

Y.E.S. Townhomes

142 University Ave.
San Antonio Texas 78201



Dillard Architect Group

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San Antonio, Texas
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dillarchgrp@att.net

Drawing Index

COVER SHEET
G-10 DRAWING INDEX-CODE REVIEW

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ARCHITECTURAL DRAWINGS

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Code Information

PURPOSE: RESIDENTIAL

CODE: INTERNATIONAL RESIDENTIAL CODE 2018

FLOOR AREA: 410 GAR FLR SF
710 1ST FLR SF
650 2ND FLR SF
1,770 SF TOTAL RESIDENTIAL

BUILDING USE: NO

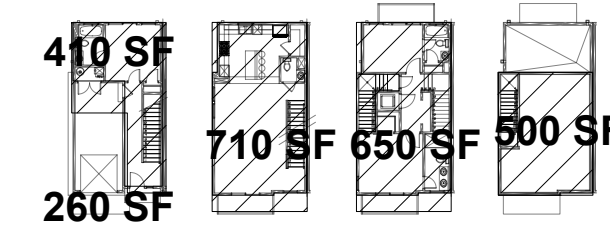
FIRE SUPPRESSION: NO

ACTUAL HEIGHT: 34'-0"

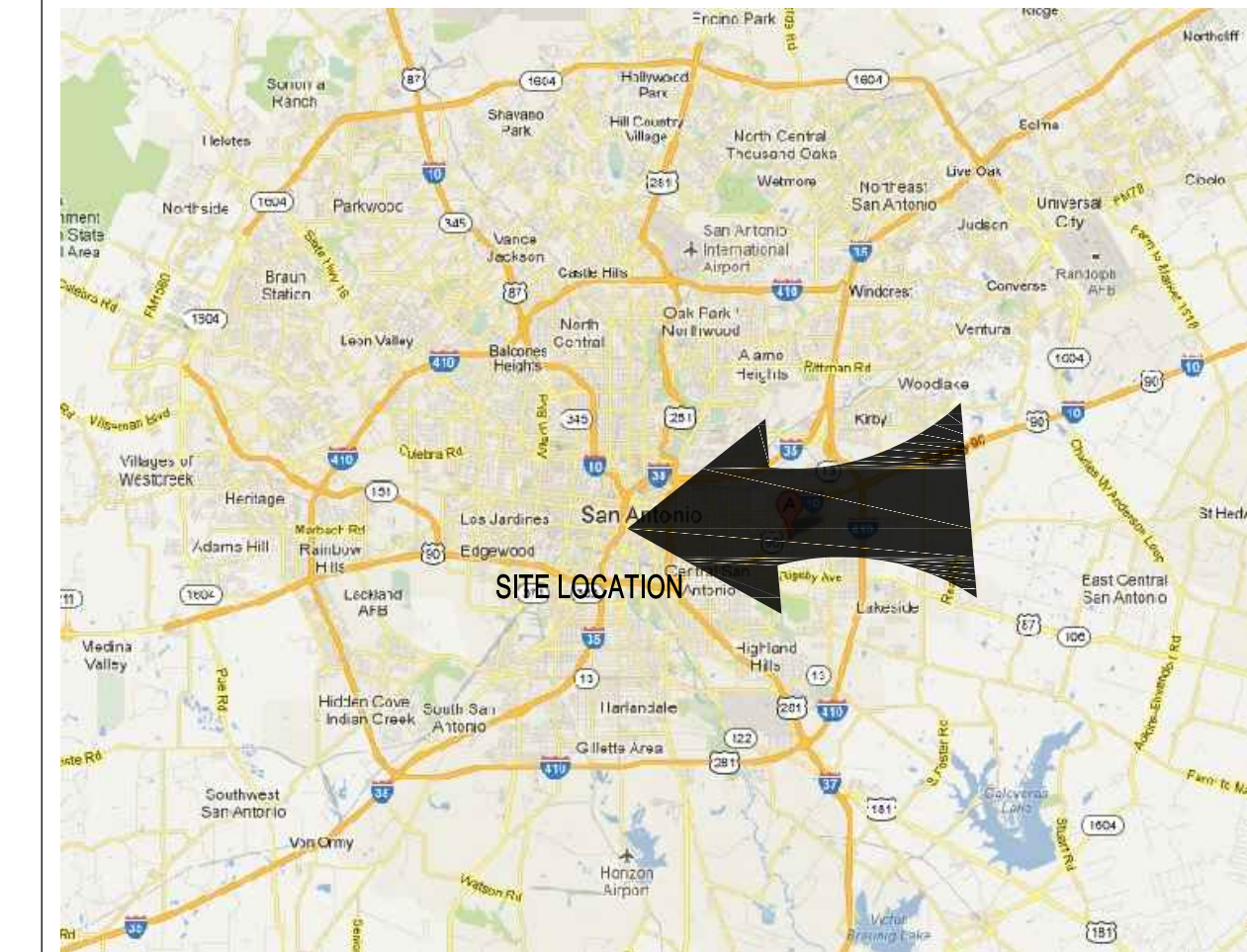
STORIES: 3 1/2

DESIGN LOADS: SLEEPING ROOMS 30 PSF
ROOMS OTHER THAN SLEEPING 40 PSF
ATTICS W/STORAGE 20 PSF
DECKS 40 PSF

1,770 LIVING SF
260 GARAGE
500 ROOF TOP DECK
TOTAL 2,770 SF



Site Location Map

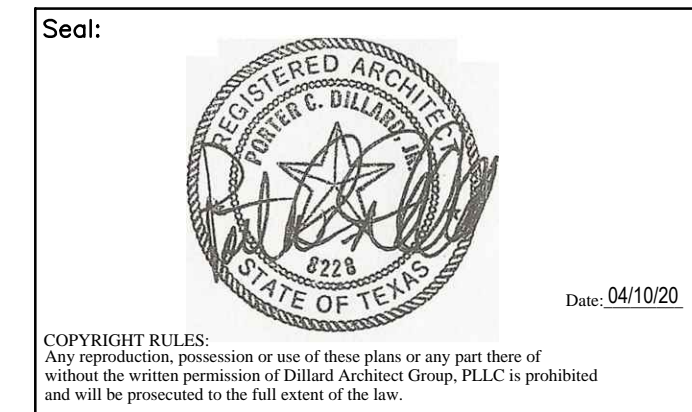


LOCATION MAP

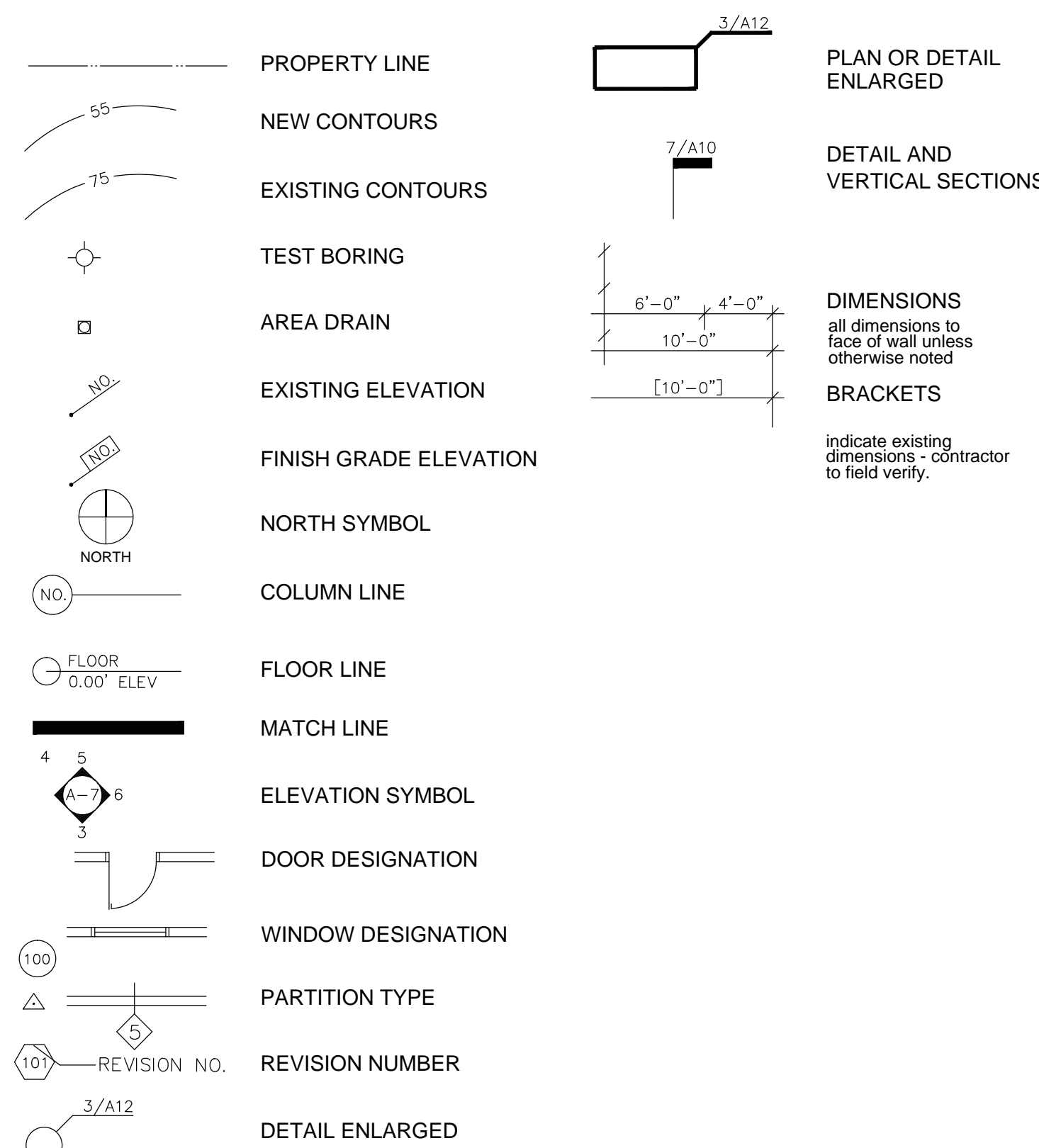
NOT TO SCALE

ADDRESS:
140 UNIVERSITY AVE
SAN ANTONIO, TX, 78201

LEGAL DESCRIPTION:
N.C.B. 2045
BLOCK 1
LOTS 15
8736 SF
0.2006 ACRES



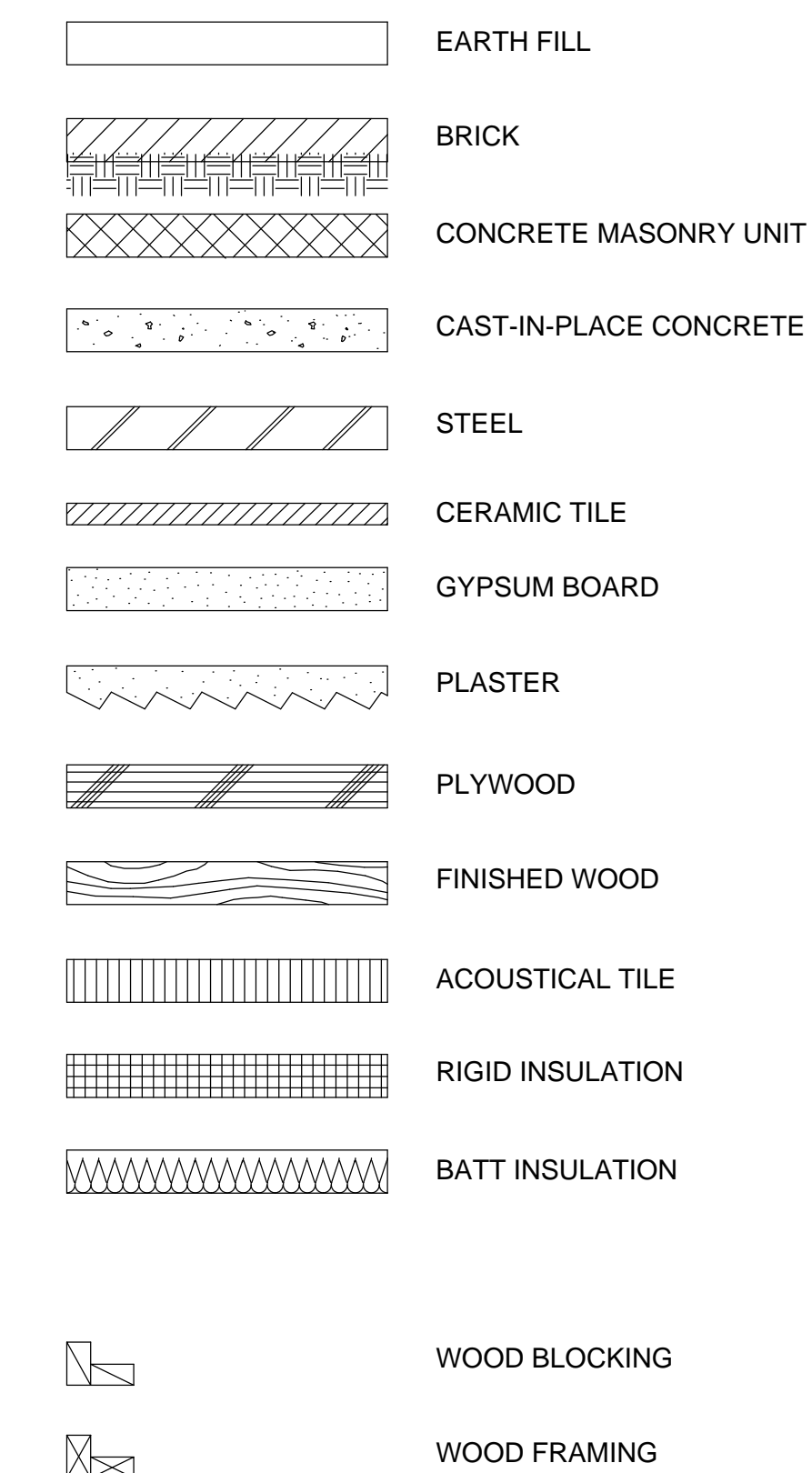
Drawing Conventions



Abbreviations

A/C	AIR CONDITIONING	ELEC.	ELECTRICAL	GR.	GRADE	N.D.	NAPKIN DISPOSAL	SIM.	SIMILAR
ACP.	ACOUSTICAL PANEL	ELEV.	ELEVATION (DRAWING)	G.P.	GLAZED TILE PAVER(S)	N.I.C.	NOT IN CONTRACT	SPC.	SPECIAL COATING SYSTEM
ACT.	ACOUSTICAL TILE	E.J.	EXPANSION JOINT	GYP.	GYPSUM	NO.	NUMBER	SO.	SQUARE
A.D.	AREA DRAIN	EQ.	EQUAL	H.C.	HANDICAPPED ACCESSIBLE	N.T.S.	NOT TO SCALE	SS.	SOUND STRIP
A.D.A.	AMERICANS WITH DISABILITIES ACT (1990)	EQUIP.	EQUIPMENT	HGT.	HEIGHT	N.V.	NAPKIN VENDOR	SS, ST. STL.	STAINLESS STEEL
ADJ.	ADJUSTABLE	EXIST.	EXISTING	HORIZ.	HORIZONTAL	O.C.	ON CENTER	STL.	STEEL
A.F.F.	ABOVE FINISH FLOOR	EXP.	EXPANSION	HM	HOLLOW METAL FRAME	O.D.	OUTSIDE DIAMETER	STR.	STRUCTURAL
A.F.G.	ABOVE FINISH GRADE	EXT.	EXTERIOR	H.W.	HOT WATER	O.F.C.I.	OWNER FURNISHED CONTRACTOR INSTALLED	STRUCT.	STRUCTURAL
ALUM	ALUMINUM	FB.	FACE BRICK	I.D.	INSIDE DIAMETER	OH.	OPPOSITE HAND	SUSP.	SUSPENDED
AL.T.	ALTERNATE	FD.	FLOOR DRAIN	INSUL.	INSULATION	OPNG.	OPENING	SVF	SHEET VINYL FLOORING
ANG.	ANGLE	F.E.	FIRE EXTINGUISHER	INT.	INTERIOR	OPP.	OPPOSITE	SVOF	SHEET VINYL DANCE FLOORING
ASPH.	ASPHALT	F.E.C.	FIRE EXTINGUISHER CAB.	I.P.S.	IRON PIPE SIZE	P.C.	PRECAST	T.B.	TACK BOARD
BD.	BOARD	F.H.C.	FIRE HOSE CAB.	HC	HANDICAPPED ACCESSIBLE	P.H.	PAPER HOLDER	TEL.	TELEPHONE
BLDG.	BUILDING	FIN.	FINISH	HGT.	HEIGHT	PL.	PLATE	TERR.	TERRAZZO
BLK.	BLOCK	FIXT.	FIXTURE	HORIZ.	HORIZONTAL	P.L.	PROPERTY LINE	THK.	THICK
BM.	BEAM	FLR.	FLOOR	HM	HOLLOW METAL FRAME	PLAS.LAM.	PLASTIC LAMINATE	T.O.	TOP OF
B.U.R.	BUILT-UP ROOF	FLSHG.	FLASHING	H.W.	HOT WATER	PLUMB.	PLUMBING	T.O.B.	TOP OF WOOD BLOCKING
C.	CHANNEL	FLUOR.	FLUORESCENT	I.D.	INSIDE DIAMETER	PLWD.	PLYWOOD	T.O.M.	TOP OF MASONRY
CAB. CABT	CABINET	GA.	GAUGE	INSUL.	INSULATION	POL.	POLISHED	T.O.S.	TOP OF STEEL
CFMF	COLD FORMED METAL FRAMING	GALV.	GALVANIZED	INT.	INTERIOR	P.P.	POWER POLE	T.T.D.	TOILET TISSUE DISPENSER
C.J.	CONTROL JOINT	G.B.	GRAB BAR	I.P.S.	IRON PIPE SIZE	PR.	PAIR	TYP.	TYPICAL
Q.	CENTER LINE	GCMU	GLAZED CONCRETE MASONRY UNIT(S)	JT.	JOINT	PT.	POINT	U.N.O.	UNLESS NOTED OTHERWISE
CLG.	CEILING	GEN.	GENERAL	LAM.	LAMINATE	PTD.	PAINTED	UR.	URNAL
C.M.U.	CONCRETE MASONRY UNIT	G.I.	GALVANIZED IRON	LAV.	LAVATORY	P.W.B.	PREFINISHED WALL BOARD	V	VENT
COL.	COLUMN	GL.	GLASS	L.P.	LIGHTPOLE	QT.	QUARRY TILE	V.C.T.	VINYL COMPOSITION TILE
COMP.	COMPRESSIBLE	GR.	GRADE	LT	LIGHT	R	RADIUS	VENT.	VENTILATING
CONC.	CONCRETE	GTP.	GLAZED TILE PAVER(S)	LT. WT.	LIGHT WEIGHT	R.D.	ROOF DRAIN	VER.	VERIFY
COND.	CONDITION	GYP.	GYPSUM	MANUF. MFR.	MANUFACTURER	RE.	REFERENCE	VERT.	VERTICAL
CONT.	CONTINUOUS	FB	FACE BRICK	MAS.	MASONRY	RECP.	RECEPTACLE		
CORR.	CORRIDOR	FD	FLOOR DRAIN	MATL.	MATERIAL	REINF.	REINFORCE		
CPT.	CARPET	F.E.	FIRE EXTINGUISHER	MAX.	MAXIMUM	RES.	RESILIENT		
CT.	CERAMIC TILE	F.E.C.	FIRE EXTINGUISHER CAB.	M.B.	MARKER BOARD	REQ., REQD.	REQUIRED		
CTSK.	COUNTERSINK	F.H.C.	FIRE HOSE CAB.	MECH.	MECHANICAL	REV.	REVISED	V.I.F.	VERIFY IN FIELD
C.W.	COLD WATER	FIN.	FINISH	MEM. W.P.	MEMBRANE WATERPROOFING	RF	RECREATIONAL RESILIENT FLOORING	VWC	VINYL WALL COVERING
		FIXT.	FIXTURE	MEP	MECHANICAL, ELECTRICAL & PLUMBING	RPG.	RELOCATABLE PAINTED GYPSUM BOARD	W/	WITH
		FLR.	FLOOR	MEZZ.	MEZZANINE	RSS.	ROD STOCK AND SEALANT	W.C.	WATER CLOSET
		FLSHG.	FLASHING	M.H.	MANHOLE	SC.	SEALED CONCRETE	WD.	WOOD
		FLUOR.	FLUORESCENT	MIN.	MINIMUM	SCH, SCHED.	SCHEDULE(D)	WDW.	WINDOW
				MISC.	MISCELLANEOUS	SCPL.	SOLID CORE PLASTIC LAMINATE	W.P.	WATERPROOFING
				M.O.	MASONRY OPENING	S.D.	SOAP DISPENSER	W.S.	WEATHERSTRIP
				MOD.	MODULE	SEC.	SECTION	WT.	WEIGHT
				MTL.	METAL	SHT.	SHEET	W.W.	WATER WELL
				MTP.	METAL TOILET PARTITIONS			W.W.F.	WELDED WIRE FABRIC

Material Conventions



Project Name and Address

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SAN ANTONIO, TX 78201

No.:	Revision/Issue:	Date:

Sheet Name:

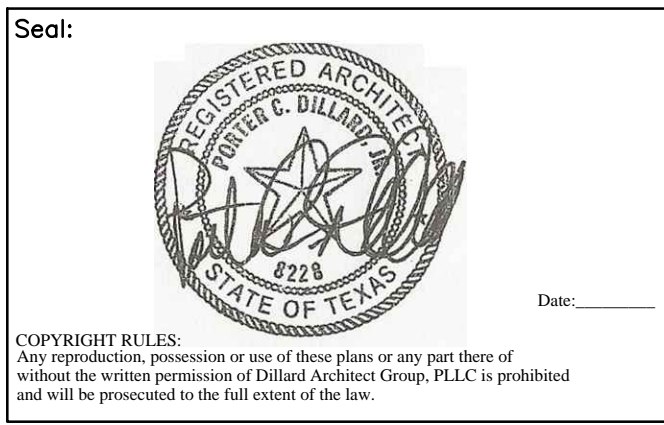
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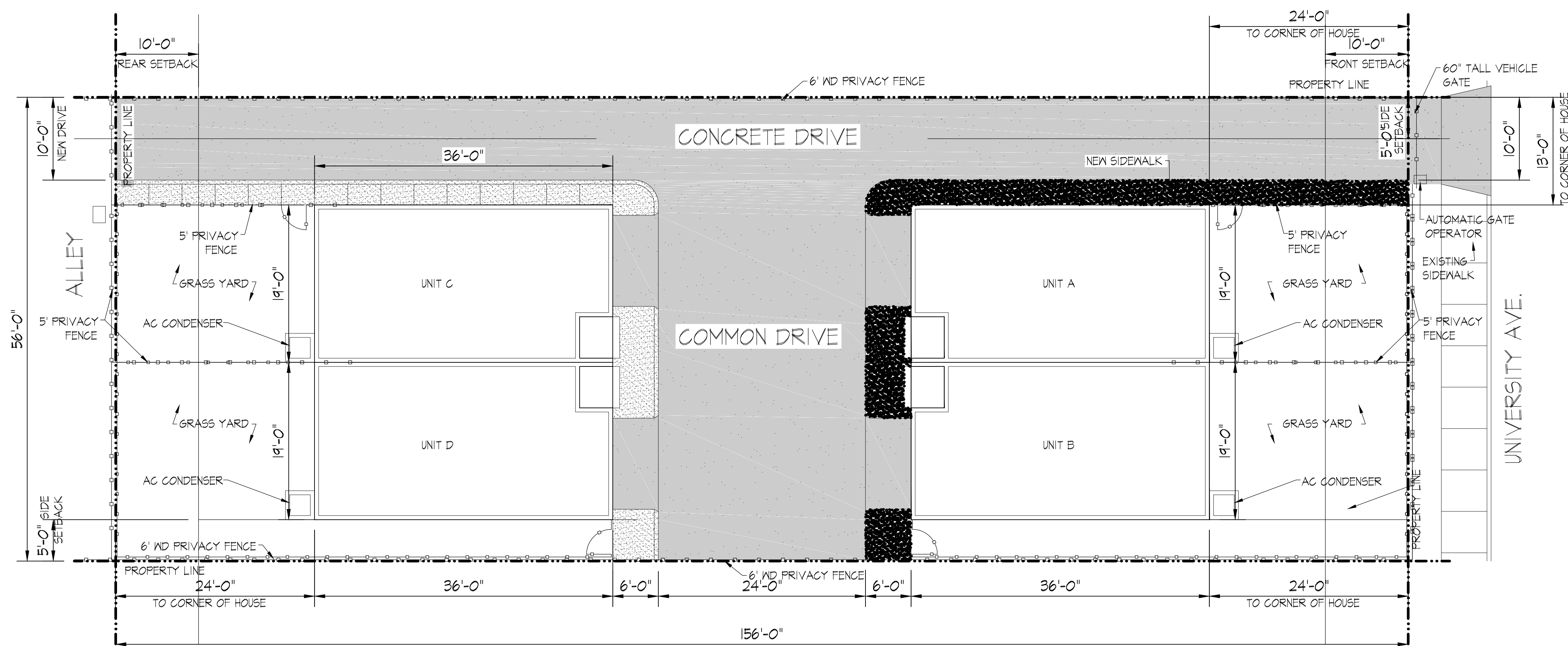
FLOOR PLAN GENERAL NOTES

- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING THE WORK.
- CONTRACTOR SHALL VISIT PROJECT SITE TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF WORK, AND TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO BIDDING. ANY AMBIGUOUS ITEMS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING PRIOR TO BIDDING.
- VERIFY DIMENSIONS WITH ARCHITECT.
- FLOOR PLAN INTERIOR DIMENSIONS ARE TO THE FACE OF WOOD STUD.
- PROVIDE BLOCKING AS REQUIRED FOR PROPER SUPPORT OF WALL AND CEILING MOUNTED EQUIPMENT.
- WHERE WALL TYPES OF DIFFERENT THICKNESS ADJOIN IN THE SAME LOCATIONS, ALIGN THE FACE OF EXPOSED GYPSUM BOARD FLUSH.
- ALL DOOR JAMB ROUGH OPENINGS TO BE 4" FROM ADJACENT WALL HINGE SIDE, U.N.O.
- UTILIZE MOISTURE RESISTANT G.W.B. IN KITCHENS AND BATHROOMS.
- BATHROOM FANS TO BE VENTED TO EXTERIOR.
- ALL INTERIOR WALLS TO HAVE 1/2" G.W.B AND ALL CEILINGS TO HAVE 1/2" NON SAG G.W.B U.N.O.

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GENERAL NOTES:

- ALL CASED OPENINGS SHALL HAVE SAME CASING HEIGHTS AS OPENINGS WITH DOORS.
- ALL WALLS SHALL BE 2X4 UNLESS NOTED OTHERWISE.
- ALL WINDOWS HEADERS TO BE @ 81 3/8" A.F.F. UNLESS NOTED OTHERWISE.
- ALL WINDOWS SHALL BE TRIMMED PER SPECIFICATION ON INTERIOR ELEVATIONS.
- THIN SET ALL CERAMIC TILE OVER 5 PLY BC 3/8" UNDER-LAYMENT.
- SET ALL TUBS ON 40# FELT.
- PROVIDE MINIMUM 4" RETURNS AT ALL OPENINGS.
- ALL ANGLED WALLS TO BE 45 DEGREES UNLESS NOTED OTHERWISE.
- ALL HANDRAILS SHALL HAVE A CROSS SECTION OF 1 1/2" MINIMUM TO 2" MAXIMUM.
- ALL GUARDRAILS AND HANDRAILS AT THE SIDE OF STAIRS TO BE AT 34" ABOVE NOSING.
- ALL GUARDRAILS AT THE SIDE OF OPENINGS TO BE A MINIMUM OF 31" A.F.F.

