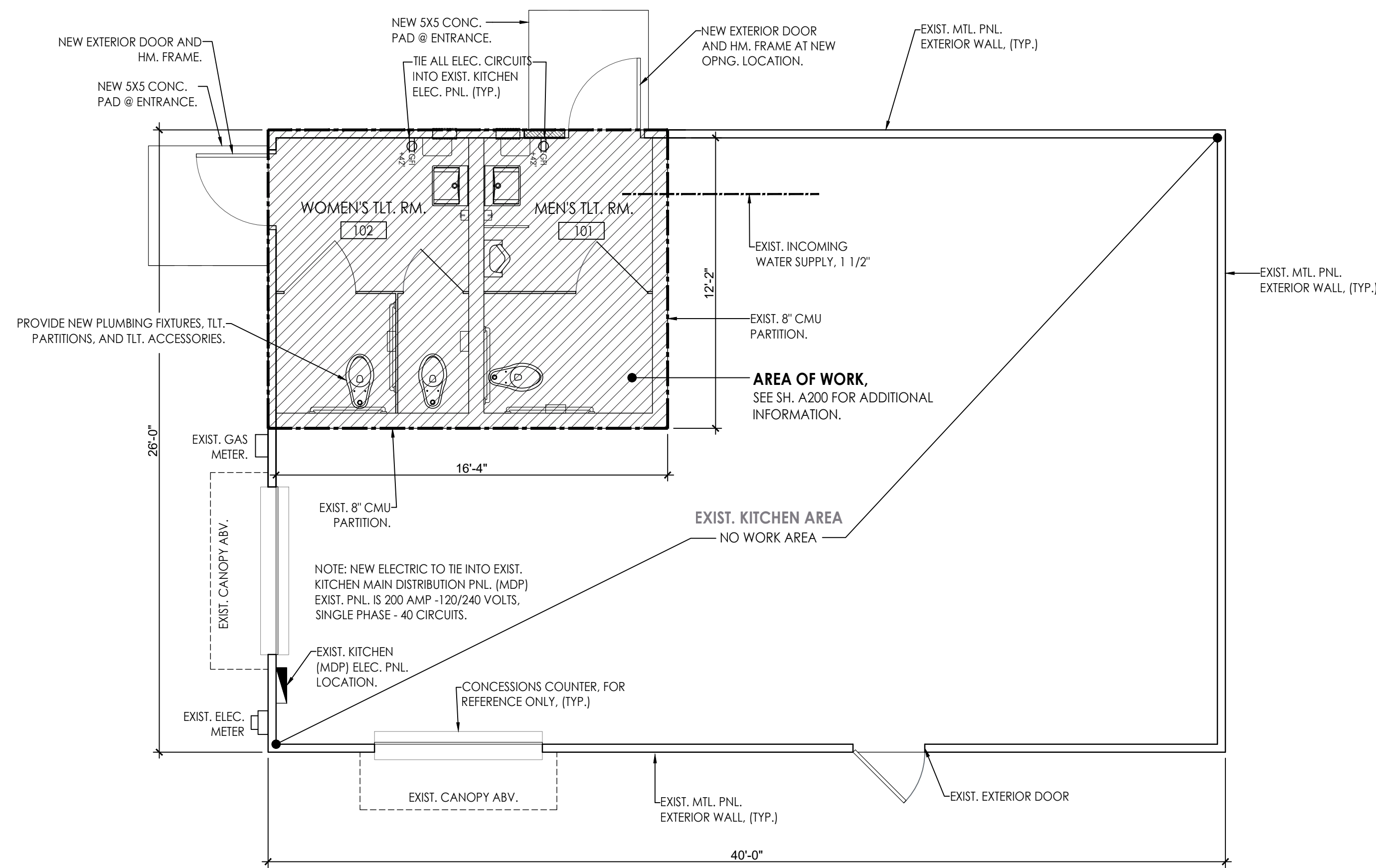


UNDERHILL PARK TOILET ROOM RENOVATIONS

5461 OLD EGG HARBOR ROAD, TOWNSHIP OF HAMILTON, ATLANTIC COUNTY

NEW JERSEY 08330



1 OVERALL CONCESSIONS PLAN
SCALE: 1/4" = 1'-0"

CODE SUMMARY

APPLICABLE CODES

NEW JERSEY UNIFORM CONSTRUCTION CODE
2021 INTERNATIONAL BUILDING CODE - NJ EDITION
2021 NATIONAL STANDARD PLUMBING CODE
2020 NATIONAL ELECTRICAL CODE
ASHRAE 90.1-2019
2021 INTERNATIONAL ENERGY CONSERVATION CODE
2021 INTERNATIONAL MECHANICAL CODE
2021 INTERNATIONAL FUEL GAS CODE
ICC/ANSI A117.1-2017; IFC 300-2017

BUILDING DESCRIPTION

BLDG: UNDERHILL PARK - CONCESSIONS BUILDING
5461 OLD EGG HARBOR ROAD
ATLANTIC COUNTY, NEW JERSEY 08330

USES: BUSINESS - "B"

TOTAL BLDG AREA: 000,832 SF - CONCESSIONS KITCHEN (EXIST. NO CHANGE)
000,208 SF - TLT. RM. AREA (EXIST. NO CHANGE)
001,040 SF - TOTAL S.F.

STORIES: (1) STORY

OCCUPANCY CLASSIFICATION

BUSINESS = "B" [SECTION 303.1.1]
SECTION 303.1.1 SMALL BUILDINGS, A BUILDING USED FOR ASSEMBLY PURPOSES W/ OCCUPANT LOAD LESS THAN 50 PERSONS SHALL BE CLASSIFIED AS A GROUP "B" OCCUPANCY.

CONSTRUCTION TYPES & FIRE RESISTANCE REQUIREMENTS

CONSTRUCTION TYPE 5B [SECTION 602]

STRUCTURAL ELEMENTS, EXTERIOR WALLS, INTERIOR WALLS, FLOOR CONSTRUCTION, AND ROOF CONSTRUCTION ARE OF ANY MATERIALS PERMITTED BY THIS CODE [705.5 & TABLE 601]

- STRUCTURAL FRAME = 0 HOUR
- BEARING WALLS (INTERIOR) = 0 HOUR
- BEARING WALLS (EXTERIOR) = 0 HOUR
- NON-BEARING WALLS (EXTERIOR) TABLE 705.5 = 0 HOUR

- NON-BEARING WALLS (INTERIOR) = 0 HOUR
- FLOOR CONSTRUCTION = 0 HOUR
- ROOF CONSTRUCTION = 0 HOUR

REQUIRED FIRE SEPARATION DISTANCE = REFER TO GEOMETRIC SITE PLAN FOR CLEAR DISTANCES.

FIRE-RESISTIVE REQUIREMENTS FOR EXTERIOR WALLS OF "B" BUSINESS

- 0' - 05' = 1 HOUR
- 05' - 10' = 1 HOUR
- 10' - 30' = 0 HOUR
- 30' - 30+ = 0 HOUR

ALLOWABLE AREA AND HEIGHT

AREA (TYPE 5B - CONSTRUCTION) BLDG. NON-SPRINKLED
TABULAR AREA: "B" = 009,000 SF [TABLE 506.2]
ACTUAL BUILDING AREA: "B" = 001,040 SF
TABULAR HEIGHT: "B" = (2) STORIES, 40' [TABLE 504.3, 504.4]
ACTUAL BUILDING HEIGHT: (1) STORY @ 12 FEET 0 INCHES +/-

EGRESS CALCULATIONS

SELECTION FROM "MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT" [TABLE 1004.5]

OCCUPANCY USE SQUARE FEET OCCUPANT LOAD [TABLE 1004.5]

BUSINESS "B"
KITCHEN (COMMERCIAL) 000,832 SF 200 SF GROSS = 005 OCCUPS.
TOILET ROOMS 000,208 SF 050 SF GROSS = 005 OCCUPS.

SELECTIONS FROM "EGRESS WIDTH PER OCCUPANT SERVED" [TABLE 1005.1]

EGRESS WIDTH PER OCCUPANT

TOTAL OCCUPANTS SERVED [1005.3.2] EXIT WIDTH PROVIDED
010 OCCUPS. DOORS = 2 INCH = 2 INCHES 36 INCHES

EXIT AND EXIT ACCESS DOORWAYS

[TABLE 1006.2.1] 1 SPACE W/ ONE EXIT "B" BUSINESS OL<30 W/ OUT SPRINKLER SYSTEM 100 FT. MAX TRAVEL DISTANCE.
[TABLE 1006.3.4 (2)] 2 STORIES WITH ONE EXIT 1ST STORY ABOVE GRADE PLANE B<49 PERSONS 75 FT. MAX TRAVEL DISTANCE

LOCATION 1ST FLOOR - CONCESSIONS REQUIRED T/SPACE PROPOSED T/SPACE

*TLT. ROOMS DISCHARGE DIRECTLY TO EXTERIOR.

PROJECT TEAM

CLIENT

MOTT WATKINGS ASSOCIATES, LLC
3120 FIRE ROAD, SUITE B201
EGG HARBOR, NJ 08234

ARCHITECT

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MULLICA HILL, NJ 08062
856.845.0132

PLUMBING, ELECTRICAL

TK STUDIO, LLC
262 MULLICA HILL ROAD
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856.845.0132

PROJECT DESCRIPTION

RENOVATIONS + ALTERATIONS, TO EXISTING CONCESSION STAND TOILET ROOMS.

