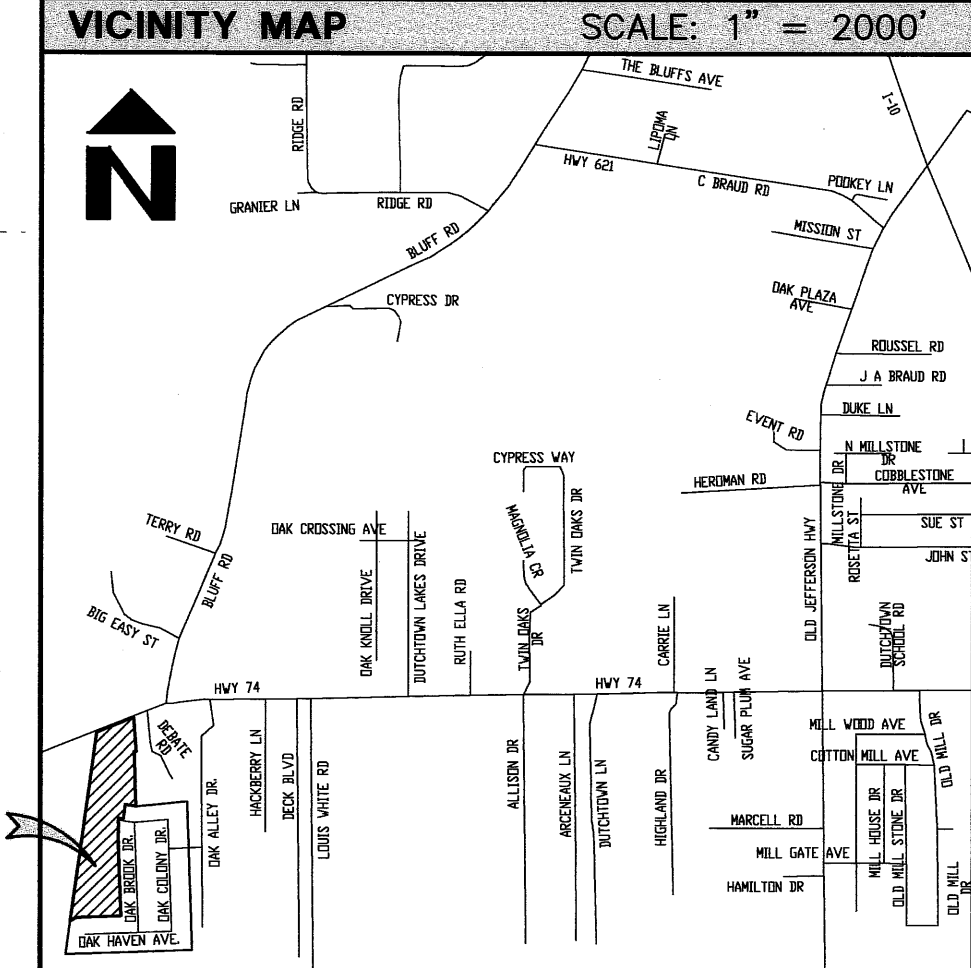
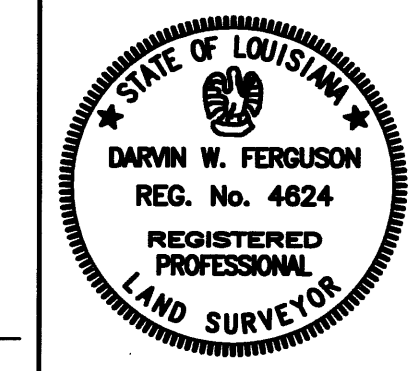
LEGEND:
[Symbol] ZONE "A" AS-PER FEMA LOMR-F IN RESPONSE TO CASE NUMBER 06-08-B907A, 8-03-06
[Symbol] INDICATES CONCRETE MONUMENT

APPROVAL DATES:
APPROVED AUGUST 13, 2003 - NO VARIANCES/WAIVERS
REVISED APPROVED DECEMBER 29, 2003 - NO VARIANCES/WAIVERS

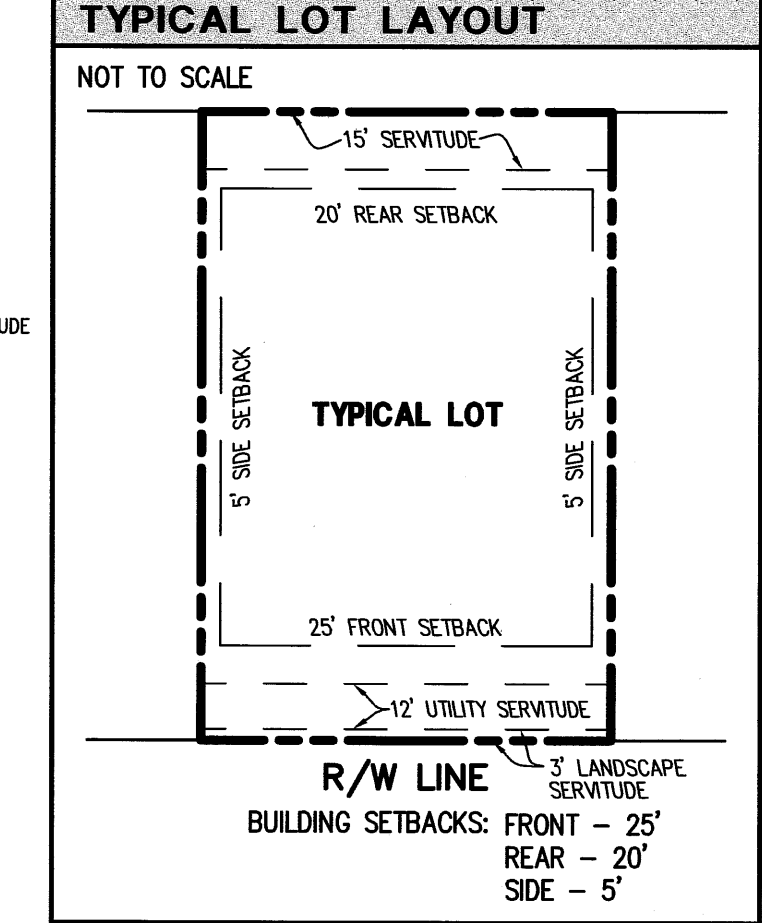
ASCENSION PARISH PLANNING COMMISSION
APPROVED:
/S/ MICHAEL MARCHAND
MICHAEL MARCHAND, CHAIRPERSON
ASCENSION PARISH PLANNING COMMISSION
12/7/05
DATE
3645
FILE NO.