1 SITE PLAN
 Scale: 1/4" = 1'-0"
 TRUE NORTH

Project Name and Address

No.:	Revision/Issue:	Date:

Sheet Name:
SITE PLAN

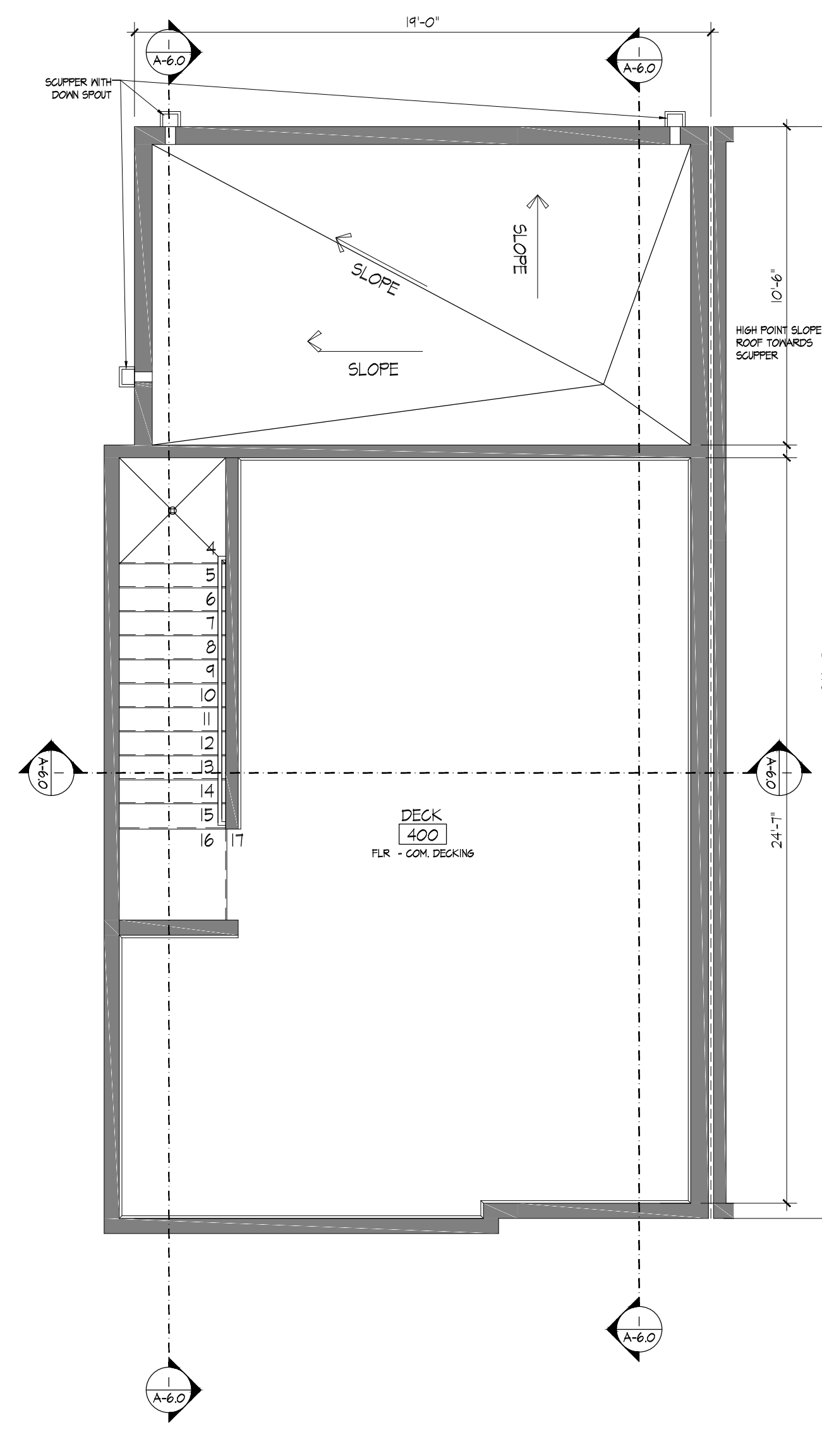
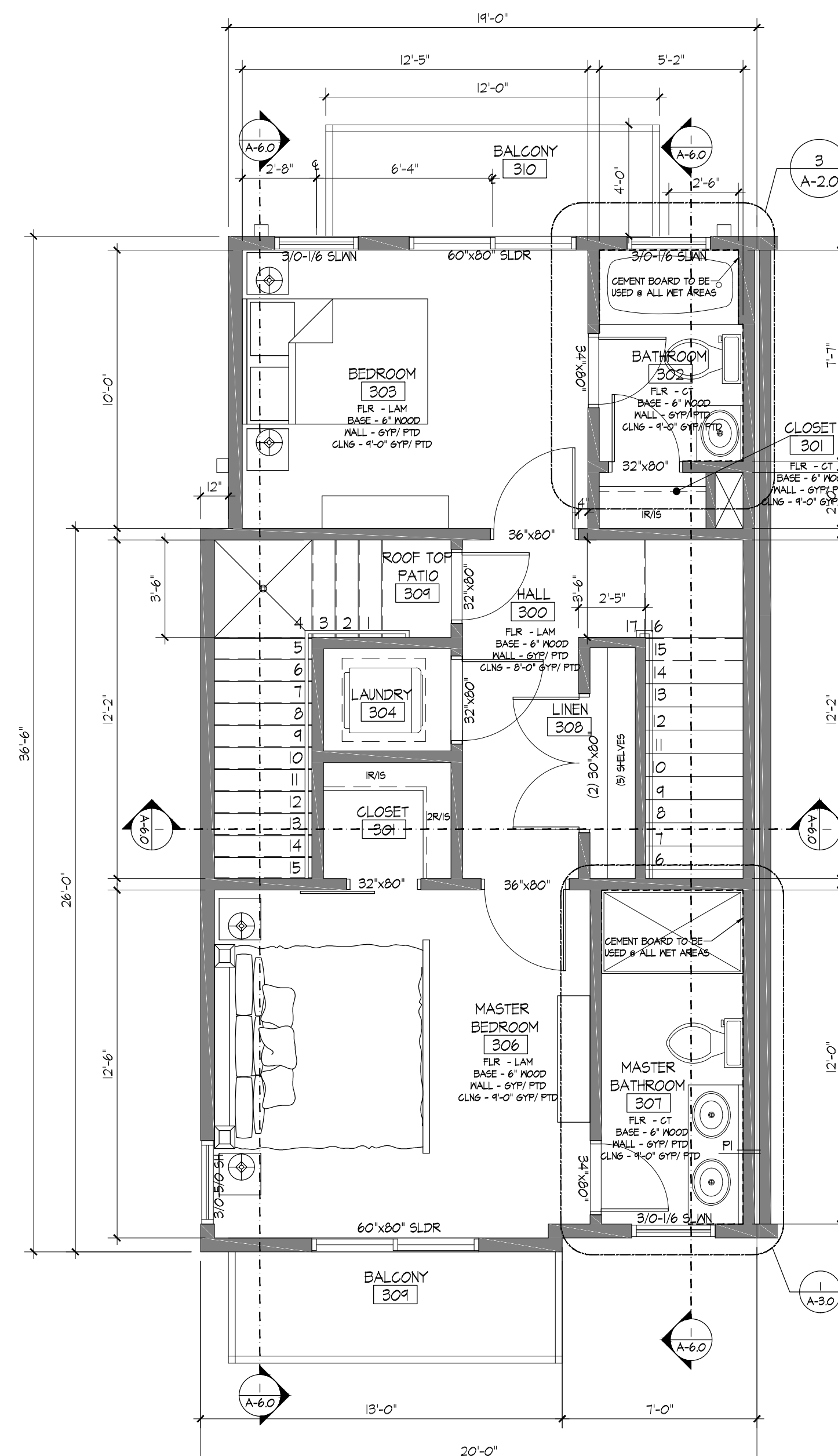
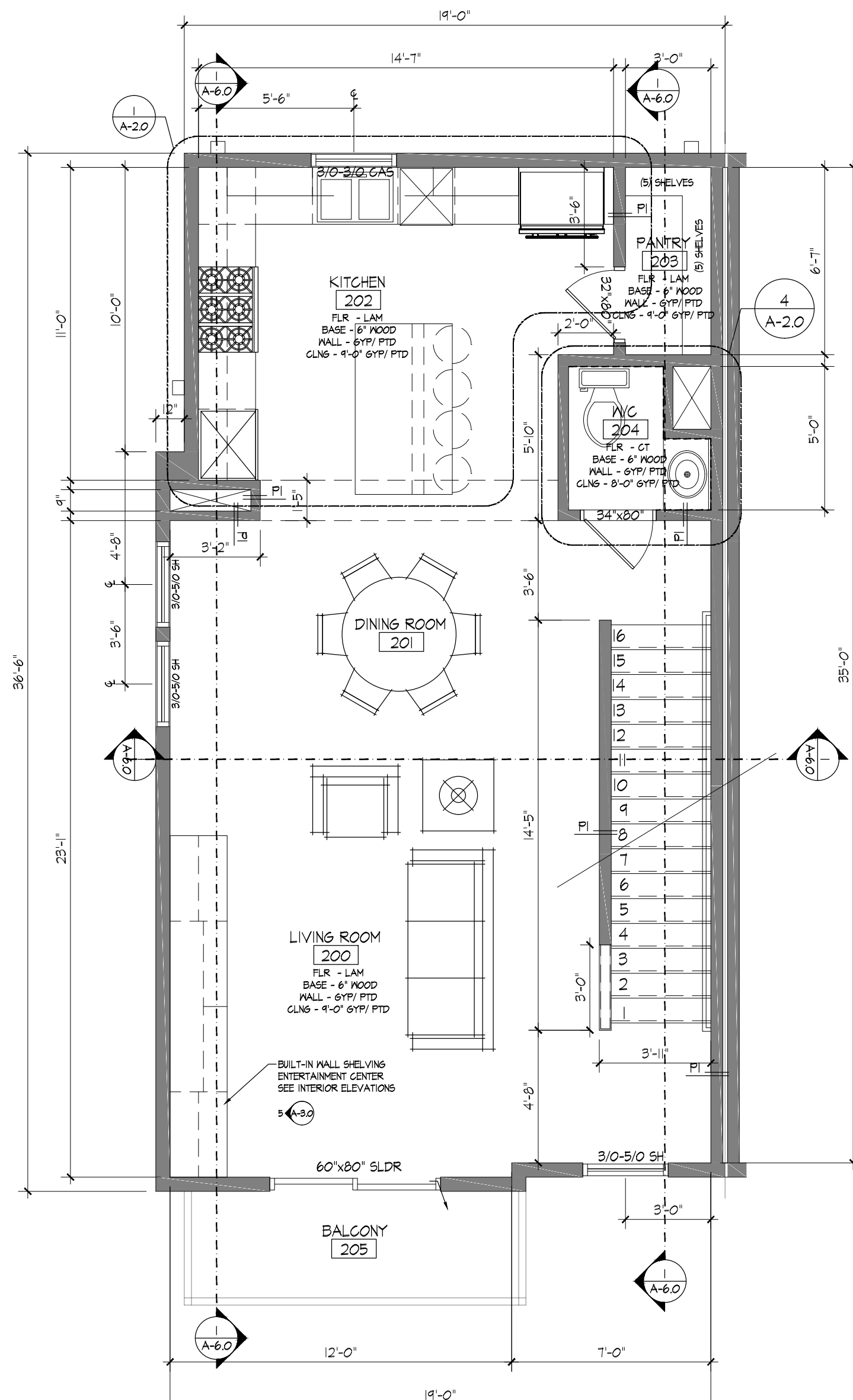
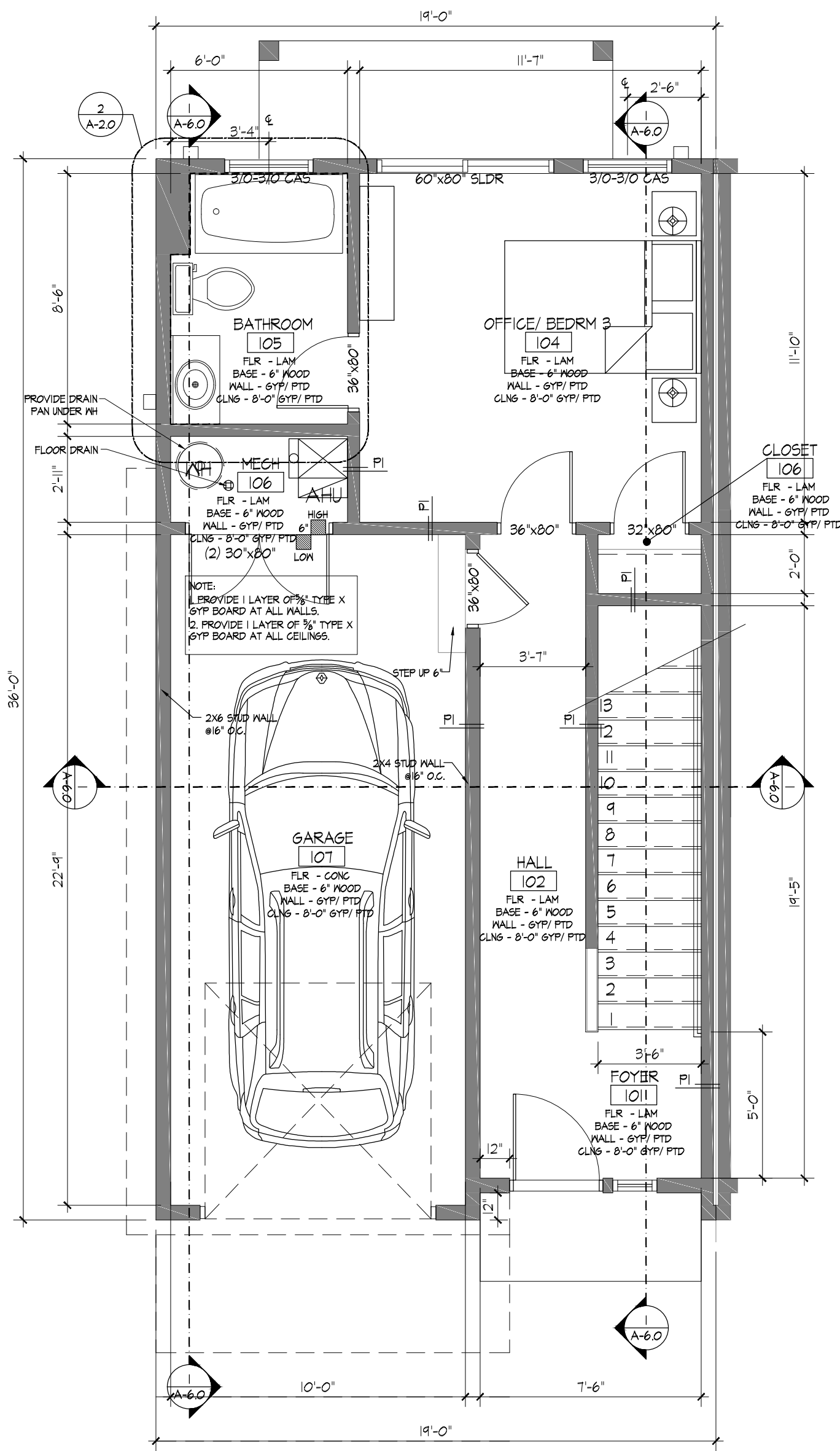
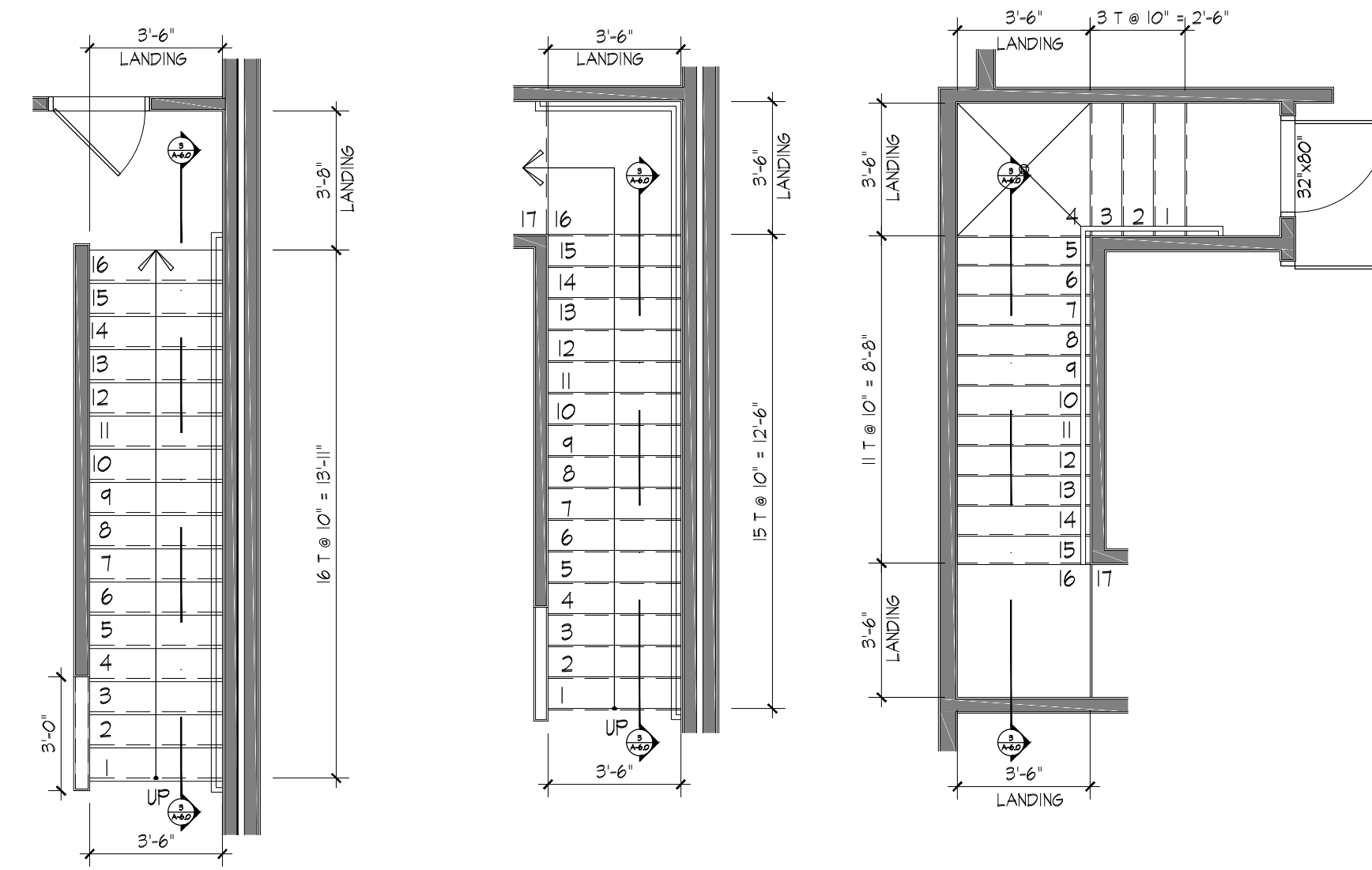
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Sheet Date:		
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- ALL WINDOWS SHALL BE TRIMMED PER SPECIFICATION ON INTERIOR ELEVATIONS.
- THIN SET ALL CERAMIC TILE OVER 5 PLY EG 3/8" UNDER-LAYMENT.
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STATE OF TEXAS
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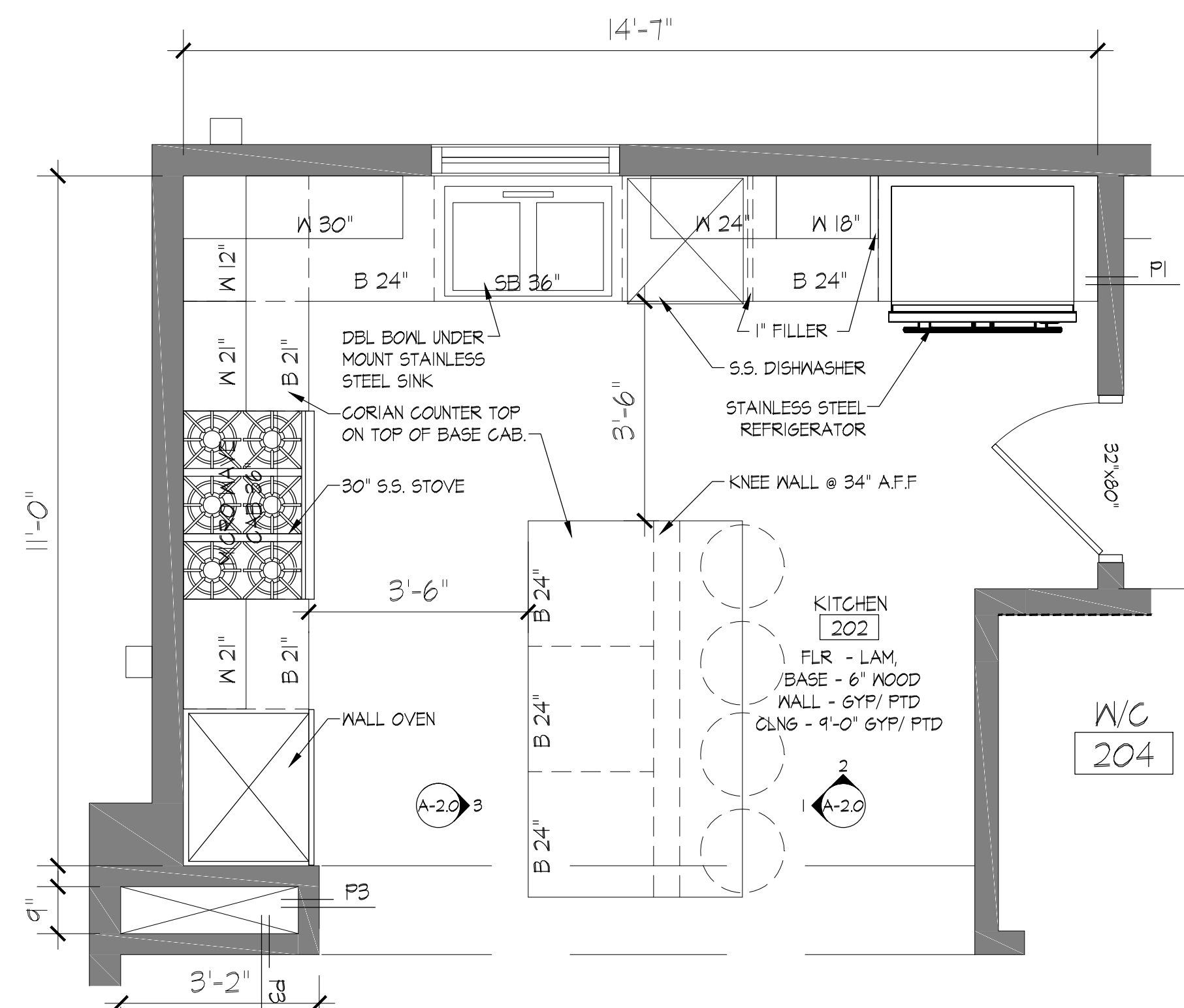
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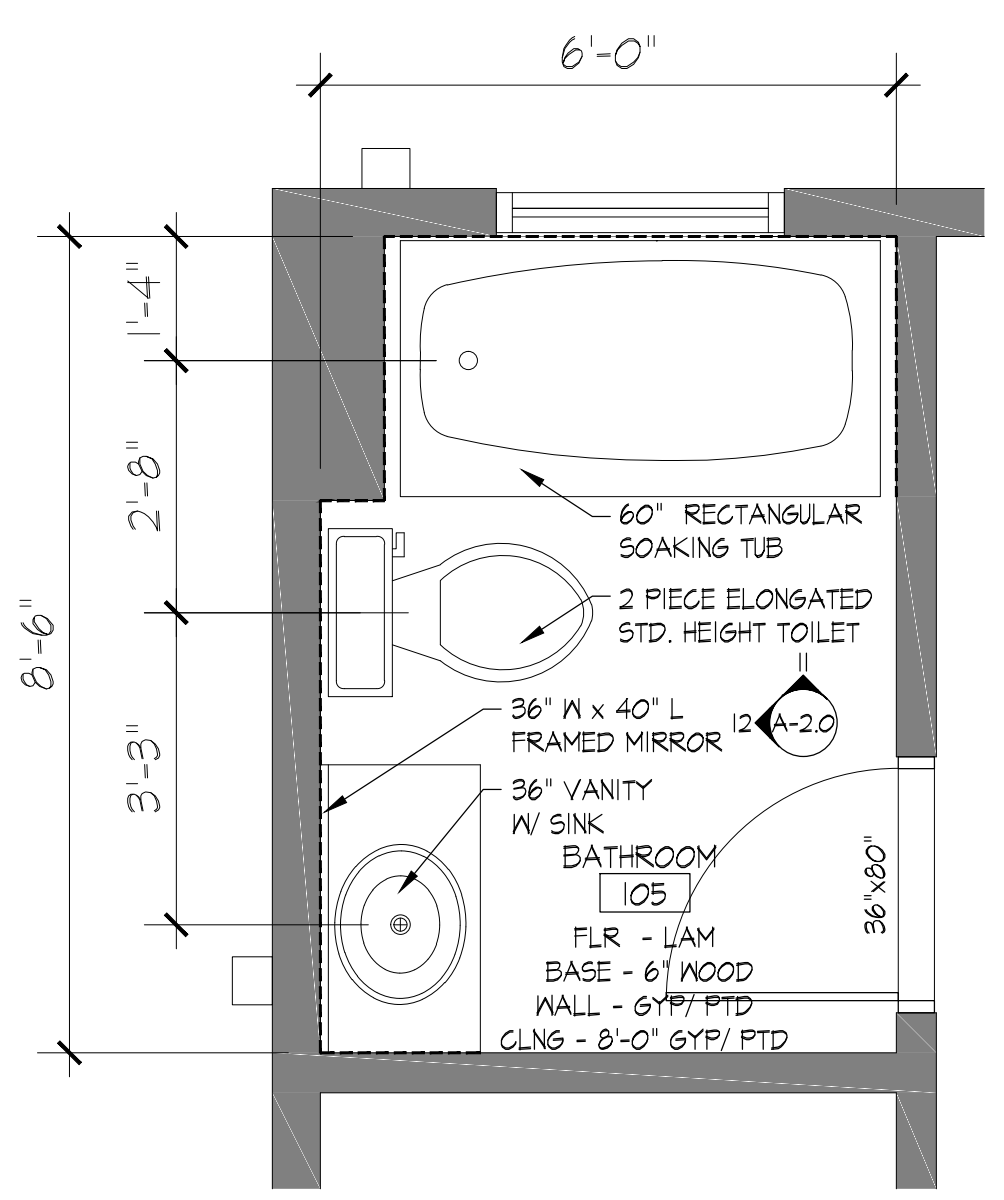
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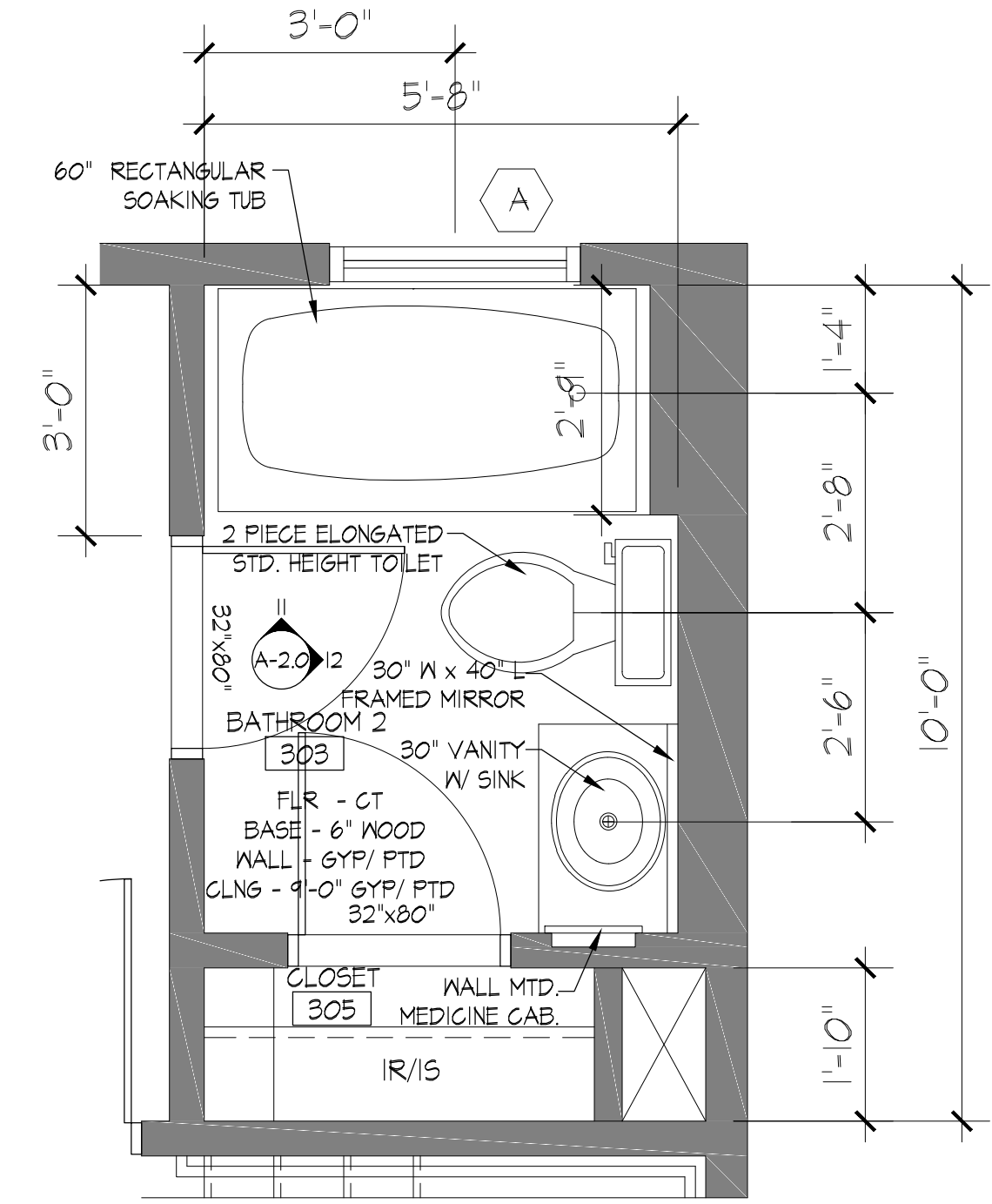
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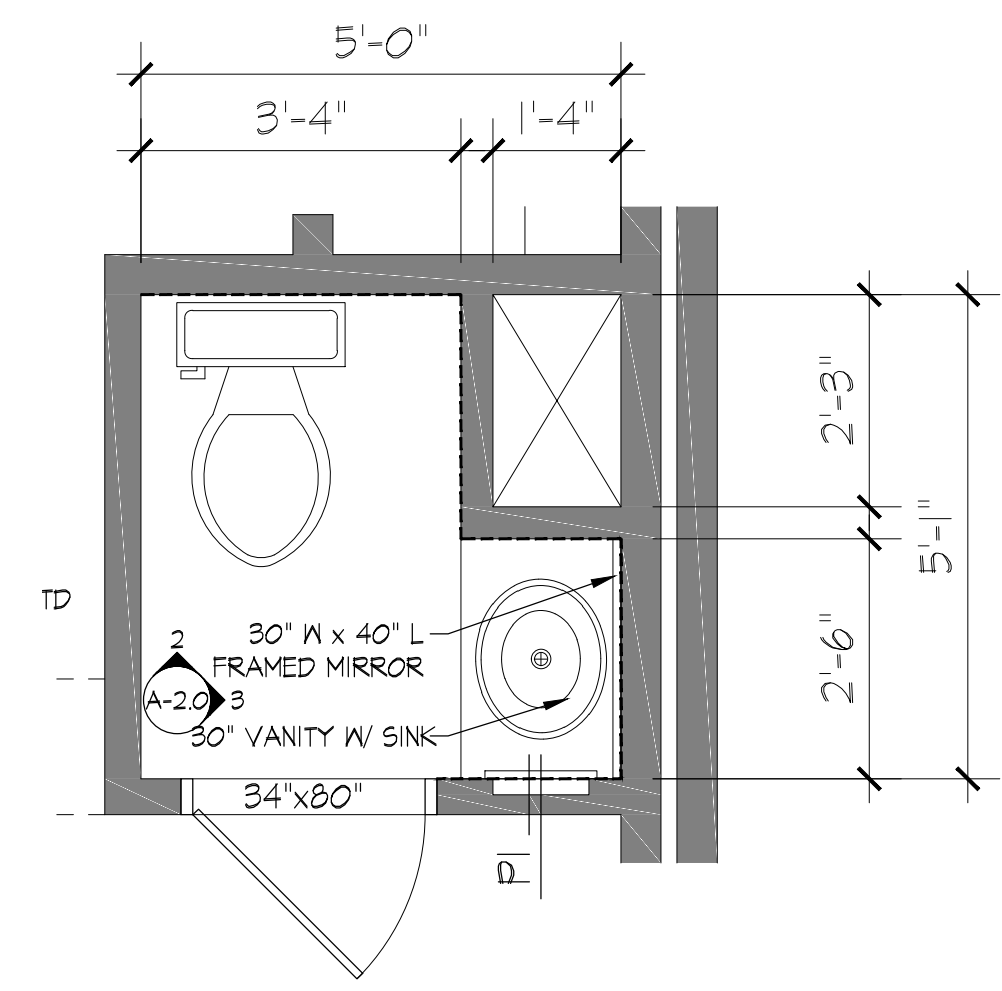
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Scale: 1/2" = 1'-0"