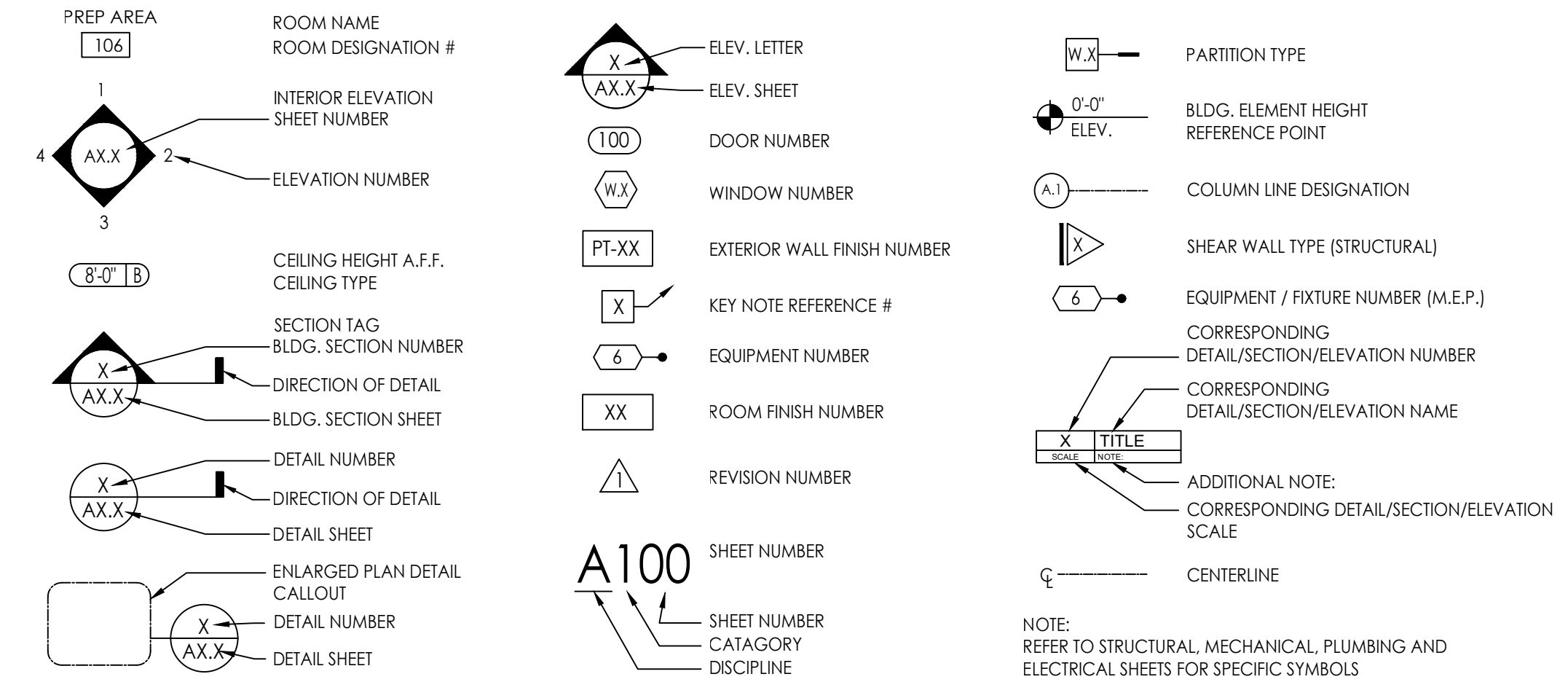
INDEX OF DRAWINGS

ARCHITECTURAL:

PREPARED BY TK STUDIO, LLC.

A000 GENERAL PROJECT INFORMATION, SHEET INDEX, LOCATION MAP, SYMBOLS, CODE SUMMARY
A001 GENERAL NOTES, ADA ACCESSIBILITY DTLs, DOOR SCHEDULE + MISC. DETAILS
A200 TLT. RM. PLAN, DEMOLITION PLAN, INTERIOR ELEVATIONS + NOTES

SYMBOLS AND ABBREVIATIONS



ABBREVIATION INDEX

&	AND	DN	DOWN	INSUL	INSULATION	PR	PAIR	T.O.S.	TOP OF STEEL
@	AT	DR	DOOR	INT.	INTERIOR	PROP.	PROPERTY	T.O.SL	TOP OF SLAB
A/C	AIR CONDITIONING	D.S.	DOWN SPOUT	JT.	JOINT	P.S.F.	PER SQUARE FOOT	TRT.	TREATED
A.D.	AREA DRAIN ABOVE	DWG.	DRAWING	KIT.	KITCHEN	P.S.I.	PER SQUARE INCH	TYP.	TYPICAL
A.F.F.	ABOVE FINISH FLOOR	EA.	EACH	LAM.	LAMINATE	Q.T.	QUARRY TILE	U.N.O.	UNLESS NOTED OTHERWISE
ALUM.	ALUMINUM	EL.	ELEVATION	LAV.	LAVATORY	QTY.	QUANTITY	V.C.B.	VINYL COMPOSITION BASE
ALT.	ALTERNATE	ELEC.	ELECTRICAL	LLV.	LONG LEG VERTICAL	RAD.	RADIUS	V.C.T.	VINYL COMPOSITION TILE
APPROX.	APPROXIMATE	EQ.	EQUAL	LT.	LIGHT	REF.	REFRIGERATOR	VERT.	VERTICAL
BD.	BOARD	EQUIP.	EQUIPMENT	MAS.	MASONRY	REINF.	REINFORCING	V.I.F.	VERIFY IN FIELD
BLDG.	BUILDING	EXIST.	EXISTING	MAX.	MAXIMUM	REV.	REVISION	V.W.C.	VINYL WALL COVERING
BM.	BEAM	EXT.	EXTERIOR	MECH.	MECHANICAL	REQD.	REQUIRED	W/	WITH
BSMT.	BASEMENT	F.D.	FLOOR DRAIN	MTL.	METAL	RESIL.	RESILIENT	W.C.	WATER CLOSET
BTWN.	BETWEEN	FIN.	FINISH	MFR.	MANUFACTURER	RM.	ROOM	WD.	WOOD
BOT.	BOTTOM	GA.	GAUGE	MIN.	MINIMUM	R.O.	ROUGH OPENING	WO	WITHOUT
C.L.	CENTER LINE	GALV.	GALVANIZED	MISC.	MISCELLANEOUS	SCHED.	SCHEDULE	WP.	WATERPROOFING
C.T.	CERAMIC TILE	GYP. BD.	GYP. BOARD	M.O.	MASONRY OPENING	SEC.	SECTION	WT.	WEIGHT
CLG.	CEILING	HDWD.	HARDWOOD	MTD.	MOUNTED	S.F.	SQUARE FOOT	WWM.	WELED WIRE MESH
CLOS.	CLOSET	HDR.	HEADER	N.I.C.	NOT IN CONTRACT	SHT.	SHEET		
CM	CONSTRUCTION MGR.	H.M.	HOLLOW METAL	NO.	NUMBER	SIM.	SIMILAR		
CMU	CONG. MASONRY UNIT	HORIZ.	HORIZONTAL	NOM.	NOMINAL	SPEC.	SPECIFICATION		
COL.	COLUMN	HGT.	HEIGHT	N.T.S.	NOT TO SCALE	SQ.	SQUARE		
CONC.	CONCRETE	GA.	GAUGE	O.A.	OVERALL	S.S.	STAINLESS STEEL		
CONT.	CONTINUOUS	GALV.	GALVANIZED	O.C.	ON CENTER	STD.	STANDARD		
CONST.	CONSTRUCTION	GYP. BD.	GYP. BOARD	O.D.	OUTSIDE DIAMETER	STL.	STEEL		
DEPT.	DEPARTMENT	HDWD.	HARDWOOD	OPNG.	OPENING	STRUCT.	STRUCTURAL		
DTL.	DETAIL	HDR.	HEADER	OPT.	OPTIONAL	SUSP.	SUSPENDED		
D.F.	DRINKING FOUNTAIN	H.M.	HOLLOW METAL	PL.	PLATE	TEL.	TELEPHONE		
DIA.	DIAMETER	HORIZ.	HORIZONTAL	P.LAM.	PLASTIC LAMINATE	THK.	THICK		
DIM.	DIMENSION	HGT.	HEIGHT	PLUMB.	PLUMBING	THRU	THROUGH		
DISP.	DISPENSER	I.D.	INSIDE DIAMETER	PLYWD.	PLYWOOD	T.O.P.	TOP OF PLATE		

ENERGY EFFICIENCY DESIGN INFORMATION

Climate Zone Category = 4A SEMI-HEATED [TABLE 5.5-4], ASHRAE Standard 90.1-2019]

Location & Description Minimum R and / or Maximum U Value

Roofs (Insulation Above Deck) R-10.0 (NOT USED)
Roofs (Attic and Other) R-30.0
Walls, Above Grade (Wd-Framed) R-13.0
Walls, Above Grade (Mass) NR
Walls, Below Grade NR
FLOORS (WOOD FRAME) R-19
Slab-On-Grade (Unheated) NR
Opaque Doors (Swinging) U-0.370
Vertical Glazing (Curtainwall / Storefront) NR
Vertical Glazing (Entrance Doors) NR
Vertical Glazing (All Other Opening) NR

HANDICAP ACCESSIBILITY

ALL EXTERIOR EXITS TO COMPLY WITH ADA REQUIREMENTS TO INCLUDE THRESHOLD HEIGHTS, DOOR HARDWARE DESIGN, DOOR HARDWARE LOCATIONS, HARDWARE ADJUSTMENTS, AND WHEELCHAIR MANEUVERABILITY ACCESS AREAS.



tk studio llc
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Kimberly DeChen

KIMBERLY DECHEN, RA
PA REGISTERED ARCHITECT No. RA408246
NJ REGISTERED ARCHITECT No. 19467
DE REGISTERED ARCHITECT No. S5-0007983

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

TOWNSHIP OF HAMILTON
ATLANTIC COUNTY, NJ

UNDERHILL PARK
TLT. RM.
RENOVATIONS
TOWNSHIP OF HAMILTON,
ATLANTIC COUNTY, NJ 08330

ALL DOCUMENTS PREPARED BY tk studio, llc ARE INSTRUMENTS OF SERVICE IN RESPECT TO THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS OR EXTENSIONS OF THE PROJECT OR ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN PERMISSION BY tk studio, llc FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT THE OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO tk studio, llc AND OWNERS SHALL INDEMNIFY AND HOLD HARMLESS tk studio, llc FROM CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

REVISIONS		
NO.	DESCRIPTION	DATE
01	ISSUED FOR PERMIT	03.07.24

SHEET TITLE: GENERAL PROJECT INFORMATION, SHEET INDEX, LOCATION MAP, SYMBOLS, CODE SUMMARY

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DATE: 02-22-24
SCALE: AS SHOWN
DESIGNED BY: TCP
DRAWN BY: DTP
CHECKED BY: TCP