CERTIFICATION:
THIS IS TO CERTIFY THAT THE SURVEY SHOWN HEREON WAS ACTUALLY MADE ON THE GROUND AS PER RECORD DESCRIPTION AND THAT IT CONFORMS TO THE "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS "C" SURVEYS AS ESTABLISHED BY THE LOUISIANA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS. THIS PLAT IS MADE IN ACCORDANCE WITH LOUISIANA REVISED STATUTES 33:5051 ET SEQ. AND CONFORMS TO ALL PARISH ORDINANCES GOVERNING THE SUBDIVISION OF LAND.

/S/ DARVIN W. FERGUSON
DARVIN W. FERGUSON, P.L.S.
FERRIS ENGINEERING & SURVEYING, L.L.C.
11/30/05
DATE



GENERAL NOTES:
ZONING: RM (MEDIUM INTENSITY RESIDENTIAL)
LAND USE: SINGLE FAMILY RESIDENTIAL
ACREAGE: 20.250 ACRES
NO. OF LOTS: 33
OVERALL DENSITY: 1.630 LOTS/ACRE
STREET: STREETS TWENTY-SEVEN (27) FEET WIDE WITH THREE (3") INCHES ASPHALTIC CONCRETE WEARING SURFACE ON A MINIMUM TEN (10") INCH SOIL CEMENT BASE WITH CONCRETE CURB AND GUTTER.
SEWER: GRAVITY COLLECTION LINES TO EXIST. COMMUNITY TREATMENT PLANT (OAK ALLEY, FIRST FILING)
WATER: BATON ROUGE WATER COMPANY
ELECTRIC: ENTERGY
TELEPHONE: EATEL
FLOOD ZONE: ZONES "C" AND "A" ACCORDING TO H.U.D. F.I.R.M. NO. 220013-0025 B & 0100 B, DATED SEPTEMBER 2, 1981.
BASE FLOOD ELEV.: 15' AS PROVIDED BY PARISH OF ASCENSION
HIGH SCHOOL: DUTCHTOWN HIGH
MIDDLE SCHOOL: DUTCHTOWN MIDDLE
ELEMENTARY SCHOOL: DUTCHTOWN ELEMENTARY



BASIS FOR ELEVATIONS:
ALL ELEVATIONS SHOWN HEREON ARE REFERENCED OFF OF AND RELATIVE TO NATIONAL GEODETIC SURVEY BENCHMARK NO. 3-V-17 LADH WITH A GIVEN ELEVATION OF 13.81 FT. N.G.V.D.

SUBDIVISION BENCHMARKS:
#1 NORTH BOLT ON CATCH BASIN ON WEST SIDE OF OAK FIELDS DRIVE IN FRONT OF TRACT "C-5". ELEV. 13.88'
#2 NORTH BOLT ON CATCH BASIN ON WEST SIDE OF OAK FIELDS DRIVE BETWEEN LOTS 147 AND 148. ELEV. 15.12'
#3 NORTH BOLT ON CATCH BASIN ON WEST SIDE OF OAK FIELDS DRIVE BETWEEN LOTS 154 AND 155. ELEV. 15.05'

FINAL PLAT
OAK ALLEY ESTATES
THIRD FILING
DESCRIPTION: BEING A SUBDIVISION OF TRACT "X-1-A" OF THE OAK ALLEY ESTATES, SECOND FILING AND TRACT "Y", LOCATED IN SECTION 21, TOWNSHIP 9 SOUTH, RANGE 2 EAST, SOUTHEASTERN LAND DISTRICT, EAST OF THE MISSISSIPPI RIVER, ASCENSION PARISH, LOUISIANA
CLIENT: **AMERICA HOMELAND, L.L.C.**
8733 SIEGEN LANE, #378
BATON ROUGE, LOUISIANA 70810
FERRIS ENGINEERING & SURVEYING, L.L.C.
CIVIL ENGINEERS • LAND SURVEYORS • LAND PLANNING • MUNICIPAL/HIGHWAY
11854 BRICKSTONE AVENUE - BATON ROUGE, LOUISIANA 70816 / PH 225-292-6838 - FAX 225-292-0441
DRAWN BY: SW
CADFILE: 01-123_FPLAT-3rd
DATE: 07/27/2005
PROJECT NO: 01-123B
DWC NO: 05-F-002B(C)