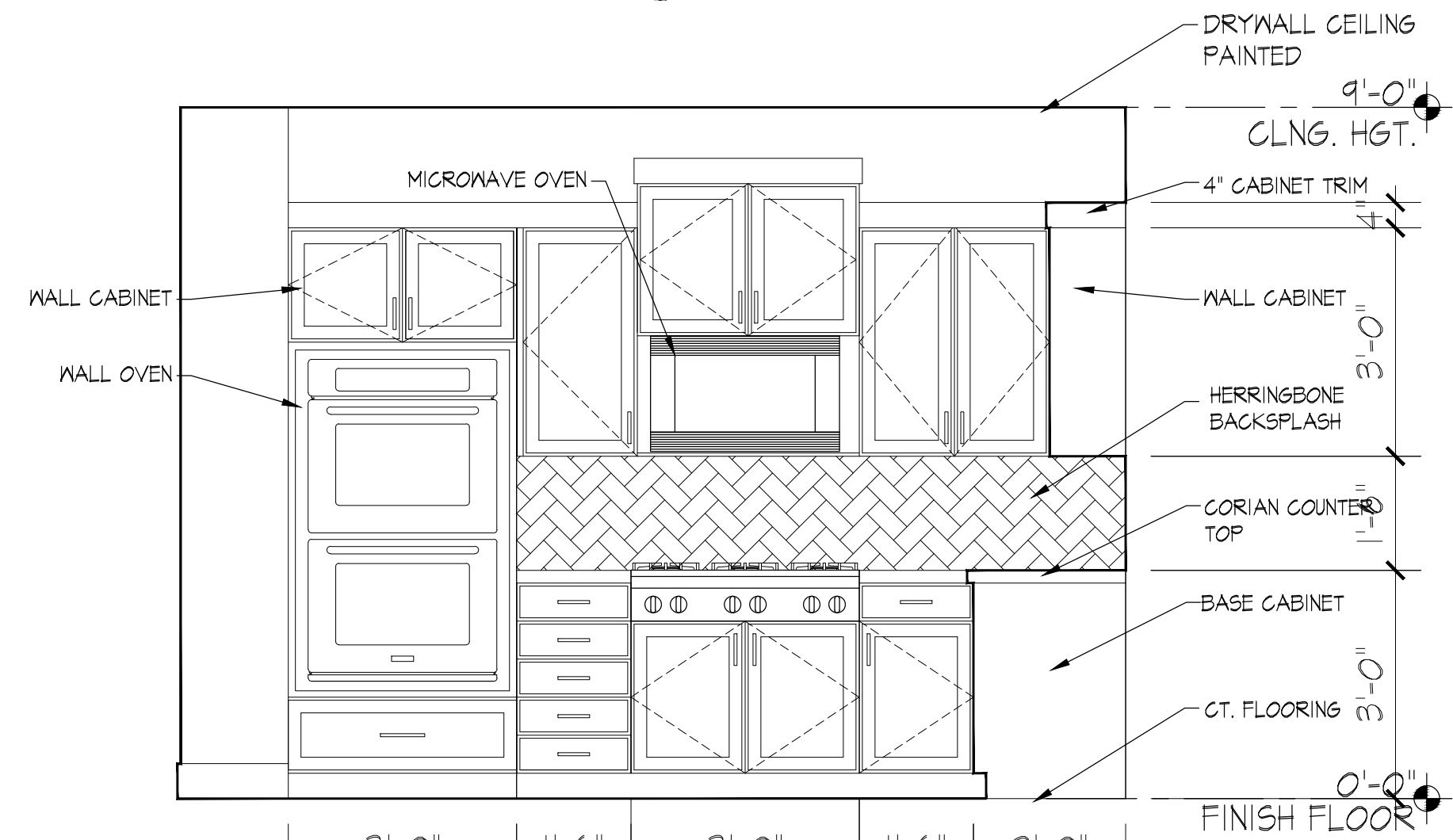
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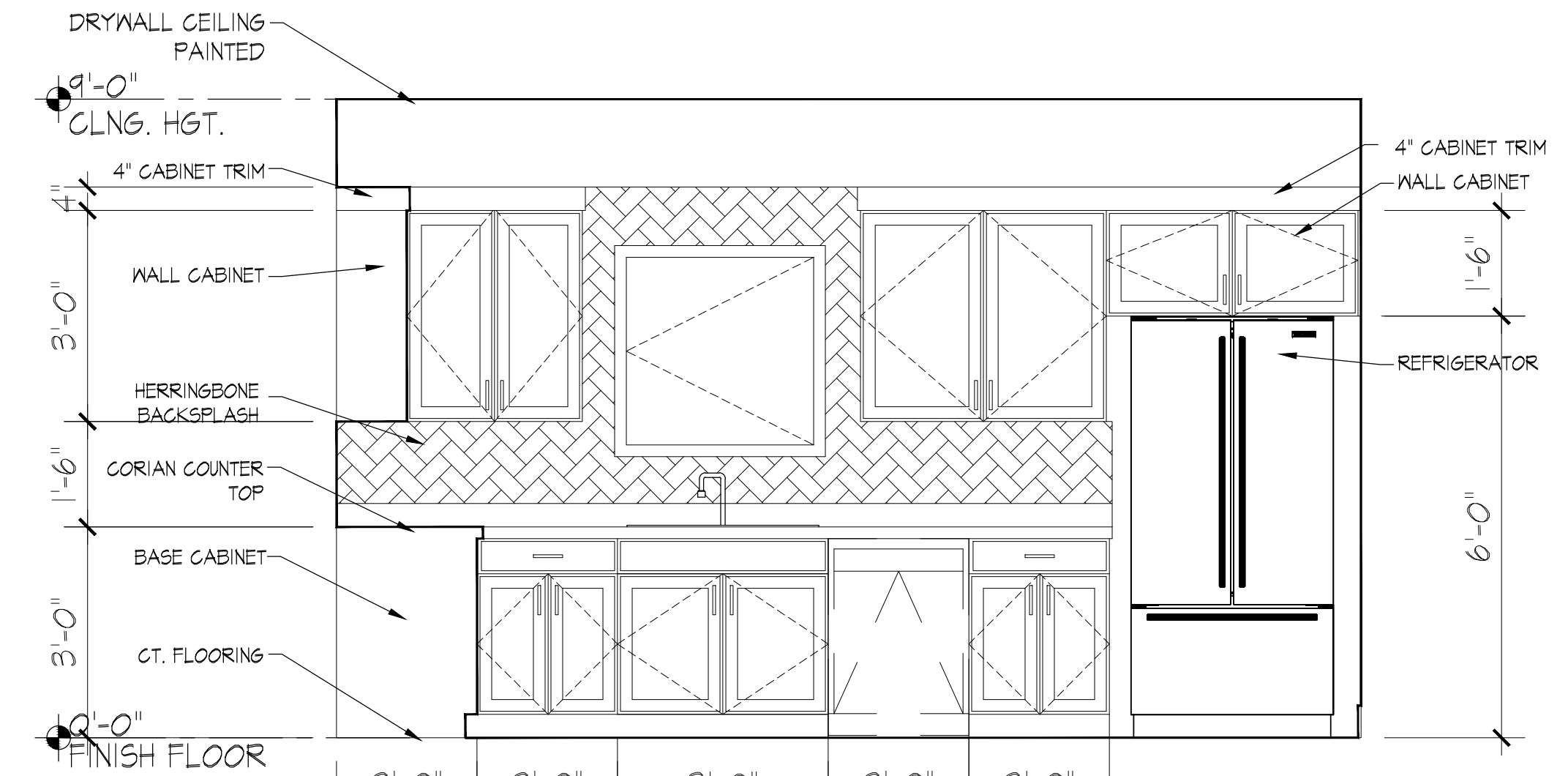
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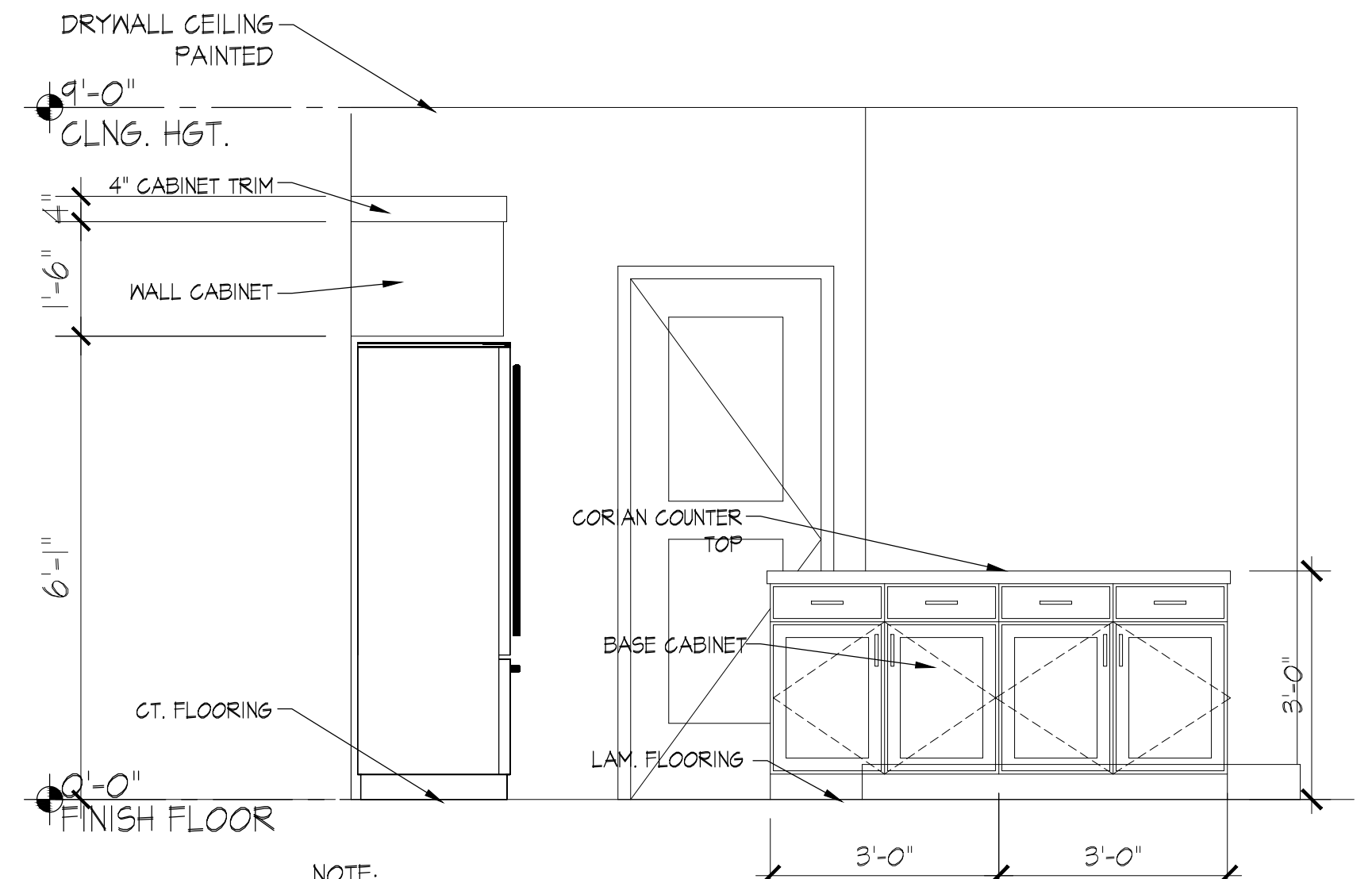
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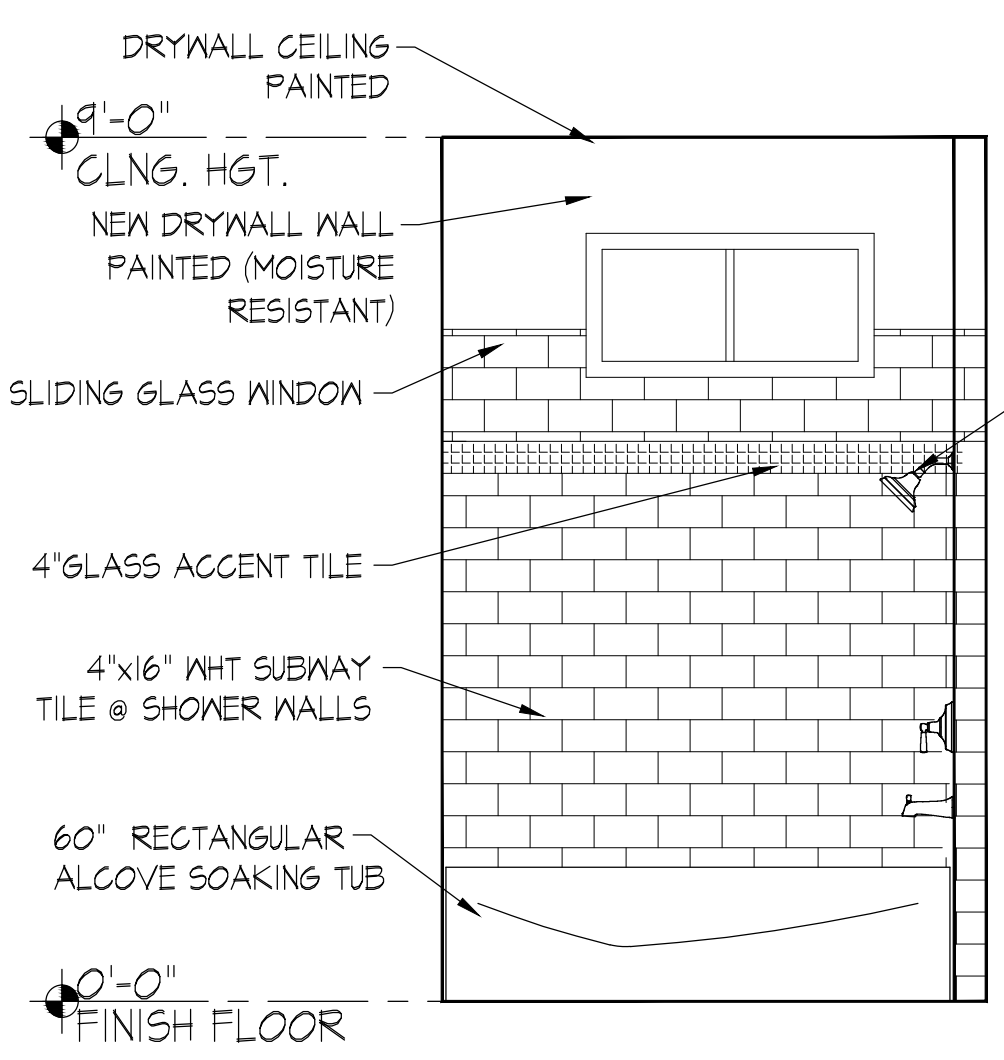
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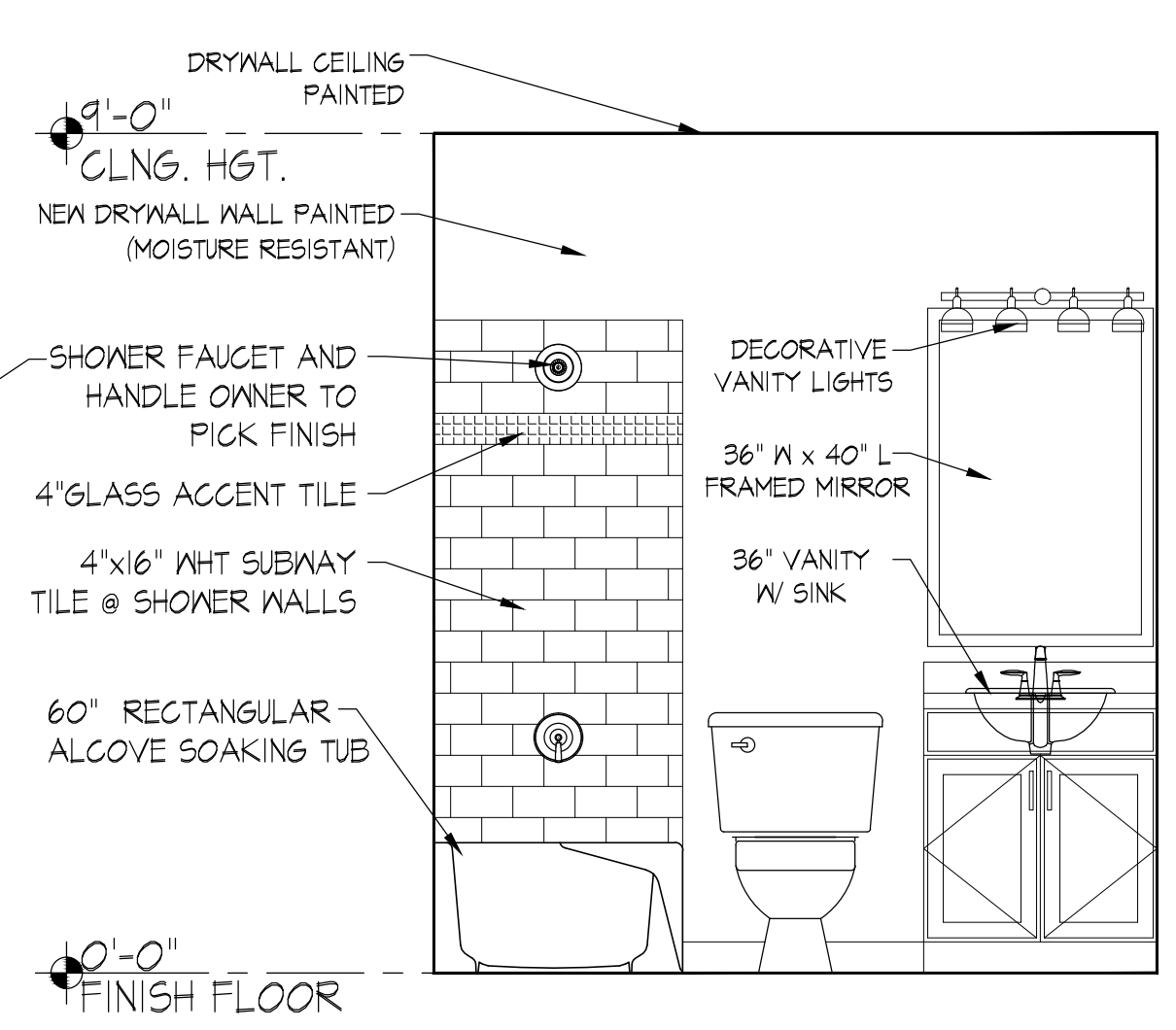
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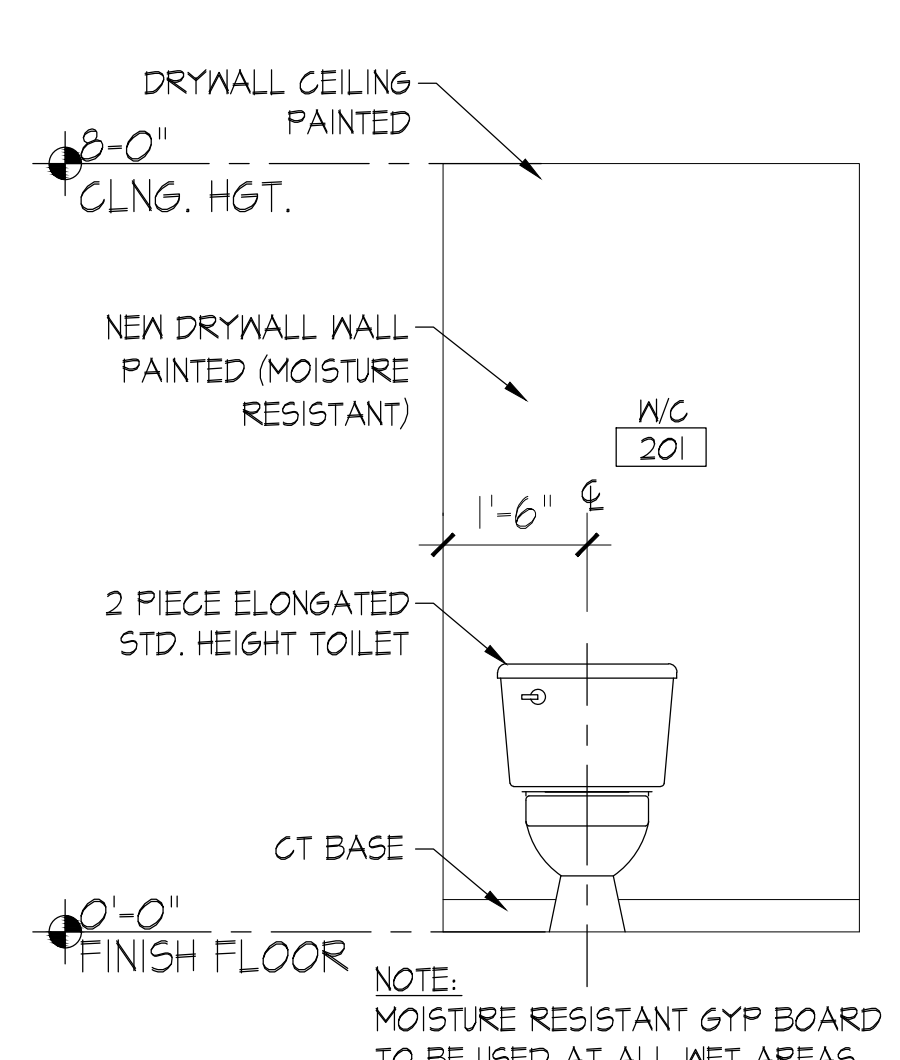
7 ENLARGED KITCHEN ELEVATION
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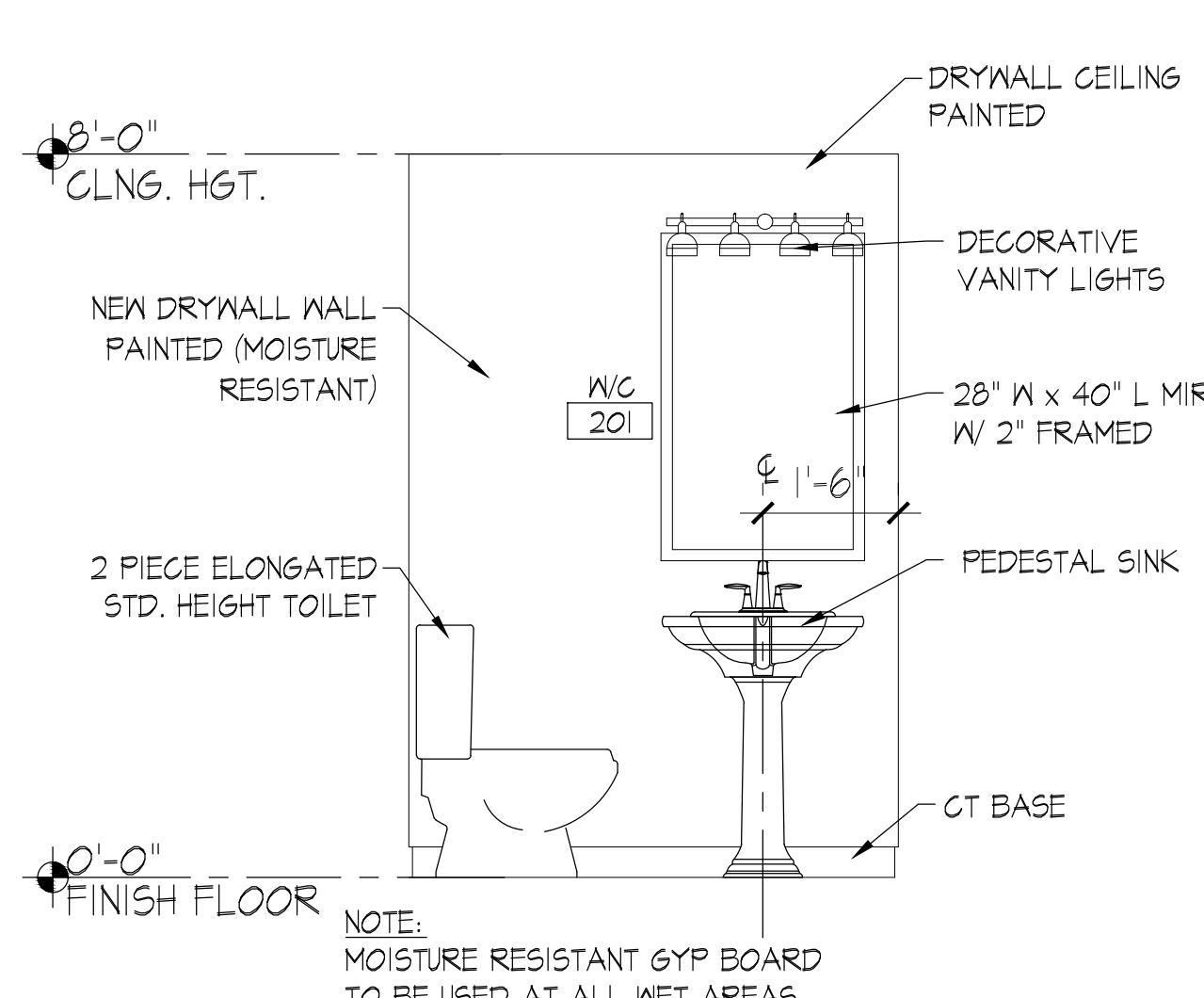
8 INTERIOR ELEVATION
Scale: 1/4" = 1'-0"