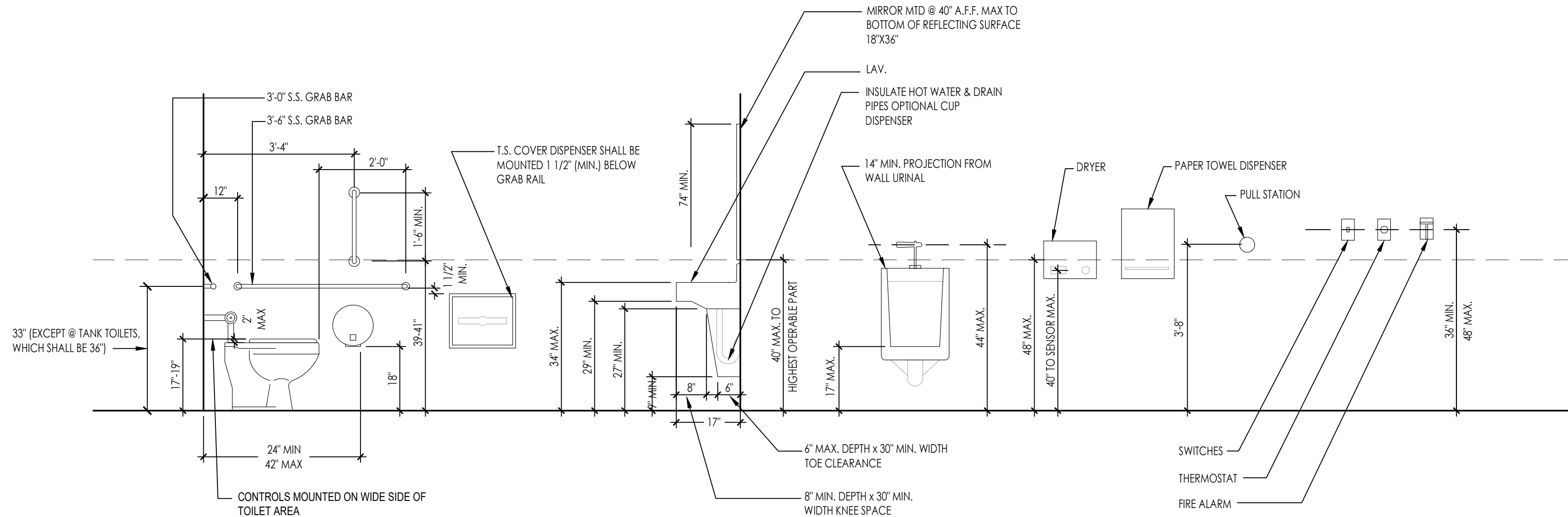
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GENERAL NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS INCLUDING FLOOR ELEVATIONS AND ADJACENT GRADES PRIOR TO ANY DESIGN OR CONSTRUCTION WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS OF ANY CONDITIONS WHICH MAY INTERFERE WITH THE PROPER EXECUTION OF CONSTRUCTION PRIOR TO BIDDING AND START OF CONSTRUCTION. CHANGE ORDERS OR EXTRAS WILL NOT BE ALLOWED FOR OBSERVABLE EXISTING CONDITIONS AFTER COMMENCEMENT OF CONSTRUCTION.
- REFER TO ALL ARCHITECTURAL, PLUMBING, ELECTRICAL, AND/OR SPECIALTY DRAWINGS FOR ANY ADDITIONAL INFORMATION AND FOR COORDINATION PURPOSES.
- ALL CONTRACTORS ARE REQUIRED TO VISIT THE SITE AND REVIEW ALL CONSTRUCTION DOCUMENTS PRIOR TO BIDDING TO FULLY UNDERSTAND THE SCOPE AND SCALE OF WORK REQUIRED, AND TO DETERMINE THAT ALL WORK CAN BE ACHIEVED IN A COMPLETE MANNER UNDER THEIR BID.
- CONTRACTOR SHALL VERIFY AND NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES, CONFLICTS IN LOCATION OF NEW CONSTRUCTION, OMISSIONS IN DRAWINGS AND/OR JOB CONDITIONS AS SOON AS POSSIBLE, PRIOR TO WORK CONTINUING IN THAT AREA.
- ALL CONSTRUCTION AND INSTALLATION SHALL CONFORM TO ALL CURRENT APPLICABLE FEDERAL, STATE AND LOCAL ORDINANCES, CODES, OWNER REQUIREMENTS, AND PROJECT DOCUMENTS. WHEN CONFLICT OCCURS MOST RESTRICTIVE REQUIREMENT PREVAIL. CHANGES, CHANGE ORDERS OR EXTRAS WILL NOT BE ALLOWED FOR CODE COMPLIANCE CONDITIONS AFTER BIDDING AND COMMENCEMENT OF CONSTRUCTION.
- GENERAL CONTRACTOR SHALL REVIEW DRAWINGS FOR ACCURACY PRIOR TO BEGINNING OF WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FOUND. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED DURING CONSTRUCTION SHOULD CHANGES BE REQUIRED FOR DISCREPANCIES OF WHICH THE ARCHITECT WAS NOT NOTIFIED.
- ALL CONSTRUCTION DOCUMENTS, INCLUDING DRAWINGS AND SPECIFICATIONS, ARE THE SOLE PROPERTY OF THE ARCHITECT AND ANY UNAUTHORIZED, INCORRECT, OR ADDITIONAL USE OF THESE DOCUMENTS IS PROHIBITED. ANY USE OF THESE DOCUMENTS FOR ANY REASON OTHER THAN EXPRESSLY MENTIONED IN THE DOCUMENTS, MUST BE AUTHORIZED IN WRITING BY THE ARCHITECT.
- ARCHITECT AND ENGINEER CANNOT BE RESPONSIBLE FOR ERRORS, DELAYS OR OMISSIONS BY THE CONTRACTOR OR HIS AGENTS. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL CONTRACT DOCUMENTS, THE VARIOUS TRADES UNDER HIS CONTRACT, FOR COORDINATION WITH OTHER SUBCONTRACTORS ON THE SITE, AND WITH THE OWNER TO ASSURE EXPEDITED COMPLETION OF THE WORK.
- CONTRACTOR TO COORDINATE WITH OWNER AND OBTAIN LIST OF PRE-APPROVED CONTRACTORS, VENDORS, AND / OR SUPPLIERS, IF PRE-APPROVAL IS REQUIRED BY OWNER, CONTRACTOR TO UTILIZE APPROVED CONTRACTORS, VENDORS, AND / OR SUPPLIERS PER OWNER REQUIREMENTS.
- ALL CONTRACTORS SHALL OBTAIN ALL REQUIRED LICENSES, BONDS, AND PERMITS PRIOR TO START OF CONSTRUCTION. TOWNSHIP BUILDING PERMITS WILL HAVE NO FEE ASSOCIATED.
- CONTRACTOR SHALL CARRY ALL NECESSARY PROPERTY DAMAGE, PUBLIC LIABILITY, DISABILITY AND WORKMENS COMPENSATION INSURANCE AS REQUIRED BY JOB CONDITIONS AND OWNERS REQUIREMENTS TO PROTECT ALL PARTIES INVOLVED AGAINST CLAIMS DUE TO CONTRACTORS NEGLIGENCE. CONTRACTOR TO LIST OWNER AS ADDITIONALLY INSURED ON CERTIFICATE OF INSURANCE. COPIES SHALL BE SUBMITTED TO OWNER PRIOR TO WORK COMMENCING.
- ARCHITECT IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION.
- CONTRACTOR IS TO PROVIDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE WORK AS SHOWN OR ILLUSTRATED IN PROJECT CONSTRUCTION DOCUMENTS/PLANS. IF ITEMS ARE NOT SHOWN WITHIN THE DOCUMENTS/PLANS WHICH WOULD NOT ALLOW A FINISH PRODUCT FOR THE TOILET ROOMS TO FUNCTION OR OPERATE CORRECTLY, THE CONTRACTOR SHALL ASSUME SUCH ITEM

- CONSTRUCTION METHOD IS NECESSARY AND SHALL BE INCLUDED WITHIN THE BID PRICE.
- LIMITED CONSTRUCTION SUPERVISION IS PROVIDED BY THE ARCHITECT ON THIS PROJECT. RFIS SHOULD BE SENT TO ENGINEER.
- DO NOT SCALE DRAWINGS - WRITTEN DIMENSIONS TAKE PRECEDENCE.
- LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE. DETAILS TAKE PRECEDENCE OVER ALL. CONTRACTOR SHALL NOTIFY ARCHITECT AND ENGINEER OF CONFLICTS IN WRITING PRIOR TO START OF CONSTRUCTION IN THE AREA AFFECTED.
- CONTRACTOR SHALL NOT SCALE DRAWINGS AND SHALL VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH PROCUREMENT OF MATERIALS REQUIRED TO BE ACCURATELY FITTED TO THE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL SUCH MEASUREMENTS AND FOR THE PRECISE FITTING OF THE WORK.
- ALL DIMENSIONS ARE FROM FACE OF STUD, FACE OF MASONRY, FACE OF ALUMINUM FRAME, OR FACE OF EXISTING CONSTRUCTION, UNLESS NOTED OTHERWISE. ALL EXTERIOR DIMENSIONS ARE "NOMINAL"; ALL INTERIOR DIMENSIONS ARE "ACTUAL". ALL CLEAR DIMENSIONS ARE TO BE WITHIN 1/8" +/- ALONG FULL HEIGHTS AND FULL WIDTHS OF WALLS. CONTRACTOR SHALL NOT ADJUST ANY DIMENSION MARKED "HOLD", "HLD", "CLEAR", OR "CLR" WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT OR ENGINEER.
- MAINTAIN CLEANLINESS OF COMMON AND EXTERIOR SPACES DURING CONSTRUCTION.
- MAINTAIN ACCESSIBLE PATH OF TRAVEL AND RELOCATED ACCOMMODATIONS DURING CONSTRUCTION.
- FIRE RATED ASSEMBLIES:
 - CONTRACTOR RESPONSIBLE TO IDENTIFY AND MAINTAIN ALL FIRE RATED ASSEMBLIES.
 - INSTALL SAFING INSULATION IN ALL EXPANSION JOINTS THROUGH THE FLOOR AND ROOF SLABS. INSULATION BLANKET AT ALL RATED ASSEMBLIES.
 - ALL PENETRATIONS THROUGH RATED ASSEMBLIES, FIRESTOPPED, AND SEALED AS REQUIRED TO PROVIDE THE ASSEMBLY RATING DESIGNATED.
 - ALL FIRE RATED ASSEMBLIES WITH RECESSED WALL CONDUITS, DUCTS, PIPING, FIRE EXTINGUISHER CABINETS, PAPER TOWEL DISPENSER, ETC., SHALL BE RATED.
- FLOOR ASSEMBLIES:
 - FIRST FINISH FLOOR ELEVATION ESTABLISHED AT ELEVATION 00'-0".
 - FINISHED FLOOR ELEVATIONS ARE FROM THE FACE OF THE FINISHED SUBSTRATE, I.E. CONCRETE DECK, CONCRETE SLAB, WOOD DECKING, ETC., OR FACE OF EXISTING FINISH.
 - TYPICAL FLOOR CONSTRUCTION TO CONSIST OF 4" WIRE OR FIBER REINFORCED CONCRETE ABOVE COMPACTED SUBGRADE, 4" OF DRAINAGE FILL, AND 10 MIL VAPOR BARRIER. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
 - ALL FLOORS SHALL BE LEVEL WITHIN 1/8 INCH TOLERANCE IN 10 FEET. SMOOTH AND SEALED UNLESS ACCEPT INTERIOR FINISHES. IF A LEVELING AGENT IS USED IT MUST BE PRE-APPROVED TO COMPLY WITH ALL FINISH SPECIFICATIONS AND REQUIREMENTS.
 - ALL TRANSITIONS MUST BE SMOOTH AND FLUSH.
- ROOF ASSEMBLIES:
 - CONTRACTOR TO PERFORM ALL WORK IN COMPLIANCE WITH ROOF ASSEMBLY MANUFACTURER'S WRITTEN WARRANTY.
 - GENERAL CONTRACTOR OR GENERAL CONTRACTOR'S SUB-CONTRACTORS SHALL NOT FASTEN OR PENETRATE ROOF DECK, NO SCREWS, RIVETS, NAILS OR SIMILAR ANCHORING DEVICES SHALL BE USED UNLESS NOTED OTHERWISE.
 - ALL PENETRATIONS THROUGH ROOF ASSEMBLIES, I.E. CONDUITS, DUCTS, PIPING, ETC., SHALL BE SLEEVED, FIRESTOPPED, AND SEALED AS REQUIRED TO PROVIDE THE ASSEMBLY RATING DESIGNATED AND SHALL BE WATER TIGHT.
 - CONTRACTOR SHALL PROVIDE ANY REQUIRED SUPPORTS, FIRE TREATED BLOCKING, TEMPORARY FLASHINGS, COUNTER FLASHING OR OTHER WORK NECESSARY TO COMPLETE INSTALLATION OF EQUIPMENT ON OWNER'S

- ROOF, CANT STRIPS AND WEATHERPROOFING SHALL BE DONE ONLY BY CONTRACTOR APPROVED / CERTIFIED TO WORK ON ROOF ASSEMBLY BY ASSEMBLY MANUFACTURER.
- MILLWORK, EQUIPMENT, FIXTURES, ETC.:
 - ALL MILLWORK TO BE STANDARD HEIGHT, UNLESS ADA COMPLIANCE IS SPECIFIED BY THE OWNER OR IN THE CONSTRUCTION DOCUMENTS, WHEN ADA COMPLIANCE IS SPECIFIED, RESTROOM AND KITCHEN COUNTERTOPS SHALL BE 34" ABOVE FINISH FLOOR (MAX.). REFER TO MOST CURRENT ADA MANUAL FOR ADDITIONAL REQUIREMENTS.
 - TOP SURFACE OF RESTROOM AND KITCHEN / KITCHENETTE COUNTERTOPS TO BE 34" ABOVE FINISH FLOOR.
 - CUSTOM COUNTERTOP FABRICATORS ARE RESPONSIBLE FOR FIELD VERIFICATION PRIOR TO FABRICATION.
 - COORDINATE ALL EXPOSED MILLWORKS, TO INCLUDE BUT NOT BE LIMITED TO: BASE CABINETS, WALL CABINETS, AND COUNTERTOPS WITH OWNER.
 - CONTRACTOR TO PROVIDE FIRE-TREATED WOOD OR NON-COMBUSTIBLE BLOCKING FOR ALL WALL MOUNTED AND CEILING MOUNTED ITEMS - TYPICAL THROUGHOUT.
 - THE CONTRACTOR SHALL VERIFY THE REQUIREMENTS FOR ALL EQUIPMENT INDICATED ON THE DRAWINGS WHETHER SUPPLIED BY THE OWNER OR THE CONTRACTOR.
 - CONTRACTOR TO PROVIDE FINAL CONNECTION OF ALL OWNER SUPPLIED EQUIPMENT AND SIGNAGE UNLESS NOTED OTHERWISE.
 - WHERE ITEM IS TO BE WALL HUNG AND IS NOT INSTALLED BY CONTRACTOR, MARK SURFACE OF PARTITION USING REMOVABLE PAINTER'S TAPE TO INDICATE LOCATIONS OF IN-WALL BLOCKING PROVIDED.
- MECHANICAL ELECTRICAL AND PLUMBING:
 - VERIFY LOCATION AND SIZE OF ALL RECESSES, PLUMBING SEALED AND MECHANICAL SHAFTS PRIOR TO CONSTRUCTION.

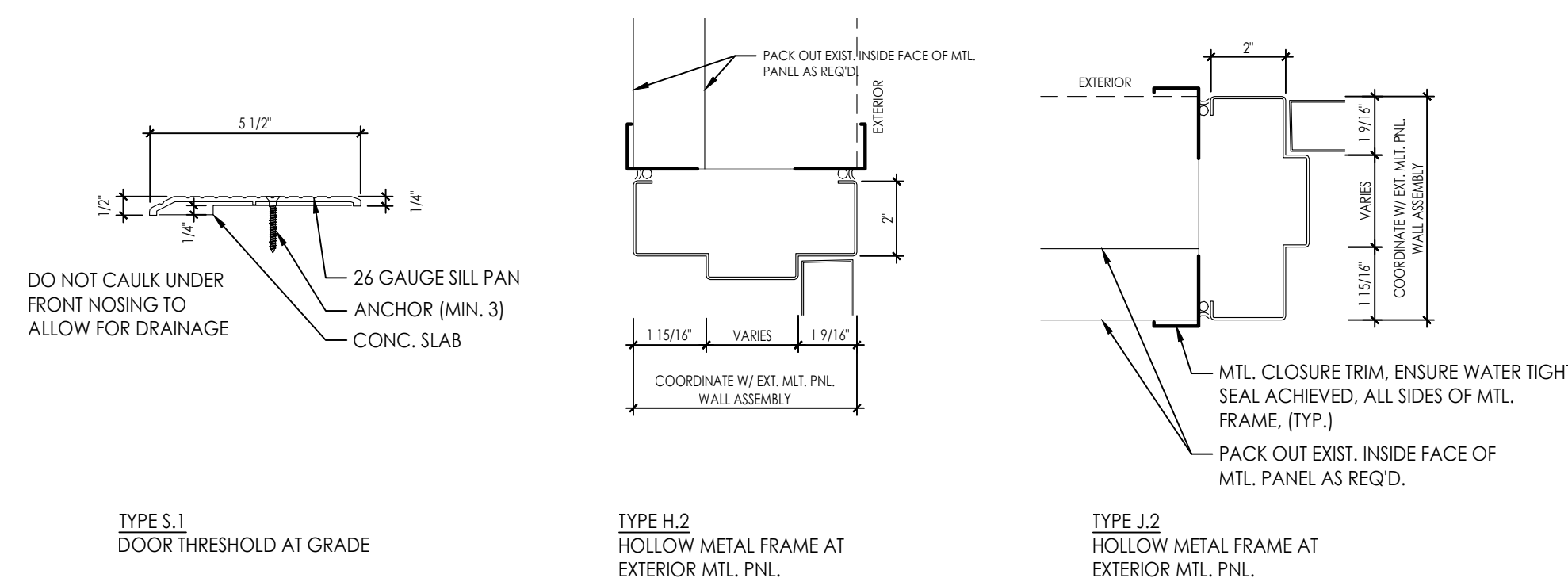
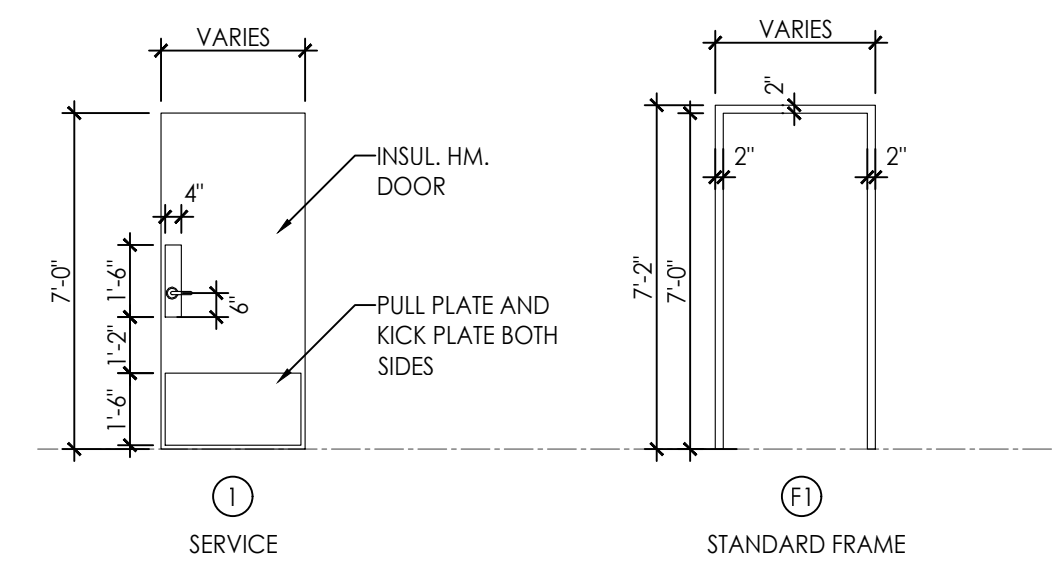


ADA NOTES

THE GENERAL CONTRACTOR SHALL ACQUAINT HIMSELF WITH THE BARRIER FREE REQUIREMENTS FOR THE APPLICABLE STATES AND THE AMERICAN DISABILITIES ACT (ADA) AND SHALL ENSURE THAT THIS FACILITY WILL BE ACCESSIBLE ACCORDING TO THE STRICTER REQUIREMENTS OF THE APPLICABLE STANDARDS. THE FOLLOWING IS A PARTIAL LIST OF REQUIREMENTS.

- DOOR HARDWARE SHALL BE MOUNTED BETWEEN 36" AND 42" ABOVE FLOOR AND BE LEVER TYPE.
- TOILETS:
 - LAVATORY TO HAVE LEVER HANDLES, SELF METERING FAUCETS OR SPRING FAUCET. FAUCETS SHALL BE SET TO REMAIN OPEN FOR 10 SECONDS MINIMUM.
 - A COAT HOOK 48" ABOVE THE FLOOR SHALL BE MOUNTED ADJACENT TO THE BARRIER FREE STALL DOOR.
 - LOCATE THE WATER CLOSET 16" TO 18" FROM THE CENTER LINE OF THE FIXTURE TO THE WALL. THE SEAT WILL BE 17" TO 19" ABOVE THE FLOOR TO THE TOP OF SEAT. FLUSH HANDLE TO BE ON EXPOSED SIDE OF WATER CLOSET.
 - PROVIDE ONE 42" AND ONE 36" LONG x 1 1/2" OUTSIDE DIAMETER PEENED GRAB BARS, 1 1/2" FROM THE WALL WITH ONE BEHIND AT 12" FROM CENTER LINE OF WATER CLOSET ON ONE SIDE.
 - LAVATORY TO BE MOUNTED 34" MAX. ABOVE THE FINISHED FLOOR TO RIM WITH KNEE SPACE OF 30" IN WIDTH AND 27" IN CLEAR HEIGHT. (29" CLEAR UNDER FRONT EDGE)
 - INSTALL MIRROR 40" MAX. ABOVE THE FINISHED FLOOR TO BOTTOM EDGE OF REFLECTING SURFACE (MIRROR GLASS BOTTOM) AND 72" TO TOP.
 - DISPENSERS TO BE MOUNTED A MAXIMUM OF 42" ABOVE THE FLOOR TO ALL OPERATING OR DISPENSING SLOTS.
 - TOILET PAPER DISPENSERS MOUNTED 19" MIN. TO CENTER LINE ABOVE THE FLOOR AND 7" MINIMUM AND 9" MAXIMUM FROM FRONT EDGE OF WATER CLOSET MEASURED TO THE CENTERLINE OF THE DISPENSER

4 ADA ACCESSIBILITY DETAILS
SCALE: 1/2" = 1'-0"



3 DOOR TYPE
SCALE: 1/4" = 1'-0"

2 FRAME TYPE
SCALE: 1/4" = 1'-0"

1 FRAME AND THRESHOLD PROFILES @ MAS. WALL
SCALE: 3" = 1'-0"

GENERAL DOOR NOTES:

- CONFIRM ALL KEYING & HARDWARE FUNCTIONS W/ OWNER - ALL HDW TO BE 34"-48" AFF
- ALL DOORS TO HAVE DOOR SILENCERS
- PROVIDE DOOR STOPS FOR ALL DOORS AS REQUIRED
- PER ANS I 117.1.1, ALL THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 1/2" IN HEIGHT. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES SHALL BE LEVELED WITH A SLOPE NO GREATER THAN 1:12.
- PER ANS I 117.1.1, ANY DOOR WITH A CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE DOOR WILL TAKE AT LEAST 5 SECONDS TO MOVE TO AN OPEN POSITION OF 12 DEGREES. DOORS WITH SPRING HINGES SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR SHALL MOVE TO THE CLOSED POSITION IN 15 SECONDS MINIMUM.

DOOR/FRAME SPECIFICATIONS:

"HM" DOOR: 16 GA. GALV. STEEL, HEAVY DUTY TO EXTRA HEAVY DUTY. KRAFT HONEYCOMB CORE (POLYSTYRENE INSULATED CORE AT EXTERIOR LOCATIONS) LAMINATED TO BOTH PANELS, FACTORY PRIMED FOR FIELD APPLIED PAINTED FINISH. 14 GA. STL. CHANNEL TOP AND BOTTOM RAILS, 7 GA. HINGE REINFORCEMENT, 16 GA. LOCK REINFORCEMENT, 14 GA. CLOSER REINFORCEMENT (COORD. HARDWARE PREP. W/ HARDWARE SETS).

"HM" DOOR FRAMES: 16 GA. STL. [14 GA. GALV. STEEL AT EXTERIOR LOCATIONS]. [3] DOOR SILENCERS PER STRIKE JAMB OF FRAME. DOUBLE DOORS [2] DOOR SILENCERS AT HEAD OF FRAME. [3] ANCHORS PER JAMB. FACTORY PRIMED FOR FIELD APPLIED PAINTED FINISH. REINFORCED MITERED CORNERS. 7 GA. HINGE REINFORCEMENT FOR STANDARD, OR HEAVY, WEIGHT HINGES. 16 GA. STRIKE REINFORCEMENT. CWB FRAMES MAY BE "KNOCKED-DOWN."

HARDWARE NOTES:

- ALL PROTECTION PLATES TO BE BEVELED ON [4] EDGES.
- EXIT DOORS SHALL BE OPERATIONAL FROM INSIDE WITHOUT USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT.
- ALL DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATION DEVICES SHALL BE CAPABLE OF OPERATING WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48 INCHES ABOVE FINISH FLOOR.
- DOOR CLOSERS AT NON-FIRE RATED DOORS SHALL MEET A MAXIMUM OF 5-LBS. OPENING FORCE. THIS DOES NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT HOLD THE DOOR IN THE LATCHED POSITION.
- THRESHOLDS: CHANGES IN LEVEL GREATER THAN 1/4" IN HEIGHT AND NOT MORE THAN 1/2" MAX. IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.
- GENERAL CONTRACTOR TO COMPLETE INSTALLATION OF ALL LOCKING HARDWARE AND PERMANENT CORES PRIOR TO TURNOVER DATE.
- ALL EXPOSED HARDWARE FINISHES TO BE (UON): SATIN NICKEL ALL DOORS SHALL CONFORM TO APPLICABLE SECTIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA).
- CONTRACTOR SHALL SUBMIT DOOR & HARDWARE SCHEDULE FOR REVIEW BY THE ARCHITECT AND THE BUILDING MANAGEMENT PRIOR TO PROCEEDING WITH THE WORK. CONTRACTOR SHALL COORDINATE HARDWARE TYPES AND KEYING COMPATIBILITY WITH OWNER PRIOR TO SUBMISSION OF HARDWARE SCHEDULE.
- CONTRACTOR SHALL REVIEW THE KEYING OF THE LOCKSETS DIRECTLY WITH THE BUILDING MANAGEMENT AND THE TENANT AND ALL LOCKSETS SHALL BE INCLUDED IN THE BID PRICE.
- DOORS WITH CLOSERS SHALL INCLUDE INTERNAL BLOCKING, THROUGH FASTENERS WILL NOT BE ACCEPTABLE.
- ALL DOORS SHALL RECEIVE COMPLETE HARDWARE PACKAGES INCLUDING SILENCERS, STOPS AND APPROPRIATE TRIM PIECES. STOPS SHALL BE LOCATED AT FLOOR WHERE PRACTICABLE SO AS TO AVOID ANY TRIPPING HAZARD, OR ON WALL WHERE NOT PRACTICABLE (PROVIDE BLOCKING IN WALL).
- CONTRACTOR TO VERIFY THE FINISH OF ALUMINUM STOREFRONT. STOREFRONT HARDWARE FINISH TO MATCH THE STOREFRONT FINISH.
- CONTRACTOR TO COORDINATE FIRE ALARM CONNECTIONS, IF ANY, WITH THE FIRE ALARM CONTRACTOR.
- BID SHALL INCLUDE ALL POSSIBLE HARDWARE TO ALLOW FOR A PROPER FUNCTIONING HEAVY METAL DOOR. THE MODEL OF THE DOOR SHALL BE EQUAL TO "DE LA FONTAINE" BRAND OR APPROVED EQUAL.

DOOR/OPENING SCHEDULE														
DOOR/OPNG. NUMBER	LOCATION	DOOR/OPNG. TYPE	MATERIAL	WIDTH	HEIGHT	FINISH	GLASS TYPE	FRAME TYPE			FINISH	FIRE RATING (HOURS PER CODE)	HARDWARE	REMARKS/NOTES
								MATERIAL	JAMB	HEAD				
FIRST FLOOR														
101	MEN'S TLT. RM.	1	HM	3'-0"	7'-0"	PT		F1	HM	J.1	H.1	S.1	PT	H.1 1,2,3,4,5,6
102	WOMEN'S TLT. RM.	1	HM	3'-0"	7'-0"	PT		F1	HM	J.1	H.1	S.1	PT	H.1 1,2,3,4,5,6
DOOR NOTES														
1. OWNER TO APPROVE ALL KEYING OPTIONS														
2. DOOR TO HAVE KEVED DEADBOLT														
3. ALL THRESHOLDS TO ADA COMPLIANT PER ICC/ANSI A1117.1-2009														
4. ALL HARDWARE TO BE ADA COMPLIANT LEVER STYLE														
5. FACTORY PRIMED, EXTERIOR GRADE FINISH.														
6. DOOR TO HAVE CLOSER.														

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CLIENT:

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ATLANTIC COUNTY, NJ

UNDERHILL PARK
TLT. RM.
RENOVATIONS

TOWNSHIP OF HAMILTON,
ATLANTIC COUNTY, NJ 08330

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REVISIONS		
NO.	DESCRIPTION	DATE
01	ISSUED FOR PERMIT	03.07.24

SHEET TITLE:
GENERAL NOTES,
ADA ACCESSIBILITY DTLs,
DOOR SCHEDULE
+ MISC. DETAILS

JOB NO:	DESIGNED BY:
1954-03	TCB
DATE:	DRAWN BY:
02-22-24	DTP
SCALE:	CHECKED BY:
AS SHOWN	TCB

DRAWING NUMBER:
A001

TOILET EQUIPMENT SCHEDULE					
CODE	ITEM	MANUFACTURER	PRODUCT #	REMARKS	MOUNTING HEIGHT / REMARKS
A	TOILET PAPER HOLDER	BOBRICK	B-2890	STAINLESS SURFACE MTD.	20" BOTTOM OF UNIT
B	MIRROR	BOBRICK	24" X 42"	ADA CODE COMPLIANT	MTD @ 40" AFF TO BOTTOM OF MIRROR
C	HAND DRYER	BOBRICK	7128	SURFACE MTD.	115V AC
D	VERTICAL GRAB BAR	ASI	3701-18P 18" LG	1 1/2" DIA PEENED GRIP, POLISHED ENDS	SEE TOILET ROOM ELEVATIONS
E	REAR GRAB BAR	ASI	3701-36P 36" LG	1 1/2" DIA PEENED GRIP, POLISHED ENDS	36" TOP OF UNIT
F	SIDE GRAB BAR	ASI	3701-42P 42" LG	1 1/2" DIA PEENED GRIP, POLISHED ENDS	36" TOP OF UNIT
G	TRASH RECEPTACLE	TBD			
H	SOAP DISPENSER	BOBRICK	B-5050	WALL-MOUNTED SOAP DISPENSER WHITE	42" TO CONTROLS
J	TOILET PARTITION	BOBRICK OR EQ.	BUDGET HPL SERIES	FLOOR AND CEILING BRACED MOUNTED STD. HEIGHT.	COLOR TO BE SELECTED BY OWNER INSTALL PER MANUF. SPECS.

NOTES

NOTE A: MOUNT ALL TOILET ACCESSORIES IN STRICT ACCORDANCE W/ THE AMERICAN DISABILITIES ACT

NOTE B: G.C. TO FIELD VERIFY ALL SIZES

NOTE C: PROVIDE ANCHORS AS REQ'D FOR MOUNTING ALL ACCESSORIES

PLUMBING FIXTURE SCHEDULE			ROUGH IN SCHEDULE				REMARKS
FIXTURE	MANUFACTURER & PRODUCT #	TRIM AND ACCESSORIES	HW	CW	WASTE	MOUNTING HT.	
WC.1	WATER CLOSET AMERICAN STANDARD #3461.001	AMERICAN STANDARD 6047.161.002 1.6 GPF FLUSH VALVE CHURCH 94005SCT SEAT	-	1"	3"	FLOOR	COLOR SHALL BE WHITE SYSTEM MAP SCORE: 1000 GRAMS MISO @ 1.6 GPF
UR.1	URINAL AMERICAN STANDARD #6550.001	AMERICAN STANDARD 6045.051.002 1.0 GPF FLUSH VALVE	-	3/4"	2"	24" TO TOP OF RIM	COLOR SHALL BE WHITE
LV.1	WALL MOUNTED LAVATORY AMERICAN STANDARD #9024.004EC	SYMMONS SYMMETRIX 5-20-0.5 FAUCET P-TRAP, GRID STRAINER, DUAL OUTLET ANGLE STOPS RISERS, DRAIN AND SUPPLY ADA INSULATOR KIT.	1/2"	1/2"	1-1/4"	SEE ADA DETAIL THIS SHEET	COLOR SHALL BE WHITE 0.5 GPM FLOW RATE LEAD FREE FAUCET

NOTES

1. ALL FIXTURES TO BE ADA COMPLIANT.

2. ALL OUTLET PIPING WITHIN THE TOILET ROOMS WHICH MAY NEED REPAIR SHALL BE INCLUDED WITHIN THE BID PRICE.

SUPPLEMENTAL A-1
(MECHANICAL) PROVIDE HEATER (1) PER EA. TLT. RM. BASIS OF DESIGN QMARK OR EQ. MODEL QCH1151F, CLG MTD.

NOTES:

- RECESS MOUNTING ENCLOSURE
- TERMOSTATE COF-T
- HEATING ONLY
- ELECTRICAL WORK TO BE INCLUDED WITH BID PRICE.

GENERAL ARCHITECTURAL NOTES:

- READ DRAWINGS IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. REFER ALL DISCREPANCIES TO THE OWNER FOR THE DECISION BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO THE START OF CONSTRUCTION.
- VISIT THE JOB SITE TO VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING ANY WORK. NOTIFY THE ARCHITECT BY FAX (RECORD) AS SOON AS POSSIBLE OF ANY DISCREPANCIES FOR RESOLUTION OF THE ISSUE(S) PRIOR TO THE BEGINNING OF ANY WORK.
- THE CONTRACTOR SHALL LOCATE EXISTING UTILITIES ON AND AROUND SITE PRIOR TO EXCAVATING. THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANY IN THE EVENT UTILITY LINES REQUIRE RELOCATION. THE CONTRACTOR SHALL REPAIR ANY UTILITY LINES DAMAGED BY THE CONTRACTOR IMMEDIATELY AND TO THE SATISFACTION OF THE UTILITY COMPANY.
- IN THE EVENT THAT EXTRAORDINARY CONCEALED CONDITIONS REQUIRING ATTENTION ARE ENCOUNTERED, CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY. A COST ASSESSMENT OF ANY ADDITIONAL EXPENSE NEEDED TO REPAIR THE CONDITIONS WILL BE REQUIRED PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS RELEVANT TO SETTING OUT AND OFF-SITE WORK BEFORE CONSTRUCTION AND FABRICATION IS COMMENCED. DO NOT SCALE THE DRAWINGS UNLESS NOTED OTHERWISE.
- THESE PLANS ARE NOT ISSUED AS A CONSTRUCTION SET UNLESS STAMPED BY ARCHITECT AND A BUILDING PERMIT IS ISSUED BY LOCAL GOVERNING CODE JURISDICTION.
- ALL DIMENSIONS ARE IN FEET, INCHES UNLESS STATED OTHERWISE. ALL FLOOR ELEVATIONS ARE EXPRESSED IN FEET, INCHES.
- UNLESS OTHERWISE INDICATED, PLAN DIMENSIONS ARE TO COLUMN GRID ON CENTERLINES, NOMINAL SURFACE OF MASONRY, FACE OF STUDS AND FACE OF CONCRETE WALLS.
- "FLOOR LINE" REFERS TO TOP OF CONCRETE SLABS. FINISH FLOORING IS INSTALLED ABOVE THE FLOOR LINE. FOR DEPRESSED FLOORS AND CURBS, SEE ARCHITECTURAL DRAWINGS.
- WHERE A DOOR IS LOCATED NEAR CORNER OF ROOM AND IS NOT LOCATED BY DIMENSION ON PLAN OR DETAILS, DIMENSION SHALL BE (3") FROM FACE OF STUD (WALL) TO FACE OF ROUGH OPENING. DIMENSION SHALL BE (6") FROM FACE OF WALL TO EDGE OF ROUGH OPENING AT MASONRY OR CONCRETE WALLS.
- VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT PROVIDED IN THIS CONTRACT, OR BY OTHERS.
- VERIFY SIZE/LOCATION/FINISH/FIRE-RATING, ETC. AND PROVIDE COMPLETE ALL REQUIRED FOR ACCESSORIES, MECHANICAL, ELECTRICAL AND OTHER FURRING, CURBS, ANCHORS AND INSERTS. PROVIDE ALL BASES AND BLOCKING REQUIRED OPENINGS THROUGH FLOORS AND WALLS. ACCESS DOORS.
- WALL TYPES WITH UL DESIGN NO.S SHALL BE CONSTRUCTED TO UL STANDARDS. PRODUCTS USED SHALL BEAR UL CLASSIFICATION WHERE REQUIRED BY THE UL DESIGN.
- MINIMUM STC RATINGS AS INDICATED ON THE DRAWINGS. SEE SHEET A101 FOR ADDITIONAL INFORMATION REGARDING ACOUSTICAL PERFORMANCE MINIMUM STC RATINGS AS INDICATED ON THE DRAWINGS.
- ALL PENETRATIONS AND OPENINGS SHALL MEET WALL ASSEMBLY FIRE RATINGS.
- ALL LISTED WOOD STUD DIMENSIONS THICKNESS ARE MINIMUMS AND ARE PROVIDED AS BASIS-OF-DESIGN. CONTRACTOR TO VERIFY & SUBMIT FINAL PROPOSED DESIGN.
- G.C. TO VISIT THE JOB SITE TO VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING ANY WORK. NOTIFY THE ARCHITECT BY EMAIL (RECORD) AS SOON AS POSSIBLE OF ANY DISCREPANCIES FOR RESOLUTION OF THE ISSUE(S) PRIOR TO THE BEGINNING OF ANY WORK.



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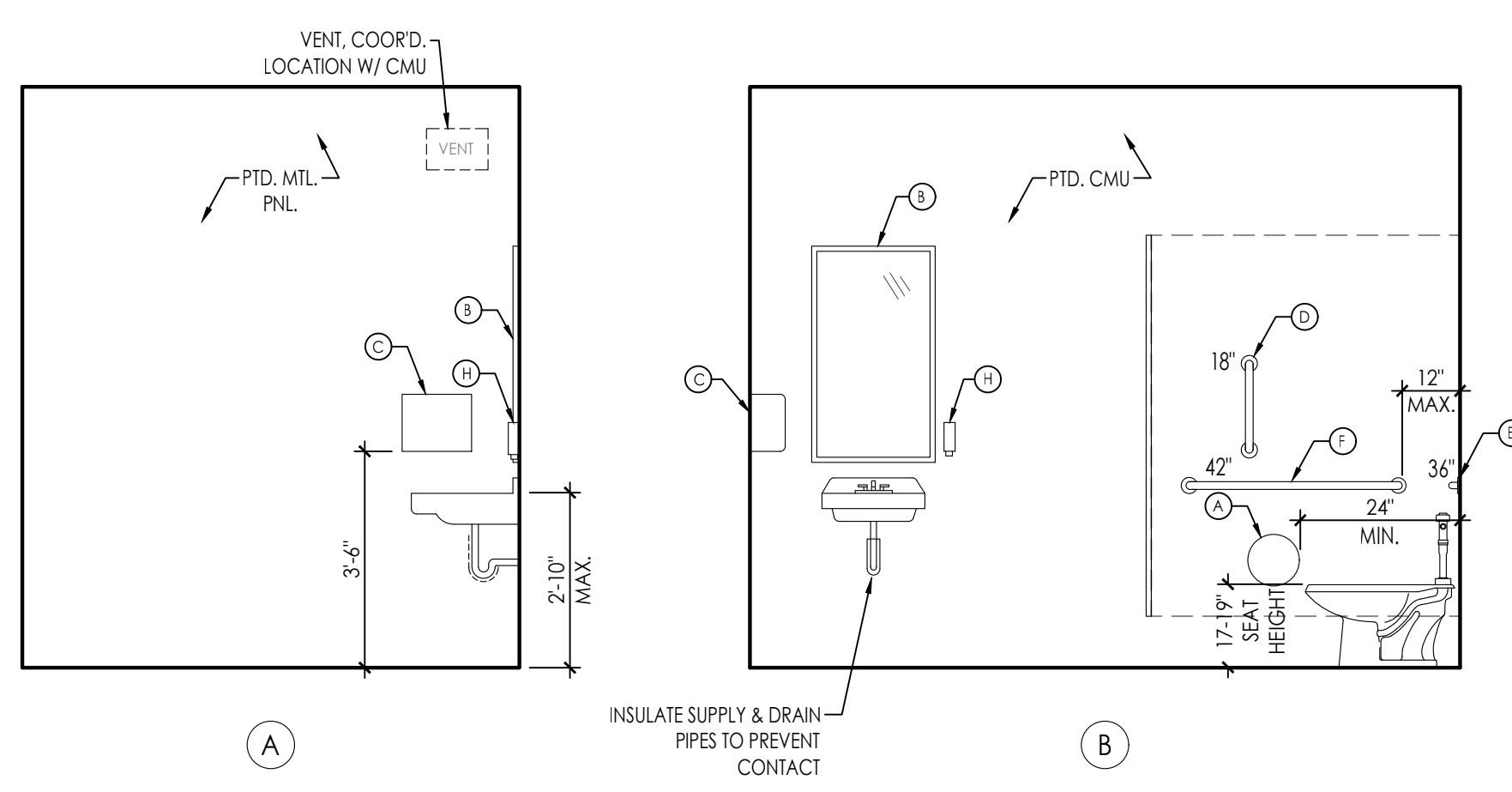
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01	ISSUED FOR PERMIT	03.07.24

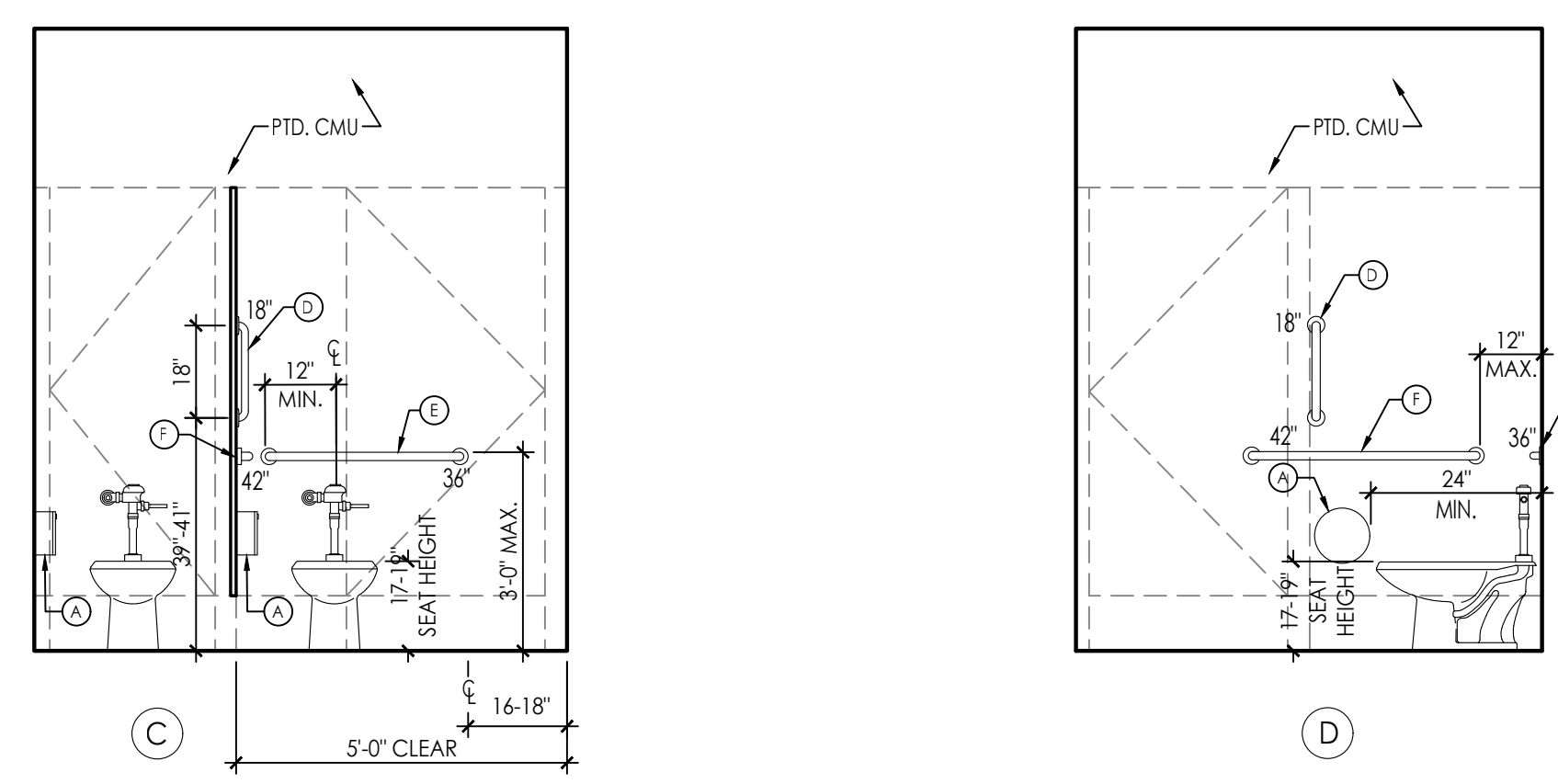
SHEET TITLE:
**TLT. RM PLAN,
DEMOLITION PLAN,
INTERIOR ELEVATIONS
RISERS + NOTES**

JOB NO:	DESIGNED BY:
1954-03	TCP
DATE:	DRAWN BY:
02-22-24	DTP
SCALE:	CHECKED BY:
AS SHOWN	TCP

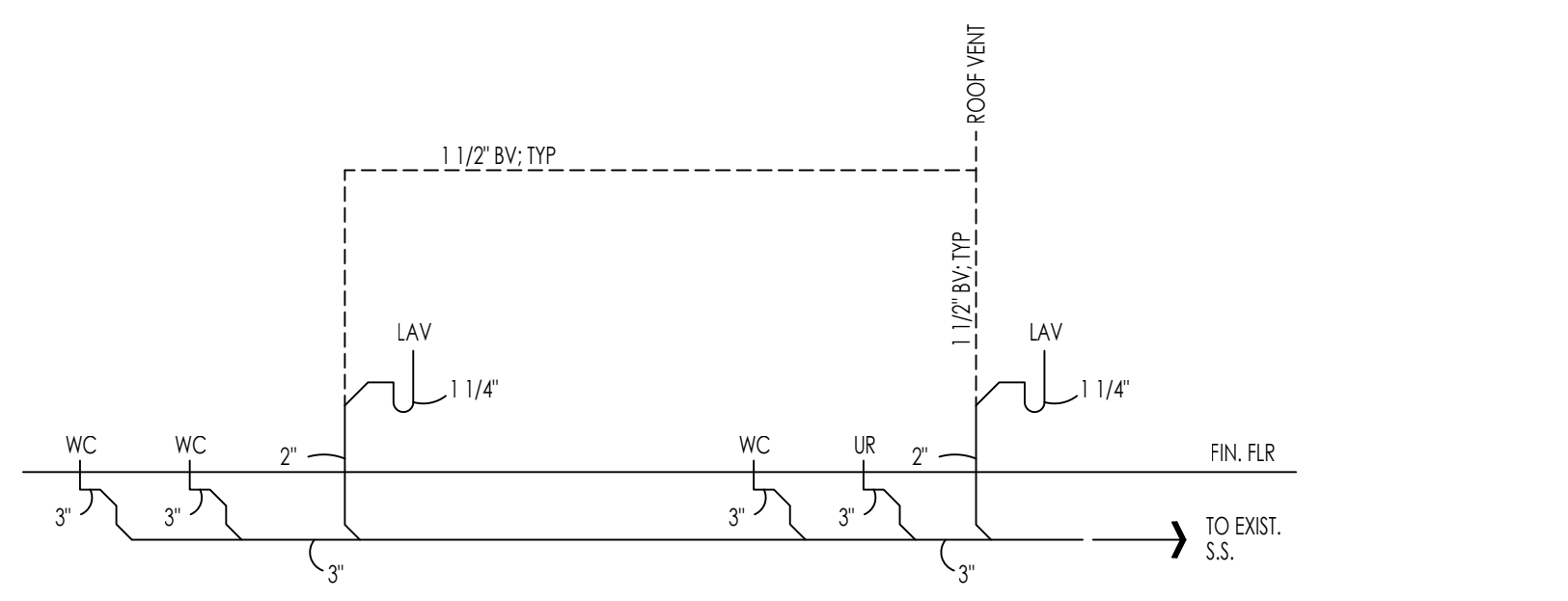
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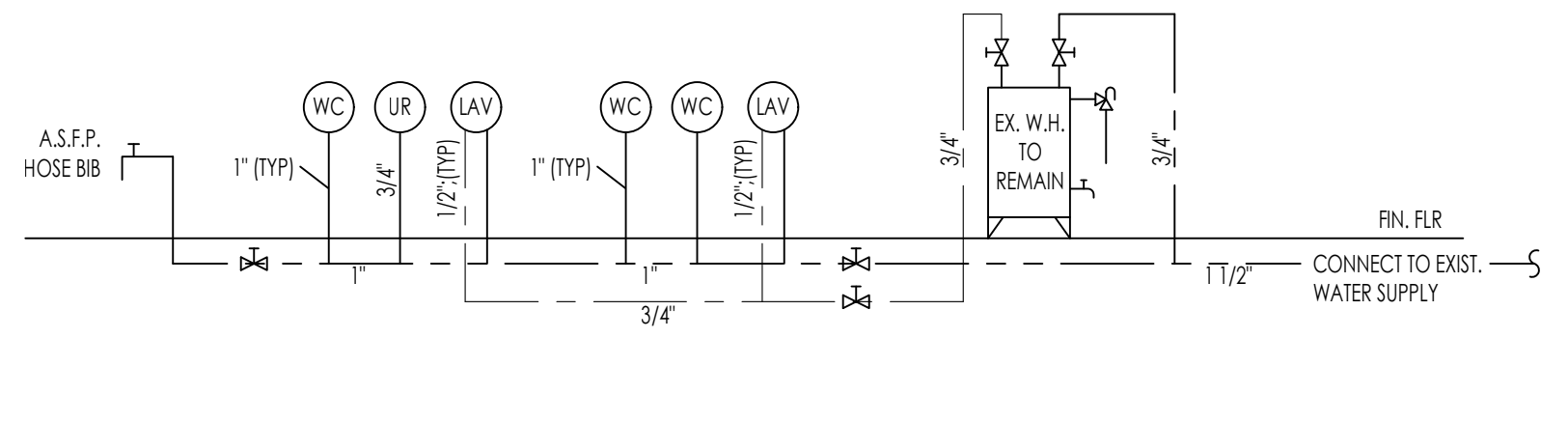
4 INT. ELEVATION - TLT. RM. 102 (WOMEN'S)
SCALE: 3/8" = 1'-0"



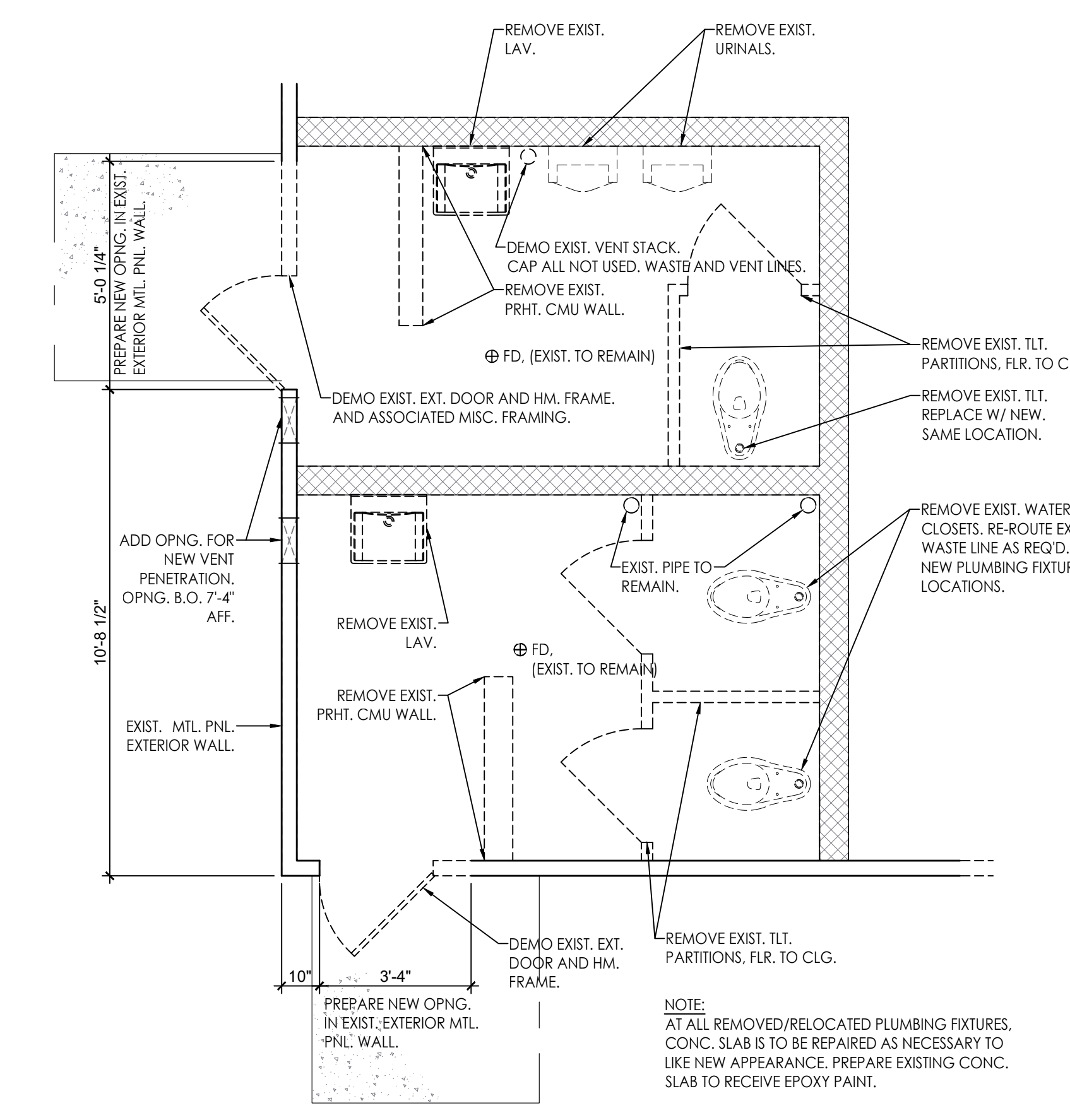
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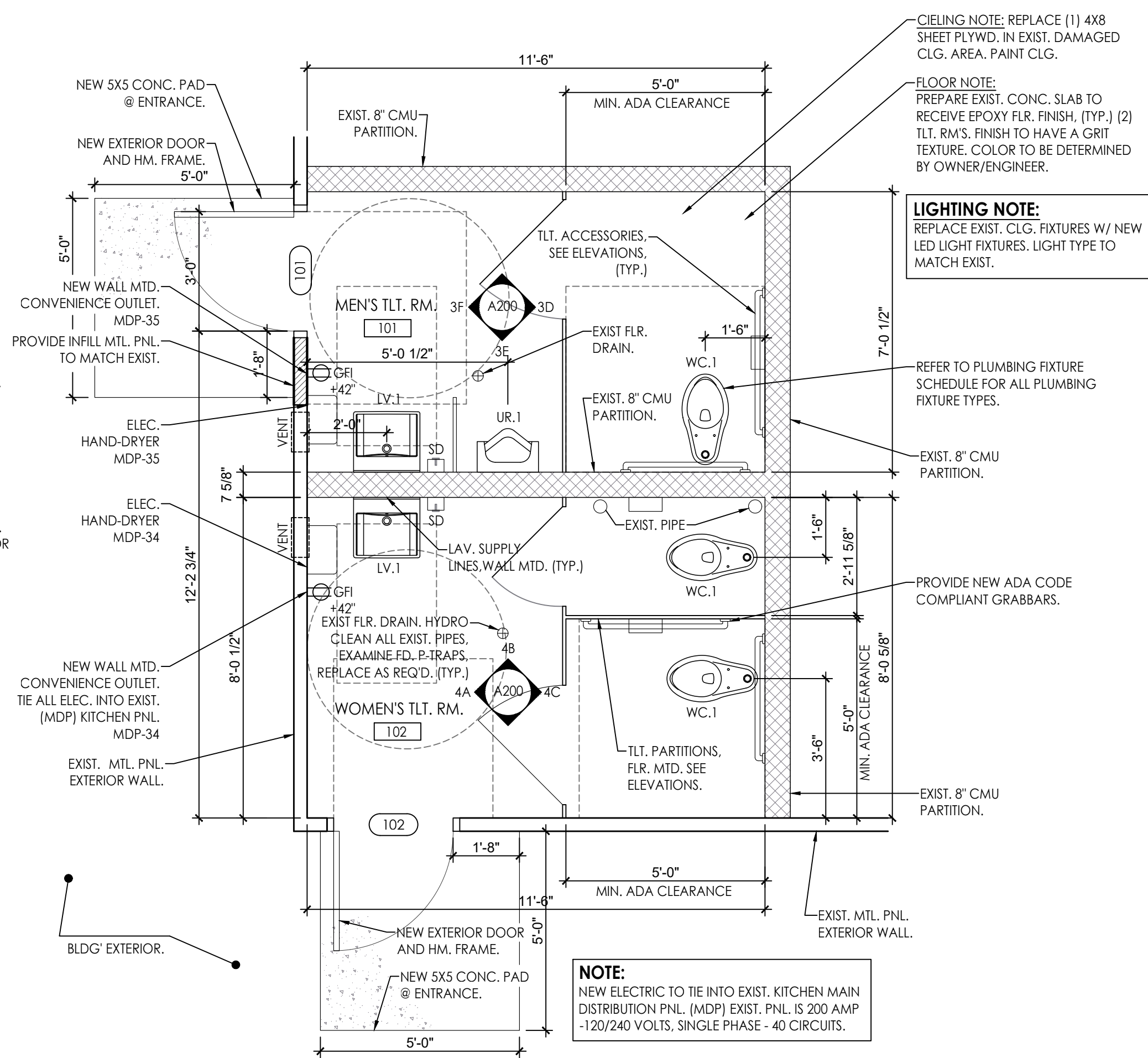
5 SANITARY RISER DIAGRAM
SCALE: NO SCALE



6 DOMESTIC WATER RISER DIAGRAM
SCALE: NO SCALE



2 TLT. RM. DEMOLITION PLAN TO BE DONE BY OTHERS (NOT PART OF BID) (EXISTING CONDITIONS)
SCALE: 3/8" = 1'-0"



1 TLT. RM. (PROPOSED ADA CODE COMPLIANT PLAN)
SCALE: 3/8" = 1'-0"