9 INTERIOR ELEVATION
Scale: 1/4" = 1'-0"



10 INTERIOR ELEVATION
Scale: 1/4" = 1'-0"



11 INTERIOR ELEVATION
Scale: 1/4" = 1'-0"

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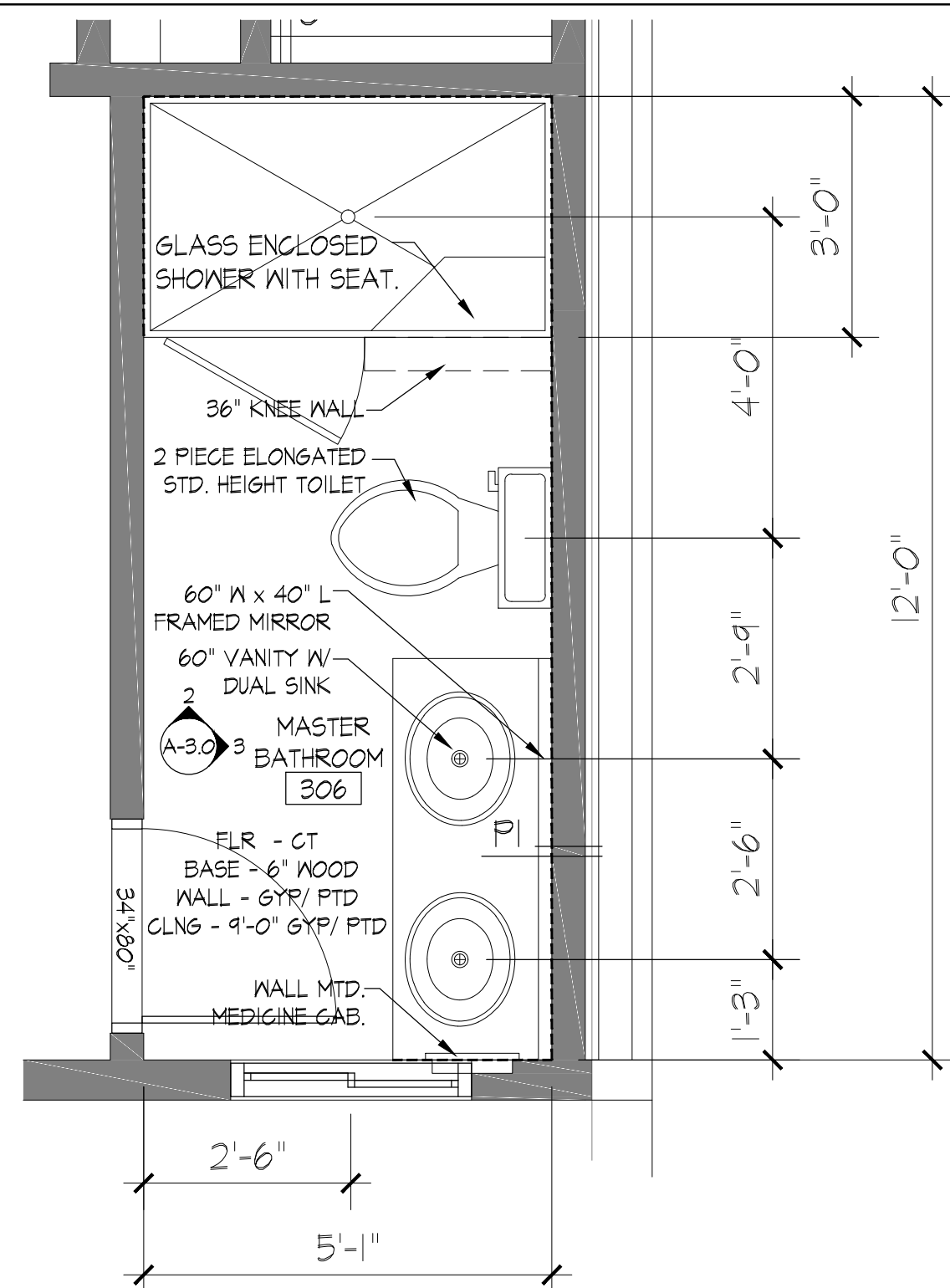
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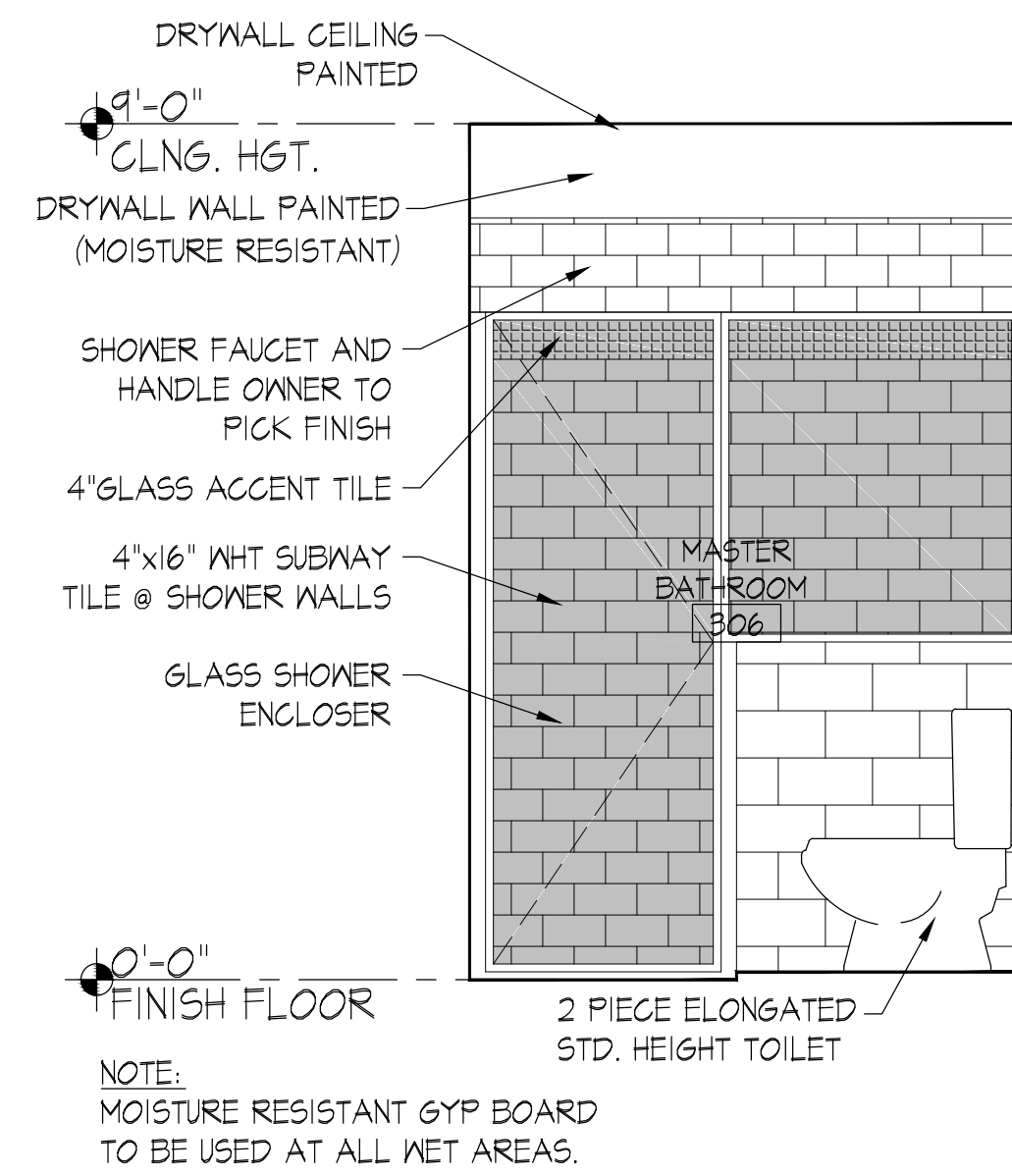
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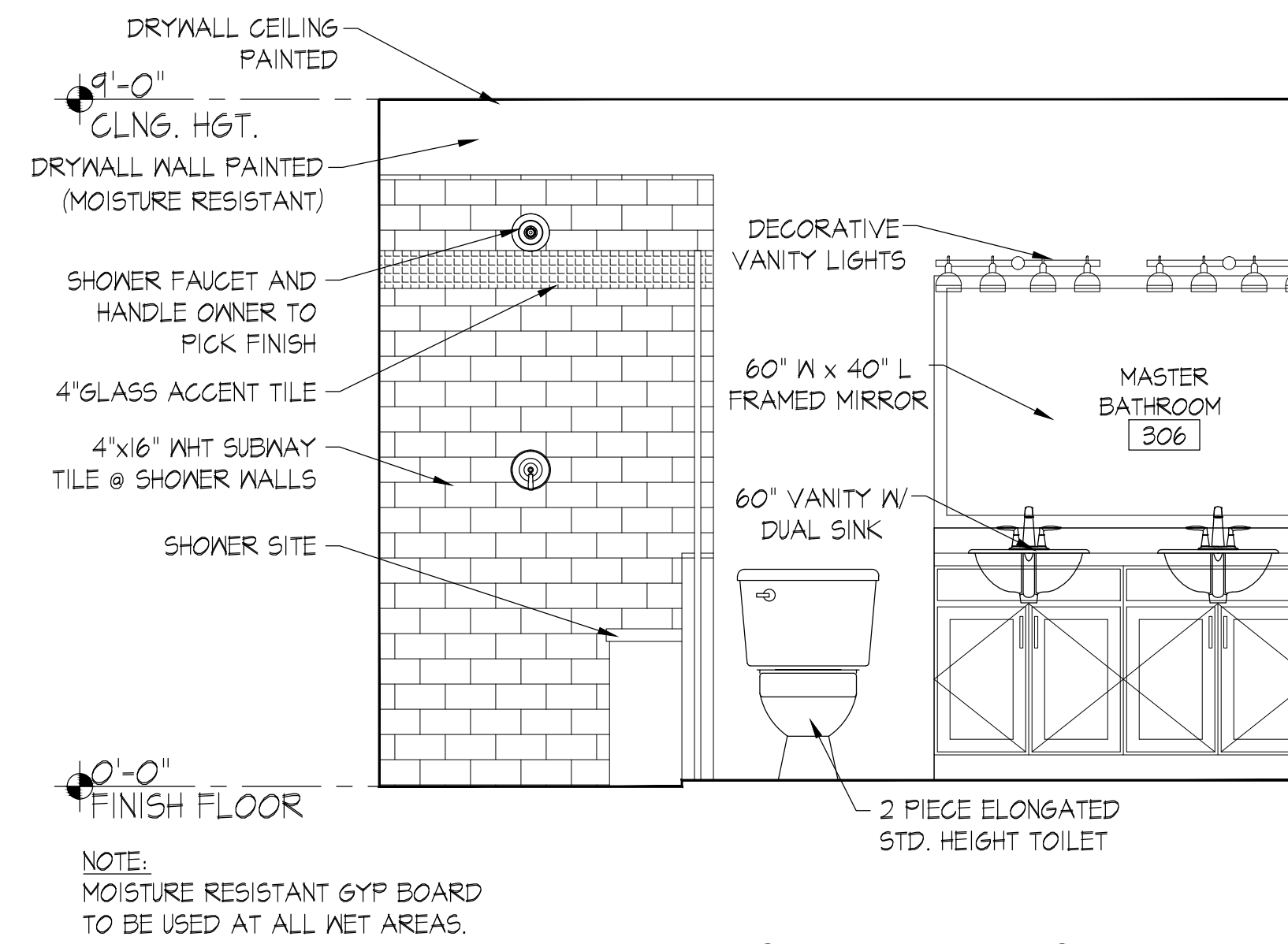
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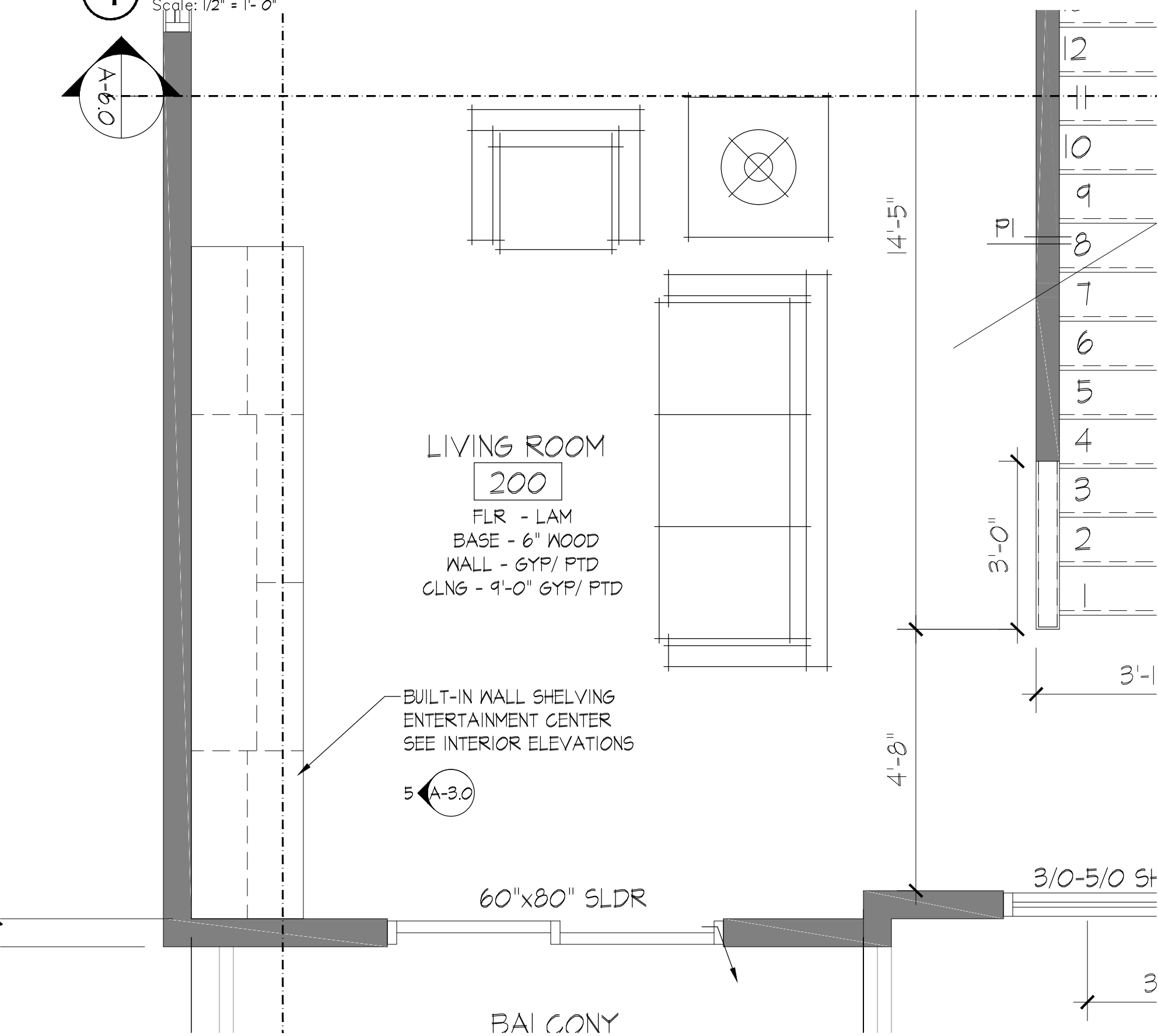
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Scale: 1/2" = 1'-0"



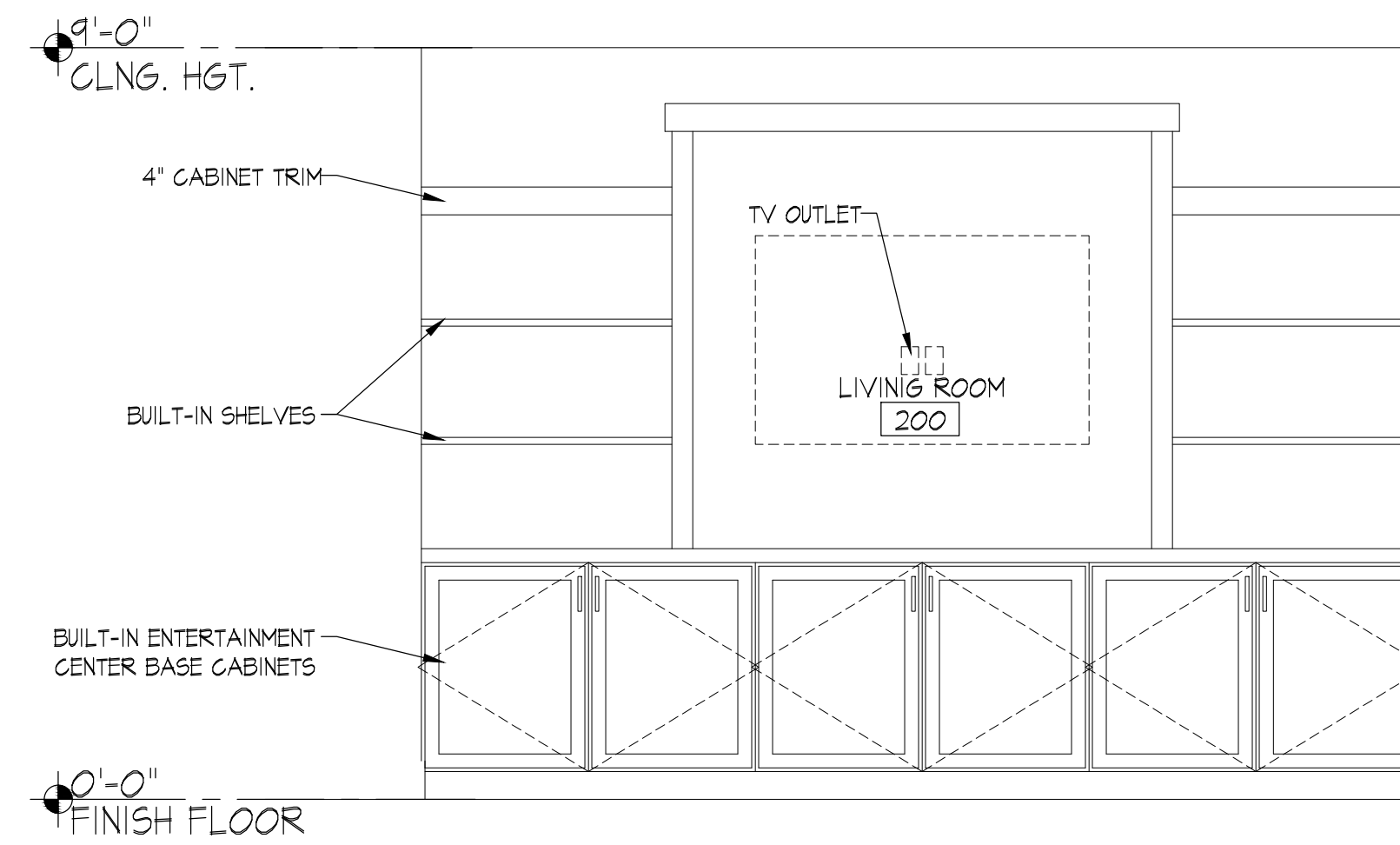
2 INTERIOR ELEVATION
Scale: 1/2" = 1'-0"



3 INTERIOR ELEVATION
Scale: 1/2" = 1'-0"



5 PLAN: ENLARGED FLR PLN
Scale: 1/2" = 1'-0"



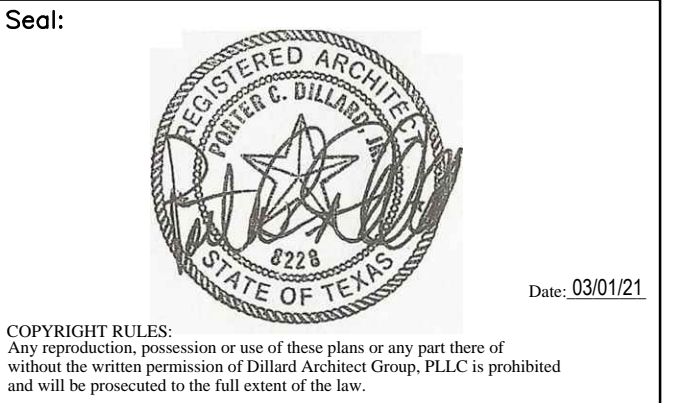
6 INTERIOR ELEVATION
Scale: 1/4" = 1'-0"

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- PROVIDE BLOCKING AS REQUIRED FOR PROPER SUPPORT OF WALL AND CEILING MOUNTED EQUIPMENT.
- WHERE WALL TYPES OF DIFFERENT THICKNESS ADJOIN IN THE SAME LOCATIONS, ALIGN THE FACE OF EXPOSED GYPSUM BOARD FLUSH.
- ALL DOOR JAMB ROUGH OPENINGS TO BE 4" FROM ADJACENT WALL HINGE SIDE, U.N.O.
- UTILIZE MOISTURE RESISTANT G.W.B. IN KITCHENS AND BATHROOMS.
- BATHROOM FANS TO BE VENTED TO EXTERIOR.
- ALL INTERIOR WALLS TO HAVE 1/2" G.W.B AND ALL CEILINGS TO HAVE 1/2" NON SAG G.W.B U.N.O.



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Project Name and Address

No.:	Revision/Issue:	Date:

Sheet Name:
ENLARGED PLAN & INTERIOR ELEVATIONS

Drawn By: JS	Date: 03/30/20	Sheet No.:
Checked By:		A-3.0
Sheet Date:		
Project No.:		Sheet: Of:

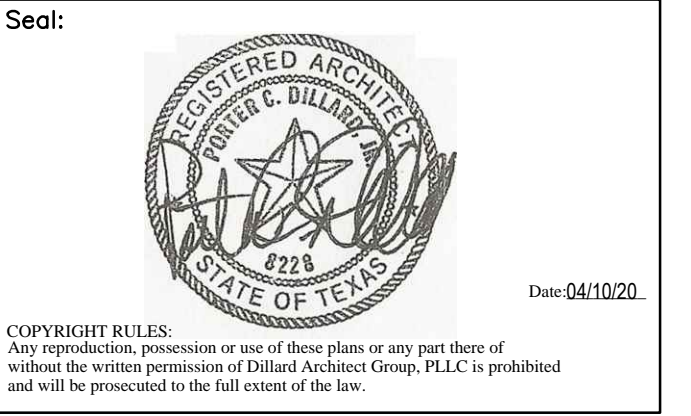
FLOOR PLAN GENERAL NOTES

- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING THE WORK.
- CONTRACTOR SHALL VISIT PROJECT SITE TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF WORK, AND TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO BIDDING. ANY AMBIGUOUS ITEMS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING PRIOR TO BIDDING.
- VERIFY DIMENSIONS WITH ARCHITECT.
- FLOOR PLAN INTERIOR DIMENSIONS ARE TO THE FACE OF WOOD STUD.
- PROVIDE BLOCKING AS REQUIRED FOR PROPER SUPPORT OF WALL AND CEILING MOUNTED EQUIPMENT.
- WHERE WALL TYPES OF DIFFERENT THICKNESS ADJOIN IN THE SAME LOCATIONS, ALIGN THE FACE OF EXPOSED GYPSUM BOARD FLUSH.
- ALL DOOR JAMB ROUGH OPENINGS TO BE 4" FROM ADJACENT WALL HINGE SIDE, U.N.O.
- UTILIZE MOISTURE RESISTANT G.W.B. IN KITCHENS AND BATHROOMS.
- BATHROOM FANS TO BE VENTED TO EXTERIOR.
- ALL INTERIOR WALLS TO HAVE 1/2" G.W.B AND ALL CEILING TO HAVE 1/2" NON SAG G.W.B U.N.O.

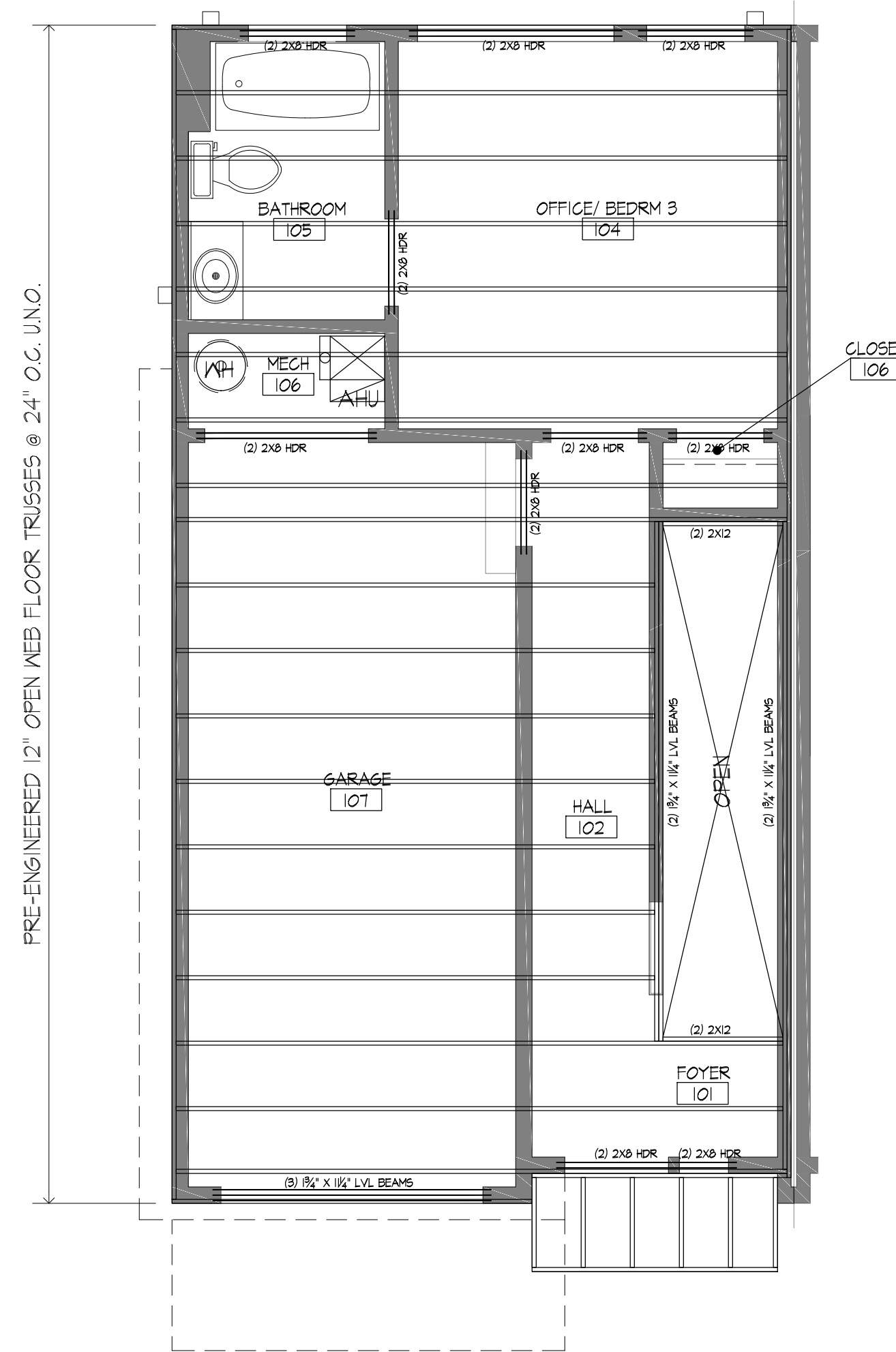
GENERAL NOTES:

- ALL CASED OPENINGS SHALL HAVE SAME CASING HEIGHTS AS OPENINGS WITH DOORS.
- ALL WALLS SHALL BE 2X4 UNLESS NOTED OTHERWISE.
- ALL WINDOW HEADERS TO BE @ 81 3/8" A.F.F. UNLESS NOTED OTHERWISE.
- ALL WINDOWS SHALL BE TRIMMED PER SPECIFICATION ON INTERIOR ELEVATIONS.
- THIN SET ALL CERAMIC TILE OVER 5 PLY 5/8" UNDER-LAYMENT.
- SET ALL TUBS ON 90# FELT.
- PROVIDE MINIMUM 4" RETURNS AT ALL OPENINGS.
- ALL ANGLED WALLS TO BE 45 DEGREES UNLESS NOTED OTHERWISE.
- ALL HANDRAILS SHALL HAVE A CROSS SECTION OF 1 1/2" MINIMUM TO 2" MAXIMUM.
- ALL GUARDRAILS AND HANDRAILS AT THE SIDE OF STAIRS TO BE AT 34" ABOVE NOSING.
- ALL GUARDRAILS AT THE SIDE OF OPENINGS TO BE A MINIMUM OF 31" A.F.F.

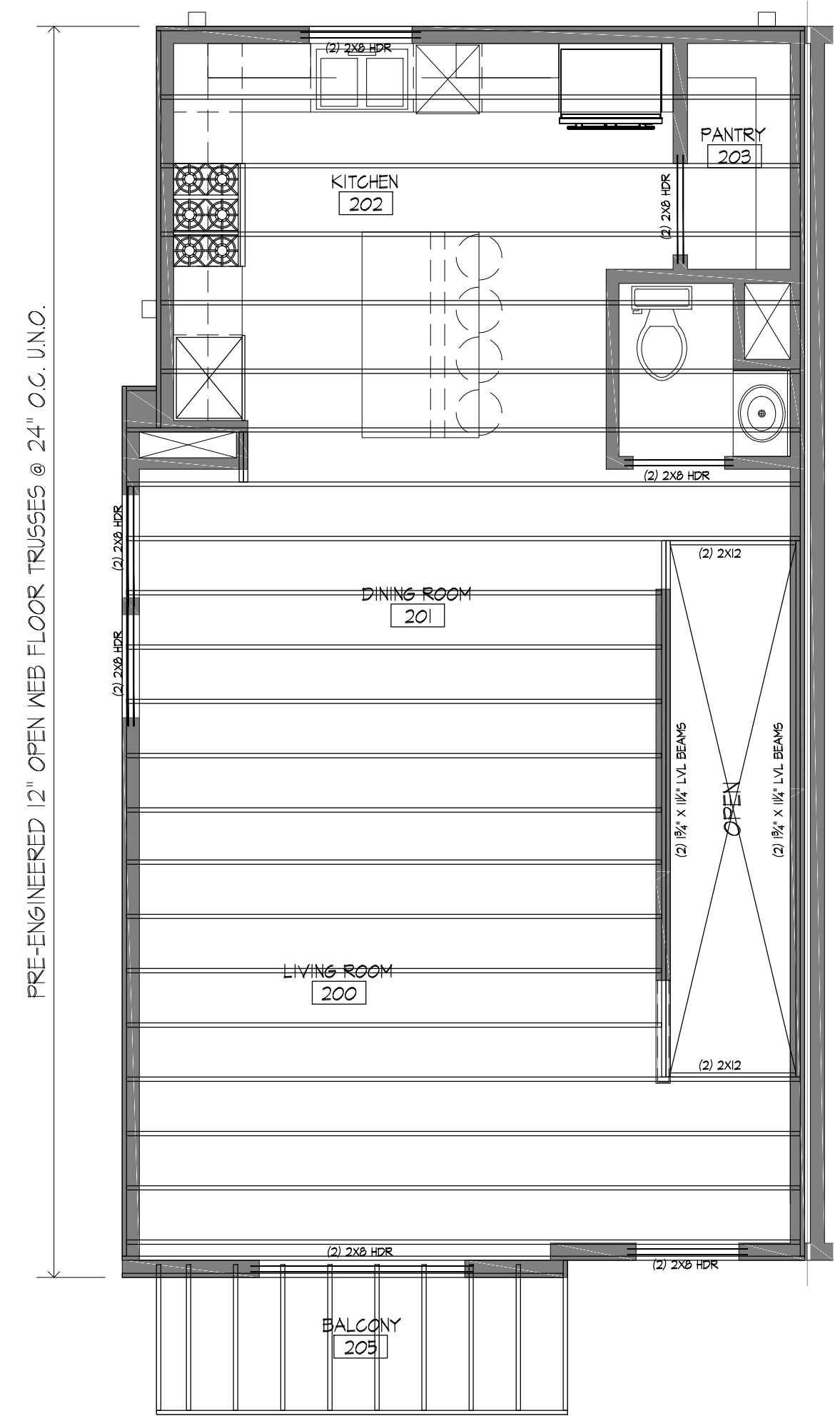
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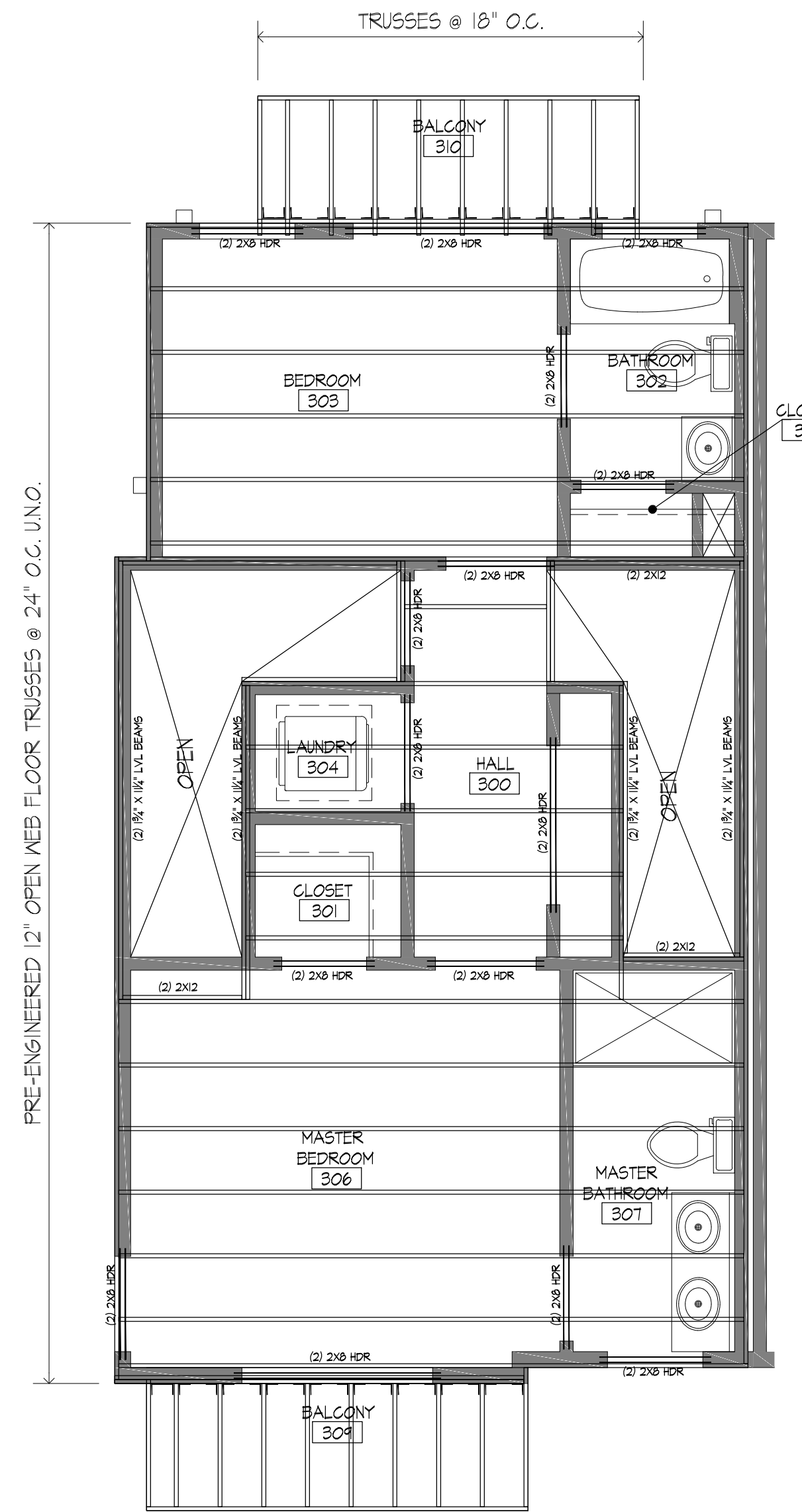
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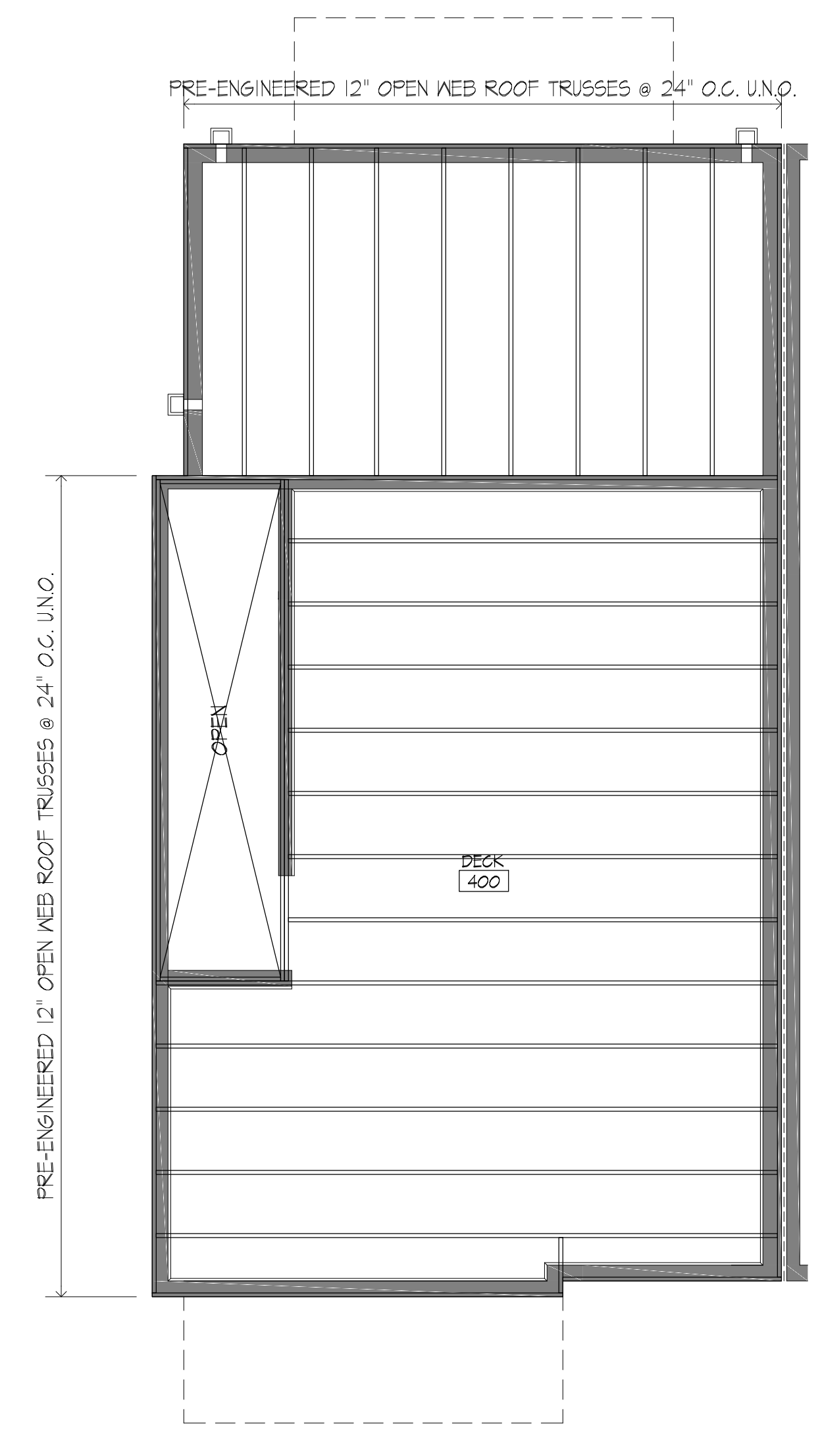
1 FIRST FLR FRAMING PLN
 Scale: 1/4" = 1'-0"



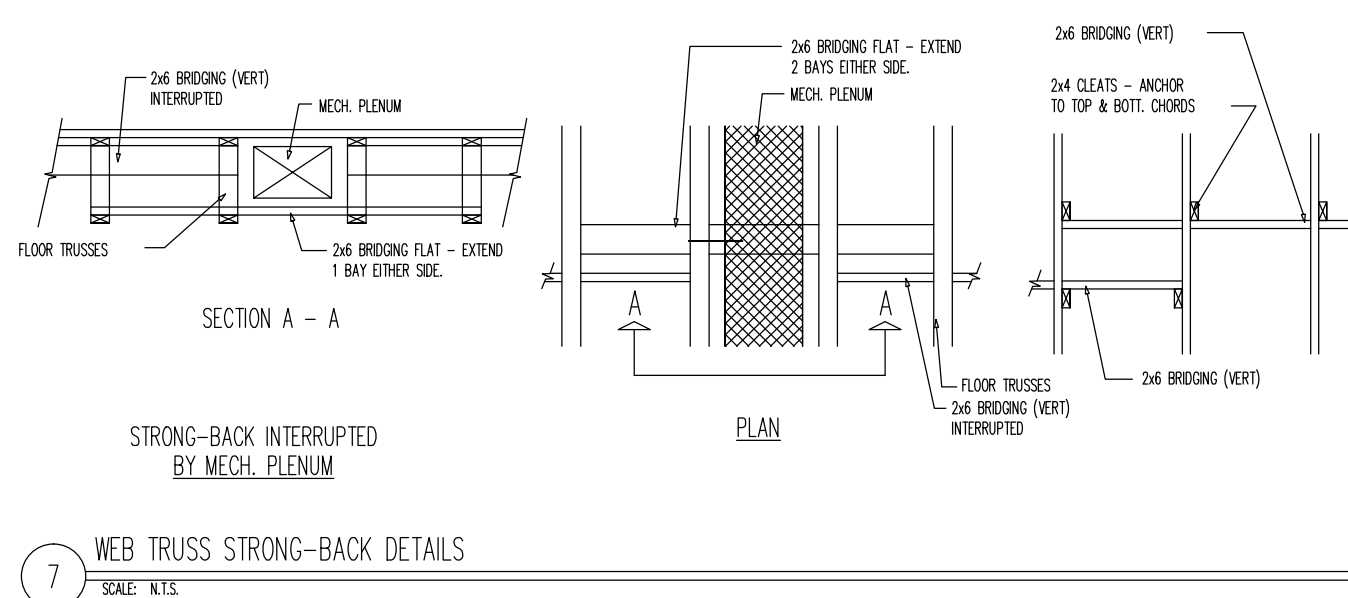
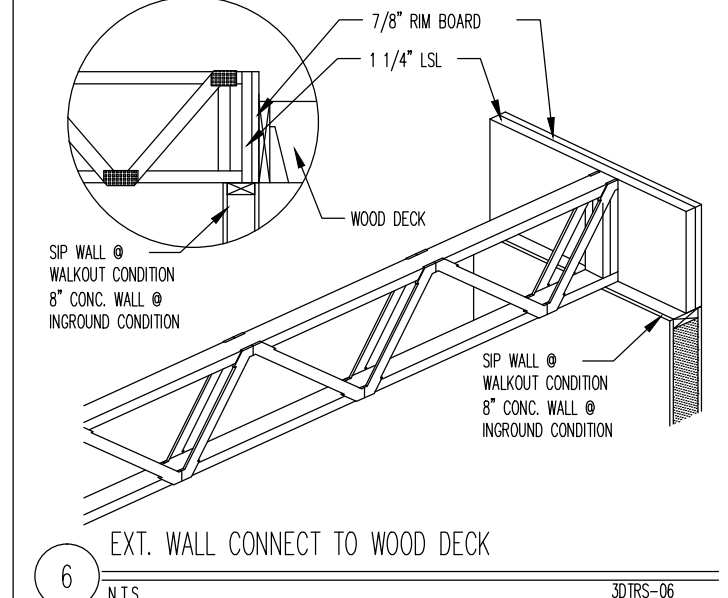
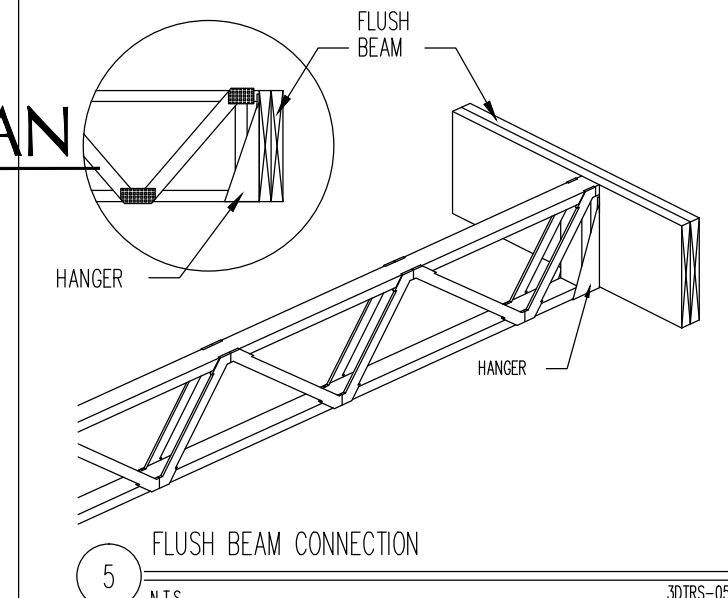
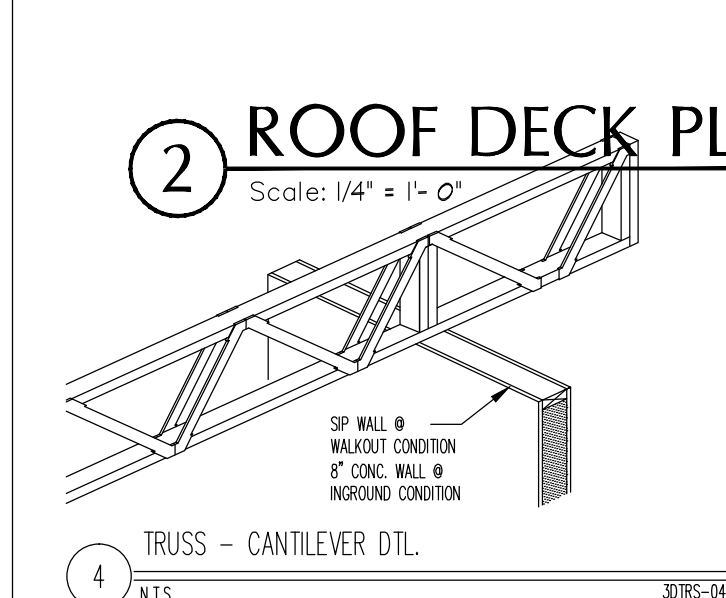
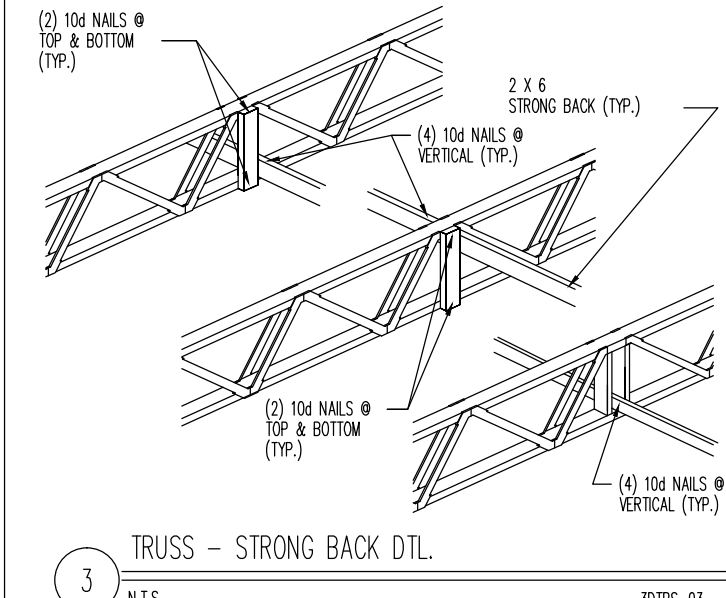
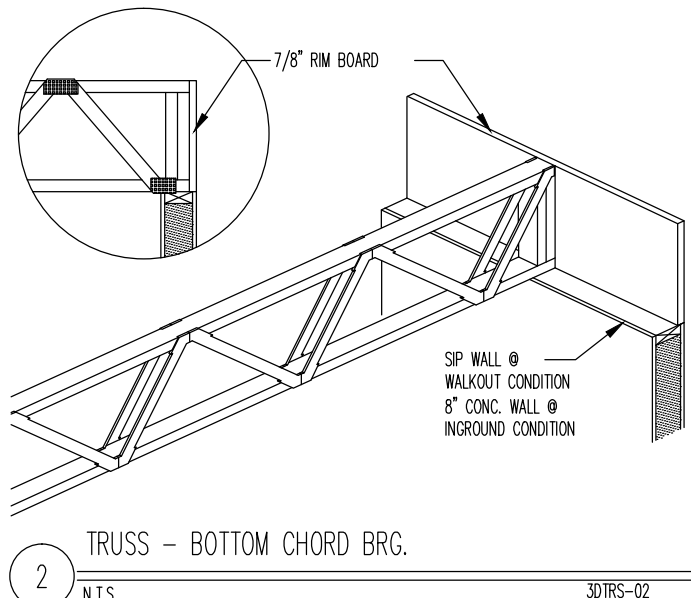
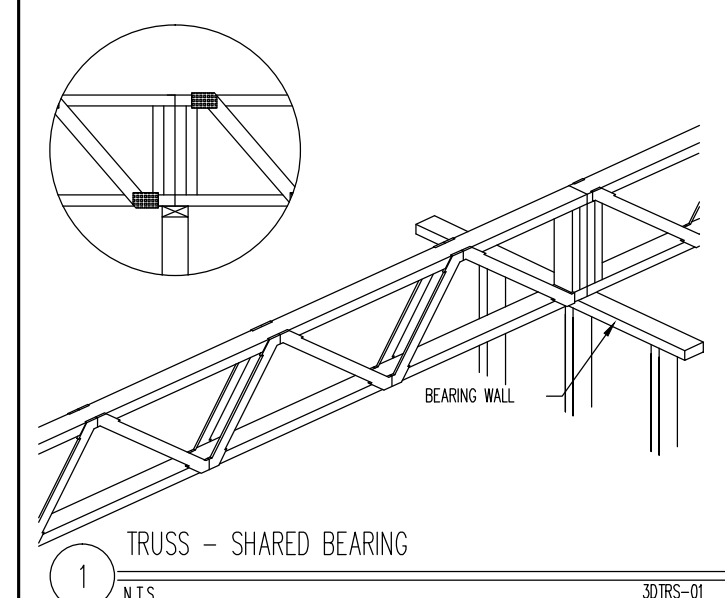
2 SECOND FLR FRAMING PLN
 Scale: 1/4" = 1'-0"



3 THIRD FLR FRAMING PLN
 Scale: 1/4" = 1'-0"



4 ROOF DECK FRAMING PLN
 Scale: 1/4" = 1'-0"



2 ROOF DECK PLAN
 Scale: 1/4" = 1'-0"

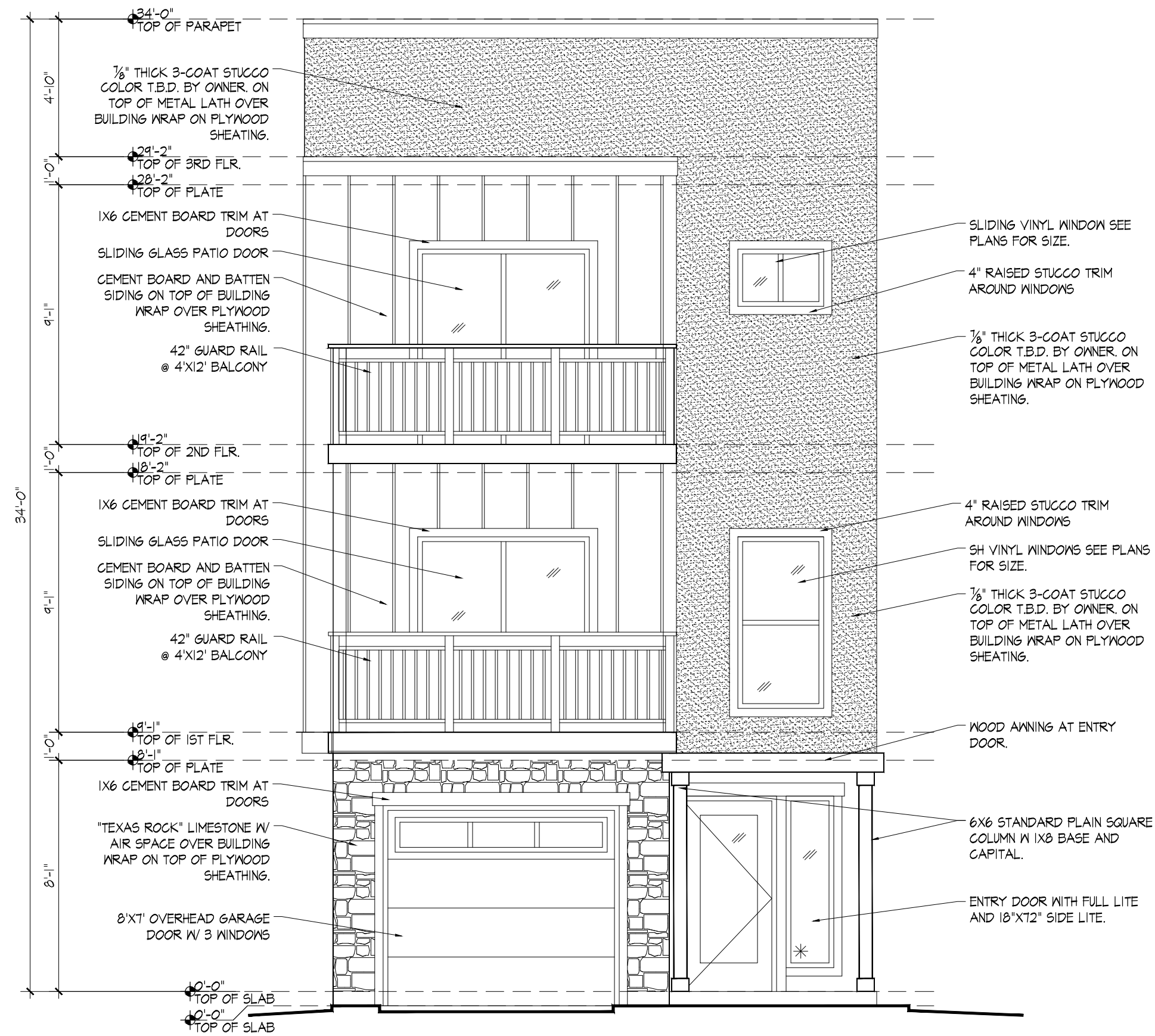
Project Name and Address

No.	Revision/Issue:	Date:

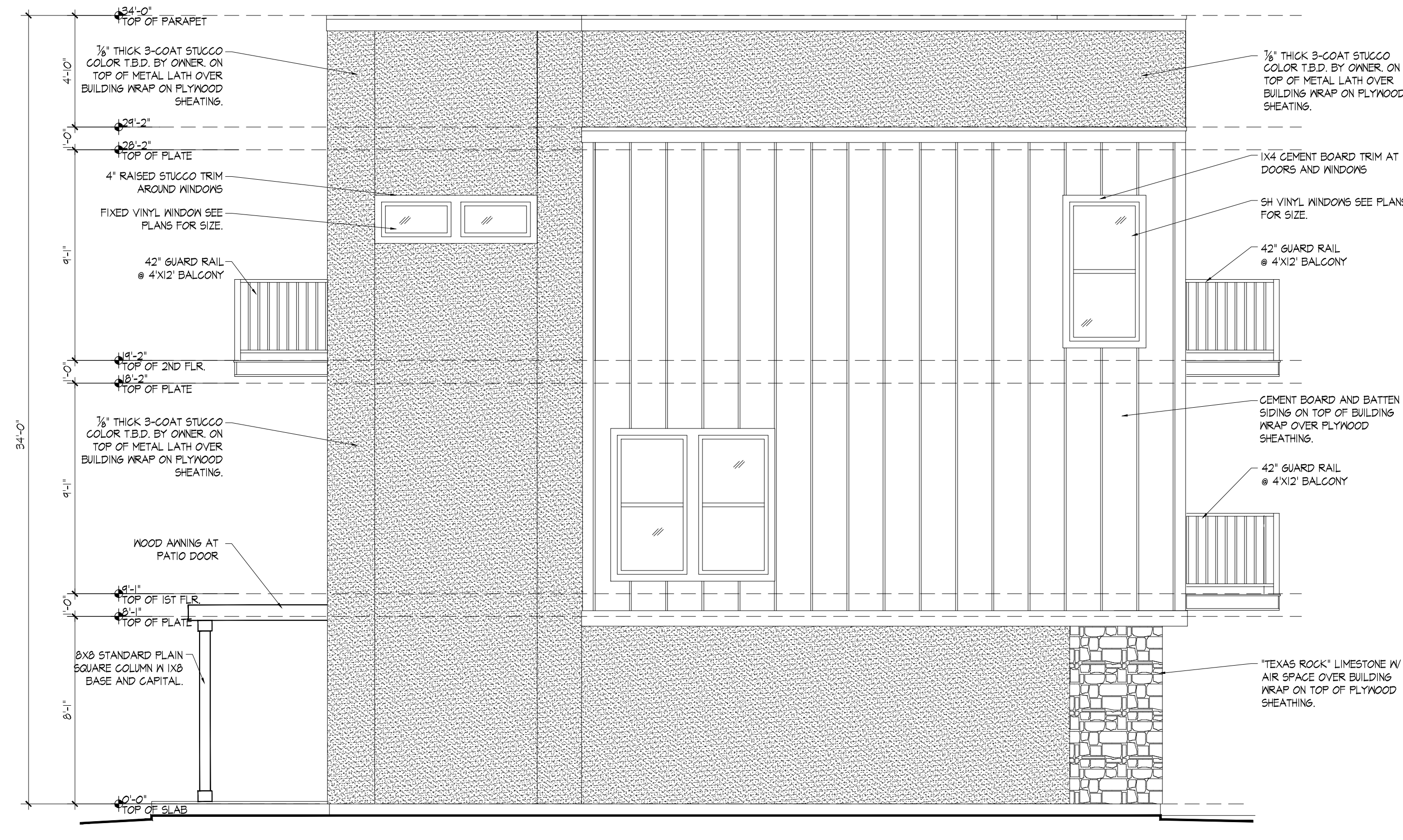
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FRAMING PLAN

Drawn By:	JS	Date:	03/30/20	Sheet No.:	A-4.0
Checked By:					
Sheet Date:					
Project No.:				Sheet:	Of:

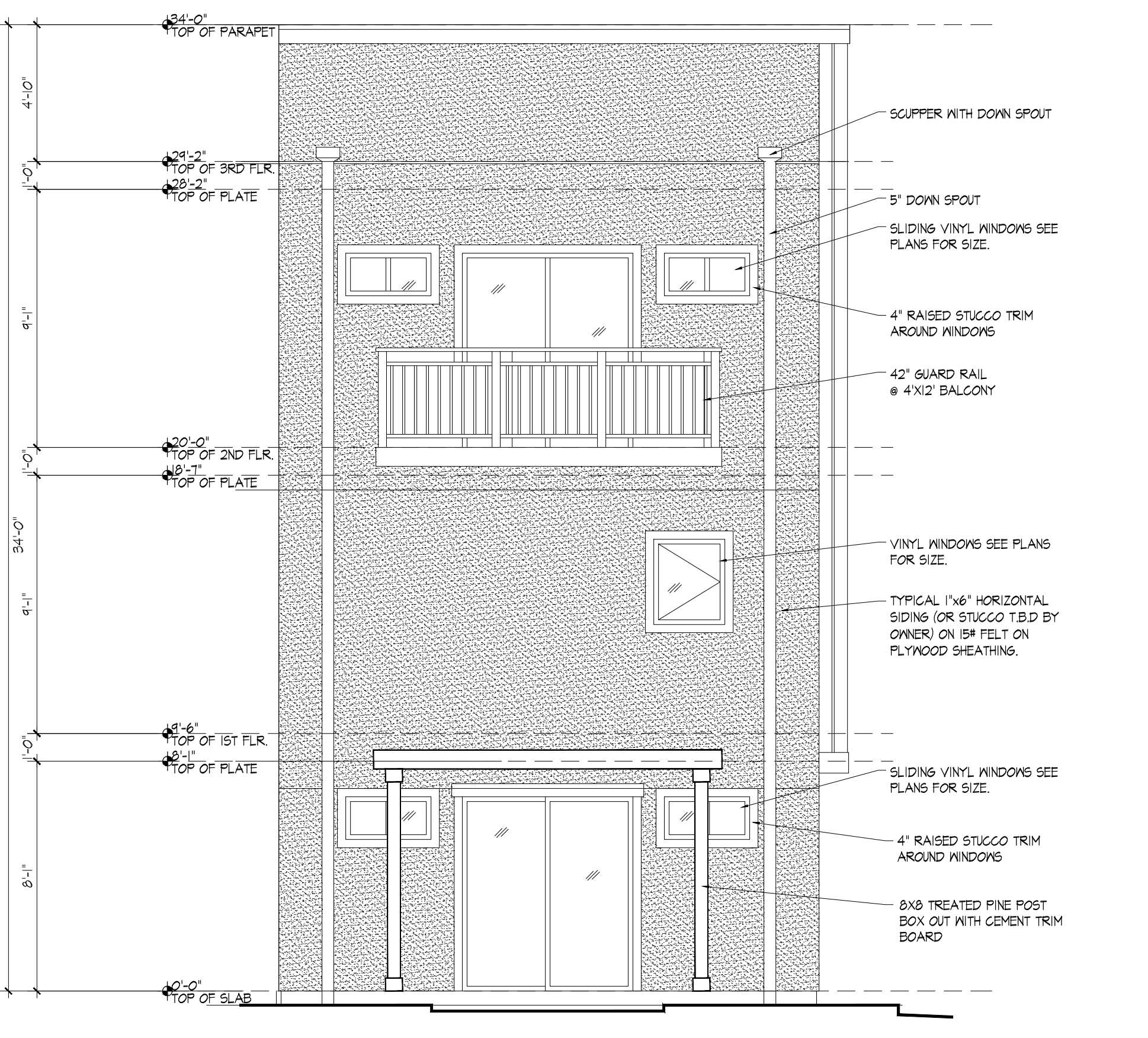
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 SAN ANTONIO, TX 78201



1 FRONT ELEVATION
Scale: 1/4" = 1'-0"



2 SIDE ELEVATION
Scale: 1/4" = 1'-0"



3 REAR ELEVATION
Scale: 1/4" = 1'-0"



4 2 UNIT FRONT ELEVATION
Scale: 1/4" = 1'-0"



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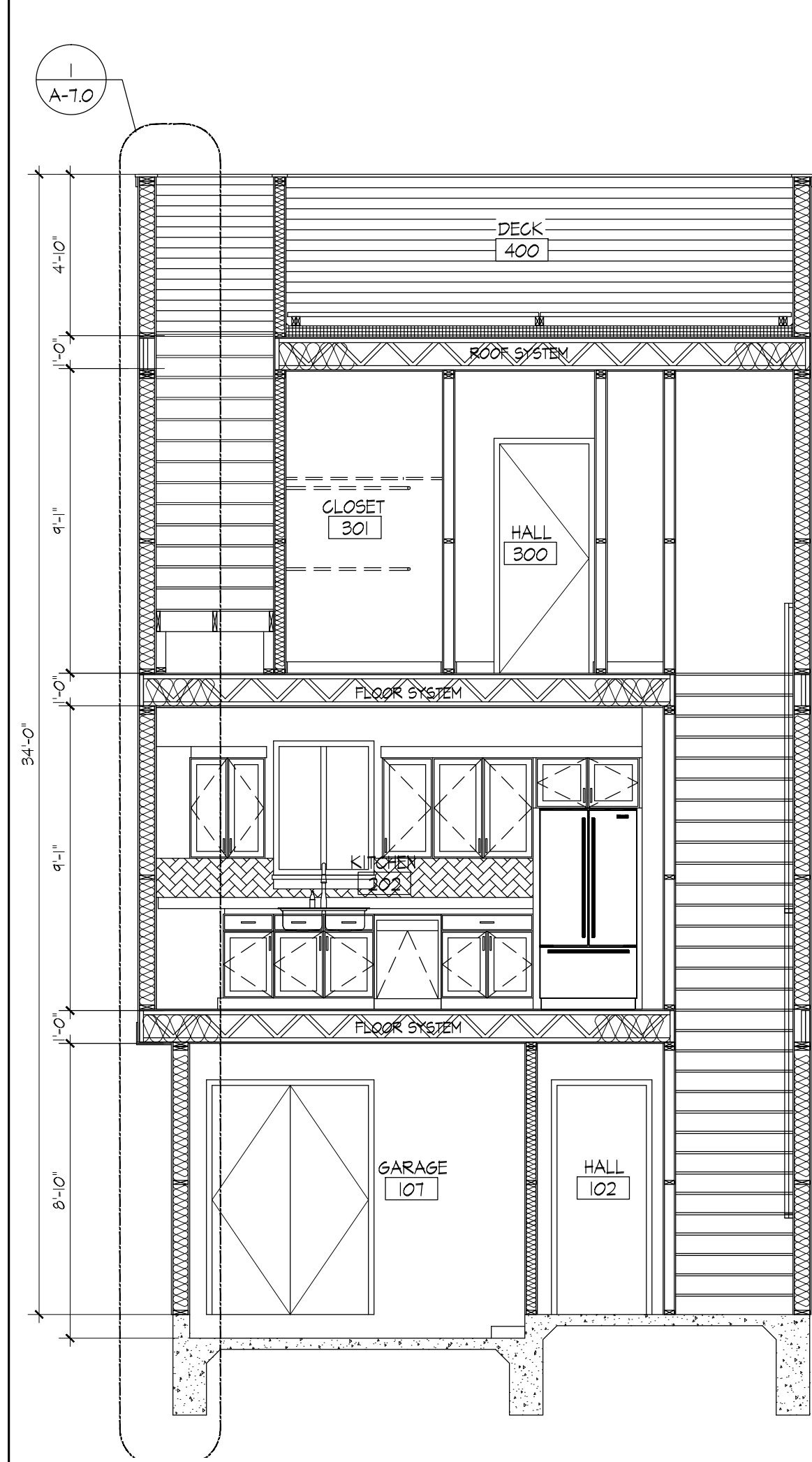
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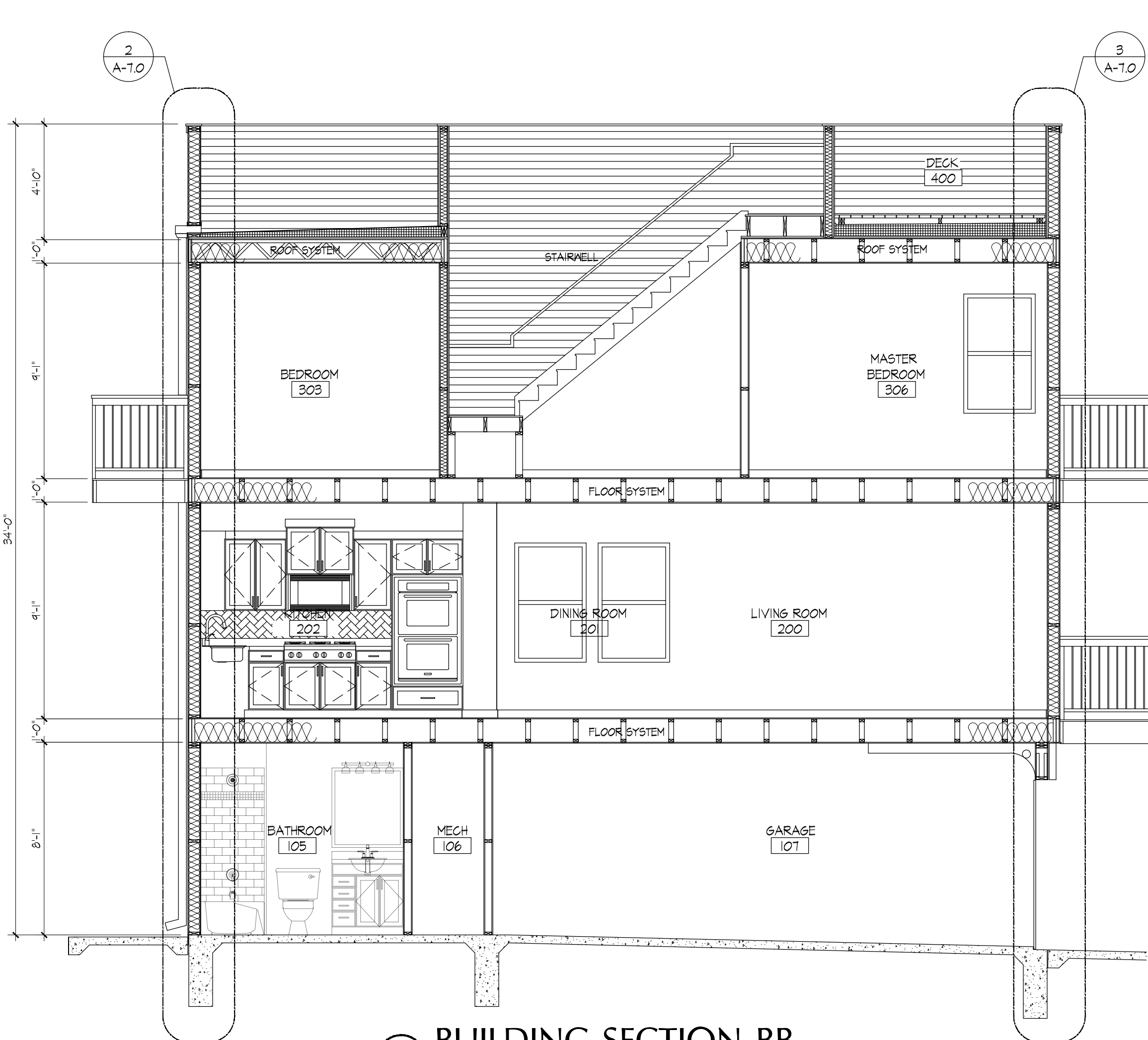
No.	Revision/Issue:	Date:

Sheet Name:
ELEVATIONS

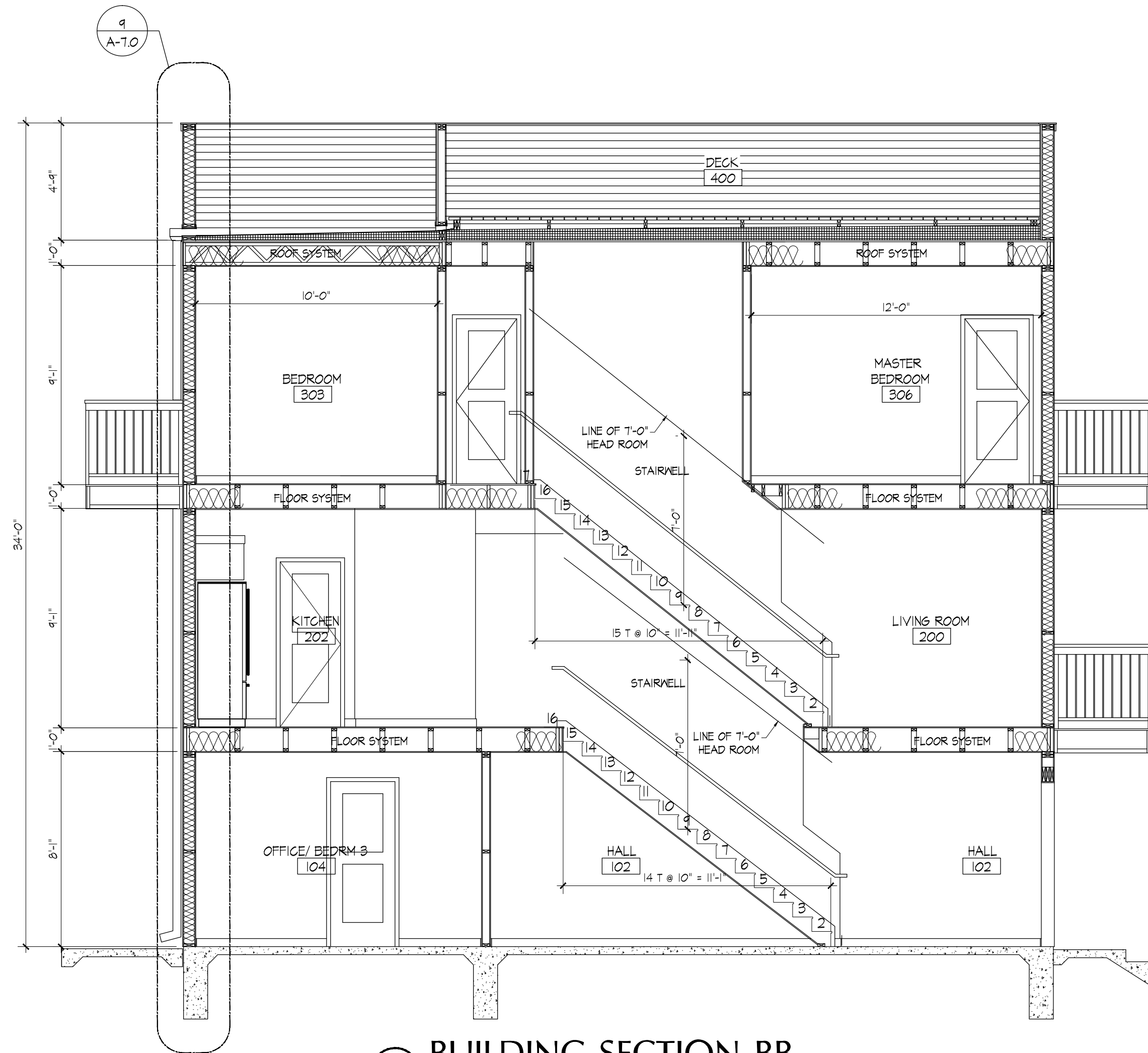
Drawn By:	JS	Date:	03/30/20	Sheet No.:	A-5.0
Checked By:					
Sheet Date:					
Project No.:				Sheet:	Of:



1 BUILDING SECTION AA
Scale: 1/4" = 1'-0"



2 BUILDING SECTION BB
Scale: 1/4" = 1'-0"



2 BUILDING SECTION BB
Scale: 1/4" = 1'-0"

DOOR SCHEDULE

NO.	ROOM NAME	DOOR	SIZE	TYPE	MATERIAL	RATING	GLASS	TYPE	HEAD	JAMB	THRESH	HDWR	COMMENTS
100	PORCH		3'-0" x 6'-8"	A	WOOD/GLASS	-	-	-	10' / A-10	11' / A-10	-	-	
102	ELEVATOR		3'-0" x 6'-8"	B	WOOD	-	-	-	10' / A-10	11' / A-10	-	-	
103	MECHANICAL ROOM		3'-0" x 6'-8"	B	WOOD	-	-	-	8' / A-8	9' / A-9	-	-	
104	CLOSET		2'-8" x 6'-8"	B	WOOD	-	-	-	10' / A-10	11' / A-10	-	-	
105	OFFICE/ BEDROOM 3		3'-0" x 6'-8"	B	WOOD	-	-	-	10' / A-10	11' / A-10	-	-	
106	OFFICE/ BEDROOM 3 (PATIO)		5'-0" x 6'-8" SLIDER	E	WOOD/GLASS	-	-	-	10' / A-10	11' / A-10	-	-	
108	BATHROOM		2'-8" x 6'-8"	B	WOOD	-	-	-	10' / A-10	11' / A-10	-	-	
107	CLOSET		2'-8" x 6'-8"	B	WOOD	-	-	-	10' / A-10	11' / A-10	-	-	
108	GARAGE		8'-0" x 7'-0"	-	-	-	-	-	-	-	-	-	
104	HALL		3'-0" x 6'-8"	B	WOOD	-	-	-	10' / A-10	11' / A-10	-	-	
200	LIVING ROOM		5'-0" x 6'-8" SLIDER	E	WOOD/GLASS	-	-	-	10' / A-10	11' / A-10	-	-	
202	ELEVATOR		3'-0" x 6'-8"	B	WOOD	-	-	-	10' / A-10	11' / A-10	-	-	
203	WATER CLOSET		2'-8" x 6'-8"	B	WOOD	-	-	-	10' / A-10	11' / A-10	-	-	
204	KITCHEN		3'-0" x 6'-8"	A	WOOD/GLASS	-	-	-	10' / A-10	11' / A-10	-	-	
205	PANTRY		2'-8" x 6'-8"	B	WOOD	-	-	-	10' / A-10	11' / A-10	-	-	
301	LAUNDRY		2'-8" x 6'-8" FR	D	WOOD/GLASS	-	-	-	10' / A-10	11' / A-10	-	-	
302	ELEVATOR		3'-0" x 6'-8"	B	WOOD	-	-	-	10' / A-10	11' / A-10	-	-	
303	BEDROOM 2		3'-0" x 6'-8"	B	WOOD	-	-	-	10' / A-10	11' / A-10	-	-	
304	BEDROOM 2		2'-8" x 6'-8"	B	WOOD	-	-	-	10' / A-10	11' / A-10	-	-	
304	BEDROOM 2 (BALCONY)		5'-0" x 6'-8" SLIDER	E	WOOD/GLASS	-	-	-	10' / A-10	11' / A-10	-	-	
305	CLOSET		2'-8" x 6'-8"	B	WOOD	-	-	-	10' / A-10	11' / A-10	-	-	
306	MASTER BATHROOM		3'-0" x 6'-8"	B	WOOD	-	-	-	10' / A-10	11' / A-10	-	-	
307	MASTER BEDROOM		3'-0" x 6'-8"	B	WOOD	-	-	-	10' / A-10	11' / A-10	-	-	
307	MASTER BEDROOM (BALCONY)		5'-0" x 6'-8" SLIDER	E	WOOD/GLASS	-	-	-	10' / A-10	11' / A-10	-	-	
308	MASTER CLOSET		2'-8" x 6'-8"	B	WOOD	-	-	-	10' / A-10	11' / A-10	-	-	
401	DEN		2'-8" x 6'-8" FR	C	WOOD/GLASS	-	-	-	10' / A-10	11' / A-10	-	-	
400	ELEVATOR		3'-0" x 6'-8"	B	WOOD	-	-	-	10' / A-10	11' / A-10	-	-	
403	ELEVATOR MACHINE ROOM		2'-8" x 6'-8"	B	WOOD	-	-	-	10' / A-10	11' / A-10	-	-	
404	WATER CLOSET		2'-8" x 6'-8"	B	WOOD	-	-	-	10' / A-10	11' / A-10	-	-	
405	ATTIC		3'-0" x 6'-8"	B	WOOD	-	-	-	10' / A-10	11' / A-10	-	-	

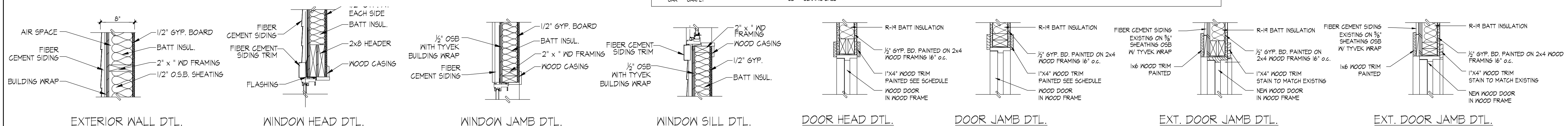
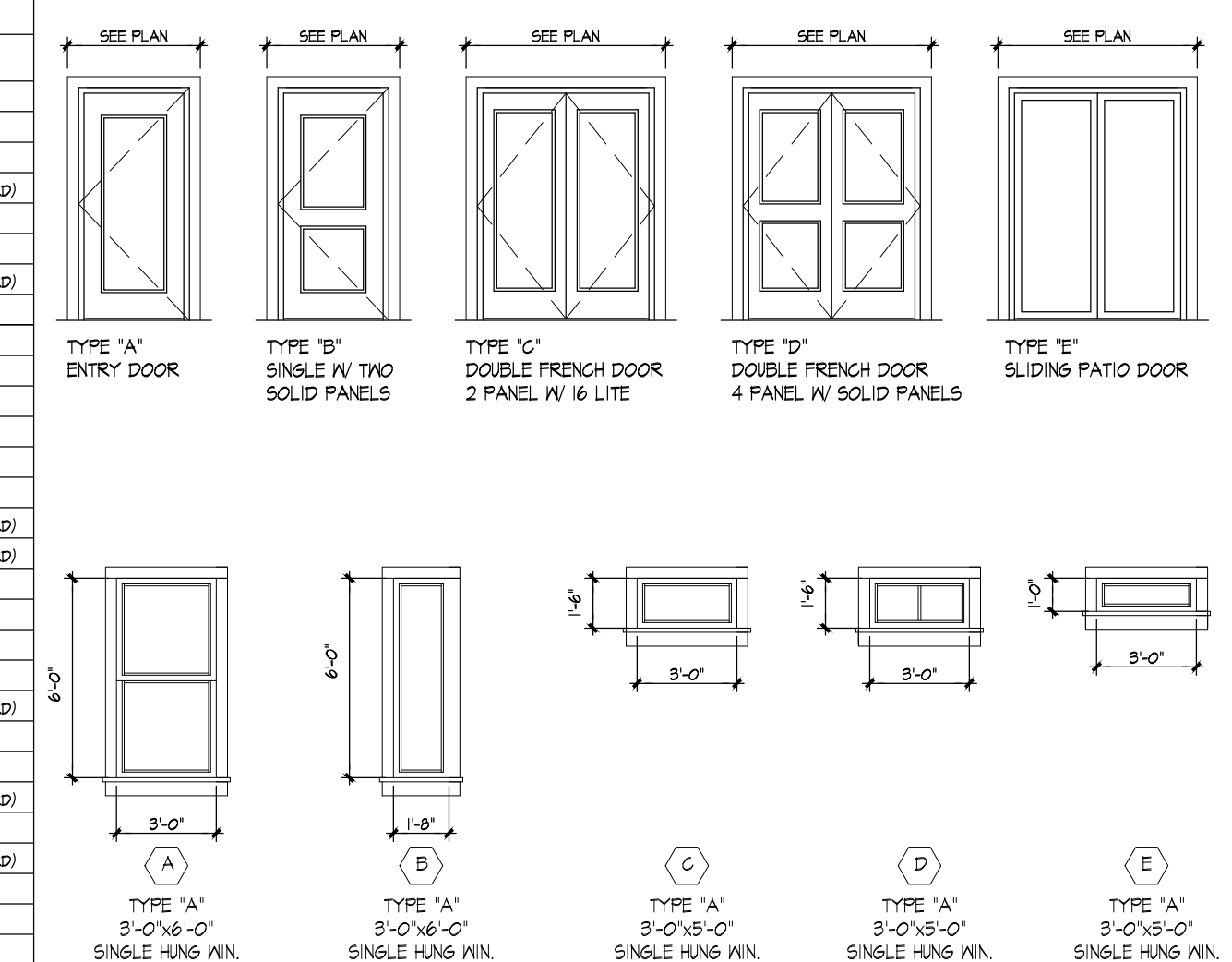
ROOM FINISH SCHEDULE

NO.	ROOM NAME	FLOOR	BASE	WALLS				CEIL'G.	CLG. HT.	COMMENTS
				NORTH	EAST	SOUTH	WEST			
100	PORCH	CONC	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	
101	FOYER	LAM	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	
102	ELEVATOR	LAM	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	
103	MECHANICAL ROOM	CONC	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	3/4" WATER RESISTANCE GYP. (GRN BRD)
104	CLOSET	LAM	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	8'-0"
105	OFFICE/ BEDROOM 3	LAM	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	
106	BATHROOM	CT	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	3/4" WATER RESISTANCE GYP. (GRN BRD)
107	CLOSET	CT	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	
108	GARAGE	CONC	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	
104	HALL	LAM	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	
200	LIVING ROOM	LAM	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	
201	DINING ROOM	LAM	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	
202	ELEVATOR	CT	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	
203	WATER CLOSET	CT	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	3/4" WATER RESISTANCE GYP. (GRN BRD)
204	KITCHEN	CT	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	3/4" WATER RESISTANCE GYP. (GRN BRD)
205	PANTRY	CT	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	
206	BALCONY	CT	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	
201	BALCONY	CT	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	
300	HALL	LAM	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	
301	LAUNDRY	CT	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	3/4" WATER RESISTANCE GYP. (GRN BRD)
302	ELEVATOR	LAM	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	
303	BEDROOM 2	LAM	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	
304	BEDROOM 2	CT	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	3/4" WATER RESISTANCE GYP. (GRN BRD)
305	CLOSET	CT	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	
306	MASTER BATHROOM	CT	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	3/4" WATER RESISTANCE GYP. (GRN BRD)
307	MASTER BEDROOM	LAM	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	
308	MASTER CLOSET	LAM	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	
400	DECK	CONC DECK	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	
401	DEN	LAM	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	
402	ELEVATOR	LAM	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	
403	ELEVATOR MACHINE ROOM	LAM	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	
404	WATER CLOSET	CT	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	3/4" WATER RESISTANCE GYP. (GRN BRD)
405	ATTIC	CT	ND	P-1	P-1	P-1	P-1	GYP. P-5	EXISTING	

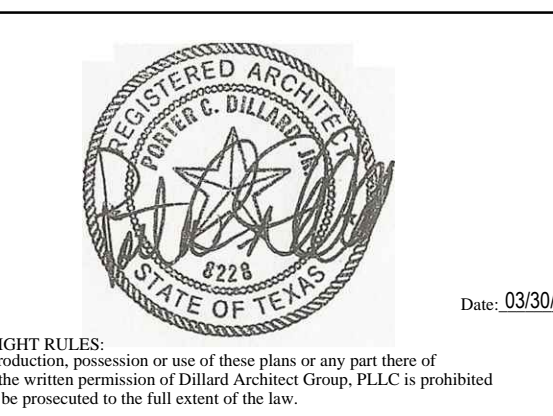
FINISH SCHEDULE LEGEND

FLOORING FINISHES	BASE FINISHES	WALL FINISHES	CEILING FINISHES
ND LAMINATE WOOD CT CERAMIC TILE GAR CARPET	ND WOOD BASE SM WOOD SHOE MOLD CB CERAMIC BASE	P-1 LATEX ENAMEL PAINT (SEM-GLOSS LIGHT SAND TEXTURE)	GYP. GYP. BOARD PAINTED (SEM-GLOSS LIGHT SAND TEXTURE)

3 STAIR PLANS
Scale: 1/4" = 1'-0"



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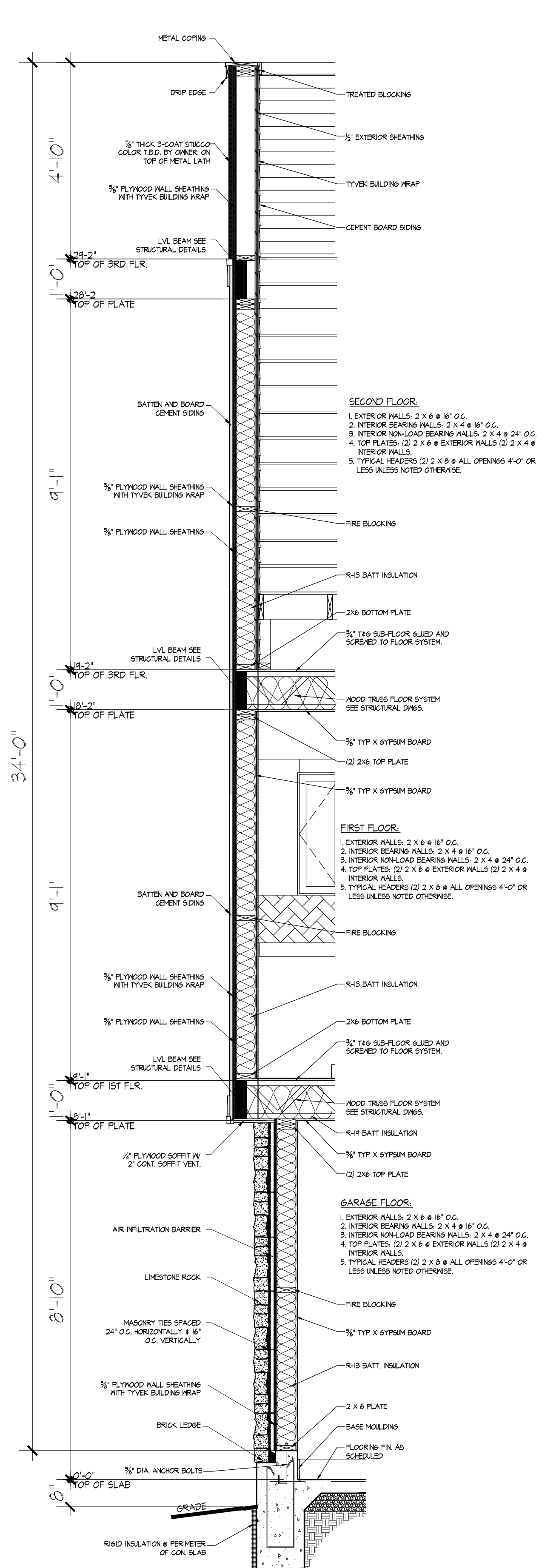
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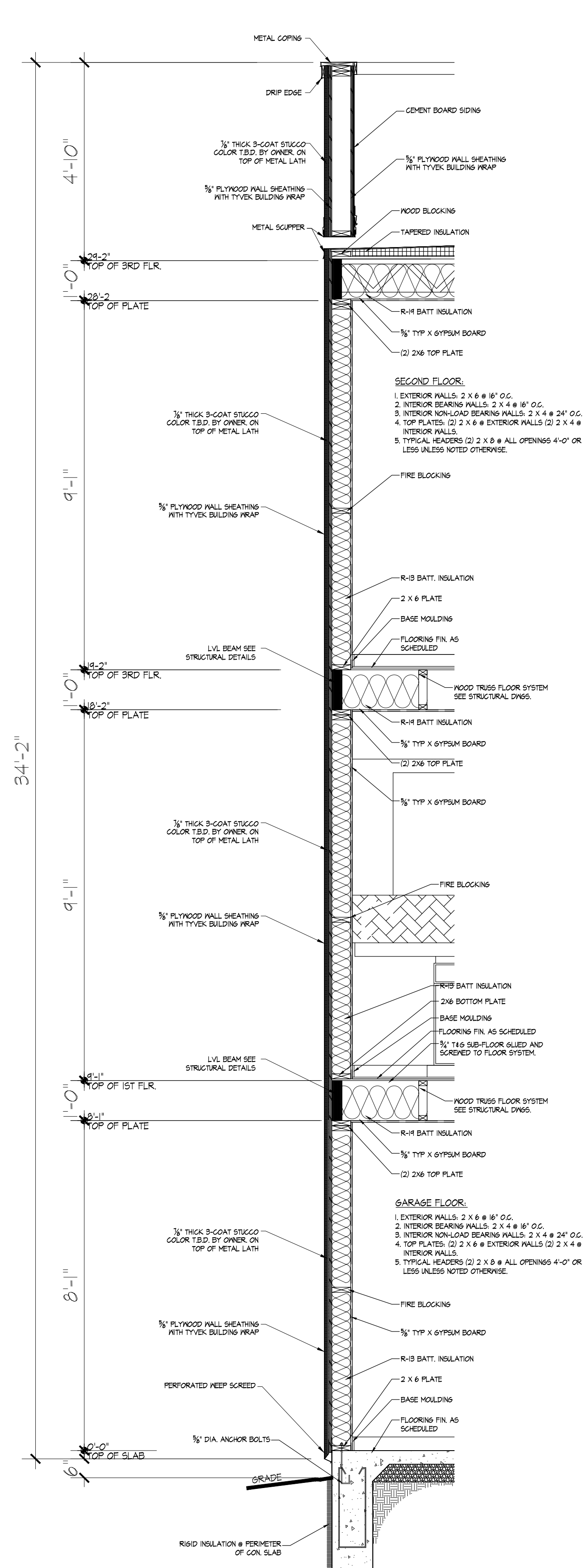
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Drawn By: JS Date: 03/30/20 Sheet No: A-6.0

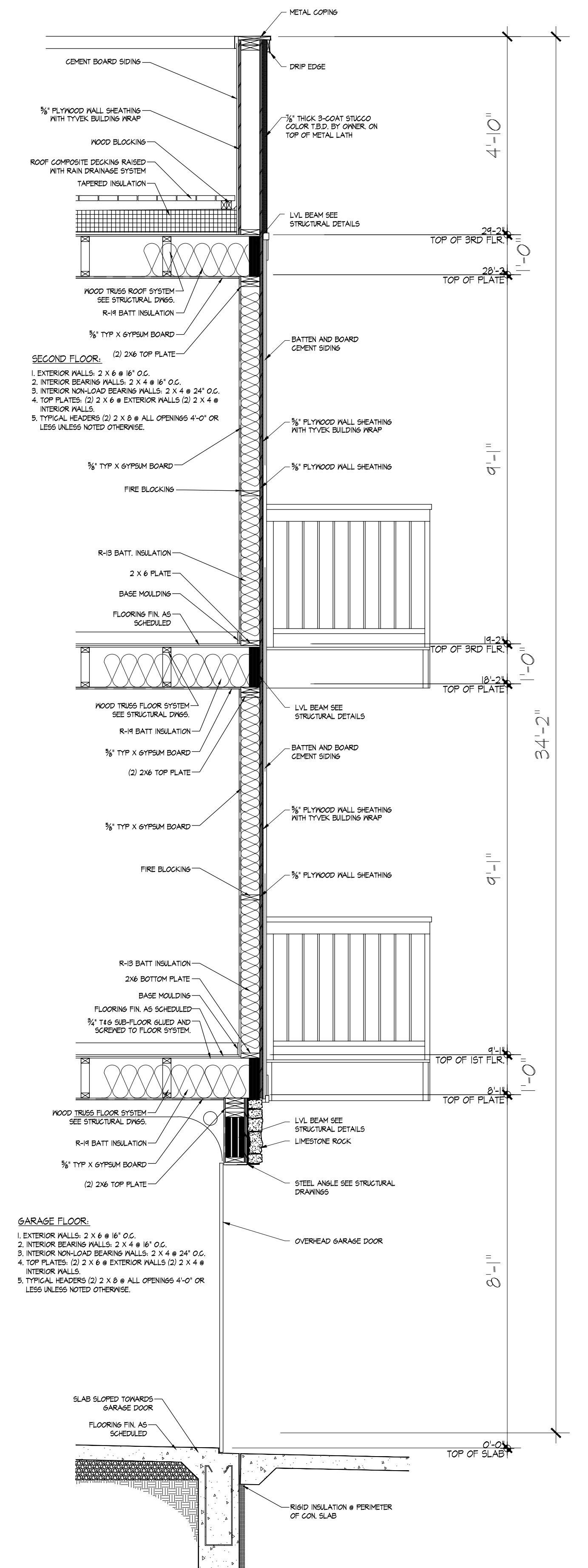
Checked By: Sheet Date: Project No: Sheet: Of:



1 TYPICAL WALL SECTION
Scale: 1/2" = 1'-0"



2 TYPICAL WALL SECTION
Scale: 1/2" = 1'-0"



3 TYPICAL WALL SECTION
Scale: 1/2" = 1'-0"



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Project Name and Address

No.:	Revision/Issue:	Date:

Sheet Name:
WALL SECTIONS

Drawn By:	JS	Date:	03/30/20	Sheet No.:	A-7.0
Checked By:					
Sheet Date:					
Project No.:				Sheet:	Of:

FLOOR PLAN GENERAL NOTES

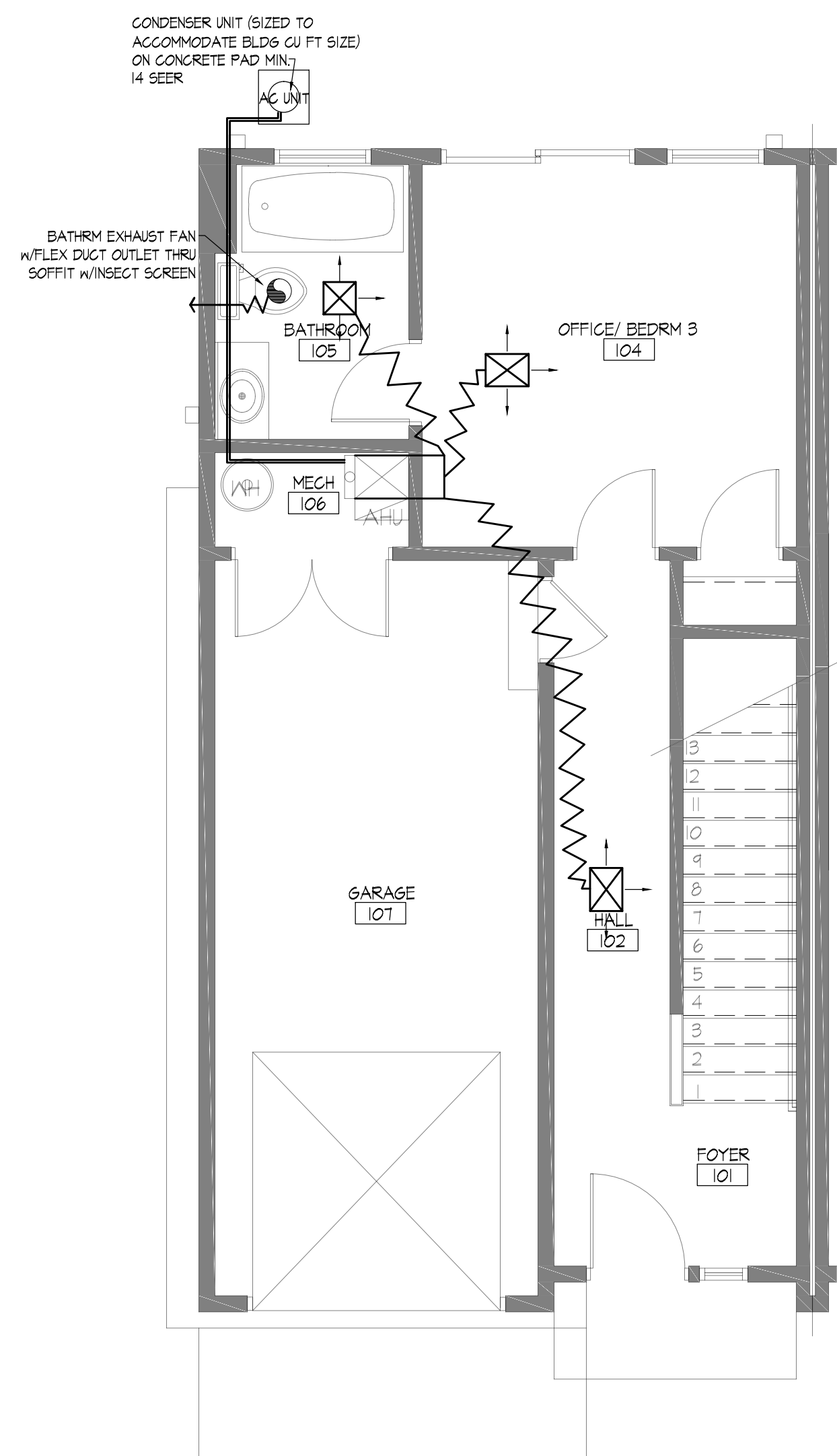
- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING THE WORK.
- CONTRACTOR SHALL VISIT PROJECT SITE TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF WORK, BEFORE STARTING WORK TO ENSURE COORDINATION WITH OTHER TRADES.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED BY LOCAL ADMINISTRATIVE AUTHORITY
- COORDINATE THE LOCATIONS OF AIR DEVICES WITH OWNER,
- PROVIDE AIR BALANCE TEST PROVIDE MANUAL DAMPER AT EACH BRACH TAKE OFF & AIR DEVICE.
- THERMOSTATS AND CONTROLS TO BE AT 48" A.F.F. AND COMPLY WITH ADA/TAS REQUIREMENTS.

KEY NOTES

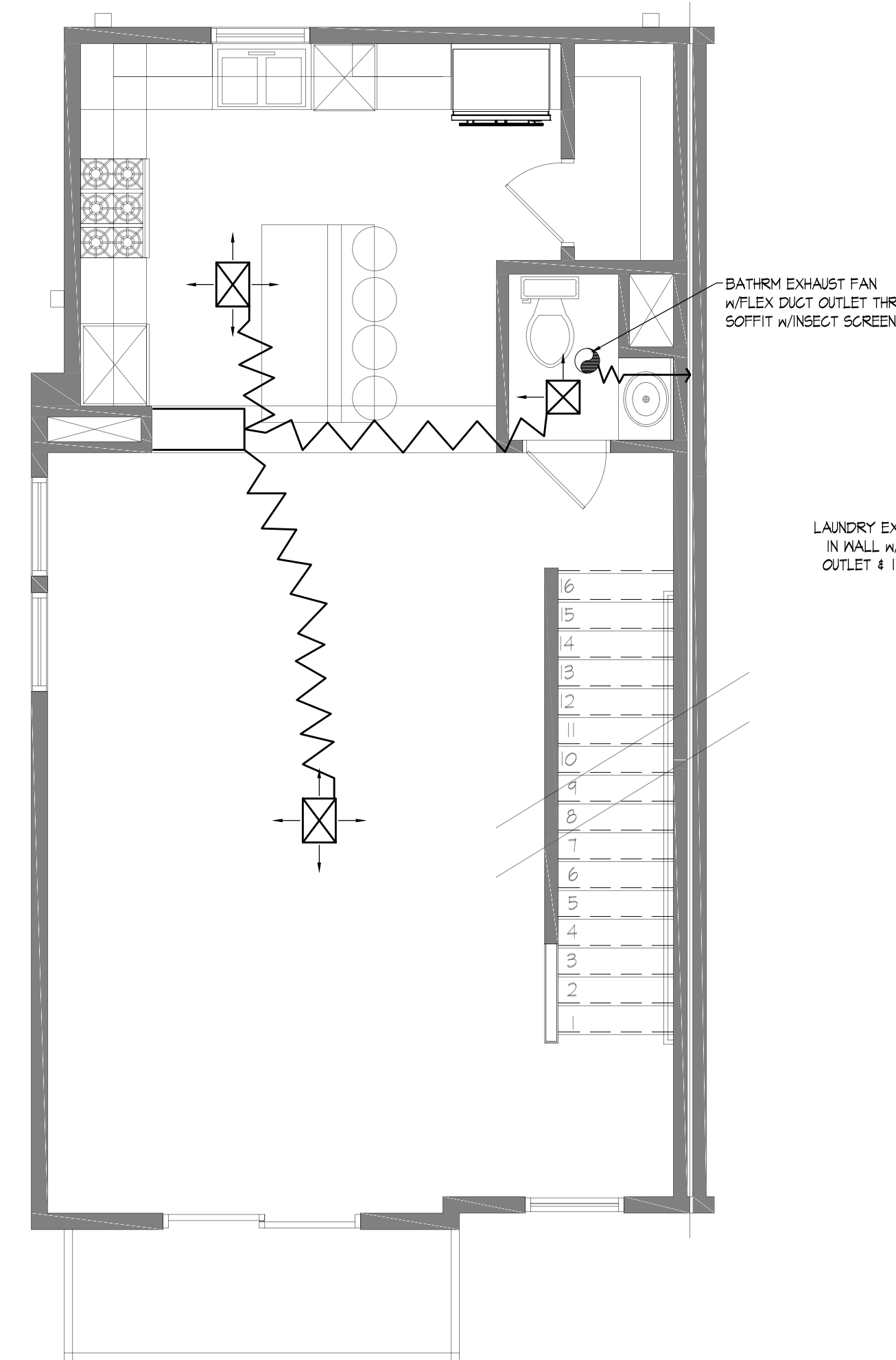
THIS SHEET ONLY

- ☒ AIR DIFFUSER
- ☒ AIR RETURN
- ☒ SIDE WALL SUPPLY GRILLE OR REGISTER
- ☒ AIR HANDLING UNIT
- SUPPLY AIR DEVICE WITH FLEX DUCT

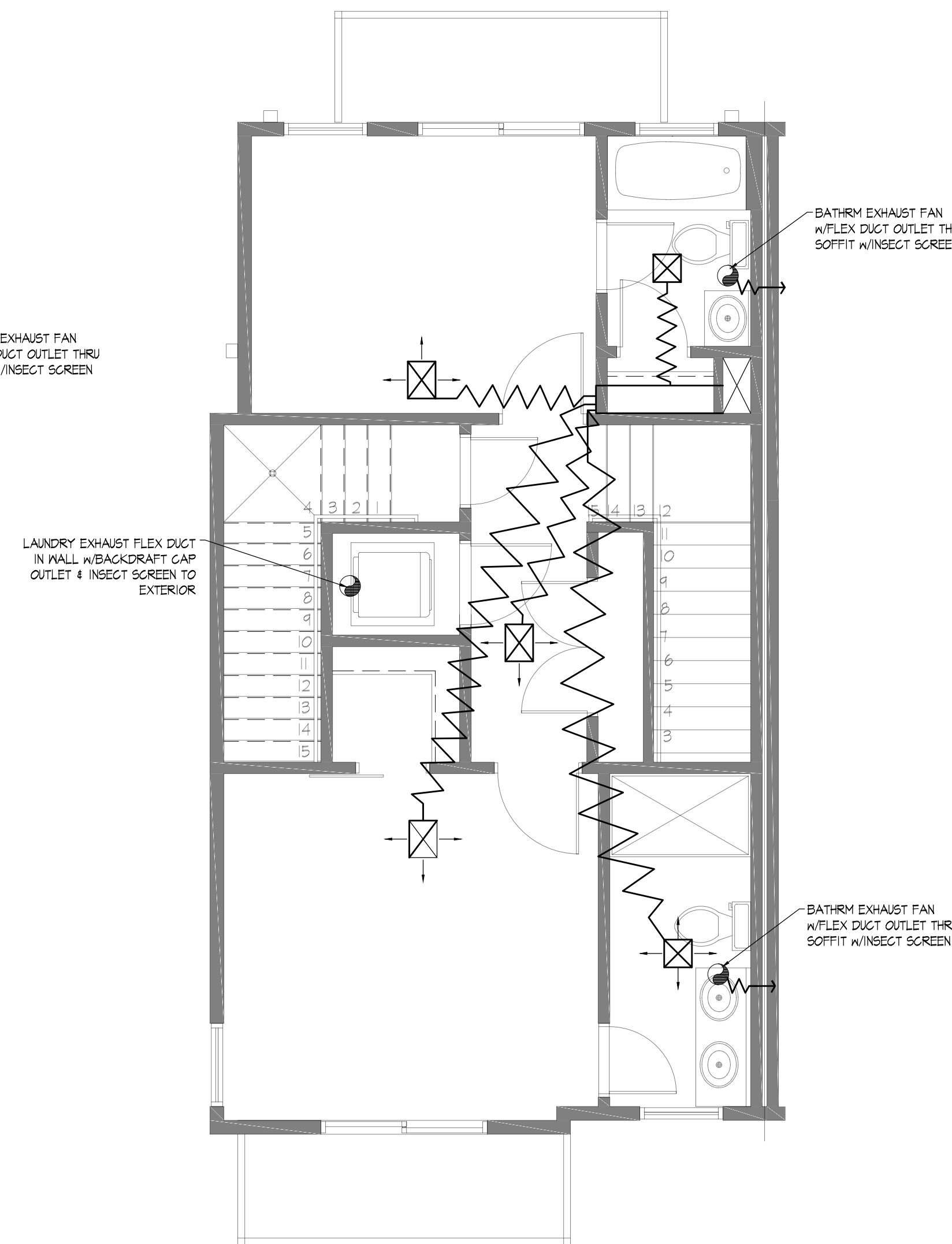
NOTES:
 1. MEP LAYOUTS ARE FOR GENERAL REFERENCE ONLY CONTRACTOR TO ENSURE ALL LOCAL BUILDING CODES ARE FOLLOWED WHEN INSTALLING EQUIPMENT AND OR FIXTURES.



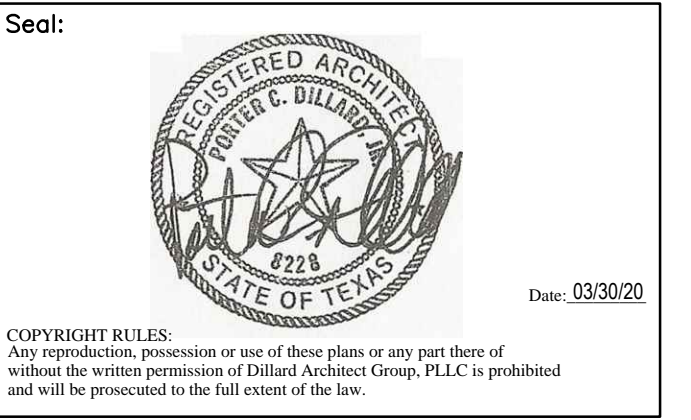
① GARAGE LEVEL MECH. PLN.
 Scale: 1/4" = 1'- 0"



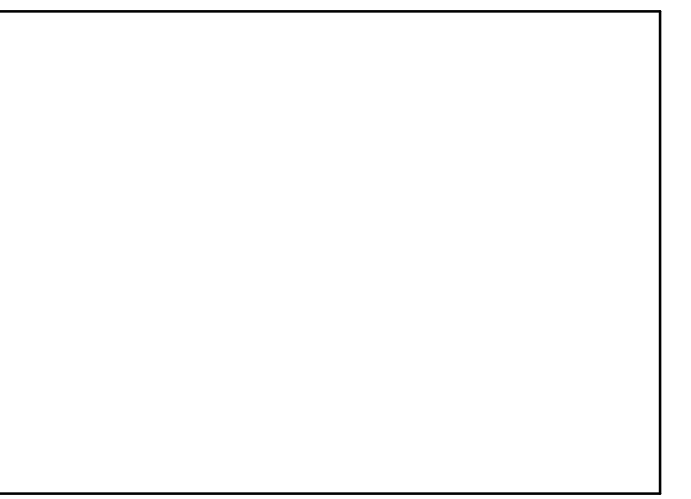
② 1 ST FLOOR MECH. PLN.
 Scale: 1/4" = 1'- 0"



③ 2 ND FLOOR MECH. PLN.
 Scale: 1/4" = 1'- 0"



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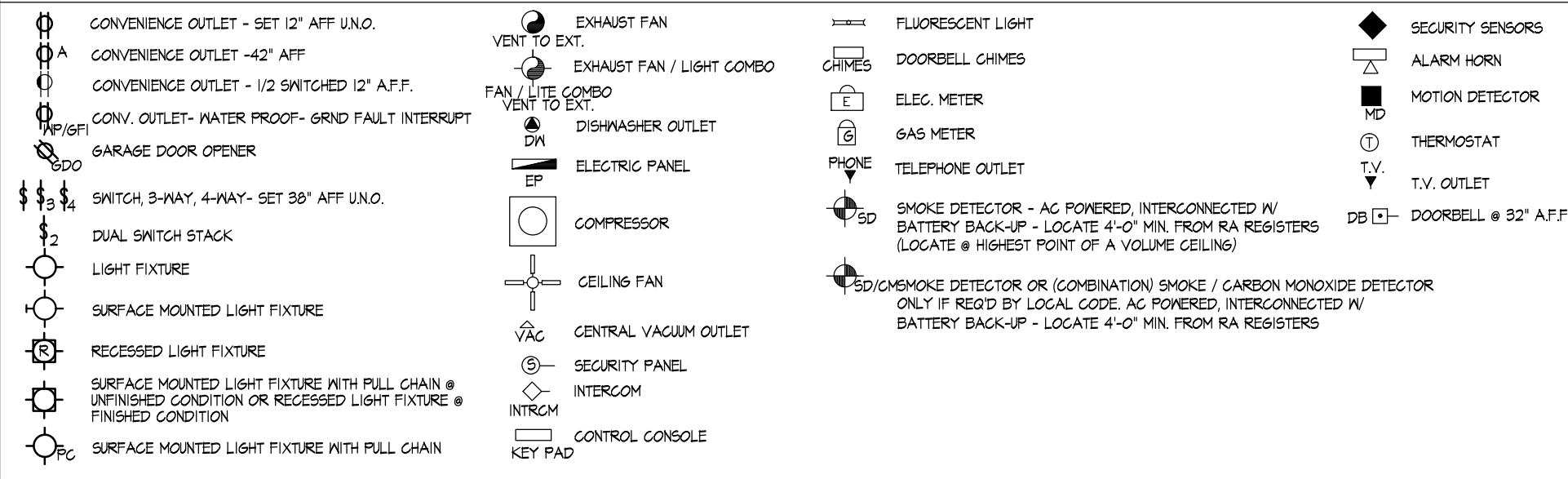
Project Name and Address

No.:	Revision/Issue:	Date:

Sheet Name:
MECHANICAL LAYOUTS

Drawn By:	JS	Date:	03/30/20	Sheet No.:	
Checked By:					A-8.0
Sheet Date:					
Project No.:				Sheet:	Of:

ELECTRICAL SYMBOLS



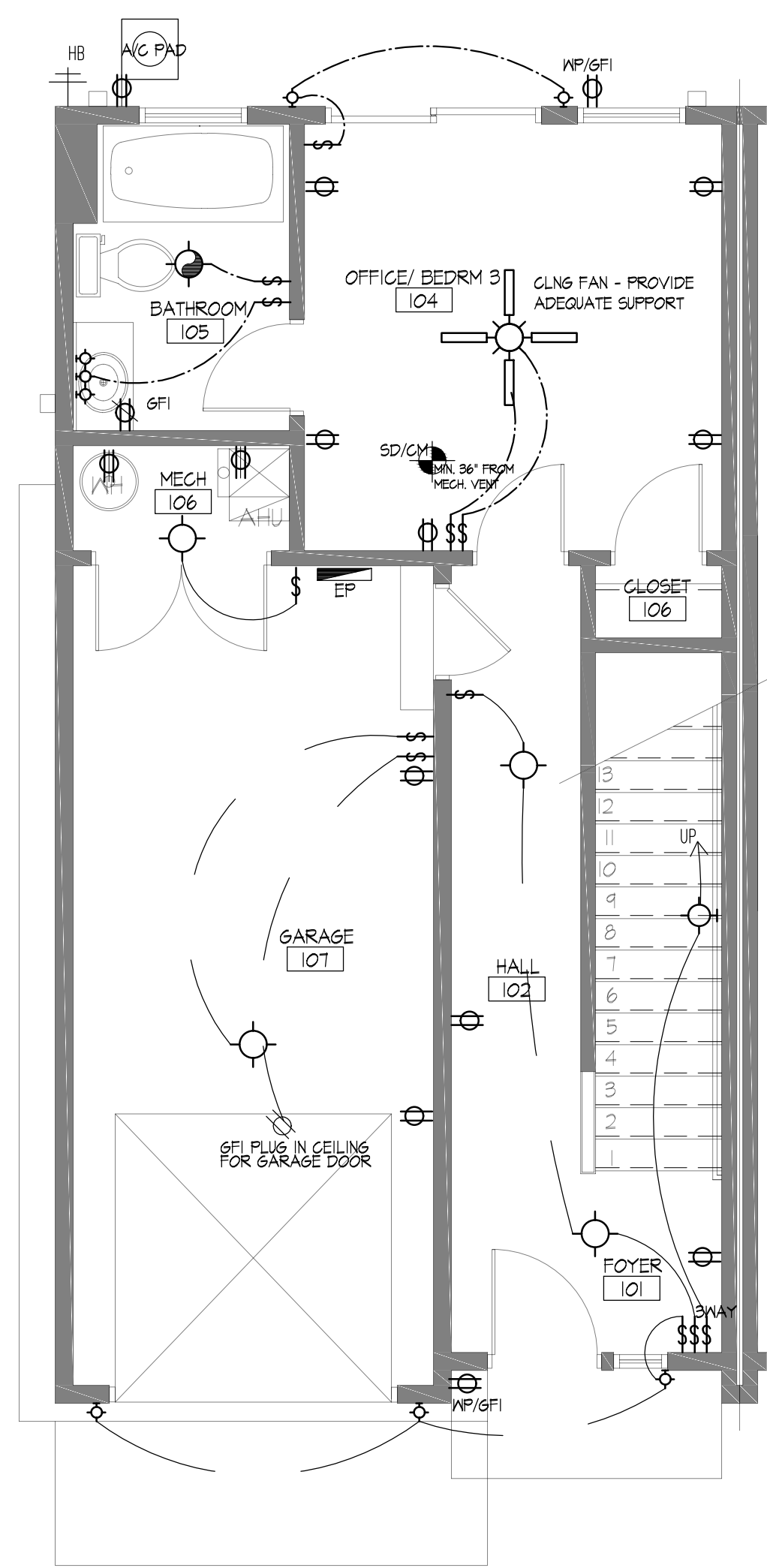
NOTES:
 1. REF. PRCD. SPECS. FOR OPT. CEILING FAN LOCATIONS.
 2. REF. PRCD. SPECS. FOR LOCATIONS OF TV, PHONE OUTLETS, CENTRAL VACUUM & SECURITY SYSTEMS.
 3. ALL OUTLETS ABOVE KITCHEN OR BATH COUNTER TO BE GFI.

NOTES:

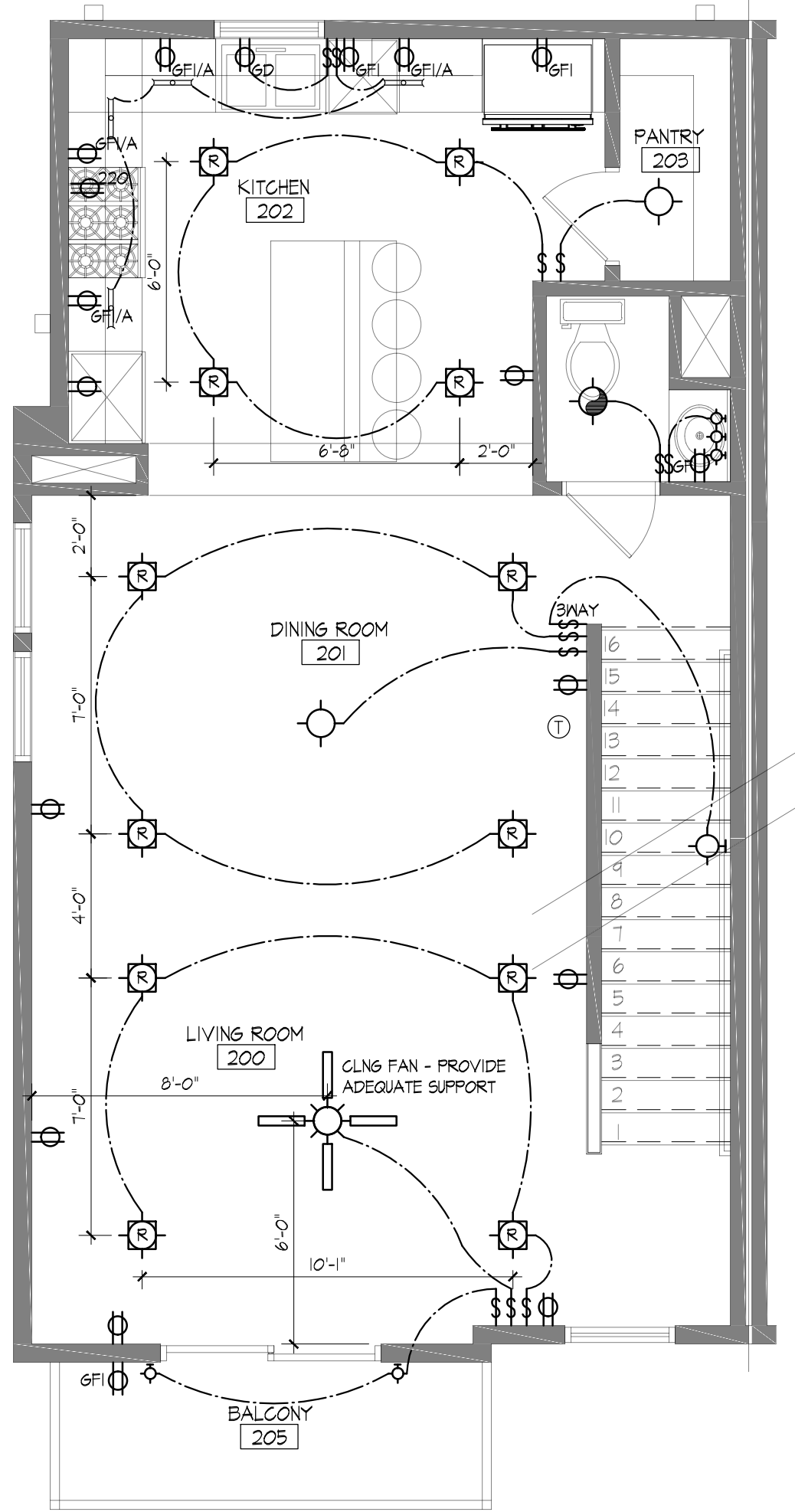
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FLOOR PLAN GENERAL NOTES

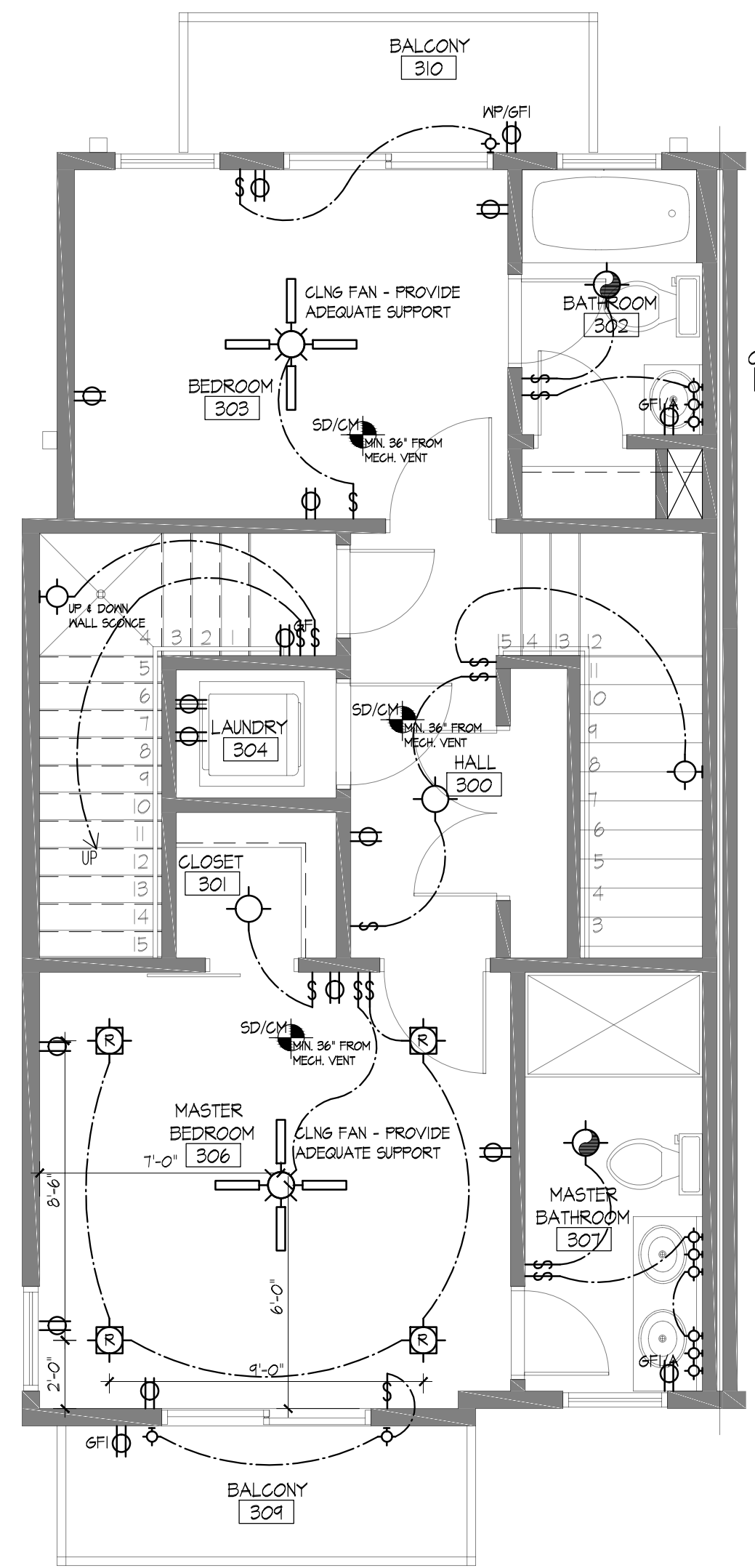
- BREAKER BOX TO BE LOCATED PER PLAN.
- ALL PLUGS AND SMOKE DETECTORS PER IRC CODES AND WHERE LOCATED ON PLAN. ALL SMOKE DETECTORS SHOULD BE IN AN AREA ACCESSIBLY BY 16'-0" EXTENSION LADDER OR 6'-0" STEP LADDER. SMOKE DETECTORS MUST BE MINIMUM OF 30" FROM RETURN AIR GRILL INCLUDING ADJACENT ROOMS. DETECTORS SHALL BE INSTALLED INTERCONNECTED SO THAT THE ACTIVATION OF 1 WILL ACTIVATE ALL OTHERS.
- SWITCHES TO BE LOCATED 54" A.F.F. (TOP OF BOX)
- PRE-WIRE LOW VOLTAGE FOR O.H. DOOR OPENER- LOW VOLTAGE AT 8" A.F.F. ON EACH SIDE OF O.H. DOOR OPENER BUTTONS TO BE 5'-0" A.F.F.
- MICROWAVE/ VENT-HOOD PLUG TO BE AT 16" A.F.F. (IF OVER COOK-TOP WHEN APPLICABLE) MICROWAVE AND REFRIGERATOR FREEZER OUTLETS TO BE DEDICATED 20 AMP.
- INSTALL GFI PLUGS AT ALL SINK VANITIES AND AT KITCHEN COUNTERTOPS.
- VANITY LIGHT BOXES TO BE AT 86" A.F.F.(TO BOTTOM OF BOX)
- GARBAGE DISPOSAL TO HAVE PLUG.
- SECURITY KEYPADS TO BE LOCATED ABOVE SWITCHES PER PLAN SECURITY PANEL AT 61" A.F.F. (TOP OF BOX). STRUCTURED WIRING PANEL AT 53" A.F.F.
- LIGHT IN ATTIC TO BE SWITCHED.
- BLOCK AND WIRE PER PLAN.
- HVAC CONTRACTOR TO SUPPLY AND INSTALL ALL EXHAUST FANS ELECTRICIAN TO WIRE AND INSTALL 16" FROM BACK OF BOX TO WALL WHEN POSSIBLE AND CENTER OVER DRYER AND TOILET.
- THERMOSTAT TO BE LOCATED 60" A.F.F. (CENTER OF BOX) LOCATION(S) PER PLAN.
- CEILING FANS ARE TO BE INSTALLED AND BALANCED PER MANUFACTURER'S SPECS.
- EXTERIOR GFI AT A/C COMPRESSOR SHOULD BE LOCATED NEXT TO AND AT SAME HEIGHT AS THE DISCONNECT.
- INSTALL DRYER VENT BOX CENTER OF DRYER LOCATION IN PLAN WHEN APPLICABLE.
- SECURITY MOTION DETECTOR PER PLAN. TO BE MOUNTED AT 7'-6" A.F.F.



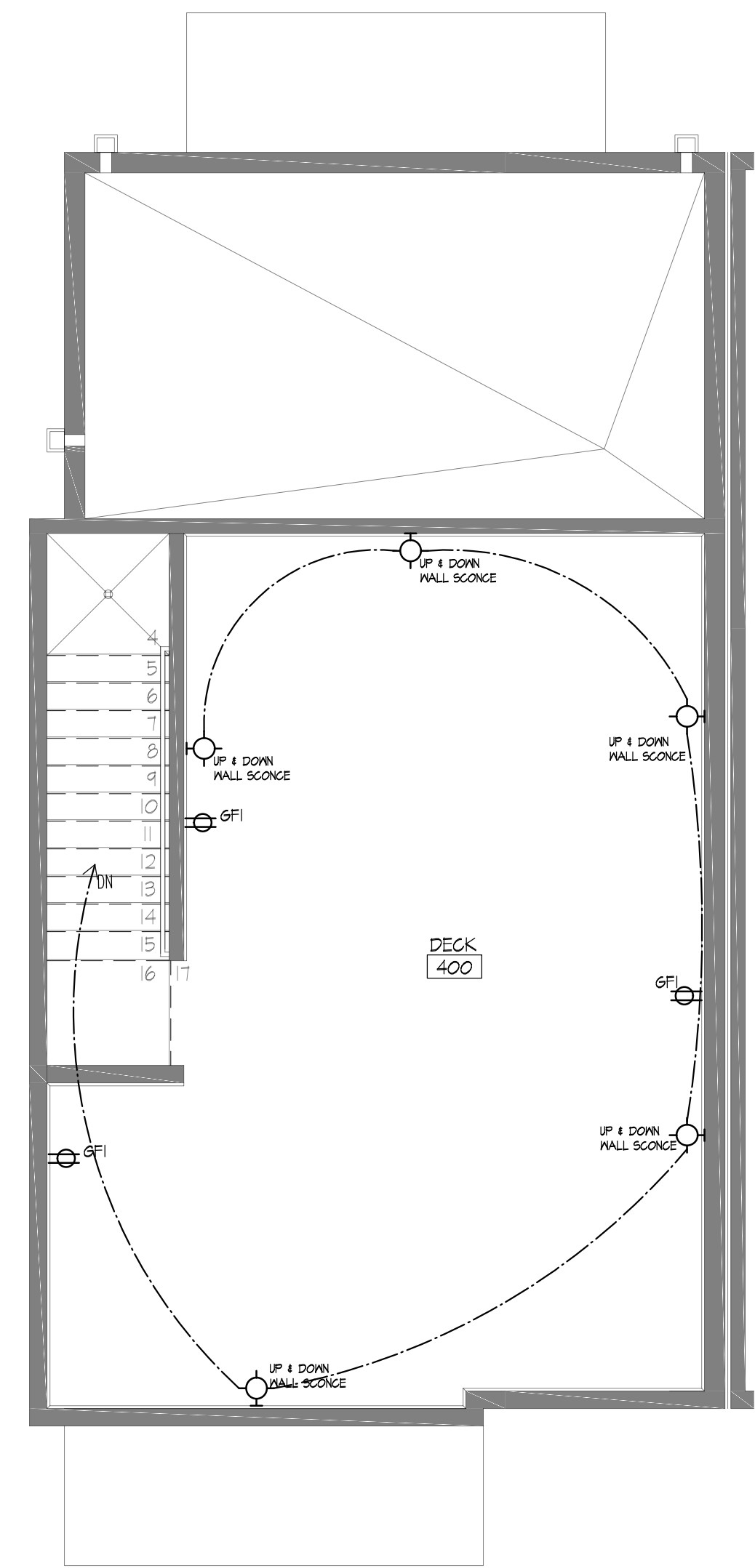
1 GARAGE LEVEL ELEC. PLN.
 Scale: 1/4" = 1'-0"



2 1 ST FLOOR ELEC. PLN.
 Scale: 1/4" = 1'-0"



3 2 ND FLOOR ELEC. PLN.
 Scale: 1/4" = 1'-0"



4 3 RD FLOOR ELEC. PLN.
 Scale: 1/4" = 1'-0"

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Seal:

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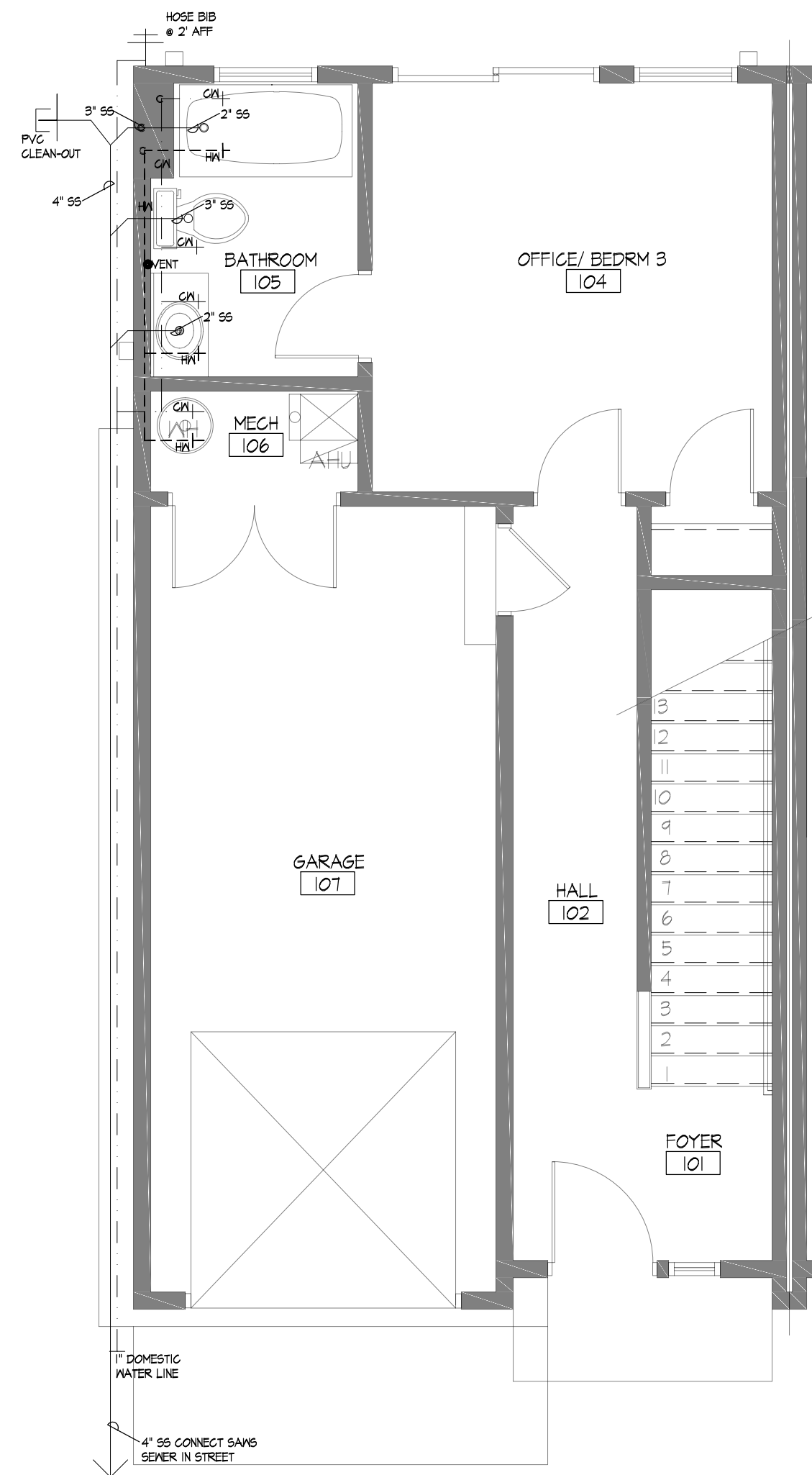
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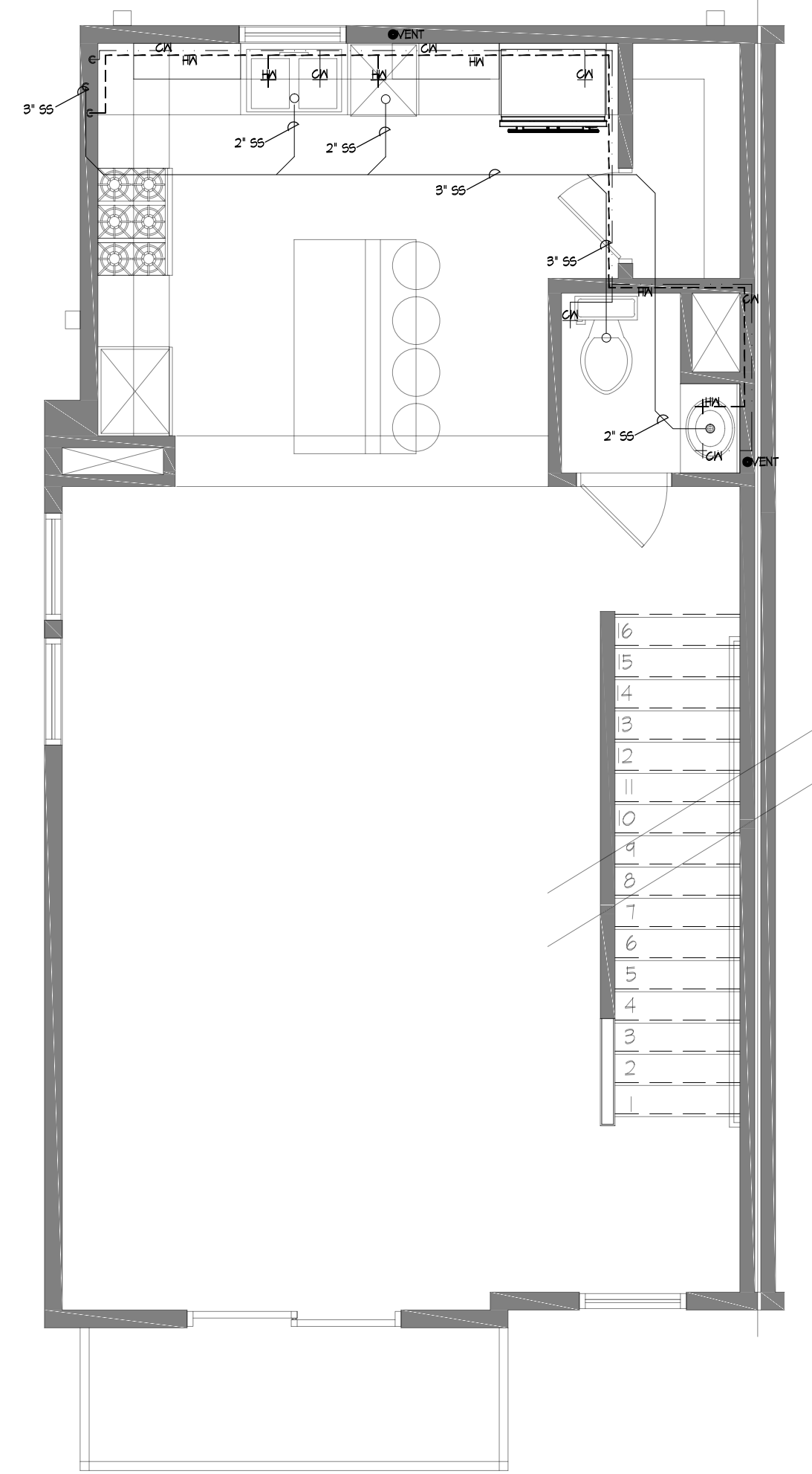
Sheet Name:
ELECTRICAL LAYOUTS

Drawn By:	JS	Date:	03/30/20	Sheet No.:	A-9.0
Checked By:					
Sheet Date:					
Project No.:				Sheet:	Of:

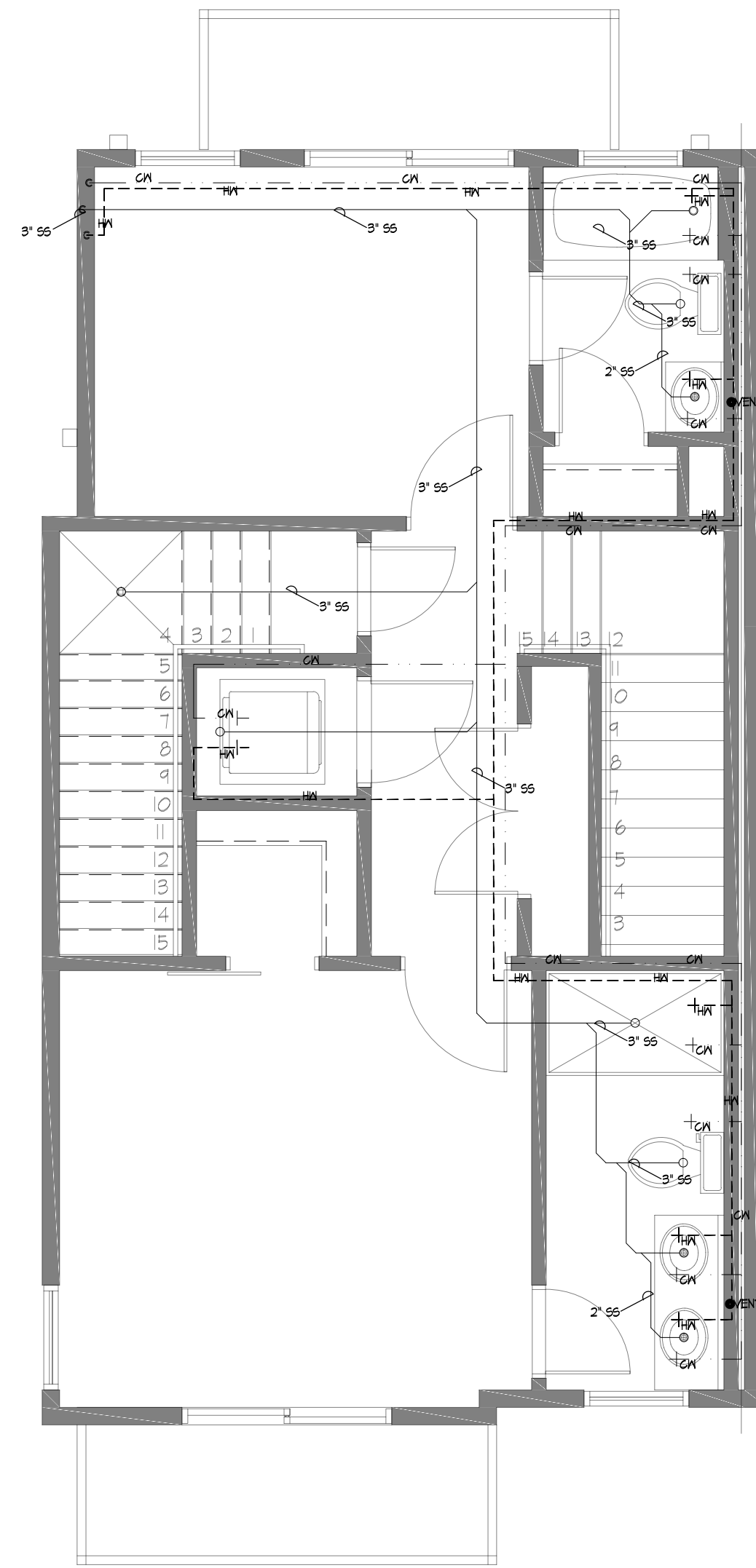
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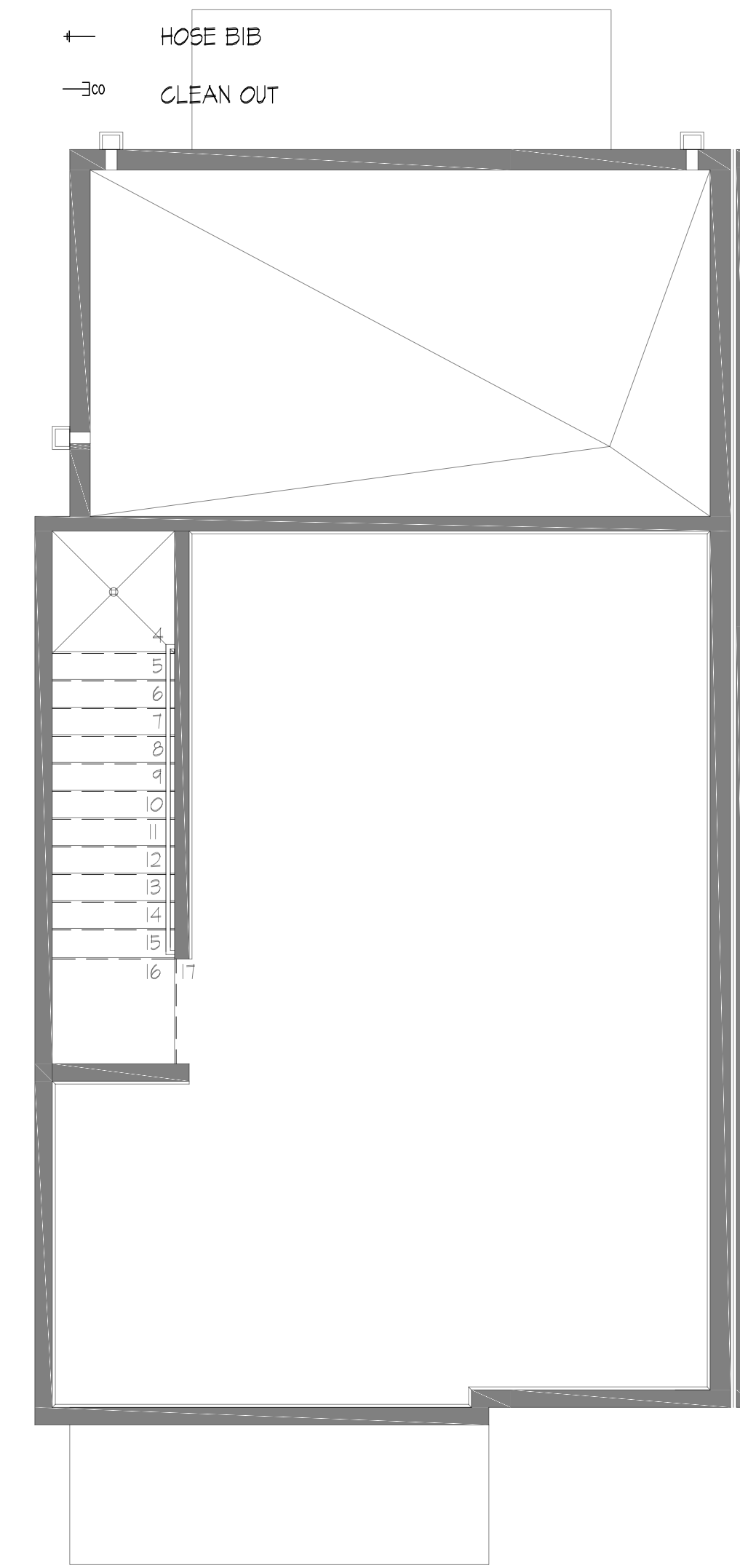
① GARAGE LEVEL PLUMB. PLN.
 Scale: 1/4" = 1'-0"



② 1 ST FLOOR PLUMB. PLN.
 Scale: 1/4" = 1'-0"



③ 2 ND FLOOR PLUMB. PLN.
 Scale: 1/4" = 1'-0"



④ 3 RD FLOOR PLUMB. PLN.
 Scale: 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

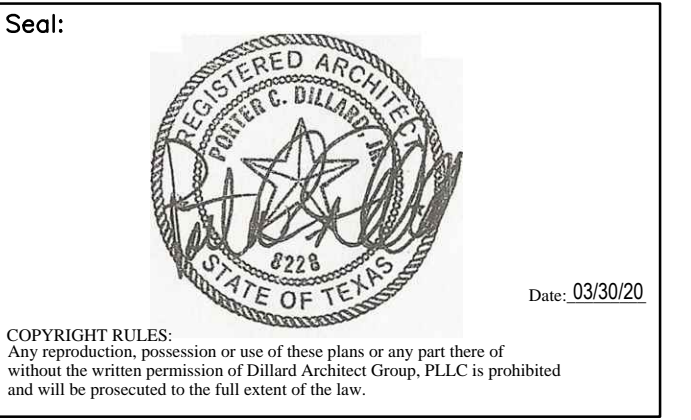
- SCOPE OF PLUMBING WORK IS TO FURNISH AND INSTALL ALL FIXTURES EQUIPMENT AND PLUMBING AND PIPING/ MISC. ON SITE.
- THESE DRAWINGS INDICATE THE GENERAL EXTENT OF WORK AND ARE NOT INTENDED TO INDICATE OR DESCRIBE ALL WORK REQUIRED FOR THE FULL COMPETITION OF THIS PROJECT.
- WHENEVER HOT AND COLD WATER CONTROLS, FAUCETS VALES OR STOPS ARE INSTALL TOGETHER, HOT SHALL BE ON THE LEFT AND COLD ON THE RIGHT AS SEEN BY THE USER.
- CONTRACTOR TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF UTILITIES BEFORE BEGINNING INSTALLATIONS.
- WASTE PIPE IS GENERALLY UNDERGROUND ALL OTHER PIPING IS GENERALLY ABOVE THE CEILING AND IN WALLS UNLESS NOTED OTHERWISE.
- ALL PIPING SHALL BE ROUTED AND HIDDEN FROM VIEW. WHERE PIPING CANNOT BE HIDDEN FROM VIEW OBTAIN ARCHITECTS APPROVAL FOR PLACEMENT.

KEY NOTES

THIS SHEET ONLY

- COLD WATER LINE
- - - - HOT WATER LINE
- SANITARY SEWER LINE
- ← HOSE BIB
- 30 CLEAN OUT

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PLUMBING LAYOUTS

Drawn By: JS	Date: 03/30/20	Sheet No.: A-10.0
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Sheet Date:		
Project No.:		Sheet: Of: