ALTERATIONS & RENOVATIONS TO:

CAPE MAY COUNTY TECHNICAL SCHOOL ADMINISTRATION BUILDING

188 CREST HAVEN ROAD CAPE MAY COURT HOUSE, NJ 08210

ISSUED FOR BIDDING 10/09/20





SITE MAP: N.T.S.

MMPFA PROJECT #: 20.048

	DRAWING LIST		
SHEET			ISSUED
NO.	SHEET NAME	NO.	DATE
GENERAL			
CO.0	COVER SHEET, DRAWINGS LIST, SITE MAP & RENDERING	1	10/09/20
ARCHITE	CTUR AI		
D1.0		1	10/09/20
AO.1		1	10/09/20
A1.0	FIRST FLOOR PLAN, ROOF PLAN & NOTES	1	10/09/20
A1.1	REFLECTED CEILING PLAN & LEGENDS	1	10/09/20
A1.2	DOOR & FRAME TYPES, WINDOW TYPES & SCHEDULES	1	10/09/20
A2.0	BUILDING ELEVATIONS	1	10/09/20
A2.1	BUILDING SECTIONS	1	10/09/20
A3.0	WALL SECTIONS	1	10/09/20
A3.1	DETAILS	1	10/09/20
A4.0	INTERIOR ELEVATIONS & DETAILS	1	10/09/20
MECHANI MO.1	CAL HVAC LEGEND AND SCHEDULES	1	10/09/20
MO.2	HVAC DETAILS AND CONTROLS SEQUENCE	1	10/09/20
MO.5	FIRST FLOOR HVAC DEMO PLAN	1	10/09/20
M1.0	FIRST FLOOR HVAC PLAN	1	10/09/20
ELECTRIC			
EO.1	ELECTRICAL LEGEND	1	10/09/20
E1.0	ELECTRICAL REMOVAL PLAN	1	10/09/20
E2.0	ELECTRICAL LIGHTING PLAN	1	10/09/20
E3.0	ELECTRICAL POMER AND SYSTEMS PLAN	1	10/09/20
E4.0	PANEL SCHEDULE	1	10/09/20
PLUMBING	5		
P1.0	PLUMBING PLANS	1	10/09/20
P2.0	PLUMBING SCHEDULE, DETAILS, AND LEGEND	1	10/09/20

PROJECT SUMMARY

THE EXISTING +/-4,800 S.F. CAPE MAY TECHNICAL SCHOOL ADMINISTRATION OFFICE BUILDING SHALL BE ALTERED AND RENOVATED TO MEET THE CHANGING NEEDS OF THE DISTRICT. RESTRUCTURING OF THE INTERIOR LAYOUT ACCOMMODATES NEW PRIVATE OFFICES FOR STAFF, A CENTRALLY LOCATED CONFERENCE ROOM, AND A SECURE ENTRANCE LOBBY. ALL NEW INTERIOR FINISHES ARE PROPOSED. THE HVAC, LIGHTING, AND POWER WILL UNDERGO UPGRADES TO MATCH THE NEW LAYOUT.

AESTHETIC EXTERIOR UPGRADES ARE PROPOSED TO ELEVATE THE OVERALL BUILDING PRESENCE. NEW SIDING, TRIM, AND WINDOWS ARE INCLUDED FOR THE ENTIRE BUILDING. RAISED GABLE ROOFS BREAK-UP THE EXISTING FACADE FACING THE HIGH SCHOOL. THE BUILDING REMAINS A BUSINESS USE OCCUPANCY WITH NO CHANGE PROPOSED TO THE OCCUPANT LOAD OR THE 5B CONSTRUCTION TYPE. TWO ACCESSIBLE EXITS REMAIN

PROPOSED PLUMBING FIXTURE MODIFICATIONS COMPLY WITH CURRENT PLUMBING CODE MINIMUM FIXTURE COUNT FOR ACTUAL BUILDING OCCUPANCY.

IN PLACE WITH NEW ACCESSIBLE ROUTES SHOWN.

MEP ENGINEER



10/09/20 ISSUED FOR BIDDING

ALL REPORTS, PLANS, SPECIFICATIONS AND COMPUTER FILES RELATING TO THIS PROJECT ARE THE PROPERTY OF MANDERS MERIGHI PORTADIN FARRELL. MMPF RETAINS ALL COMMON LAW, STATUTE AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THERETO. REPRODUCTION OF THE MATERIAL HEREIN OR SUBSTANTIAL USE WITHOUT WRITTEN PERMISSION OF MMPF VIOLATES THE COPYRIGHT LAWS OF THE UNITED STATES AND WILL BE SUBJECT TO LEGAL PROSECUTION.

© 2020, MANDERS MERIGHI PORTADIN FARRELL ARCHITECTS, LLC

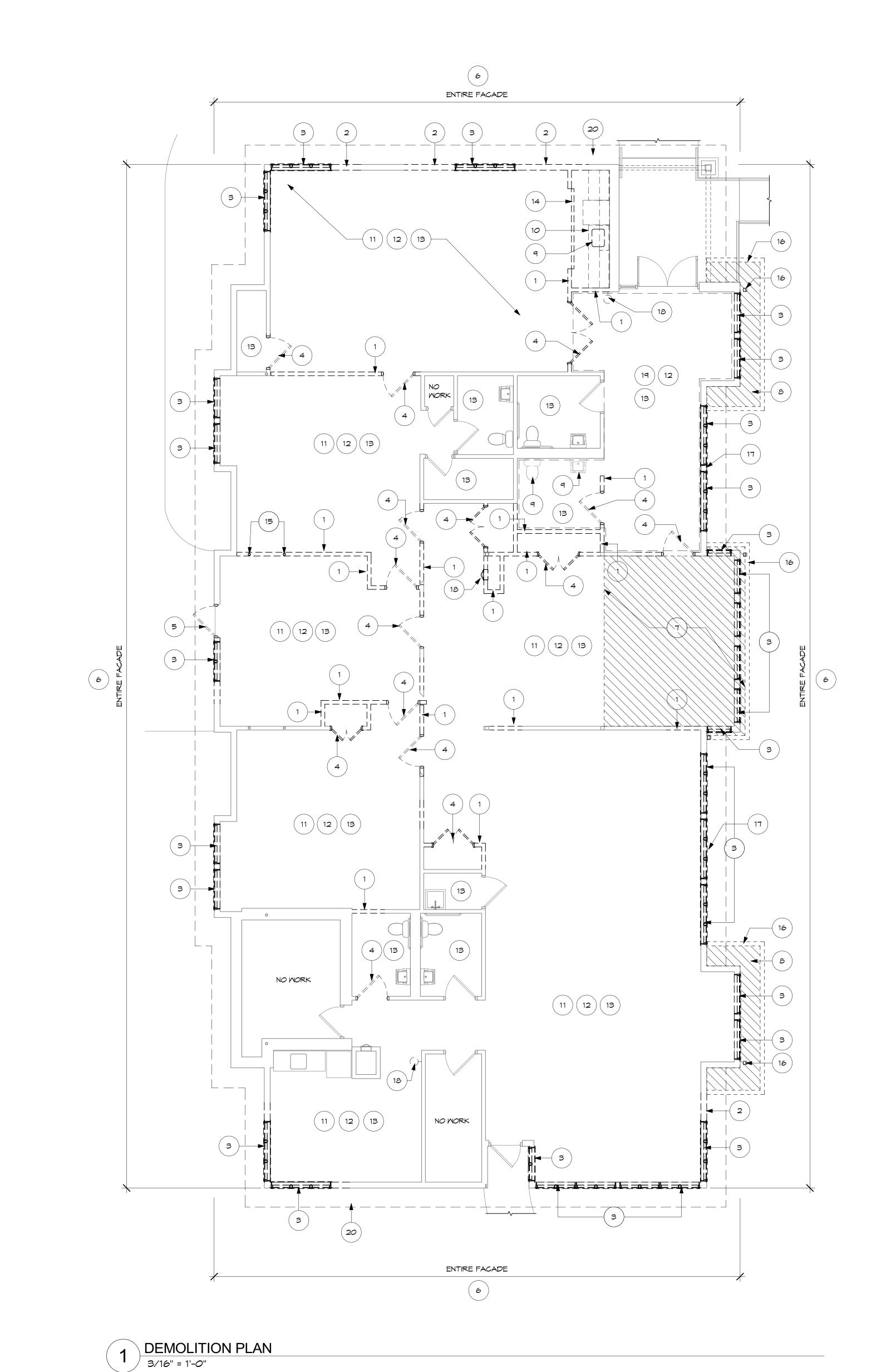


Manders Merighi Portadin Farrell Architects, LLC 1138 East Chestnut Avenue p. 856 696 9155 | f. 856 696 9080 www.mmpfa.com David G. Manders AIA Lawrence J. Merighi AIA AI-07473 Ronald P. Portadin AIA Peter W. Farrell AIA Al-13618

ALTERATIONS & RENOVATIONS TO: CAPE MAY COUNTY TECHNICAL SCHOOL **ADMINISTRATION BUILDING** 188 CREST HAVEN ROAD CAPE MAY COURT

HOUSE, NJ 08210

COVER SHEET, DRAWINGS LIST, SITE MAP & RENDERING



DEMOLITION NOTES

THE INTENT OF THE DEMOLITION PLAN IS TO SHOW THE GENERAL NATURE OF THE DEMOLITION SCOPE, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VISITING THE JOB SITE AND VERIFYING THE EXISTING CONDITIONS. THE GENERAL CONTRACTOR SHOULD NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.

RELEASE / REVISION

10/09/20 ISSUED FOR BIDDING

DEMOLITION WORK SHALL INCLUDE REMOVAL OF ALL INTERIOR FINISHES, INCLUDING BUT NOT LIMITED TO ALL FURRING, HANGERS. UNUSED ATTACHMENTS, CEILING TILE AND GRID, FLOOR FINISHES, ETC. WHERE DEMOLITION ACTIVITIES INVOLVE STRUCTURAL ELEMENTS, DEMOLITION WORK SHALL BE CLOSELY COORDINATED WITH NEW CONSTRUCTION WORK. NO WORK SHALL COMMENCE WITHOUT ADEQUATE BRACING OR SHORING AS REQUIRED TO PREVENT MOVEMENT OR SETTLING IN THE EXISTING STRUCTURE. REMOVALS OF A STRUCTURAL NATURE: BEARING WALLS, ROOFS, FOOTINGS ETC... SHALL BE MADE ONLY UNDER THE DIRECT SUPERVISION OF QUALIFIED PERSONNEL AND SHALL BE SECURED OR OTHERWISE BRACED WHERE EVER FEASIBLE, BY INCORPORATION INTO PROPOSED NEW WORK. AS MUCH AS POSSIBLE NEW CONSTRUCTION IN KEEPING WITH THE PROPOSED CONDITIONS SHALL BE INSTALLED IN LIEU OF TEMPORARY BRACING.

PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK, THE CONTRACTOR SHALL MEET WITH THE OWNER TO DETERMINE WHICH ITEMS, IF ANY, ARE OF SALVAGEABLE VALUE TO THE OWNER. THE CONTRACTOR IS ENCOURAGED TO DOCUMENT ANY EXISTING DAMAGE OR DEFICIENCIES, IN BOTH WRITTEN AND PHOTOGRAPHIC FORMS AS REQUIRED, WHICH ARE EVIDENT IN THE EXISTING BUILDING.

4. ALL ITEMS DESIGNATED TO BE OF SALVAGEABLE VALUE TO THE ONNER SHALL BE REMOVED AS DIRECTED BY THE ONNER. ALL ITEMS DESIGNATED FOR DEMOLITION SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED COMPLETELY FROM THE SITE AND DISPOSED OF AS NECESSARY, IN ACCORDANCE WITH ALL REGULATIONS IN EFFECT.

CONFORM TO APPLICABLE CODES FOR DEMOLITION WORK, SAFETY OF STRUCTURE AND DUST CONTROL. NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS. DO NOT CLOSE OR OBSTRUCT EGRESS TO EXITS. DO NOT DISRUPT BUILDING, FIRE, OR LIFE SAFETY SYSTEMS WITHOUT (3) DAYS PRIOR WRITTEN NOTICE TO THE OWNER.

6. MAINTAIN TEMPORARY PARTITIONS TO PREVENT THE SPREAD OF DUST, ODORS, AND NOISE, AND TO PERMIT CONTINUED OWNER OCCUPANCY. PROTECT EXISTING MATERIALS WHICH ARE NOT TO BE DEMOLISHED. ALL DEBRIS SHALL BE REMOVED FROM THE CONSTRUCTION SITE DAILY.

7. IN AREAS OF DEMOLITION, PATCH, LEVEL, AND INFILL ALL WALL AND FLOOR SURFACES AS REQUIRED FOR INSTALLATION OF NEW FINISHES. THIS INCLUDES LEVELING OF ALL FLOORS AND INFILLING OF ANY TRENCHED AREAS.

REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR SPECIFIC DEMOLITION NOTES REGARDING THESE DISCIPLINES. ALL HVAC, ELECTRICAL AND PLUMBING ITEMS REMOVED SHALL BE CAPPED AND IDENTIFIED

DEMOLITION KEY NOTES

DEMOLISH INTERIOR PARTITION OR PORTION OF INTERIOR PARTITION. PATCH & REPAIR REMAINING ADJACENT CONSTRUCTION TO LIKE NEW

DEMOLISH PORTION OF EXTERIOR WALL FOR NEW WINDOW ASSEMBLY. 2 PATCH AND REPAIR REMAINING ADJACENT CONSTRUCTION TO LIKE NEW CONDITION.

REMOVE WINDOW, INTERIOR & EXTERIOR TRIM AND ALL ASSOCIATED 3 HARDWARE. PREPARE OPENING FOR NEW WINDOW OR INFILL OPENING TO MATCH EXISTING CONSTRUCTION AS PER NEW MORK PLANS.

(4) REMOVE INTERIOR DOOR, FRAME AND ALL ASSOCIATED HARDWARE.

REMOVE EXTERIOR DOOR, FRAME AND ALL ASSOCIATED HARDWARE. INFILL OPENING TO MATCH EXISTING CONSTRUCTION.

REMOVE ALL EXTERIOR LAP SIDING, PANEL SIDING AND TRIM DOWN TO EXISTING EXTERIOR SHEATHING. REMOVE WEATHER BARRIER AND PREPARE SHEATHING FOR NEW EXTERIOR WRB AND FINISH PER NEW

REMOVE LOW SLOPE ROOF OVER NEW CONFERENCE ROOM INCLUDING SKYLIGHTS AND CLERESTORY WINDOWS ABOVE. EXISTING BEAMS SHALL REMAIN TO SUPPORT HIGH ROOF.

REMOVE ROOF OVERHANG ON THREE SIDES OF EXISTING 'POP-OUT' 8 AREA. CUT BACK EXISTING TRUSSES AS REQUIRED FOR INSTALLATION OF NEW GABLE ROOF AND EXTERIOR WALL ASEMBLY.

REMOVE PLUMBING FIXTURE AND ALL ASOCIATED HARDWARE. CUT & 9 CAP EXISTING UTILITIES @ SLAB ON GRADE. SEE PLUMBING DWGS. FOR ADDITIONAL REMOVAL SCOPE.

REMOVE ALL CASEMORK, COUNTERS AND SHELVING. ALL APPLIANCES SHALL BE SLAVAGED AND RETURNED TO OWNER FOR REUSE.

11 REMOVE FLOOR FINISH DOWN TO EXISTING SUBSTRATE.

REMOVE WALL BASE AND ANY MILLWORK ON WALLS (CHAIR RAIL, ETC.) THROUGHTOUT AREA OF MORK.

REMOVE ACOUSTICAL CEILING TILE AND GRID AND ANY GMB CEILING 13) AND FRAMING. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR LIGHTING AND DEVICE REMOVAL.

14 DIRECTED.

REMOVE EXISTING STEEL COLUMNS. BRACE BEAM ABOVE UNTIL NEW 15 STRUCTURE IS IN PLACE.

REMOVE ROLL-UP DOOR @ KITCHENETTE AND RETURN TO OWNER AS

REMOVE GUTTERS AND DOWNSPOUTS AND ALL ATTACHMENTS AND ASSOCIATED HARDWARE.

REMOVE WALL MOUNTED EXTERIOR LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS FOR ADDITIONAL REMOVAL SCOPE.

REMOVE FIRE EXTINGUISHER CABINET AND STORE FOR REINSTALLATION IN NEW PARTITION. REMOVE QUARRY TILE AND BASE IN THEIR ENTIRETY. LEVEL OUT 19 RECESSED CONCRETE FLOOR AS REQ.'D FOR NEW PORCELAIN TILE IN

REMOVE VINYL SOFFIT TYP. THROUGHOUT. (NOTE: EXISTING SOFFIT AT ENTRY TO REMAIN.)

MUD BED. SEE SPECIFICATIONS FOR TILE FLOORING.

ALL REPORTS, PLANS, SPECIFICATIONS AND COMPUTER FILES RELATING TO THIS PROJECT ARE THE PROPERTY OF MANDERS MERIGHI PORTADIN FARRELL. MMPF RETAINS ALL COMMON LAW, STATUTE AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THERETO. REPRODUCTION OF THE MATERIAL HEREIN OR SUBSTANTIAL USE WITHOUT WRITTEN PERMISSION OF MMPF VIOLATES THE COPYRIGHT LAWS OF THE UNITED STATES AND WILL BE SUBJECT TO LEGAL PROSECUTION.

2020, MANDERS MERIGHI PORTADIN FARRELL ARCHITECTS, LLC



AI-07473

AI-13038

AI-13618

Manders Merighi Portadin Farrell Architects, LLC 1138 East Chestnut Avenue p. 856 696 9155 I f. 856 696 9080 www.mmpfa.com

David G. Manders AIA Lawrence J. Merighi AIA Ronald P. Portadin AIA

Peter W. Farrell AIA

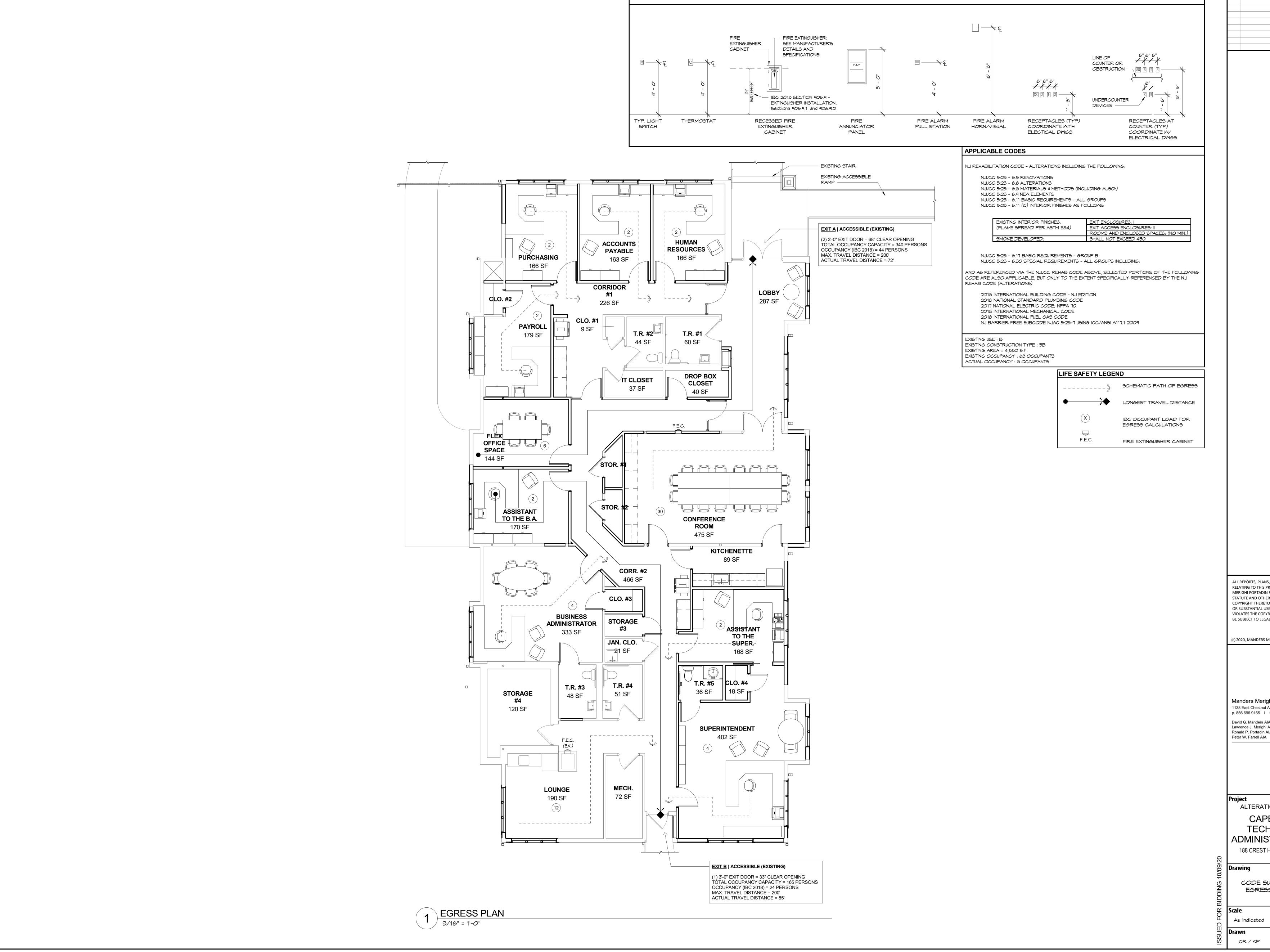
ALTERATIONS & RENOVATIONS TO: CAPE MAY COUNTY TECHNICAL SCHOOL ADMINISTRATION BUILDING

188 CREST HAVEN ROAD CAPE MAY COURT HOUSE, NJ 08210

DEMOLITION PLAN AND

20.048 As indicated

D1.0 CR / KP 10/06/20



TYPICAL MOUNTING HEIGHTS

RELEASE / REVISION 10/09/20 ISSUED FOR BIDDING

ALL REPORTS, PLANS, SPECIFICATIONS AND COMPUTER FILES RELATING TO THIS PROJECT ARE THE PROPERTY OF MANDERS MERIGHI PORTADIN FARRELL. MMPF RETAINS ALL COMMON LAW, STATUTE AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THERETO. REPRODUCTION OF THE MATERIAL HEREIN OR SUBSTANTIAL USE WITHOUT WRITTEN PERMISSION OF MMPF VIOLATES THE COPYRIGHT LAWS OF THE UNITED STATES AND WILL BE SUBJECT TO LEGAL PROSECUTION.

© 2020, MANDERS MERIGHI PORTADIN FARRELL ARCHITECTS, LLC



AI-07220 AI-07473 AI-13038

AI-13618

Manders Merighi Portadin Farrell Architects, LLC 1138 East Chestnut Avenue p. 856 696 9155 I f. 856 696 9080 www.mmpfa.com

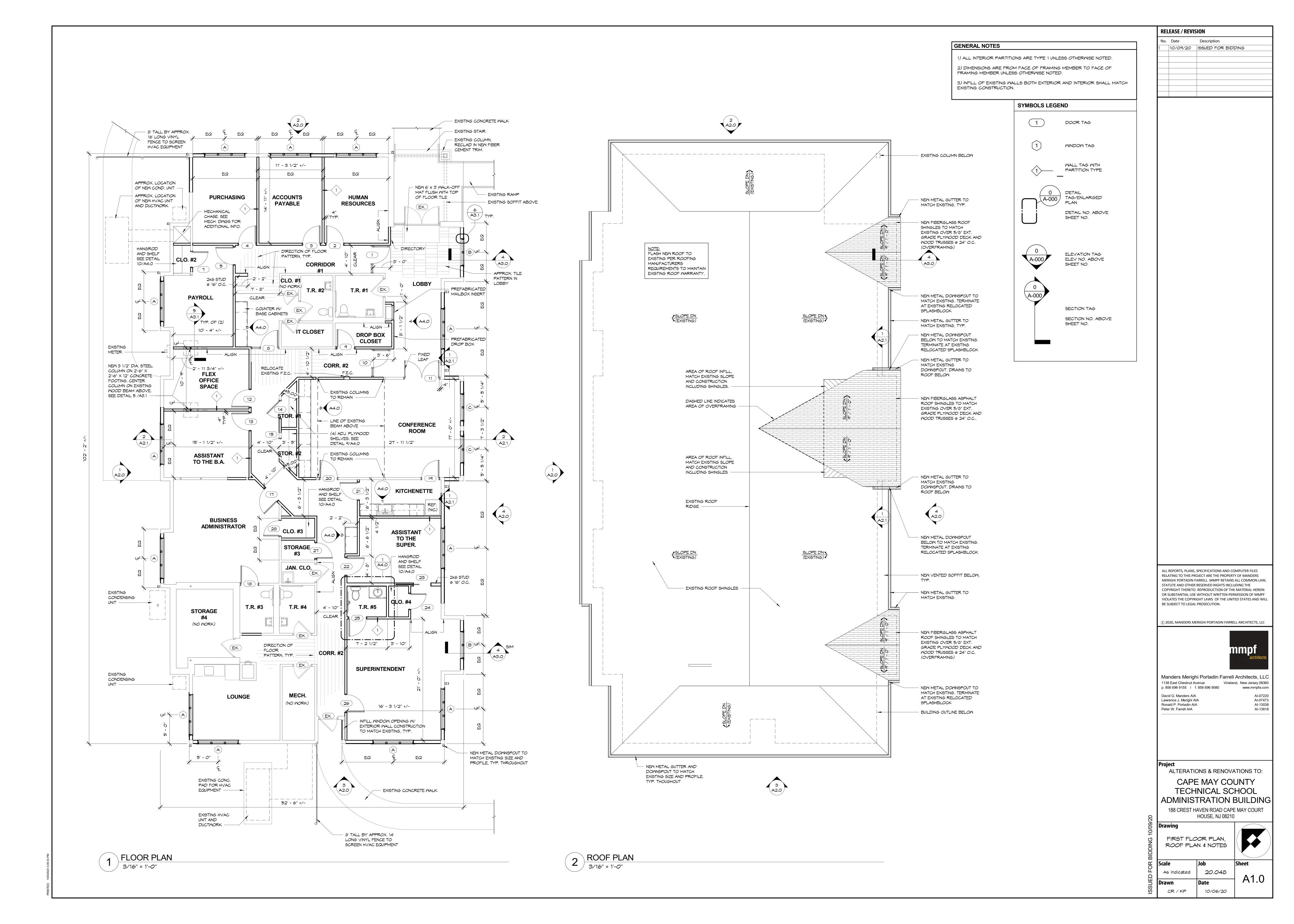
David G. Manders AIA Lawrence J. Merighi AIA Peter W. Farrell AIA

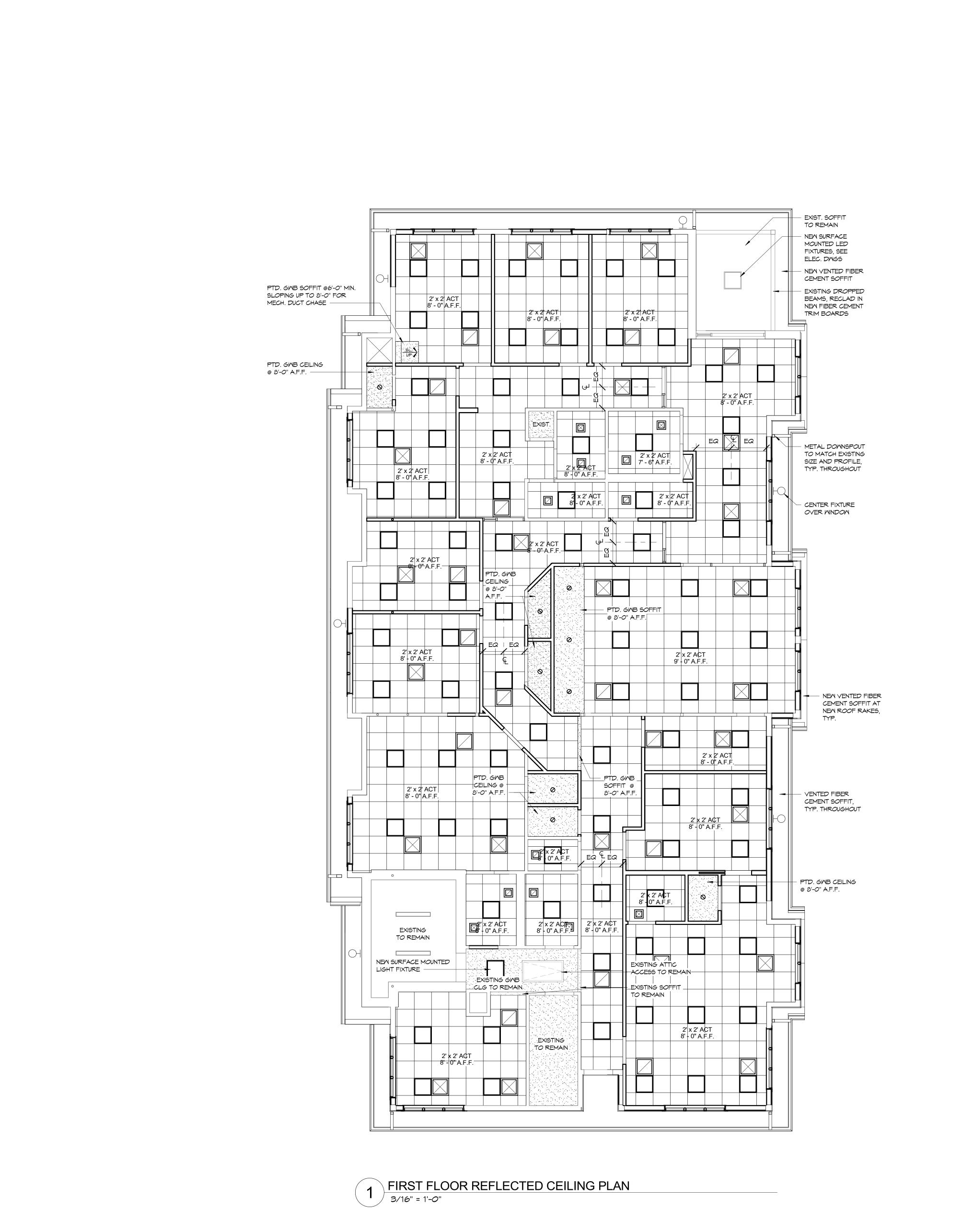
Ronald P. Portadin AIA

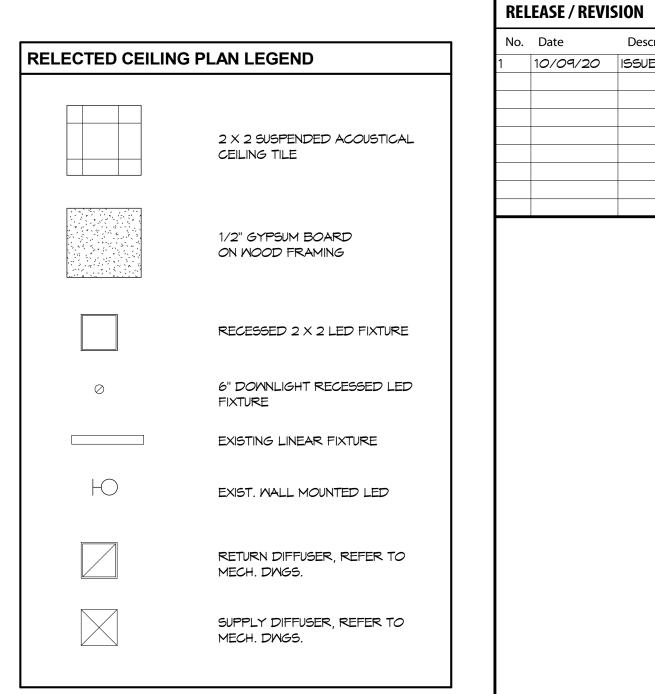
ALTERATIONS & RENOVATIONS TO: CAPE MAY COUNTY TECHNICAL SCHOOL ADMINISTRATION BUILDING 188 CREST HAVEN ROAD CAPE MAY COURT

Scale Job S	Sheet
Drawing CODE SUMMARY & EGRESS PLANS	
HOUSE, NJ 08210	

As indicated







ALL REPORTS, PLANS, SPECIFICATIONS AND COMPUTER FILES RELATING TO THIS PROJECT ARE THE PROPERTY OF MANDERS MERIGHI PORTADIN FARRELL. MMPF RETAINS ALL COMMON LAW, STATUTE AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THERETO. REPRODUCTION OF THE MATERIAL HEREIN OR SUBSTANTIAL USE WITHOUT WRITTEN PERMISSION OF MMPF VIOLATES THE COPYRIGHT LAWS OF THE UNITED STATES AND WILL BE SUBJECT TO LEGAL PROSECUTION.

Description

10/09/20 ISSUED FOR BIDDING

© 2020, MANDERS MERIGHI PORTADIN FARRELL ARCHITECTS, LLC



AI-07220 AI-07473 AI-13038

AI-13618

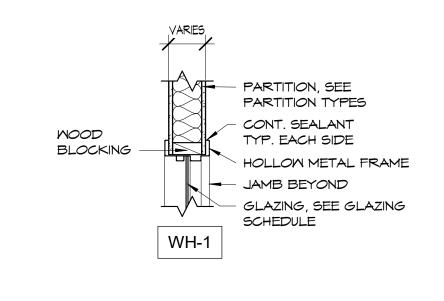
Manders Merighi Portadin Farrell Architects, LLC 1138 East Chestnut Avenue Vineland, New Jersey 08360 p. 856 696 9155 I f. 856 696 9080 www.mmpfa.com

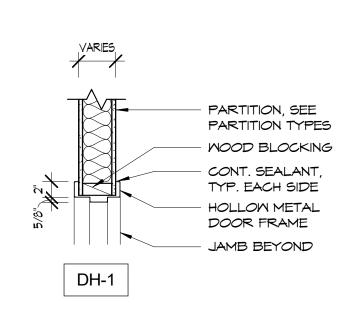
David G. Manders AIA Lawrence J. Merighi AIA Ronald P. Portadin AIA Peter W. Farrell AIA

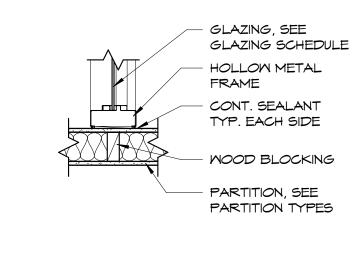
ALTERATIONS & RENOVATIONS TO: CAPE MAY COUNTY TECHNICAL SCHOOL ADMINISTRATION BUILDING 188 CREST HAVEN ROAD CAPE MAY COURT

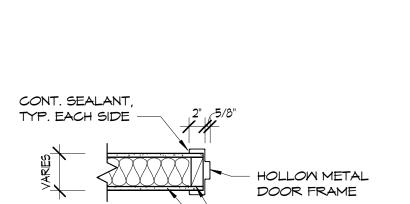
Scale	Job	She
Drawing REFLECTE PLAN & L		
<u> </u>		
	HOUSE, NJ 08210	

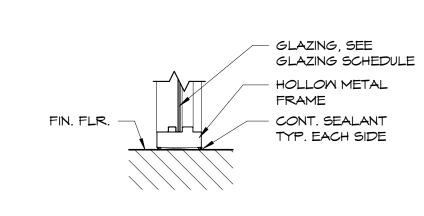
			ROOM FINISH SCI	HEDULE		
ROOM NAME	FLOOR	BASE	WALL	CEILING	HEIGHT	COMMENTS
LOBBY	PORCELAIN TILE / WALK-OFF MAT	PORCLAIN TILE	PTD. G.M.B.	ACOUSTICAL TILE	8' - 0"	
T.R. #1	EXISTING TO REMAIN	EXISTING TO REMAIN	PTD. EXISTING G.M.B.	ACOUSTICAL TILE	8' - 0"	
CORRIDOR #1	L.V.T.	VINYL	PTD. G.M.B.	ACOUSTICAL TILE	8' - 0"	
HUMAN RESOURCES	CARPET TILE	VINYL	PTD. G.M.B.	ACOUSTICAL TILE	8' - 0"	
ACCOUNTS PAYABLE	CARPET TILE	VINYL	PTD. G.M.B.	ACOUSTICAL TILE	8' - 0"	
PURCHASING	CARPET TILE	VINYL	PTD. G.M.B.	ACOUSTICAL TILE	8' - 0"	PTD. GMB SOFFIT AT DUCT
PAYROLL	CARPET TILE	VINYL	PTD. G.M.B.	ACOUSTICAL TILE	8' - 0"	
CLO. #2	CARPET TILE	VINYL	PTD. G.M.B.	PTD. G.M.B.	8' - 0"	
IT CLOSET	EXISTING TO REMAIN	EXISTING TO REMAIN	PTD. EXISTING G.M.B.	ACOUSTICAL TILE	8' - 0"	
T.R. #2	EXISTING TO REMAIN	EXISTING TO REMAIN	PTD. EXISTING G.M.B.	ACOUSTICAL TILE	8' - 0"	
CLO. #1	EXISTING TO REMAIN	EXISTING TO REMAIN	PTD. EXISTING G.M.B.	EXISTING TO REMAIN	8' - 0"	
CORR. #2	L.V.T.	VINYL	PTD. G.M.B.	ACOUSTICAL TILE	8' - 0"	
DROP BOX CLOSET	L.V.T.	VINYL	PTD. G.M.B.	PTD. G.W.B.	8' - 0"	
CONFERENCE ROOM	CARPET TILE	VINYL	PTD. G.M.B.	ACOUSTICAL TILE / PTD. G.W.B.	9' - 0"	PTD. GWB SOFFIT AT 8'-0"
FLEX OFFICE SPACE	CARPET TILE	VINYL	PTD. G.M.B.	ACOUSTICAL TILE	8' - 0"	
ASSISTANT TO THE B.A.	CARPET TILE	VINYL	PTD. G.M.B.	ACOUSTICAL TILE	8' - 0"	
STOR. #1	L.V.T.	VINYL	PTD. G.M.B.	PTD. G.M.B.	8' - 0"	
STOR. #2	L.V.T.	VINYL	PTD. G.M.B.	PTD. G.W.B.	8' - 0"	
BUSINESS ADMINISTRATOR	CARPET TILE	VINYL	PTD. G.M.B.	ACOUSTICAL TILE	8' - 0"	
CLO. #3	CARPET TILE	VINYL	PTD. G.M.B.	PTD. G.W.B.	8' - 0"	
T.R. #3	EXISTING TO REMAIN	EXISTING TO REMAIN	PTD. EXISTING G.M.B.	ACOUSTICAL TILE	8' - 0"	
KITCHENETTE	L.V.T.	VINYL	PTD. G.M.B.	ACOUSTICAL TILE	8' - 0"	
STORAGE #3	L.V.T.	VINYL	PTD. G.M.B.	PTD. G.W.B.	8' - 0"	
JAN. CLO.	L.V.T.	VINYL	PTD. G.M.B.	ACOUSTICAL TILE	8' - 0"	
ASSISTANT TO THE SUPER.	CARPET TILE	VINYL	PTD. G.M.B.	ACOUSTICAL TILE	8' - 0"	
T.R. #4	EXISTING TO REMAIN	EXISTING TO REMAIN	PTD. EXISTING G.M.B.	ACOUSTICAL TILE	8' - 0"	
STORAGE #4	EXISTING TO REMAIN	EXISTING TO REMAIN	EXISTING TO REMAIN	EXISTING TO REMAIN	8' - 0"	
LOUNGE	L.V.T.	VINYL	PTD. EXISTING G.M.B.	ACOUSTICAL TILE / PTD. G.W.B.	8' - 0"	PAINT EXISTING GWB IN CORRIDOR
MECH.	EXISTING TO REMAIN	EXISTING TO REMAIN	EXISTING TO REMAIN	EXISTING TO REMAIN	-	
SUPERINTENDENT	CARPET TILE	VINYL	PTD. G.M.B.	ACOUSTICAL TILE	8' - 0"	
T.R. #5	CER. TILE	CER. TILE	PTD. G.W.B.	ACOUSTICAL TILE	8' - 0"	
CLO. #4	CARPET TILE	VINYL	PTD. G.W.B.	PTD. G.M.B.	ප' <i>- 0</i> "	





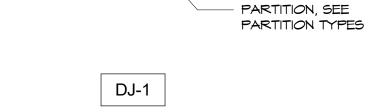






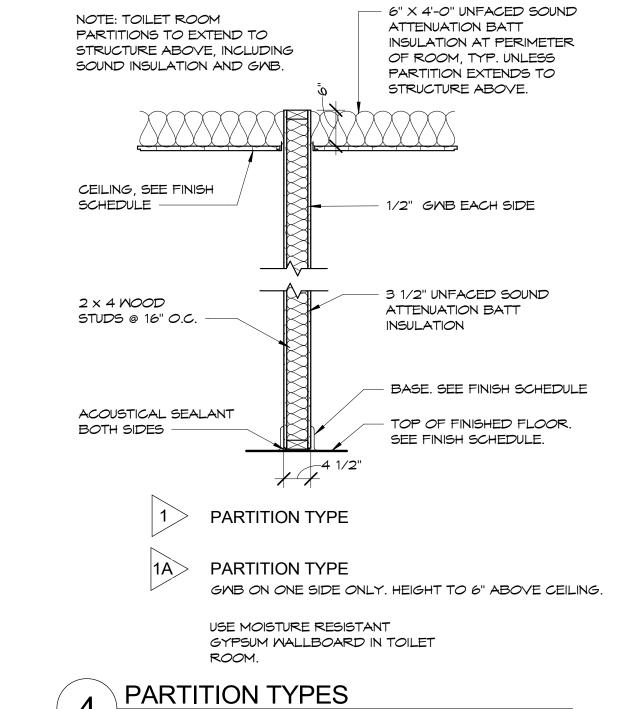
WS-1

WJ-1





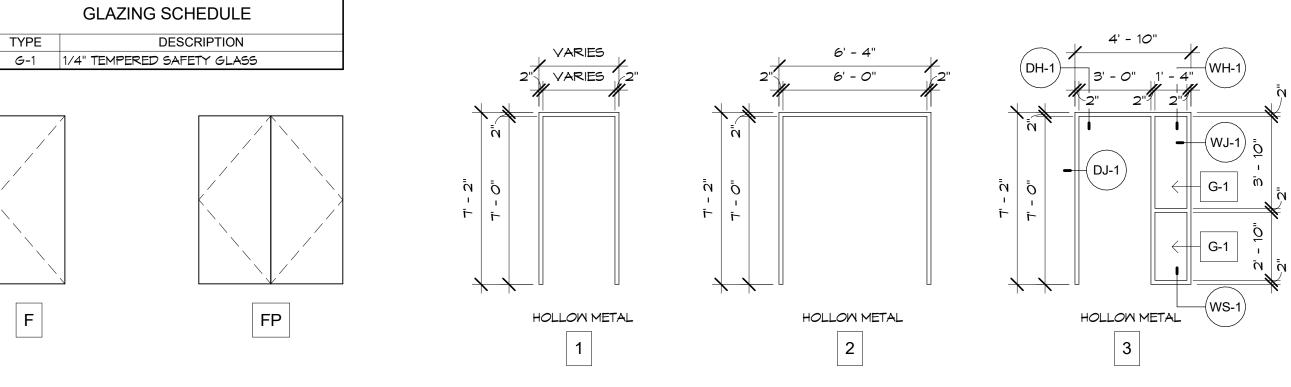
- WOOD BLOCKING



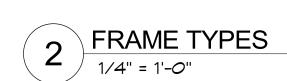
3/4" = 1'-0"

							DOOR	SCHEDULE			
			DOO)R				FRAME			
NO.	WIDTH	HEIGHT	THICKNESS	TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	HARDWARE SET	COMMENTS
	•				•						
1	3' - O"	7' - 0"	1 3/4"	F	MOOD	MANUF.	3	HOL. METAL	PTD.	MARBLI	E THRESHOLD A/A4.0
2	3' - 0"	7' - 0"	1 3/4"	F	MOOD	MANUF.	1	HOL. METAL	PTD.		
3	3' - O"	7' - 0"	1 3/4"	F	MOOD	MANUF.	1	HOL. METAL	PTD.		
4	3' - O"	7' - 0"	1 3/4"	F	MOOD	MANUF.	1	HOL. METAL	PTD.		
5	3' - O"	7' - 0"	1 3/4"	F	MOOD	MANUF.	1	HOL. METAL	PTD.		
7	2' - 8"	7' - 0"	1 3/4"	F	MOOD	MANUF.	1	HOL. METAL	PTD.		
8	3' - O"	7' - 0"	1 3/4"	F	MOOD	MANUF.	3	HOL. METAL	PTD.		
9	3' - O"	7' - 0"	1 3/4"	F	MOOD	MANUF.	1	HOL. METAL	PTD.		
10	3' - O"	7' - 0"	1 3/4"	F	MOOD	MANUF.	3	HOL. METAL	PTD.	MARBLI	E THRESHOLD A/A4.0
11	6' - 0"	7' - 0"	1 3/4"	FP	MOOD	MANUF.	2	HOL. METAL	PTD.	MARBLI	E THRESHOLD A/A4.0
12	3' - O"	7' - 0"	1 3/4"	F	MOOD	MANUF.	1	HOL. METAL	PTD.		
13	3' - O"	7' - 0"	1 3/4"	F	MOOD	MANUF.	1	HOL. METAL	PTD.		
14	3' - 0"	7' - 0"	1 3/4"	F	MOOD	MANUF.	1	HOL. METAL	PTD.		
15	3' - 0"	7' - 0"	1 3/4"	F	MOOD	MANUF.	1	HOL. METAL	PTD.		
17	3' - 0"	7' - 0"	1 3/4"	F	MOOD	MANUF.	1	HOL. METAL	PTD.		
18	3' - 0"	7' - 0"	1 3/4"	F	MOOD	MANUF.	1	HOL. METAL	PTD.	MARBLI	E THRESHOLD A/A4.0
19	3' - O"	7' - 0"	1 3/4"	F	MOOD	MANUF.	1	HOL. METAL	PTD.		
20	3' - O"	7' - 0"	1 3/4"	F	MOOD	MANUF.	1	HOL. METAL	PTD.		
21	3' - O"	7' - 0"	1 3/4"	F	MOOD	MANUF.	1	HOL. METAL	PTD.		
22	3' - O"	7' - 0"	1 3/4"	F	MOOD	MANUF.	1	HOL. METAL	PTD.		
23	3' - O"	7' - 0"	1 3/8"	F	MOOD	MANUF.				POCKET	T DOOR
24	2' - 8"	7' - 0"	1 3/4"	F	MOOD	MANUF.	1	HOL. METAL	PTD.		
25	3' - 0"	7' - 0"	1 3/4"	F	MOOD	MANUF.	1	HOL. METAL	PTD.	MARBLI	E THRESHOLD A/A4.0
26	3' - 0"	7' - 0"	1 3/4"	F	MOOD	MANUF.	1	HOL. METAL	PTD.		
27	2' - 8"	7' - 0"	1 3/4"	F	MOOD	MANUF.	1	HOL. METAL	PTD.		
28	2' - 8"	7' - 0"	1 3/4"	F	MOOD	MANUF.	1	HOL. METAL	PTD.		

					WINDOW SCHEDULE		
MARK	WIDTH	HEIGHT	HEAD HEIGHT	MANUFACTURER	TYPE	MODEL NUMBER	COMMENTS
Α	7' - 1 1/8"	4' - 0 1/2"	6' - 8"	ANDERSON CORPORATION	400 SERIES TRIPLE CASEMENT	CM34	
В	4' - 9"	6' - 1 1/8"	6' - 8"	ANDERSON CORPORATION	400 SERIES TWIN CASEMENT / 400 SERIES TWIN FIXED	CM24 / CM22	
C	4' - 9"	8' - 01/4"	8' - 8 1/8"	ANDERSON CORPORATION	400 SERIES TWIN FIXED / 400 SERIES TWIN CASEMENT / 400 SERIES TWIN FIXED	CM22 / CM24 / CM22	
C	4' - 9"	8' - 01/4"	8' - 8 1/8"	ANDERSON CORPORATION	400 SERIES TWIN FIXED / 400 SERIES TWIN CASEMENT / 400 SERIES TWIN FIXED	CM22 / CM24 / CM22	



1/4" = 1'-0"



ALL REPORTS, PLANS, SPECIFICATIONS AND COMPUTER FILES RELATING TO THIS PROJECT ARE THE PROPERTY OF MANDERS MERIGHI PORTADIN FARRELL. MMPF RETAINS ALL COMMON LAW,

RELEASE / REVISION

10/09/20 ISSUED FOR BIDDING

© 2020, MANDERS MERIGHI PORTADIN FARRELL ARCHITECTS, LLC

BE SUBJECT TO LEGAL PROSECUTION.

STATUTE AND OTHER RESERVED RIGHTS INCLUDING THE

COPYRIGHT THERETO. REPRODUCTION OF THE MATERIAL HEREIN OR SUBSTANTIAL USE WITHOUT WRITTEN PERMISSION OF MMPF VIOLATES THE COPYRIGHT LAWS OF THE UNITED STATES AND WILL



AI-07220 AI-07473 AI-13038

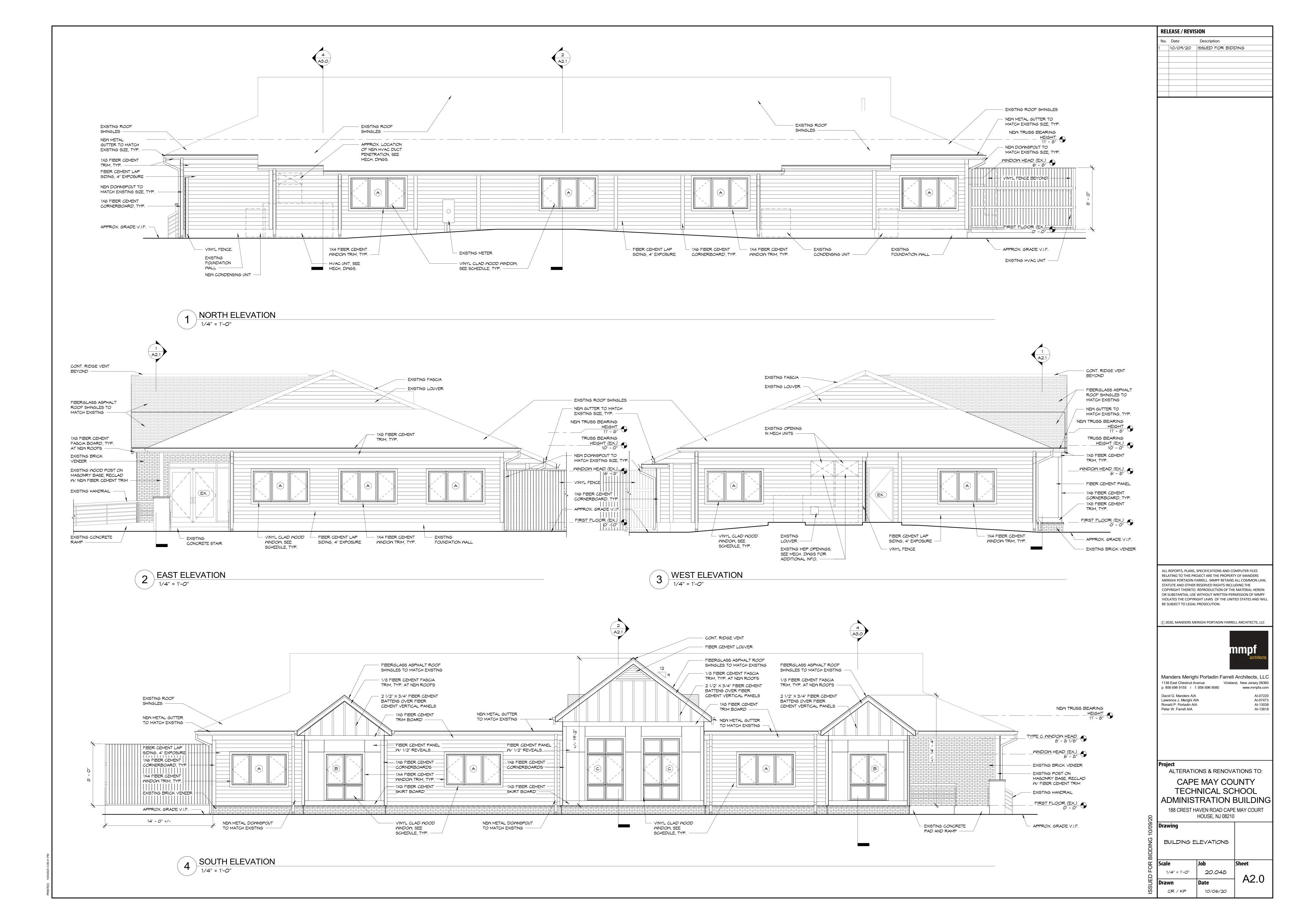
AI-13618

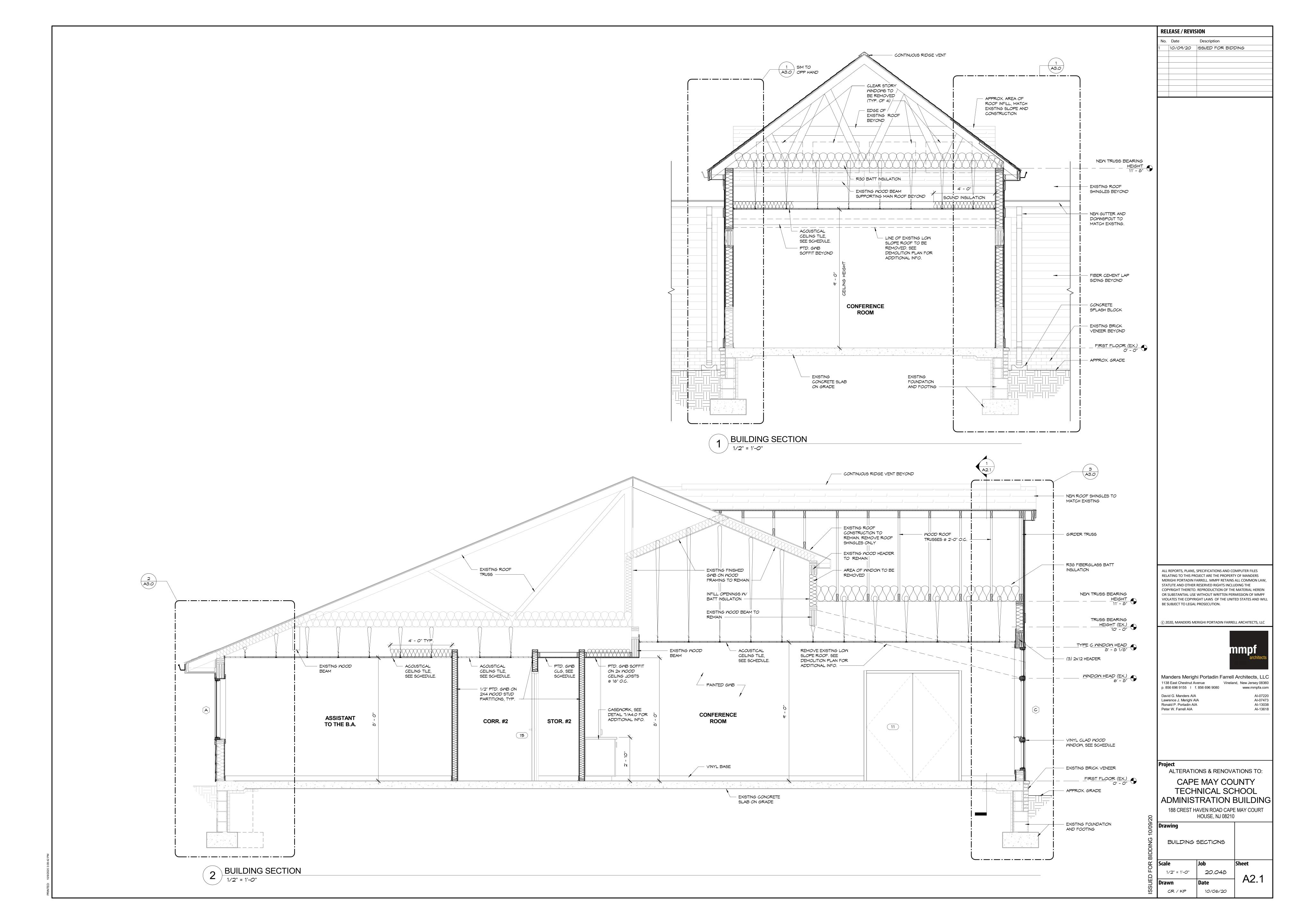
Manders Merighi Portadin Farrell Architects, LLC 1138 East Chestnut Avenue p. 856 696 9155 I f. 856 696 9080 www.mmpfa.com

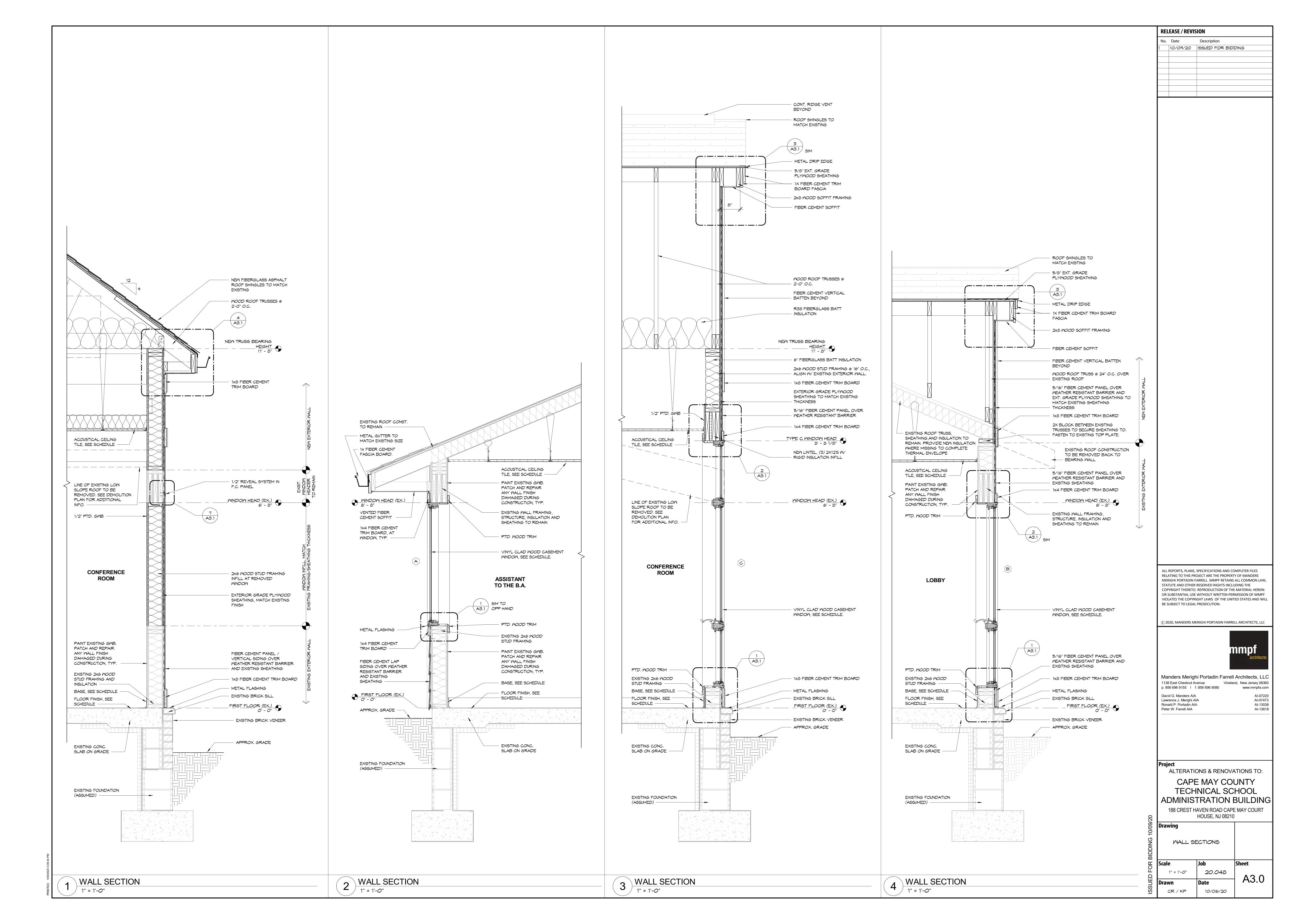
David G. Manders AIA Lawrence J. Merighi AIA Ronald P. Portadin AIA Peter W. Farrell AIA

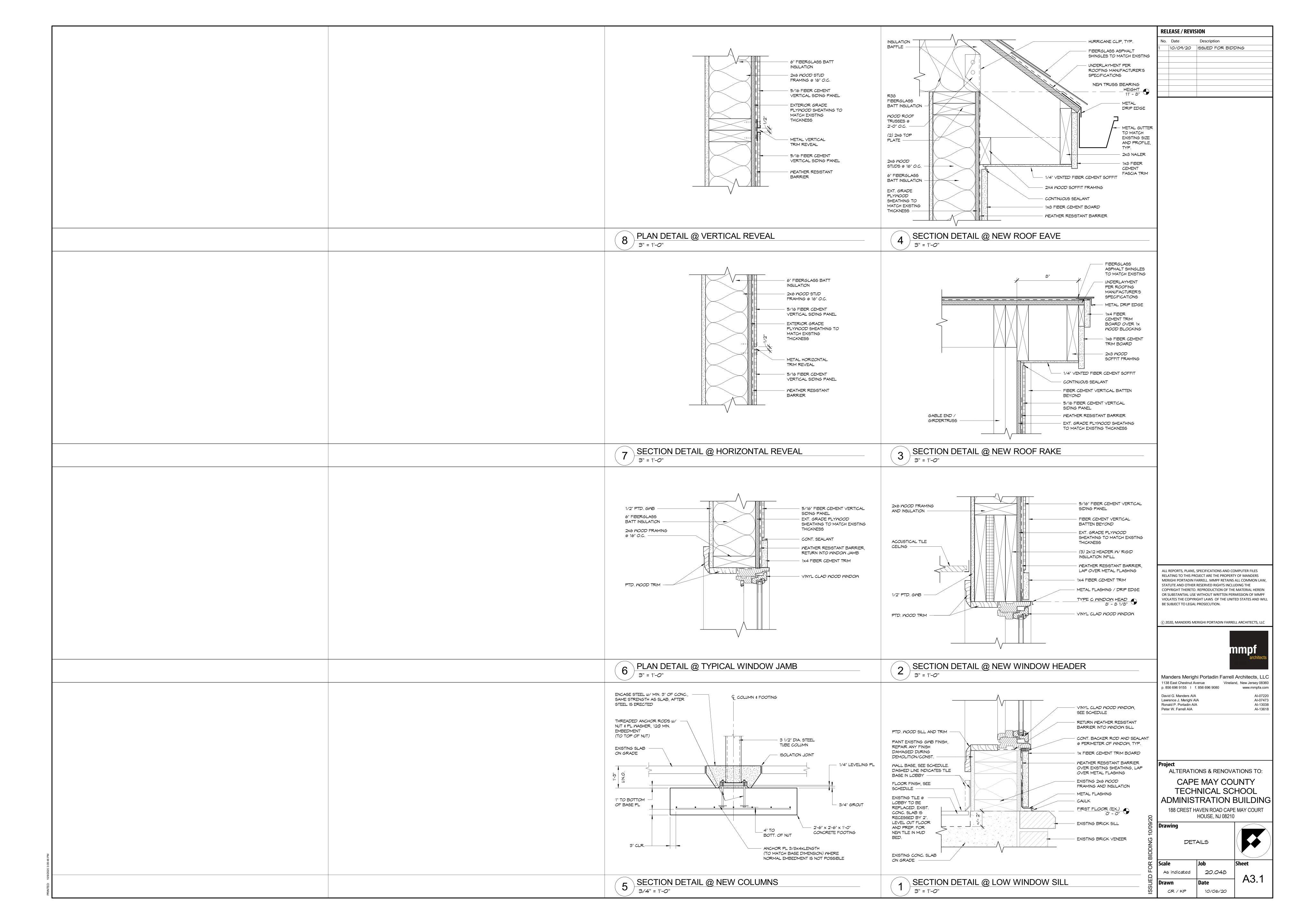
ALTERATIONS & RENOVATIONS TO: CAPE MAY COUNTY TECHNICAL SCHOOL ADMINISTRATION BUILDING 188 CREST HAVEN ROAD CAPE MAY COURT

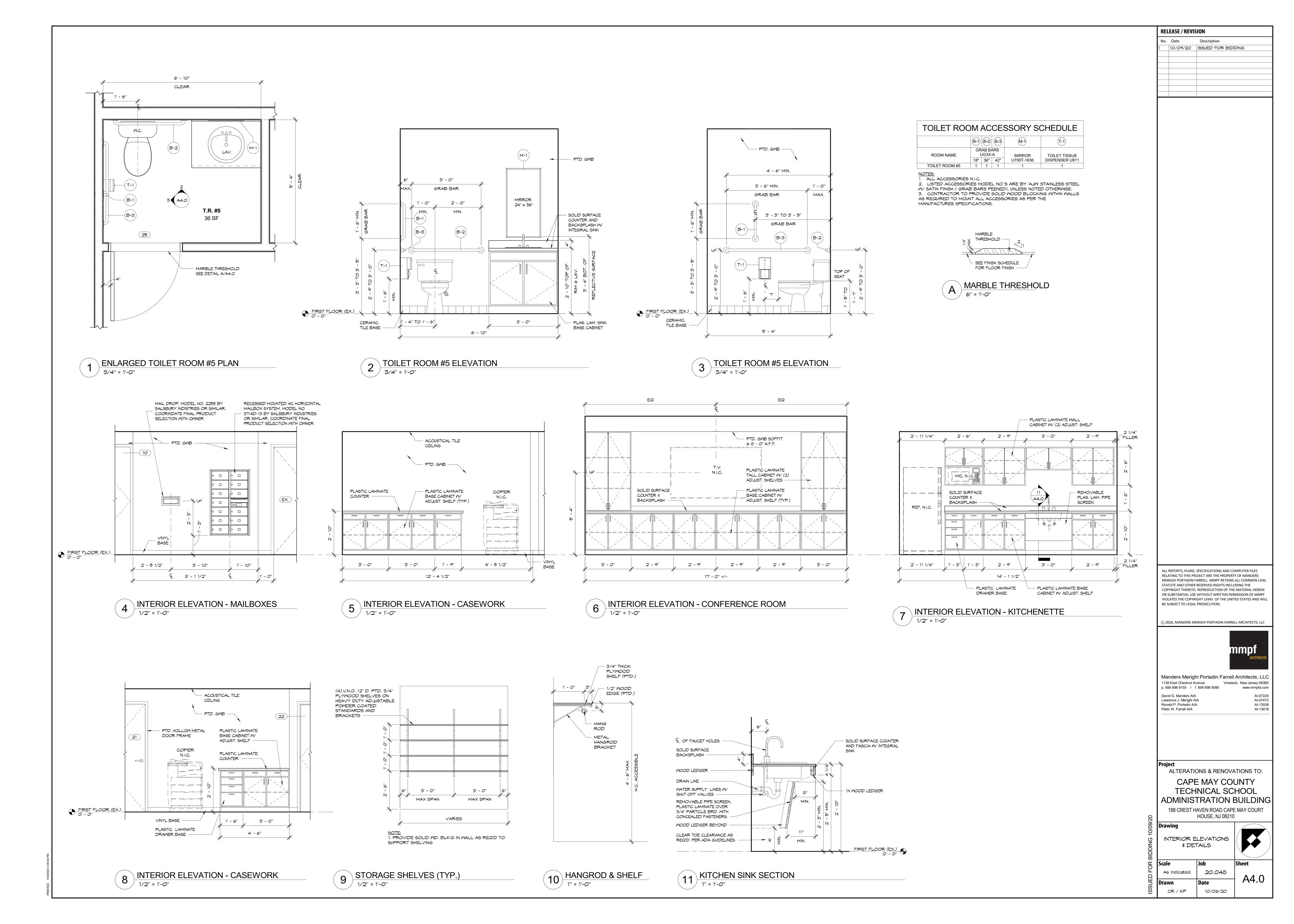
Scale	Job	She
DOOR & FRAMINDOW SCHEI	TYPES &	
Drawing		
	HOUSE, NJ 08210	











HVAC SYMBOLS AND

ABBREVIATIONS LEGEND O.A. OUTSIDE AIR SUPPLY AIR R.A. RETURN AIR CAP. CAPACITY PRESSURE PRESS. **TEMPERATURE** MINIMUM MAX. MAXIMUM SIMILAR AUTO. AUTOMATIC **EXISTING** CONCRETE CONC. AIR HANDLING UNIT GPM GALLONS PER MINUTE SUPPLY FAN RETURN FAN ABOVE FINISHED FLOOR **EXHAUST FAN** TYPICAL CONNECTION CONN. AIR SEPARATOR

EXPANSION TANK

FIRE SMOKE DAMPER

VARIABLE AIR VOLUME

TEMPERATURE CONTROL

ENTERING AIR TEMPERATURE

LEAVING AIR TEMPERATURE

ENTERING WATER TEMPERATURE

LEAVING WATER TEMPERTATURE

ADJUSTABLE ROOM THERMOSTAT

HATCHING DENOTES ITEMS TO BE REMOVED

CARBON MONOXIDE DETECTOR (BATTERY OPERATED)

FIRE DAMPER

FLOOR DRAIN

HEATER

CEILING

DOWN

MECHANICAL

ASSOCIATED

REFERENCE

UNIT HEATER

AUTOMATIC AIR VENT

MANUAL AIR VENT

STATIC PRESSURE

FSD

HTR

CLG.

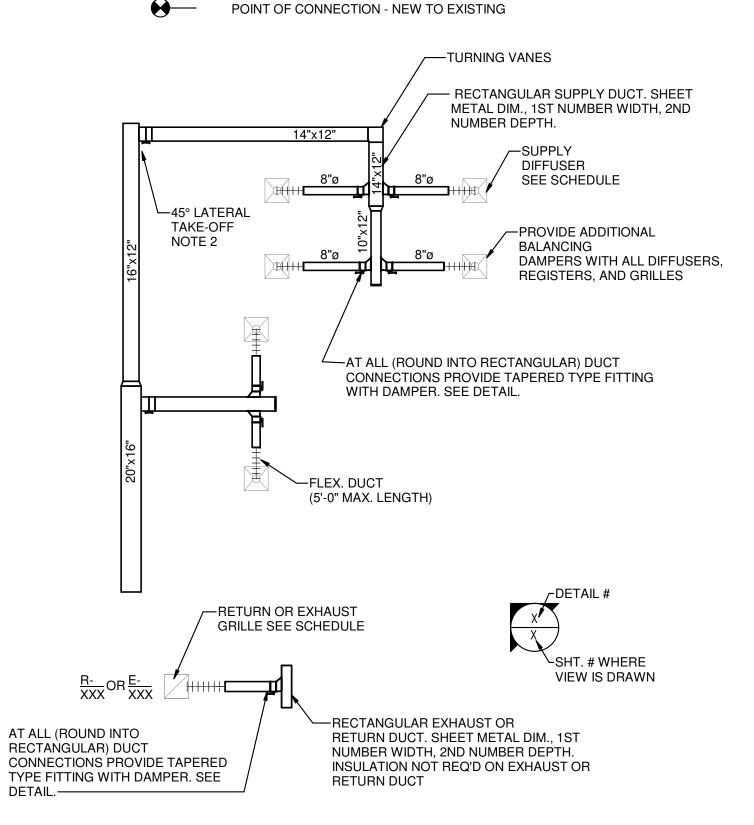
'/////////

GENERAL NOTES:

- A. CONTRACTOR SHALL PROVIDE MANUFACTURER'S RECOMMENDED ACCESS TO ALL EQUIPMENT. ACCESS SHALL BE REMOVABLE CEILING TILES OR CEILING ACCESS PANELS. COORDINATE LOCATION OF MECHANICAL EQUIPMENT WITH OTHER TRADES TO AVOID CONFLICT.
- B. REFER TO ARCHITECTUAL REFLECTED CEILING PLAN FOR LOCATION OF GRILLES
- AND DIFFUSERS. C. FOR ALL WALLS THAT ARE EXTENDED TO STRUCTURE PROVIDE SLEEVES FOR
- PIPING AND DUCTWORK PENETRATING WALLS (REFERENCE SPECIFICATIONS). D. DRAWINGS ARE DIAGRAMMATIC. PROVIDE ADDITIONAL OFFSETS, TRANSITIONS, ETC. AS REQUIRED TO AVOID INTERFERENCE'S ENCOUNTERED. FULL COORDINATION DRAWINGS WITH OTHER TRADES ARE REQUIRED.
- E. IF THE CONTRACTOR DOES NOT CLEARLY UNDERSTAND THESE PLANS OR IS NOT SURE OF THEIR MEANING. THEY SHOULD OBTAIN THE ARCHITECTS WRITTEN EXPLANATION AND INTERPRETATION PRIOR TO SUBMITTING THEIR BID, SINCE THE CONTRACTORS WILL BE HELD RIGIDLY TO THE INTERPRETATION OF THE ARCHITECT.
- F. CUT, PATCH, REPAIR AND RESTORE TO ORIGINAL CONDITION ALL OPENINGS IN WALLS, FLOORS, CEILINGS, ETC. WHERE REQUIRED. PATCHING SHALL MATCH EXISTING CONSTRUCTION & FINISHES. COORDINATE ALL PATCHING AND FINISHES
- WITH ARCHITECT. G. PROVIDE BALANCING DAMPERS FOR ALL S.A., R.A., AND E.A. DUCT BRANCH
- H. USE RADIUS ELBOWS. IF SPACE ISN'T AVAILABLE, MITERED ELBOWS ARE ACCEPTABLE. PROVIDE TURNING VANES IN ALL RECTANGULAR MITERED ELBOWS, SUPPLY AND RETURN DUCTWORK.

TAKEOFFS AND RUNOUTS TO GRILLES, DIFFUSERS, ETC.

- I. CONTRACTOR SHALL BE RESPONSIBLE FOR PRE-BALANCING THE SYSTEMS TO DETERMINE EXISTING AIRFLOWS. FOLLOW PROCEDURES IN TEST AND BALANCE SPECIFICATION.
- J. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING DUCTS AND COILS OF ALL FOREIGN MATERIAL. REFER TO INCLUDED SPECIFICATION SECTION 230130 FOR DETAILED PROCEDURE.



HVAC DUCT LEGEND

1. ALL DUCTWORK DIMENSIONS ARE EXTERIOR DIMENSIONS OF DUCT.

- PROVIDE ADDITIONAL BALANCING DAMPERS IN TAKEOFF TO ALL GRILLES/DIFFUSERS AND AT ALL GRILLES/DIFFUSERS.
- DUCTWORK INSTALLATION SHALL MEET ALL REQUIREMENTS OF NFPA

SYMBOL	MANUFACTURER	MODEL	PANEL SIZE	CORE TYPE	INLET DIMENSION	NOMINAL CFM	THROW @100 FPM	PRESSURE DROP(IN.)	SOUND N.C.	MOUNTING	REMARKS
S-1	TITUS	OMNI	24X24	PLAQUE	6"Ø	98	2	0.017	<10	SURFACE	ALL
S-2	TITUS	OMNI	24X24	PLAQUE	8"Ø	244	5	0.055	12	LAY-IN	ALL
R-1	TITUS	PAR	24X24	PERFORATED	22X22	1008	-	0.03	13	LAY-IN	ALL

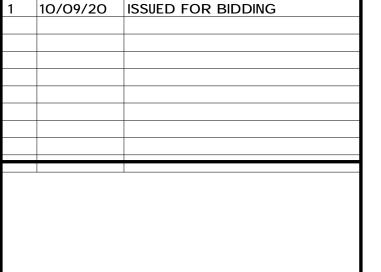
			SCH	HEDULE	OF EXI	HAUST F	ANS			
2. PROVIDE WI	ITH BACKDRAFT ITH FAN SPEED I /INGS MUST INCI	DIAL, BALANCE F	AN TO CFM LIS		REJECTED.					
	MANUFACT					STATIC			FAN	
MARK	URER	MODEL No.	HP	FRPM	CFM	PRESSURE	VOLTAGE	PHASE	MOUNTING	NOTES
EF-1	GREENHECK	SP-80-VG	1/10	935	75	0.30 in-wg	115	1	CEILING	ALL
EF-2	GREENHECK	SP-80-VG	1/10	935	75	0.30 in-wg	115	1	CEILING	ALL
EF-3	GREENHECK	SP-80-VG	1/10	935	75	0.30 in-wg	115	1	CEILING	ALL

		<u> </u>	CHEDU	ILE OF A	IN HAN	JLEN UN	11 1		
2. PROVIDE		CT SWITCH, COC				DIDE			
				EXISTING CONDI		PIPE.			
	AWINGS MUST IN	NCLUDE PERFORI				PIPE.			
						VOLTAGE	PHASE	MCA/MOP (AMPS)	NOTES

		SCHE	DULE O	CONDI	ENSING	UNITS		
2. SLOPE SUC 3. REFRIGERA REQUIRED.	ITH DISCONNECT TION LINE TOWA NT LINES SHALL VINGS MUST INCI	RD EVAPORATO BE SIZED PER N	MANUFACTUREF			ONG LINE KITS	AND OTHER AC	CESSORIES AS
MARK	MANUFACT URER	MODEL No.	COOLING CAPACITY	MIN SEER	VOLTAGE	PHASE	MCA/MOP (AMPS)	NOTES
CU-1	TRANE	4TTR4042L1	40700.0 Btu/h	15	208	1	22	ALL

				SCH	IEDULE	OF DUC	T FURNA	ACE				
PROVIDE W MAINTAIN F	/ITH DISCONNECT /ITH AIR FLOW PF FACTORY RECOMI /ITH NEW DRAIN F	OVING SWITCH. MEND COMBUST		CES.								
	T			T		T			1			
	MANUFACT		NOMINAL	NET GAS	HEATING	ENTERING	LEAVING					
MARK	MANUFACT URER	MODEL No.	NOMINAL CFM	NET GAS CAPACITY	HEATING CAPACITY	ENTERING AIR TEMP	LEAVING AIR TEMP	E.S.P.	VOLTAGE	PHASE	MCA	NOTES
MARK DH-1		MODEL No.	_					E.S.P. 3.00 in-wg	VOLTAGE 115	PHASE 1	MCA 0.35	NOTES ALL
	URER		CFM	CAPACITY	CAPACITY	AIR TEMP	AIR TEMP			PHASE 1		

								S	CHEDUL	E OF DO	DAS UNI	TS								
OTES:																				
					ZER WITH REFE	RENCE ENTHALP	Y CONTROLS.													
		8 PREFILTERS AI																		
		RY MOUNTED CO		ECEPTACLE.																
		LATING HOT GAS USED DISCONNE																		
CHUVIDE U	INII WIITHINON-F	OSED DISCONNE	CI SWIIGH.																	
	EAVING AIR TEM	IPERATI IRE IN I II	NIT IN LIEU OF C	COII																
COOLING L		IPERATURE IN UI FACTURER INSTA			M. INSTALL REM	OTE DISPLAY IN S	STORAGE RO	OM 122.												
COOLING L PROVIDE U	NIT WITH MANUF		ALLED LOCAL C	ONTROL SYSTE		OTE DISPLAY IN	STORAGE RO	OM 122.												
COOLING L PROVIDE U	NIT WITH MANUF	FACTURER INSTA	ALLED LOCAL C	ONTROL SYSTE		OTE DISPLAY IN	STORAGE RO	OM 122.												
COOLING L PROVIDE U	NIT WITH MANUF	FACTURER INSTA	ALLED LOCAL C	ONTROL SYSTE		OTE DISPLAY IN S	STORAGE RO	OM 122.												
COOLING L PROVIDE U	NIT WITH MANUF	FACTURER INSTA	ALLED LOCAL C IANCE DATA OR	ONTROL SYSTE THEY WILL BE			STORAGE RO	OM 122.												
COOLING L PROVIDE U	NIT WITH MANUF WINGS MUST INC	FACTURER INSTA	ALLED LOCAL C IANCE DATA OR SENSIBLE	ONTROL SYSTE THEY WILL BE NET	REJECTED. NET GAS	NET	STORAGE RO		CLG. WB	CLG. DB	CLG. WB			SUPPLY		E.S.P. (IN				
COOLING L PROVIDE U	NIT WITH MANUF	FACTURER INSTA	ALLED LOCAL C IANCE DATA OR SENSIBLE COOLING	ONTROL SYSTE THEY WILL BE NET COOLING	REJECTED.	NET HEATING	STORAGE RO	CLG. DB E.A.T.	CLG. WB E.A.T.	CLG. DB L.A.T.	CLG. WB L.A.T.	HTG. E.A.T.	HTG. L.A.T.	SUPPLY MOTOR H.P.	FRPM	E.S.P. (IN H2O)	VOLTAGE	PHASE	MCA	NOTES



RELEASE / REVISION

Description

No. Date



ALL REPORTS, PLANS, SPECIFICATIONS AND COMPUTER FILES RELATING TO THIS PROJECT ARE THE PROPERTY OF MANDERS MERIGHI PORTADIN FARRELL. MMPF RETAINS ALL COMMON LAW, STATUTE AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THERETO. REPRODUCTION OF THE MATERIAL HEREIN OR SUBSTANTIAL USE WITHOUT WRITTEN PERMISSION OF MMPF VIOLATES THE COPYRIGHT LAWS OF THE UNITED STATES AND WILL BE SUBJECT TO LEGAL PROSECUTION.

© 2018, MANDERS MERIGHI PORTADIN FARRELL ARCHITECTS, LLC



AI-07473

AI-13038

AI-13618

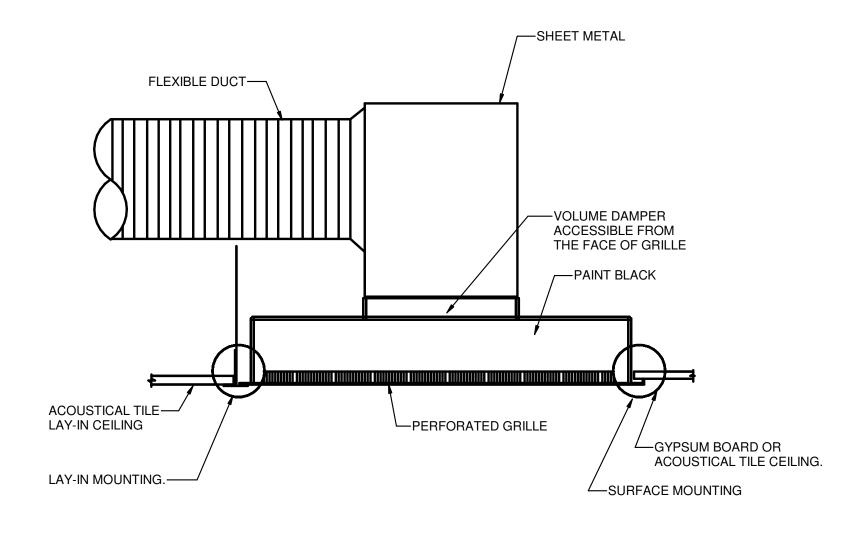
Manders Merighi Portadin Farrell Architects, LLC 1138 East Chestnut Avenue Vineland, New Jersey 08360 p. 856 696 9155 | f. 856 696 9080 www.mmpfa.com

David G. Manders AIA Lawrence J. Merighi AIA Ronald P. Portadin AIA Peter W. Farrell AIA

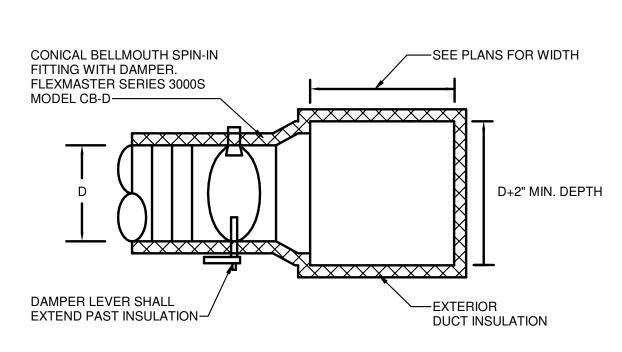
Drawing

ALTERATIONS & RENOVATIONS TO: CAPE MAY COUNTY TECHNICAL SCHOOL ADMINISTATION BUILDING 188 CREST HAVEN ROAD CAPE MAY COURT HOUSE, NJ 08210

HVAC LEGEND AND SCHEDULES Scale Sheet 1/8" = 1'-0" Date Drawn PTB 10/06/20

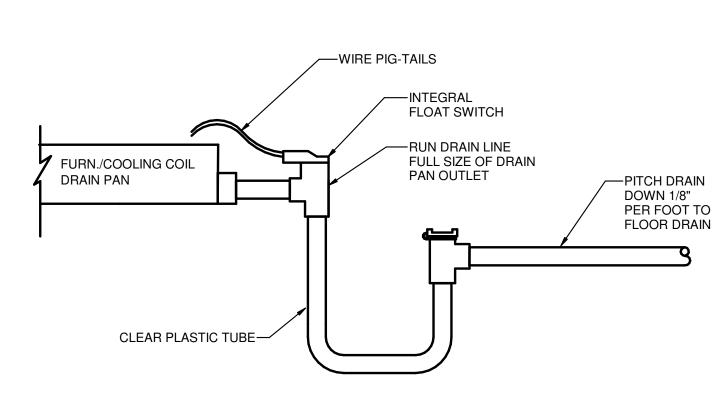


RETURN/EXHAUST GRILLE CONNECTION DETAIL



NOTES:
1. SPIN-IN FITTING SHALL BE USED ON ALL ROUND TAKE OFFS FROM RECTANGULAR

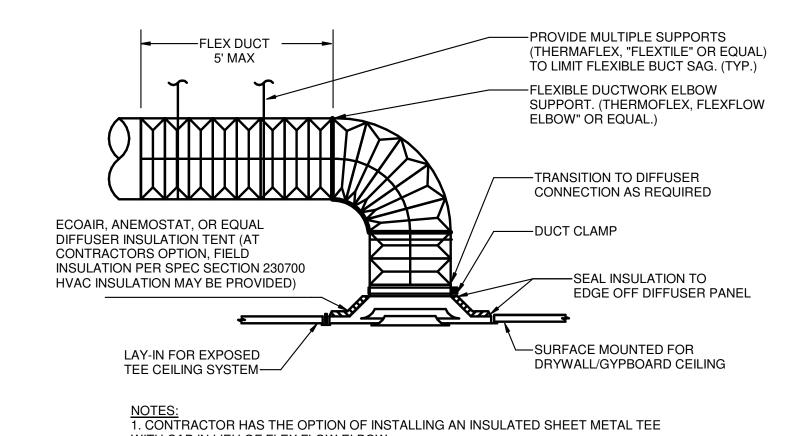
SPIN-IN FITTING DETAIL SCALE: NONE



NOTES:

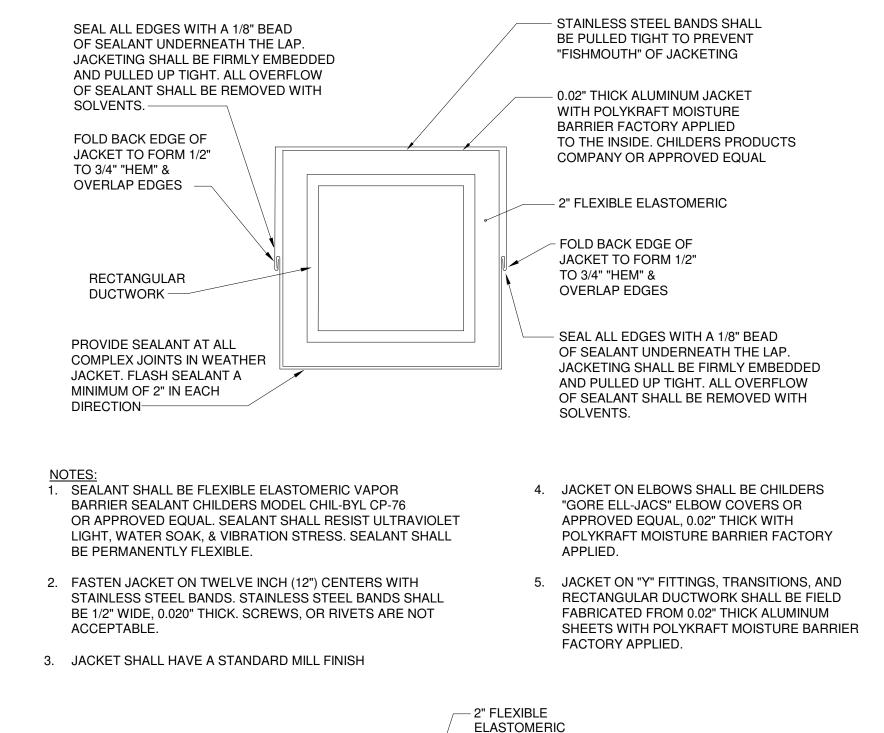
1. CONDENSATE TRAP SHALL BE EZ-TRAP MODEL #EZT-207 OR EQUAL.

3 CONDENSATE DRAIN DETAIL SCALE: NONE



4 SUPPLY DIFFUSER CONNECTION DETAIL SCALE: NONE

WITH CAP IN LIEU OF FLEX FLOW ELBOW.



INSULATION

- RECTANGULAR

DUCTWORK

DUCT INSULATION JACKET DETAIL FOR OUTDOOR DUCTWORK

___ 1 1/2"x1 1/2" ANGLE

FOR DUCT BRACING

ALUMINUM JACKET

PACKAGED UNIT SEQUENCE OF OPERATION

EMERGENCY SHUTDOWNS

THE SUPPLY FAN SHALL SHUT OFF IF ANY OF THE FOLLOWING OCCURS: A. <u>AHU-1</u>, <u>EX-AHU-2</u>, <u>EX-AHU-3</u>, DUCT SMOKE DETECTOR SENSES SMOKE. B. THE SUPPLY DUCT HIGH STATIC PRESSURE LIMIT IS EXCEEDED. EACH EMERGENCY SHUTDOWN CIRCUIT SHALL BE HARD-WIRED TO THE FANS STOP/START, SO THAT EMERGENCY SHUTDOWN SHALL NOT DEPEND UPON SOFTWARE. A MANUAL RESET SHALL BE REQUIRED TO RESTART THE FANS AFTER AN EMERGENCY

DEAD BAND CONTROL

WHEN OUTSIDE OUTSIDE AIR TEMPERATURE IS ABOVE 65F, DX COOILING COIL SHALL SEQUENCE/MODULATE TO MAINTAIN SUPPLY AIR TEMPERATURE OF 55F. WHEN OUTSIDE AIR TEMPERATURE IS 50F OR BELOW, THE GAS HEATING VALVE SHALL MODULATE TO MAINTAIN SUPPLY AIR TEMPERATURE OF 55F.

DIRTY FILTER ALARM

DIFFERENTIAL PRESSURE DROP ACROSS THE FILTERS SHALL BE MONITORED AND INDIVIDUAL ALARMS SHALL BE GENERATED WHEN THE PRESSURE DROP OF THE FILTER BANK EXCEEDS 1.0" WG (ADJ), INDICATING THAT THE FILTERS ARE DIRTY. OCCUPIED MODE

THE TIME SCHEDULE FOR OCCUPIED MODE FOR EACH AHU SYSTEM SHALL BE COORDIANTED WITH THE OWNER. DURING OCCUPIED MODE, ALL SEQUENCES SHALL OPERATE AS INDICATED AS ABOVE.

UNOCCUPIED MODE

DURING UNOCCUPIED MODE, THE SUPPLY FAN SHALL REMAIN OFF AND THE OUTDOOR AIR DAMPER CLOSED.

EXHAUST FANS SEQUENCE OF OPERATION

 $\underline{\text{EF-1,2,3}}$ FAN SHALL RUN ON MANUAL SWITCH, LOCATION TO BE COORDINATED WITH ELECTRICAL DRAWINGS.



RELEASE / REVISION

Description 10/09/20 ISSUED FOR BIDDING

No. Date

ALL REPORTS, PLANS, SPECIFICATIONS AND COMPUTER FILES RELATING TO THIS PROJECT ARE THE PROPERTY OF MANDERS MERIGHI PORTADIN FARRELL. MMPF RETAINS ALL COMMON LAW, STATUTE AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THERETO. REPRODUCTION OF THE MATERIAL HEREIN OR SUBSTANTIAL USE WITHOUT WRITTEN PERMISSION OF MMPF VIOLATES THE COPYRIGHT LAWS OF THE UNITED STATES AND WILL BE SUBJECT TO LEGAL PROSECUTION.

© 2018, MANDERS MERIGHI PORTADIN FARRELL ARCHITECTS, LLC



AI-07473

AI-13038

AI-13618

Manders Merighi Portadin Farrell Architects, LLC 1138 East Chestnut Avenue p. 856 696 9155 | f. 856 696 9080 www.mmpfa.com

Peter W. Farrell AIA

David G. Manders AIA Lawrence J. Merighi AIA Ronald P. Portadin AIA

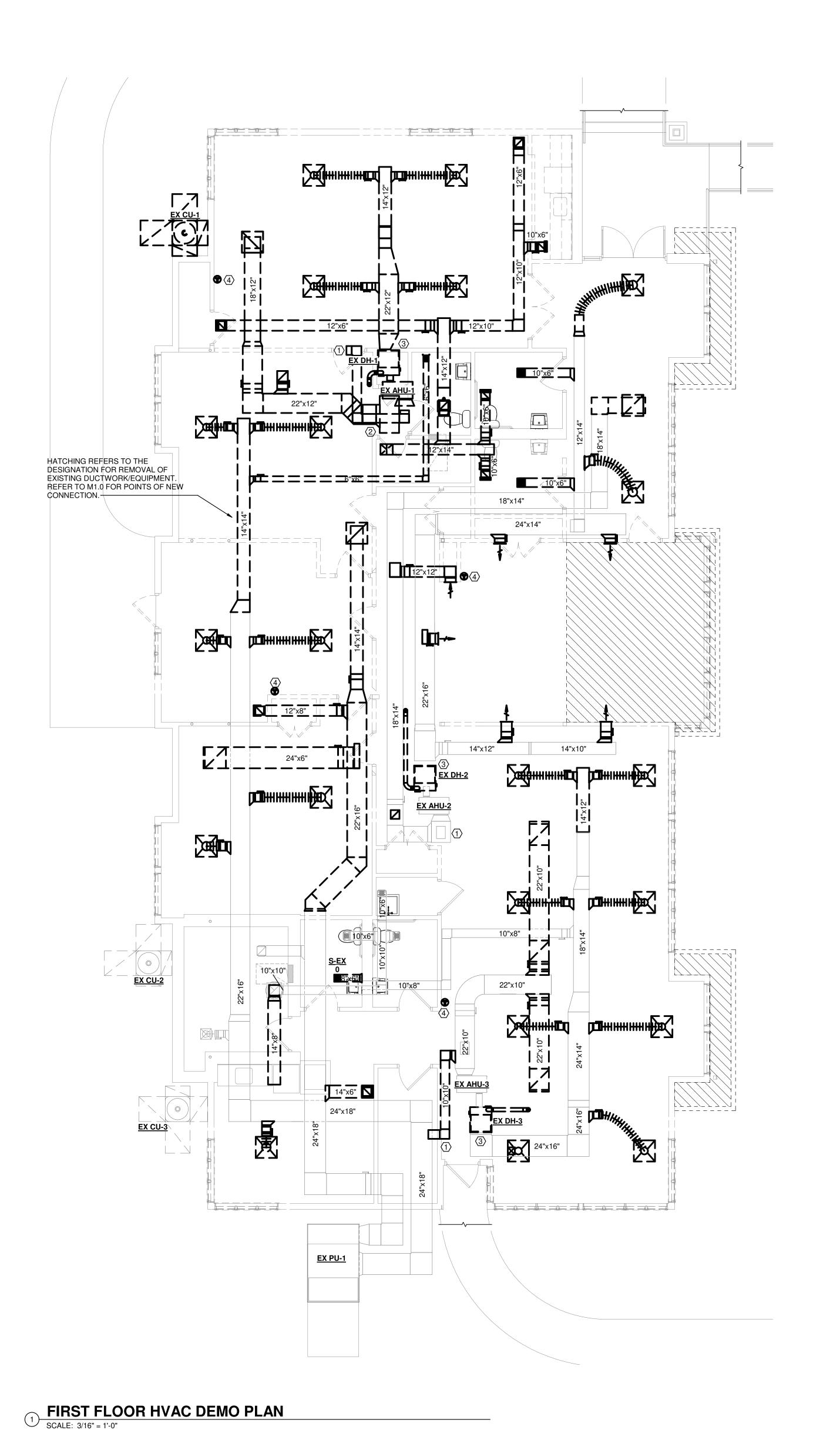
Project

TLP

ALTERATIONS & RENOVATIONS TO: CAPE MAY COUNTY TECHNICAL SCHOOL ADMINISTATION BUILDING 188 CREST HAVEN ROAD CAPE MAY COURT

HOUSE, NJ 08210

Drawing HVAC DETAILS AND CONTROLS SEQUENCE Sheet As indicated Drawn



REMOVAL KEY NOTES

- 1. EXISTING AUTOMATIC OUTSIDE AIR DAMPER SHALL BE DRIVEN SHUT. SEAL
- 2. DISCONNECT EXISTING SMOKE DETECTOR MOUNTED IN RETURN PLENUM. KEEP FOR RECONNECTION.
- 3. REMOVE EXISTING DUCT FURNACE, CONTROLS, ACCESORIES, AND FLUE
- 4. THERMOSTATS CONTROLLED BY <u>EX-AHU-1</u>, <u>EX-AHU-2</u>, <u>EX-AHU-3</u>, AND <u>EX-PU-1</u> SHALL BE REMOVED DURING DEMO AND PREPARED FOR REINSTALLATION.

GENERAL REMOVAL NOTES:

- A. THE CONTRACTOR SHALL CAP ALL PENETRATIONS MADE IN DUCTWORK AS A RESULT OF REMOVING DIFFUSER/GRILLE CONNECTIONS.
- B. THE REMOVAL DRAWINGS SHALL SERVE TO AID THE CONTRACTOR IN THE EVALUATION OF THE EXTENT OF REMOVALS, BUT SHALL NOT BE HELD TO BE ALL INCLUSIVE.
- C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE AREA TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS. VERIFY SIZE, LOCATION, AND USAGE OF EXISTING UTILITIES PRIOR TO REMOVAL. FOR FURTHER INFORMATION WITH REGARD TO THE EXTENT OF REMOVALS, SEE THE CONSTRUCTION DRAWINGS AND THE ARCHITECTURAL DRAWINGS WHICH SHOW WORK TO BE PERFORMED.
- D. CUT, PATCH & REPAIR ALL OPENINGS IN WALLS, FLOORS, CEILINGS, ETC. WHERE REQUIRED BY THE REMOVAL OF EQUIPMENT, DUCTWORK, AND ACCESSORIES. PATCHING SHALL MATCH EXISTING CONSTRUCTION & FINISHES. COORDINATE ALL PATCHING AND FINISHES WITH ARCHITECT. PATCHING OF FIRE WALLS SHALL MEET THE RATING AND SHALL BE INSTALLED PER ARCHITECTURAL SPECIFICATION.
- E. IF EQUIPMENT TO REMAIN MUST BE REMOVED DUE TO REMOVAL OR CONSTRUCTION, THE EQUIPMENT SHALL BE RELOCATED IN A MANNER THAT IS ACCEPTABLE BY THE ARCHITECT/ENGINEER.
- F. PROPER CONNECTIONS, MATERIALS, AND SIZES OF DUCTWORK/PIPING SHALL BE MAINTAINED TO ENSURE EQUIPMENT IS MADE FULLY OPERATIONAL.
- G. REMOVE COMPLETELY ALL EXISTING HVAC EQUIPMENT, ALL ASSOCIATED PIPING, CONTROLS, AND SUPPORTS BEING MADE OBSOLETE BY THIS CONSTRUCTION. REMOVAL OF HVAC DUCTWORK AND PIPING SHALL BE MADE BACK TO MAINS AS INDICATED BY THE HATCHING. WORK ASSOCIATED WITH THE MAINS SHALL BE DONE DURING OFF HOURS.
- H. REMOVE ALL EXISTING INSULATION INCLUDING DUCTWORK TO REMAIN.
- I. PRIOR TO REPLACING INSULATION ON EXISTING DUCTWORK, CONTACT ENGINEER TO REVIEW INTEGRITY OF DUCTWORK.



PHOTO 1 EX-AHU-3 RETURN PLENUM SMOKE DETECTOR.



PHOTO 2 EX-DH-3 WITH FLUE CONNECTION



RELEASE / REVISION

Description 10/09/20 ISSUED FOR BIDDING

No. Date

ALL REPORTS, PLANS, SPECIFICATIONS AND COMPUTER FILES RELATING TO THIS PROJECT ARE THE PROPERTY OF MANDERS MERIGHI PORTADIN FARRELL. MMPF RETAINS ALL COMMON LAW, STATUTE AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THERETO. REPRODUCTION OF THE MATERIAL HEREIN OR SUBSTANTIAL USE WITHOUT WRITTEN PERMISSION OF MMPF VIOLATES THE COPYRIGHT LAWS OF THE UNITED STATES AND WILL BE SUBJECT TO LEGAL PROSECUTION.

© 2018, MANDERS MERIGHI PORTADIN FARRELL ARCHITECTS, LLC



AI-07220 AI-07473 AI-13038

AI-13618

Manders Merighi Portadin Farrell Architects, LLC 1138 East Chestnut Avenue p. 856 696 9155 I f. 856 696 9080 www.mmpfa.com

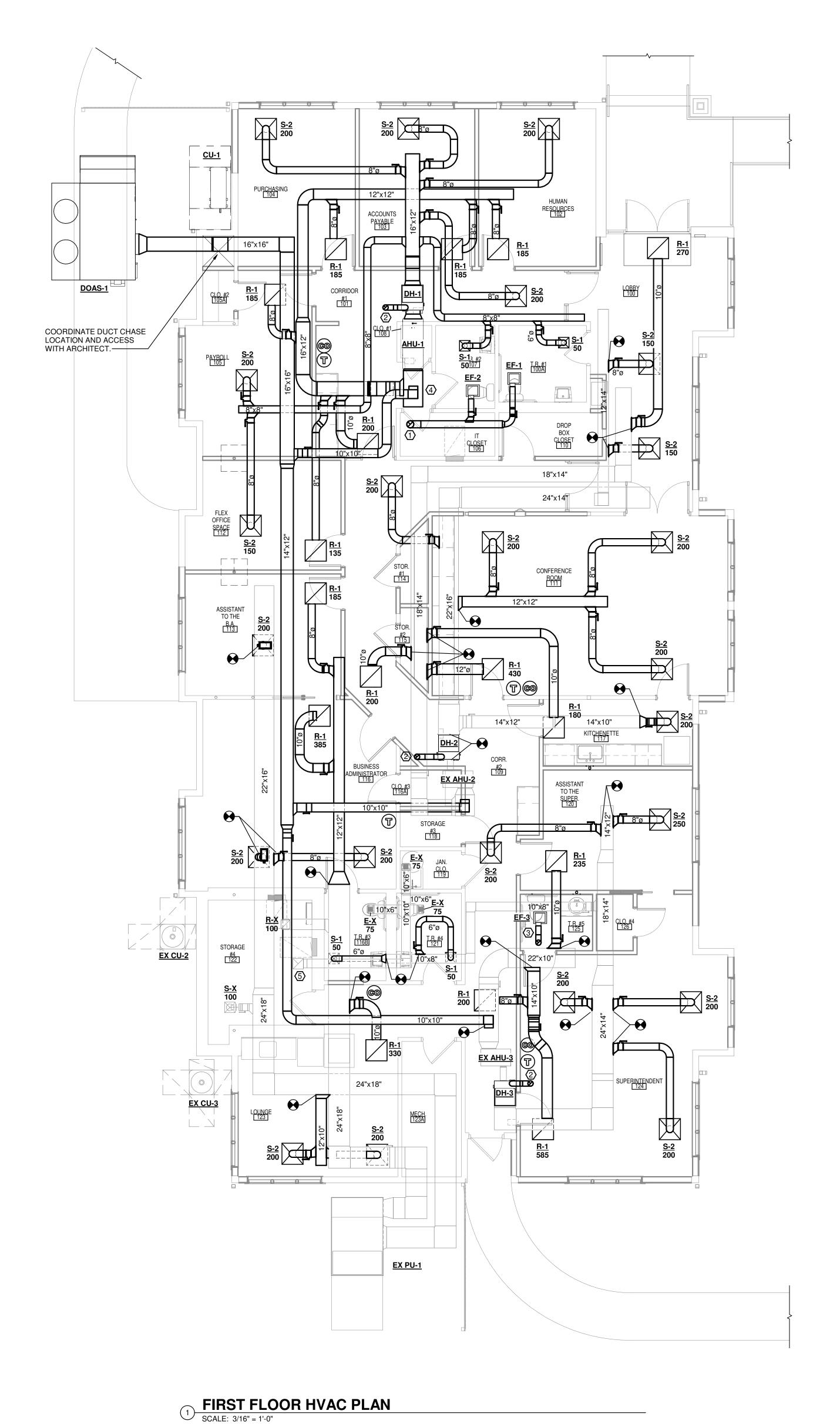
David G. Manders AIA Lawrence J. Merighi AIA Ronald P. Portadin AIA

Peter W. Farrell AIA

ALTERATIONS & RENOVATIONS TO: CAPE MAY COUNTY TECHNICAL SCHOOL ADMINISTATION BUILDING 188 CREST HAVEN ROAD CAPE MAY COURT

HOUSE, NJ 08210 Drawing FIRST FLOOR HVAC DEMO PLAN

As indicated Drawn PTB 10/06/20



KEY NOTES

1. ROUTE 8" EXHAUST DUCT THROUGH EXISTING CURB AND TERMINATE WITH GOOSENECK. SEAL REMAINING OPENING AS NECESSARY.

2. ROUTE 6" VENT FROM DUCT FURNACE TO EXISTING PENETRATION. SEAL OPEN GAPS TIGHT.

3. ROUTE 6" DUCT FROM EXHAUST FAN UP THROUGH ROOF TERMINATE WITH GOOSENECK. SEAL WEATHER TIGHT.

4. REINSTALL EXISTING SMOKE DETECTOR IN NEW AHU-1 RETURN PLENUM.

5. UP TO EXISTING EXHAUST FAN. BALANCE EXHAUST REGISTERS AS SHOWN ON PLANS.

GENERAL MECHANICAL NOTES

EX-AHU-2 AND EX-AHU-3 SHALL BE REBALANCED AFTER INSTALLATION OF NEW DUCT WORK. REFER TO TESTING AND BALANCING SPECIFICATION.

RELEASE / REVISION

Description 10/09/20 ISSUED FOR BIDDING

No. Date

ALL REPORTS, PLANS, SPECIFICATIONS AND COMPUTER FILES RELATING TO THIS PROJECT ARE THE PROPERTY OF MANDERS MERIGHI PORTADIN FARRELL. MMPF RETAINS ALL COMMON LAW, STATUTE AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THERETO. REPRODUCTION OF THE MATERIAL HEREIN OR SUBSTANTIAL USE WITHOUT WRITTEN PERMISSION OF MMPF VIOLATES THE COPYRIGHT LAWS OF THE UNITED STATES AND WILL BE SUBJECT TO LEGAL PROSECUTION.

© 2018, MANDERS MERIGHI PORTADIN FARRELL ARCHITECTS, LLC



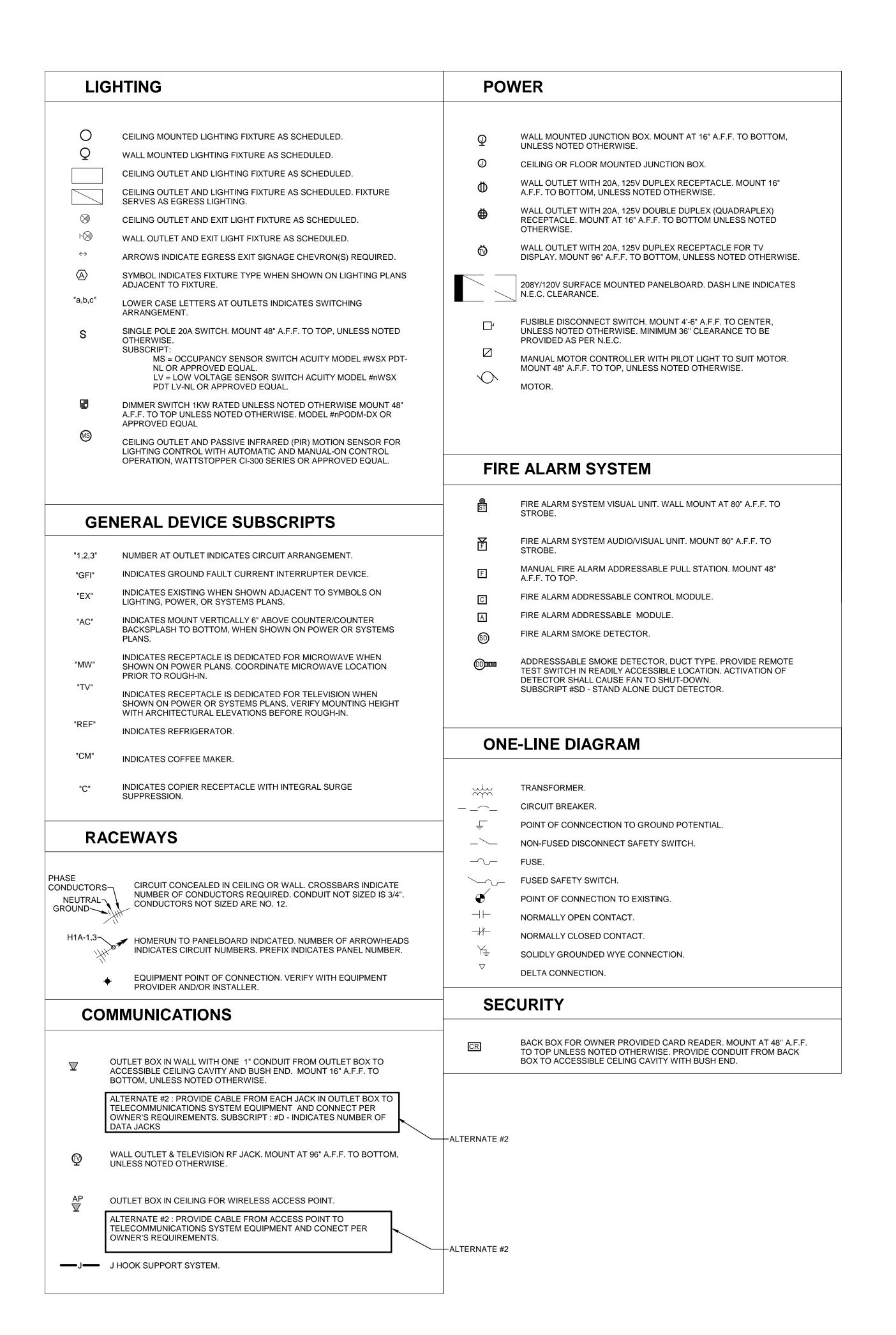
AI-07220 AI-07473 AI-13038 AI-13618

Manders Merighi Portadin Farrell Architects, LLC 1138 East Chestnut Avenue p. 856 696 9155 I f. 856 696 9080 www.mmpfa.com

David G. Manders AIA Lawrence J. Merighi AIA Ronald P. Portadin AIA Peter W. Farrell AIA

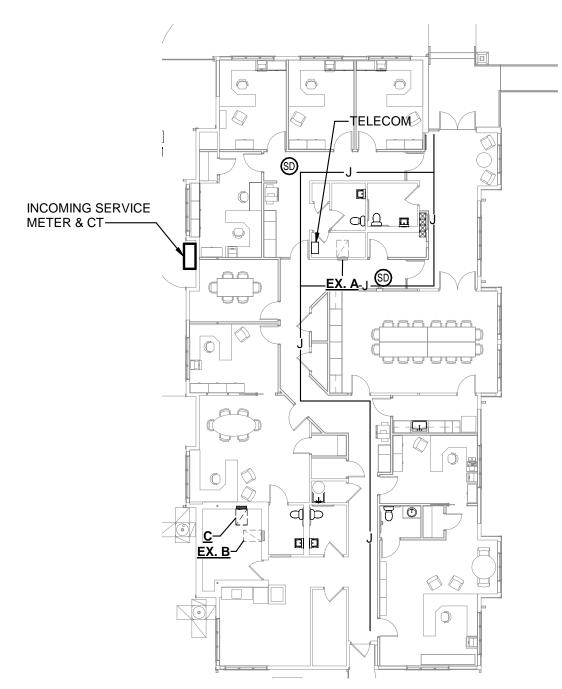
ALTERATIONS & RENOVATIONS TO: CAPE MAY COUNTY TECHNICAL SCHOOL ADMINISTATION BUILDING 188 CREST HAVEN ROAD CAPE MAY COURT HOUSE, NJ 08210

Drawing FIRST FLOOR HVAC PLAN Sheet 3/16" = 1'-0" Drawn 10/06/20 PTB



ELECTRICAL GENERAL NOTES:

- A. THE REMOVAL PLAN DRAWINGS SHALL SERVE TO AID THE CONTRACTOR IN THEIR EVALUATION OF THE EXTENT OF REMOVALS, BUT SHALL NOT BE HELD TO BE ALL INCLUSIVE.
- B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE BUILDING AND SITE TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS, VERIFY SIZE, LOCATION, AND USAGE OF UTILITIES AND EQUIPMENT PRIOR TO
- FOR FURTHER INFORMATION WITH REGARD TO THE EXTENT OF REMOVALS, SEE NEW CONSTRUCTION PLANS AND ARCHITECTURAL PLANS WHICH ILLUSTRATE THE NEW CONSTRUCTION.
- D. ALL EQUIPMENT REMOVED FOR RELOCATION SHALL BE REMOVED IN SUCH A MANNER THAT REUSE IS POSSIBLE.
- E. PATCH ALL OPENINGS IN WALLS, FLOORS, AND CEILINGS WHERE REMOVAL OF EQUIPMENT OR DEVICES CREATES SUCH OPENINGS. PATCH OPENINGS TO MATCH EXISTING. F. IF PORTIONS OF CIRCUITS SERVING EQUIPMENT TO REMAIN MUST BE RELOCATED OR REMOVED DUE TO OTHER
- REMOVAL OR DUE TO INTERFERENCE WITH NEW EQUIPMENT INSTALLATION, THE CIRCUITS SHALL BE MODIFIED IN SUCH A MANNER WHICH WILL ENSURE THE PROPER OPERATION OF THE EQUIPMENT AFTER CONSTRUCTION IS COMPLETE. USE THE SAME TYPE OF CONDUCTOR AND SAME CONDUIT SIZE AS EXISTING TO MAKE ALL REQUIRED MODIFICATIONS.
- G. IF WALLS, CEILINGS, FLOORS, OR EQUIPMENT ARE REMOVED, OR OTHER REMOVAL OCCURS, WHICH EXPOSES CIRCUITS TO REMAIN, THE CIRCUITS SHALL BE RELOCATED OR MODIFIED IN SUCH A MANNER WHICH SHALL ENSURE CONTINUED OPERATION OF THE CIRCUIT. EXISTING CONDUITS EXPOSED DURING REMOVALS WHICH REMAIN TO SERVE EQUIPMENT, SHALL BE RESUPPORTED IN ACCORDANCE WITH THE REQUIREMENTS FOR RACEWAY INSTALLATION IN THE SPECIFICATIONS.
- H. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REMOVALS REQUIRED FOR THE INSTALLATION OF NEW WORK, WHETHER OR NOT IT IS SPECIFICALLY INDICATED OR NOTED IN THESE DOCUMENTS.
- I. ALL EQUIPMENT INDICATED AS CROSS HATCHED, OR NOTED, SHALL BE DISCONNECTED AND REMOVED.
- J. ALL CONDUIT RUNS TO REMOVED EQUIPMENT OR DEVICES SHALL BE COMPLETELY REMOVED BACK TO SOURCE INCLUDING ALL HANGERS, BEAM CLAMPS, MISCELLANEOUS SUPPORTS, AND WIRING, UNLESS WIRING IS REQUIRED TO SERVE EXISTING EQUIPMENT TO REMAIN.
- K. ALL WIRING DEVICES TO BE REMOVED SHALL BE REMOVED COMPLETELY INCLUDING OUTLET BOX.
- L. ALL DEVICES, FIXTURES, EQUIPMENT, AND MATERIAL DETERMINED BY THE OWNER TO BE SALVAGEABLE SHALL REMAIN THE PROPERTY OF THE OWNER AND STORED AT THE LOCATION ON THE PREMISES DESIGNATED BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL OTHER ELECTRICAL EQUIPMENT WHICH IS DISCONNECTED AND REMOVED DURING DEMOLITION, UNLESS NOTED OTHERWISE.
- M. REMOVE ALL ABANDONED ELECTRICAL EQUIPMENT, WIRING & CONDUIT WITHIN PROJECT AREA.
- N. PROVIDE ALL TEMPORARY EGRESS EXIT LIGHTING FIXTURES AS REQUIRED DURING CONSTRUCTION.
- O. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING & REPLACING ACOUSTICAL LAY-IN CEILING FOR ROUTING OF FEEDERS AND COMMUNICATION CABLING, UNLESS SPECIFICALLY NOTED OTHERWISE OR SHOWN ON ARCHITECTURAL DRAWINGS. ALL DAMAGED TILE SHALL BE REPLACED WITH NEW TILE TO MATCH EXISTING.
- P. COORDINATE CONDUIT ROUTING WITH MECHANICAL CONTRACTOR TO AVOID CONFLICTS WITH EQUIPMENT AND EQUIPMENT CLEARANCES.
- Q. FINAL CONNECTION TO ALL CEILING MOUNTED DEVICES SHALL BE MADE WITH FLEX CONDUIT.
- R. FIRE ALARM SYSTEM SHALL BE INSTALLED IN CONDUIT.
- S. COORDINATE LIGHTING FIXTURE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLAN.



2 SCALE: 1/16" = 1'-0"



RELEASE / REVISION

lo. Date

Description

10/09/20 ISSUED FOR BIDDING

ALL REPORTS, PLANS, SPECIFICATIONS AND COMPUTER FILES RELATING TO THIS PROJECT ARE THE PROPERTY OF MANDERS MERIGHI PORTADIN FARRELL. MMPF RETAINS ALL COMMON LAW, STATUTE AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THERETO. REPRODUCTION OF THE MATERIAL HEREIN OR SUBSTANTIAL USE WITHOUT WRITTEN PERMISSION OF MMPF VIOLATES THE COPYRIGHT LAWS OF THE UNITED STATES AND WILL BE SUBJECT TO LEGAL PROSECUTION.

© 2018, MANDERS MERIGHI PORTADIN FARRELL ARCHITECTS, LLC



AI-07473

AI-13038 AI-13618

Manders Merighi Portadin Farrell Architects, LLC 1138 East Chestnut Avenue p. 856 696 9155 I f. 856 696 9080 www.mmpfa.com

David G. Manders AIA Lawrence J. Merighi AIA Ronald P. Portadin AIA Peter W. Farrell AIA

Project

Drawn

ALTERATIONS & RENOVATIONS TO: CAPE MAY COUNTY TECHNICAL SCHOOL ADMINISTATION BUILDING 188 CREST HAVEN ROAD CAPE MAY COURT HOUSE, NJ 08210

Drawing **ELECTRICAL LEGEND** As indicated E0.1

EXISTING HVAC \ UNIT CU-1

GENERAL NOTES

STORAGE

- A. REFER TO GENERAL NOTES ON SHEET E.01 FOR ADDITIONAL INFORMATION AND DETAILS.
- B. REMOVE ALL EXISTING LIGHTS EXCEPT FOR THE ONES IN MECHANICAL AND
- C. ATTIC LIGHTS TO REMAIN IN OOPERATION.

KEYNOTES

- 1. REMOVE EXISTING BUILDING MOUNTED LIGHTS IN SUCH A MANNER THAT THE EXISTING LIGHITNG CIRCUIT MAY BE REUSED TO SERVE REPLACEMENT FIXTURE. SEE NEW PLAN FOR MORE INFORMTION.
- EXISTING LIGHTS AND DEVICES IN THIS ROOM TO REMAIN. DISCONNECT CIRCUITS FEEDING THIS ROOM AND RECONNECT NEW CIRCUITS PER NEW POWER AND LIGHITNG PLAN.
- DISCONNECT EXISTING CIRCUIT TO ALLOW FOR THE REMOVAL OF THE EQUIPMENT SERVED. DISCONNECT CIRCUIT IN SUCH A MANNER THAT IT MAY BE REUSED TO SERVE REPLACEMENT EQUIPMENT. SEE NEW PLANS FOR DETAILS.
- 4. EXISTING RECEPTACLE TO REMAIN AND TO BE FED FROM NEW RECEPTACLE CIRCUIT. SEE NEW PLANS FOR DETAILS.
- 5. CONTRACTOR TO CONFIRM LOCATION AND OPERATION OF PHOTOCELL AND TO PROVIDE NEW PHOTOCELL IN CASE LOCATION CANNOT BE CONFIRMED. CONNECT TO EXISTING LIGHTING CIRCUIT.
- 6. DEMO EXISTING POWER POLES IN THIS ROOM.



PHOTO 1

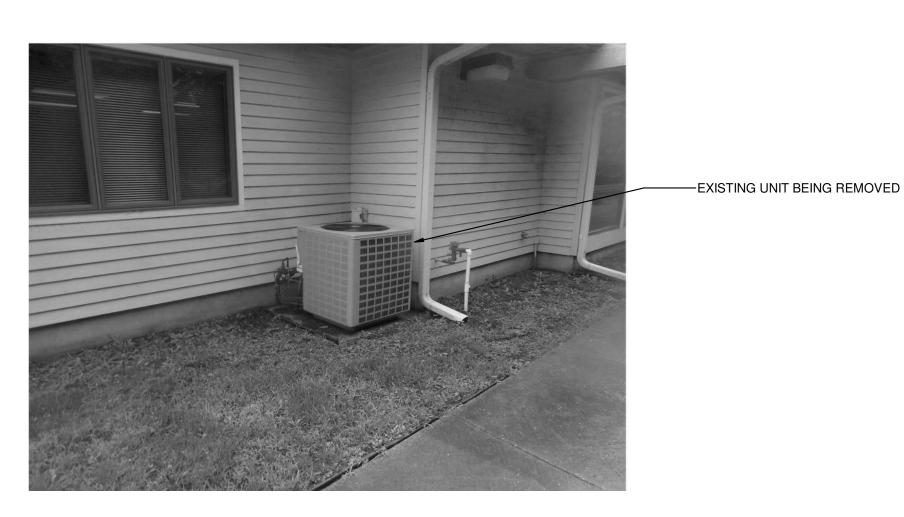
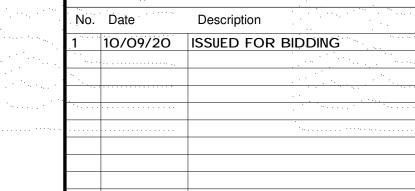


PHOTO 2





RELEASE / REVISION

ALL REPORTS, PLANS, SPECIFICATIONS AND COMPUTER FILES RELATING TO THIS PROJECT ARE THE PROPERTY OF MANDERS MERIGHI PORTADIN FARRELL. MMPF RETAINS ALL COMMON LAW, STATUTE AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THERETO. REPRODUCTION OF THE MATERIAL HEREIN OR SUBSTANTIAL USE WITHOUT WRITTEN PERMISSION OF MMPF VIOLATES THE COPYRIGHT LAWS OF THE UNITED STATES AND WILL BE SUBJECT TO LEGAL PROSECUTION.

2018, MANDERS MERIGHI PORTADIN FARRELL ARCHITECTS, LLC



AI-07220 AI-07473 AI-13038

AI-13618

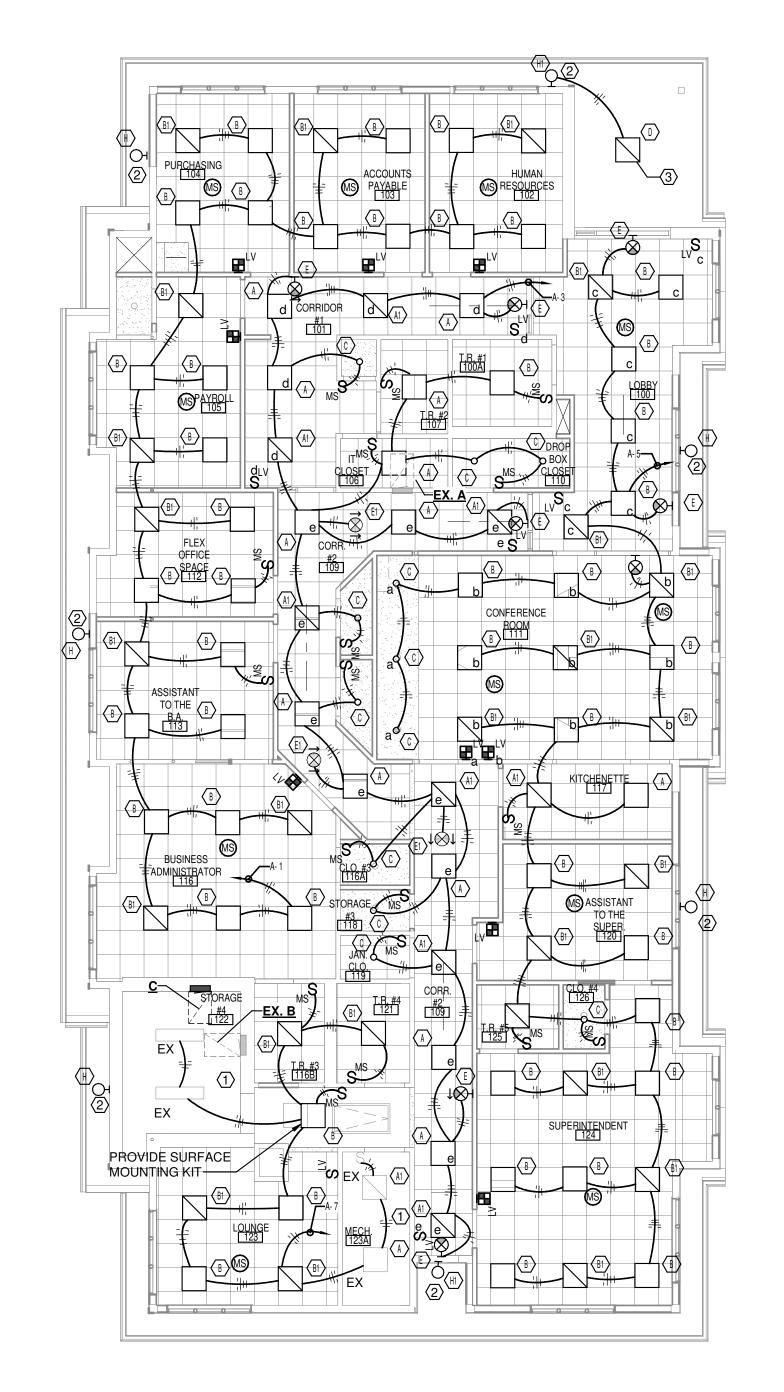
Manders Merighi Portadin Farrell Architects, LLC 138 East Chestnut Avenue p. 856 696 9155 I f. 856 696 9080 www.mmpfa.com

David G. Manders AIA Lawrence J. Merighi AIA Ronald P. Portadin AIA Peter W. Farrell AIA

ALTERATIONS & RENOVATIONS TO: CAPE MAY COUNTY TECHNICAL SCHOOL ADMINISTATION BUILDING 188 CREST HAVEN ROAD CAPE MAY COURT HOUSE, NJ 08210

Drawing		
	AL REMOVAL LAN	
Scale	Job	 Shee
1/8" = 1'-0"	20.048	_

E1.0 Drawn 10/06/20



FIRST FLOOR LIGHTING PLAN

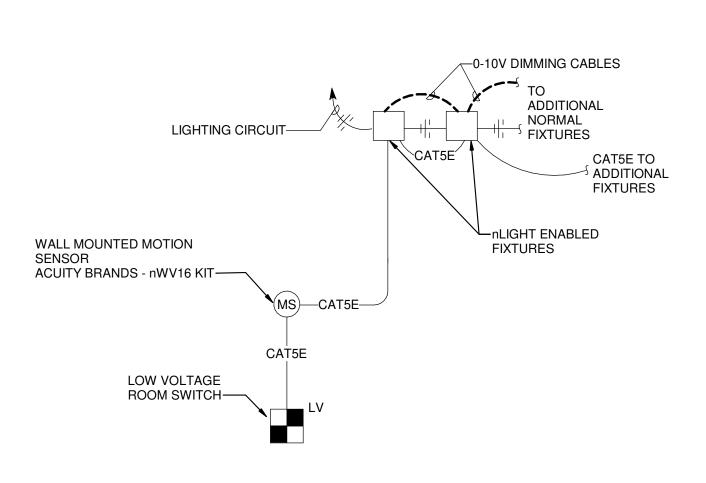
SCALE: 1/8" = 1'-0"

GENERAL NOTES

A. REFER TO GENERAL NOTES ON SHEET E.01 FOR ADDITIONAL INFORMATION AND DETAILS.

KEYNOTES

- RECONNECT EXISTING LIGHTS IN THIS AREA TO NEW CIRCUIT. PROVIDE ALL NECESSARY WIRING AND CONDUIT.
- 2. RECONNECT EXISTING LIGHTING CIRCUIT TO NEW FIXTURE. MODIFY/EXTEND CIRCUIT AS NEEDED. USE SAME GAUGE/TYPE WIRE AS EXISTING.
- CONNECT TO EXTERIOR LIGHTING CIRCUIT. LIGHT TO BE CONTROLLED BY EXTERIOR LIGHTING CONTACTOR.



2 LIGHTING CONTROL DETAIL
SCALE: NONE

	LIGHT	ING FIXTU	RE SCHEDULE					
					LAMP			
TYPE	DESCRIPTION	MANUFACTURER	SERIES	TYPE	LUMENS	WATTS	VOLTAGE	MOUNTING
			1		1		1	1
	LED WET LOCATION FIXTURE, 3500K, 2000 LUMENS WITH EMERGENCY BATTERY BACKUP. PROVIDE INTEGRAL 90 MINUTE BATTERY BACKUP	LITHONIA	FEX L24 2000LM FPCL MD MVOLT 35K 90CRI E10WLCP	LED	2000	14	MVOLT	SURFACE (PROVIDE KIT)
Α	2'X2' LED FLAT PANEL FIXTURE WITH PRISMATIC LENS, 3500K, 2000 LUMENS. nLIGHT ENABLED.	LITHONIA	EPANL 2X2 2000LM 80CRI 35K MIN10 ZT MVOLT NLIGHT	LED	2000	19	MVOLT	RECESSED
A1	2'X2' LED FLAT PANEL FIXTURE WITH PRISMATIC LENS, 3500K, 2000 LUMENS. SAME AS TYPE A WITH EMERGENCY BATTERY BACKUP. PROVIDE INTEGRAL 90 MINUTE BATTERY BACKUP. nLIGHT ENABLED	LITHONIA	EPANL 2X2 2000LM 80CRI 35K MIN10 ZT E10WCP MVOLT NLIGHT	LED	2000	19	MVOLT	RECESSED
В	2'X2' LED FLAT PANEL FIXTURE WITH PRISMATIC LENS, 3500K, 3400 LUMENS. nLIGHT ENABLED.	LITHONIA	EPANL 2X2 3400LM 80CRI 35K MIN10 ZT MVOLT NLIGHT	LED	3400	31	MVOLT	RECESSED
B1	2'X2' LED FLAT PANEL FIXTURE WITH PRISMATIC LENS, 3500K, 3400 LUMENS .SAME AS TYPE B WITH EMERGENCY BATTERY BACKUP. PROVIDE INTEGRAL 90 MINUTE BATTERY BACKUP. nLIGHT ENABLED.	LITHONIA	EPANL 2X2 3400LM 80CRI 35K MIN10 ZT E10WCP MVOLT NLIGHT	LED	3400	31	MVOLT	RECESSED
С	6' DOWNLIGHT WITH SEMI SPECULAR FINISH, 3500K, 2000 LUMENS. nLIGHT ENABLED.	GOTHAM	EVO 35/20 AR MWD LSS EZ1 MVOLT NLT	LED	2000	20	MVOLT	RECESSED
D	LED FIXTURE, 3500K,1500 LUMEN. CONFIRM FINISH WITH ARCHITECT	LITHONIA	SWP1212 XWP 15W 35K MVOLT CLP EMB310T20	LED	1500	15	MVOLT	SURFACE MOUNTED
Е	SINGLE FACED DIE CAST ALUMINUM LED EGRESS EXIT SIGNS WITH WHITE HOUSING, WHITE FACE, AND RED STENCIL LETTERS. SEE MOUNTING DETAIL FOR MORE INFORMATION.	LITHONIA	LVS-W-1-R-ELN	LED		1.5	MVOLT	UNIVERSAL
E1	LED DOUBLE FACED EXIT LIGHT WITH BLACK DIE-CAST HOUSING/ BRUSHED ALUMINUM FACE AND RED STENCIL LETTERS.	LITHONIA	EXR LED EL M6	LED		1.2	MOVOLT	UNIVERSAL
Н	WALL MOUNTED LED FIXTURE, DIE CAST ALUMINUM HOUSING, TWO DRIVERS AND DUAL SWITCHING. CONFIRM FINISH WITH ARCHITECT.	LITHONIA	WDGE2LED-P3-40K-80CRI-VF	LED	3000	23	MVOLT	WALL MOUNT
H1	WALL MOUNTED LED FIXTURE, DIE CAST ALUMINUM HOUSING, TWO DRIVERS AND DUAL SWITCHING TO MEET EMERGENCY EGRESS REQUIREMENT. CONFIRM FINISH WITH ARCHITECT. PROVIDE INTEGRAL 90 MIN BATTERY BACKUP	LITHONIA	WDGE2LED-P3-40K-80CRI-VF-E10WH	LED	3000	23	MVOLT	WALL MOUNT



RELEASE / REVISION

Description 10/09/20 ISSUED FOR BIDDING

No. Date

ALL REPORTS, PLANS, SPECIFICATIONS AND COMPUTER FILES RELATING TO THIS PROJECT ARE THE PROPERTY OF MANDERS MERIGHI PORTADIN FARRELL. MMPF RETAINS ALL COMMON LAW, STATUTE AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THERETO. REPRODUCTION OF THE MATERIAL HEREIN OR SUBSTANTIAL USE WITHOUT WRITTEN PERMISSION OF MMPF VIOLATES THE COPYRIGHT LAWS OF THE UNITED STATES AND WILL BE SUBJECT TO LEGAL PROSECUTION.

© 2018, MANDERS MERIGHI PORTADIN FARRELL ARCHITECTS, LLC



Manders Merighi Portadin Farrell Architects, LLC 1138 East Chestnut Avenue Vineland, New Jersey 08360 p. 856 696 9155 I f. 856 696 9080 www.mmpfa.com AI-07220 AI-07473 AI-13038 AI-13618

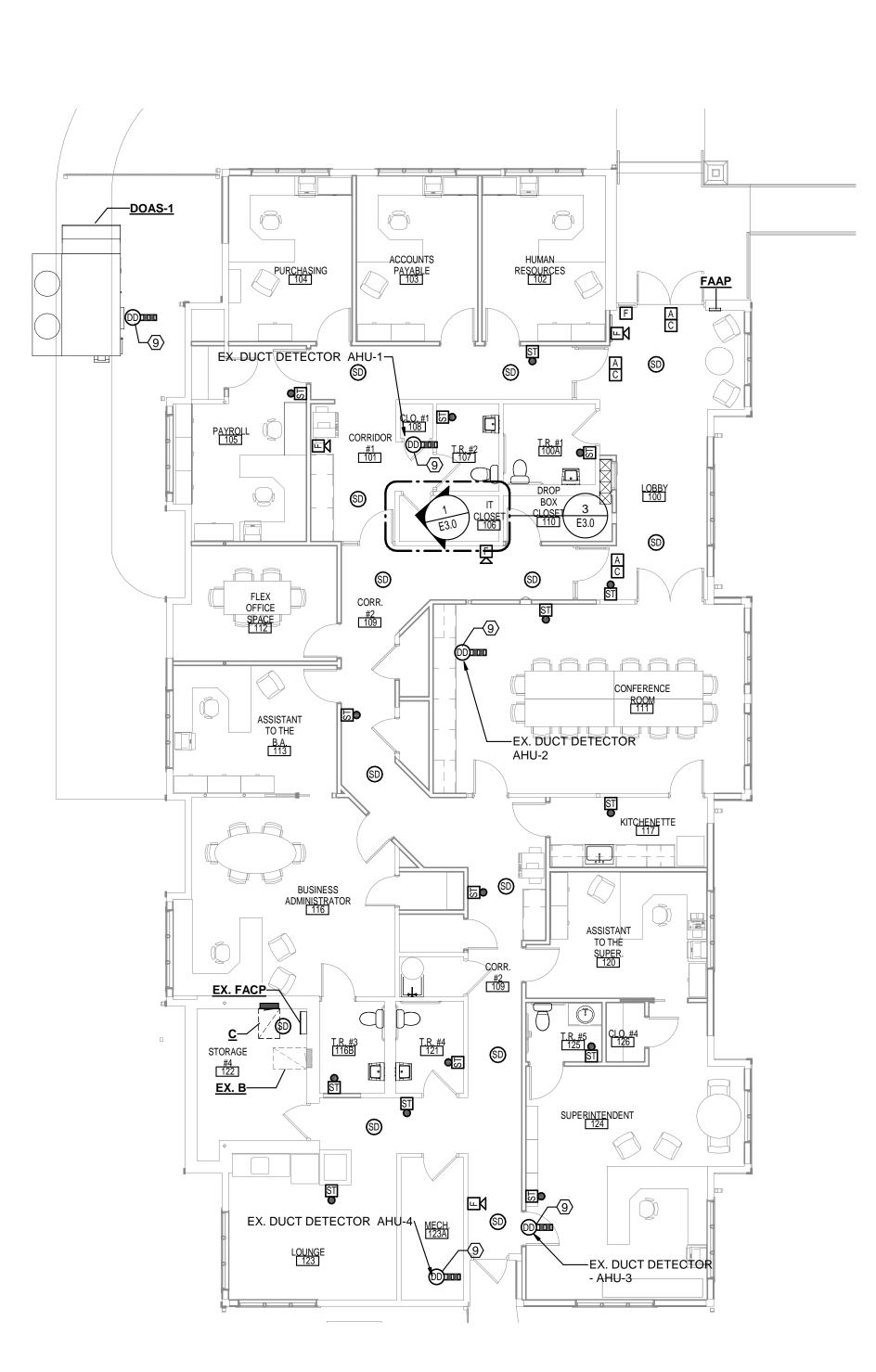
David G. Manders AIA Lawrence J. Merighi AIA Ronald P. Portadin AIA Peter W. Farrell AIA

ALTERATIONS & RENOVATIONS TO: CAPE MAY COUNTY TECHNICAL SCHOOL ADMINISTATION BUILDING 188 CREST HAVEN ROAD CAPE MAY COURT HOUSE, NJ 08210

Drawing		
	L LIGHITING LAN	
Scale	Job	Sheet
1/8" = 1'-0"	20.048	E2.0
Drawn	Date	↑ ⊏∠. ∪

35A/2P FDS FUSED @ 35/2 NEMA 3R----<u>CU-1</u> 22MCA,208V,1Ø 3#6,1#10,1-1/2"C 60A/3P FDS FUSED @ 60/3 NEMA 3R





FIRST FLOOR FIRE ALARM PLAN - ALTERNATE 1

SCALE: 1/8" = 1'-0"

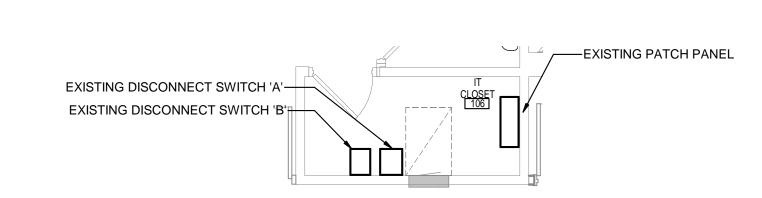
GENERAL NOTES

A. REFER TO GENERAL NOTES ON SHEET E.01 FOR ADDITIONAL INFORMATION AND DETAILS.

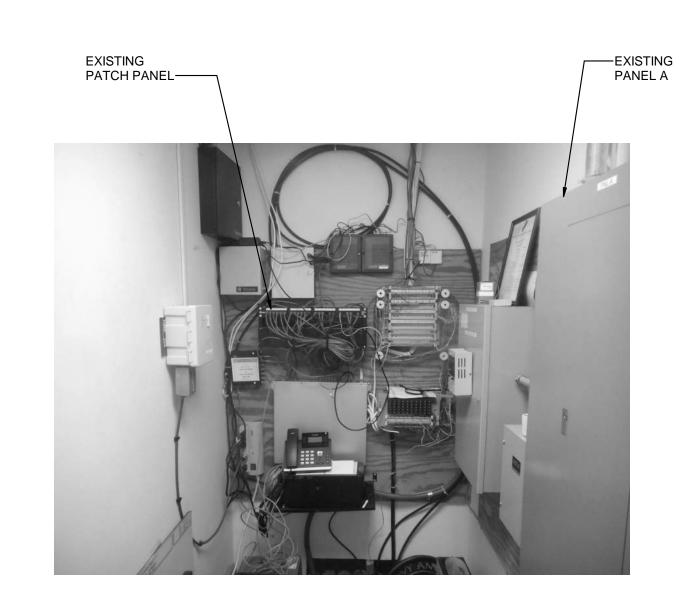
KEYNOTES

- EXTEND NEW RECEPTACLE CIRCUIT TO EXISTING RECEPTACLES AS INDICATED. PROVIDE ALL NECESSARY WIRING AND CONDUIT.
- EXISTING RECEPTACLES CIRCUITS IN THIS AREA TO REMAIN. MODIFY/EXTEND CIRCUITS AS REQUIRED. SEE PANEL SCHEDULE
- RECONNECT EXISTING CIRCUIT TO NEW EQUIPMENT. MODIFY/EXTEND CIRCUITS USING SAME GAUGE /TYPE WIRE AND CONDUIT AS EXISTING. SEE DEMO PLANS FOR DETAILS.
- 4. EXISTING RECEPTACLE AND RECEPTACLE CIRCUITS TO REMAIN.
- PROVIDE STAND ALONE DUCT SMOKE DETECTOR. ACTIVATION OF DUCT DETECTOR SHALL SHUT DOWN THE MECHANICAL UNIT. PROVIDE ALL WIRING, HARDWARE AND CONDUIT.
- COORDINATE LOCATION AND MOUNTING HEIGHT WITH ARCHITECT PRIOR
- CARD READER TO BE PROVIDED BY OTHERS. CONTRACTOR TO PROVIDE ALL NECESSARY WIRING AND CONDUIT.
- CONTRACTOR TO ADD PATCH PANEL AS NEEDED FOR NEW CAT6 CABLE. NEW DUCT SMOKE DETECTOR SHALL BE CONNECTED TO FIRE ALARM CONTROL PANEL. ACTIVATION OF DUCT DETECTOR SHALL SHUT DOWN THE MECHANICAL UNIT. ACTIVATION OF DUCT DETECTOR ON AHU-1, AHU-2, AHU-3 OR AHU-4 SHALL ALSO SHUT DOWN THE DOAS-1
- 10. POWER FOR DOOR HARDWARE.

ALTERNATE 1



3 IT CLOSET- Callout 1 SCALE: NONE



<u>PHOTO 1</u>



RELEASE / REVISION

Description 10/09/20 ISSUED FOR BIDDING

No. Date

—ALTERNATE #2

ALL REPORTS, PLANS, SPECIFICATIONS AND COMPUTER FILES RELATING TO THIS PROJECT ARE THE PROPERTY OF MANDERS MERIGHI PORTADIN FARRELL. MMPF RETAINS ALL COMMON LAW, STATUTE AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THERETO. REPRODUCTION OF THE MATERIAL HEREIN OR SUBSTANTIAL USE WITHOUT WRITTEN PERMISSION OF MMPF VIOLATES THE COPYRIGHT LAWS OF THE UNITED STATES AND WILL BE SUBJECT TO LEGAL PROSECUTION.

© 2018, MANDERS MERIGHI PORTADIN FARRELL ARCHITECTS, LLC



Manders Merighi Portadin Farrell Architects, LLC 1138 East Chestnut Avenue p. 856 696 9155 | f. 856 696 9080 www.mmpfa.com AI-07220 AI-07473 AI-13038 AI-13618

David G. Manders AIA Lawrence J. Merighi AIA Ronald P. Portadin AIA Peter W. Farrell AIA

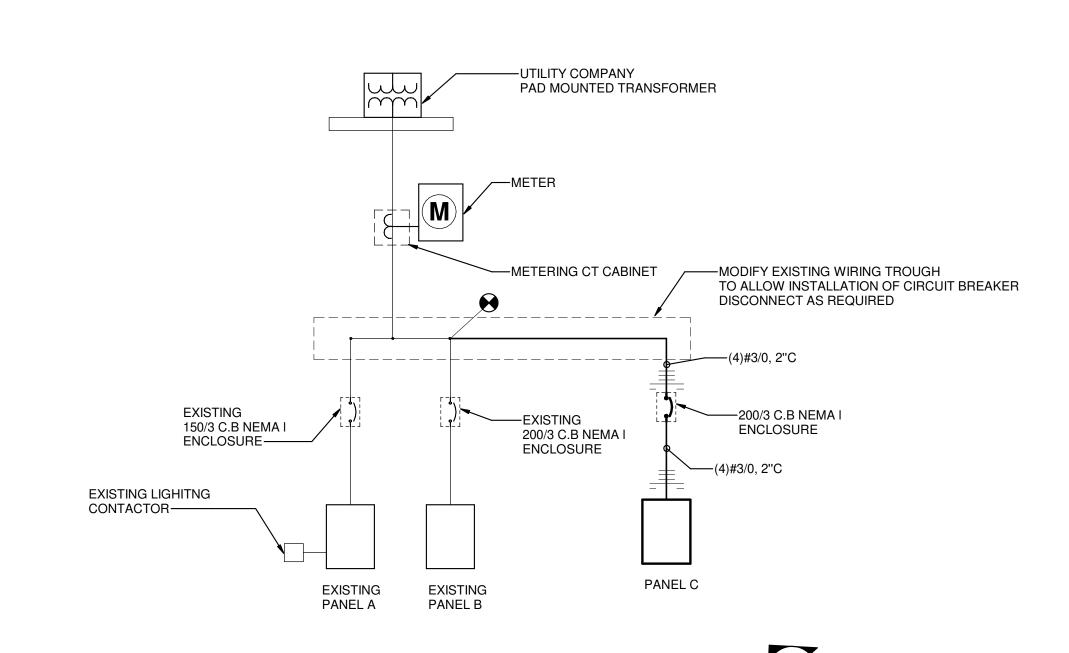
Project

ALTERATIONS & RENOVATIONS TO: CAPE MAY COUNTY TECHNICAL SCHOOL ADMINISTATION BUILDING 188 CREST HAVEN ROAD CAPE MAY COURT HOUSE, NJ 08210

	110002, 110 00210	
Drawing		
	. POWER AND MS PLAN	
Scale	Job	Sheet
As indicated	20.048	E3.0
Drawn	Date	□ □3.0

Notes:	Location: IT CLOSET Supply From: Mounting: Recessed Enclosure:	106				Volts: Phases: Wires: Rating:	_	3 Wye				Mains Type: Main Circuit Breakers Mains Rating:	
СКТ	Circuit Description	Trip	Poles		4	E	3		c	Poles	Trip	Circuit Description	CK
1	Lgt - Bussiness administrator 113	20 A	1		1200 VA	_	_			1		Recp - Human Resources	2
3	Lgt - Corridor 141	20 A	1	337 77	.200 VA		1200 VA			1	20 A	Recp - Accounts Payable	4
5	Lgt - Lobby/Waiting 100	20 A	1				55 4/1	1027 VA	1200 VA	1	20 A	Recp - Purchasing	6
7	Lgt - Lounge 117	20 A	1	295 VA	1440 VA				1200 171	1	20 A	Recp - Copier	8
9	Recp - Conference Room	20 A	1				1200 VA			1	20 A	Recp - Payroll	10
11	Recp - Lobby	20 A	1			1200 171	1200 171	800 VA	800 VA	1	20 A	Recp - Flex office Space	12
13	Recp - Corridor#2	20 A	1	1200 VA	800 VA					1	20 A	Recp - Assistant to B.A.	14
15	Recp -T.R#2	20 A	1			800 VA	1200 VA			1		Recp - Bussiness Administrator	16
17	Recp - Microwave - Lounge	20 A	1					200 VA	1400 VA	1	20 A	Receptacle - Storage / Iounge/ TR#3	18
19	Recp Fridge - Lounge	20 A	1	200 VA	1000 VA					1	20 A	Recp - Assistant to the Super	20
21	Recp - Copier	20 A	1			1440 VA	800 VA			1		Receptacle -Purchasing	22
23	Spare	20 A	1					0 VA	0 VA			Existing Hot Water Heater	24
25	Existing Exterior Light			0 VA	0 VA							Existing Hot Water Heater	26
27	Existing Pole Light	20 A	1			0 VA	1000 VA			1	20 A	Rcp - Exterior Recep	28
29	Spare	20 A	1					0 VA	1200 VA	1	20 A	Recp - Superintendent	30
31	Garbage Disposal Front			0 VA	0 VA					1	20 A	Spare	32
33	Existing Sump Pump Control Panel					0 VA	0 VA			1	20 A	Spare	34
35	Existing Pump Power							0 VA	0 VA	1	20 A	Spare	36
37					0 VA					1	20 A	Spare	38
39	Recep					0 VA	0 VA			1	20 A	Spare	40
41	Existing Sump Pumo Control Power							0 VA	0 VA	1	20 A	Spare	42
		Tota	I Load:	6886	3 VA	9023	3 VA	645	1 VA				
		Total	Amps:	58	3 A	76	A	54	1 A				

Notes:	Location: STORAGE Supply From: Mounting: Recessed Enclosure:	#4 122				Volts: Phases: Wires: Rating:		3 Wye				Mains Type: Main Ci Mains Rating:	rcuit Breakers	
СКТ	Circuit Description	Trip	Poles		\ \	E	B			Poles	Trip	Circuit De	escription	CK.
1	Spare	20 A	1	0 VA	0 VA							Existing Attic Lights	•	2
3	DH - 1,2,3,4					0 VA	0 VA					Existing Water Fountair	1	4
5	Space							0 VA	0 VA			EF-2		6
7	Existing AC-2			0 VA	0 VA							Existing AHU-1,2,3,4 co	ontrol	8
9	Existing AC-2					0 VA	500 VA			2	20 A	AHU-1		10
11	Existing AC-2							0 VA	500 VA					12
13	Existing AC-4 - South Side	20 A	1	0 VA	0 VA							Existing Hote Water		14
15	Existing AC-4 - South Side		<u></u>			0 VA	0 VA					Existing Hot Water		16
17	Existing AC-4 - South Side							0 VA	0 VA			Existing AH-3		18
19	Existing AC-3			0 VA	0 VA			•				Existing AH-3		20
21	Existing AC-3					0 VA	0 VA					Existing AH-2		22
23	CU-1	35 A	2			0 171		2250 VA	0 VA			Existing AH-2		24
25			<u>-</u>	2250 VA					0 17.					26
27	Space					0 VA	0 VA					Space		28
29	Spare	20 A	1			0 171	0 171	0 VA	0 VA	1	20 A	Spare		30
	Opuro		Load:	2250) \/A	500	VA	2750		'	2071	Οραιο		00
			Amps:				A	25]				
	d: Classification		nected			nand Fa			ated De			Panel	Totals	
Other			5500 V <i>A</i>	١		100.00%	0	5	5500 V <i>A</i>	١		T.1.10	5500 \ / 4	
												Total Conn. Load:		
												Total Est. Demand:		
												Total Conn. Current:		
											Total	Est. Demand Current:	15 A	
Notes:	•													



One Line Diagram

SCALE: NONE



<u>PHOTO 1</u>

	Location: STORAGE Supply From: Mounting: SURFACE Enclosure: NEMA I					Volts: Phases: Wires: Rating:	4	8 Wye				Mains Type: Main Circuit Breakers Mains Rating: 200 A	
Notes	:												
СКТ	Circuit Description	Trip	Poles	A	<u> </u>	E	3		C	Poles	Trip	Circuit Description	СКТ
1	DOAS-1	60 A		6100 VA						1	•	Assistant to the B.A	2
3						6100 VA	1320 VA			1	20 A	Coffee maker - Lounge	4
5								6100 VA	1320 VA	1	20 A	REcp - Coffee Maker - Kitchenette	6
7	Recp - Microwave - Kitchenette	20 A	1	1200 VA	960 VA					1	20 A	Recp - Fridge - Kitchenette	8
9	Recp - Kitchenette	20 A	1			600 VA	200 VA			1	20 A	Door hardware	10
11	Door Hardware	20 A	1					200 VA	200 VA	1	20 A	Door Hardware	12
13	EF-2	20 A	1	30 VA	15 VA					1	20 A	EF-3	14
15	TV - LOUNGE	20 A	1			200 VA	0 VA			1	20 A	Spare	16
17	Spare	20 A	1					0 VA	0 VA	1		Spare	18
19	Spare	20 A	1	0 VA	0 VA					1		Spare	20
21	Spare	20 A	1			0 VA	0 VA			1		Spare	22
23	Spare	20 A	1					0 VA	0 VA	1		Spare	24
25	Spare	20 A	1	0 VA	0 VA					1		Spare	26
27	Spare	20 A	1			0 VA	0 VA			1		Spare	28
29	Spare	20 A	1					0 VA	0 VA	1	20 A	Spare	30
			l Load:	8696		8097			7 VA				
		Total	Amps:	73	Α	68	8 A	63	3 A				
Legen	id:												

DCCIT
DCCLI
CONSULTING ENGINEERS

RELEASE / REVISION

10/09/20 ISSUED FOR BIDDING

No. Date Description

ALL REPORTS, PLANS, SPECIFICATIONS AND COMPUTER FILES RELATING TO THIS PROJECT ARE THE PROPERTY OF MANDERS MERIGHI PORTADIN FARRELL. MMPF RETAINS ALL COMMON LAW, STATUTE AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THERETO. REPRODUCTION OF THE MATERIAL HEREIN OR SUBSTANTIAL USE WITHOUT WRITTEN PERMISSION OF MMPF VIOLATES THE COPYRIGHT LAWS OF THE UNITED STATES AND WILL BE SUBJECT TO LEGAL PROSECUTION.

© 2018, MANDERS MERIGHI PORTADIN FARRELL ARCHITECTS, LLC



AI-07220 AI-07473 AI-13038 AI-13618

Manders Merighi Portadin Farrell Architects, LLC 1138 East Chestnut Avenue Vineland, New Jersey 08360 p. 856 696 9155 I f. 856 696 9080 www.mmpfa.com

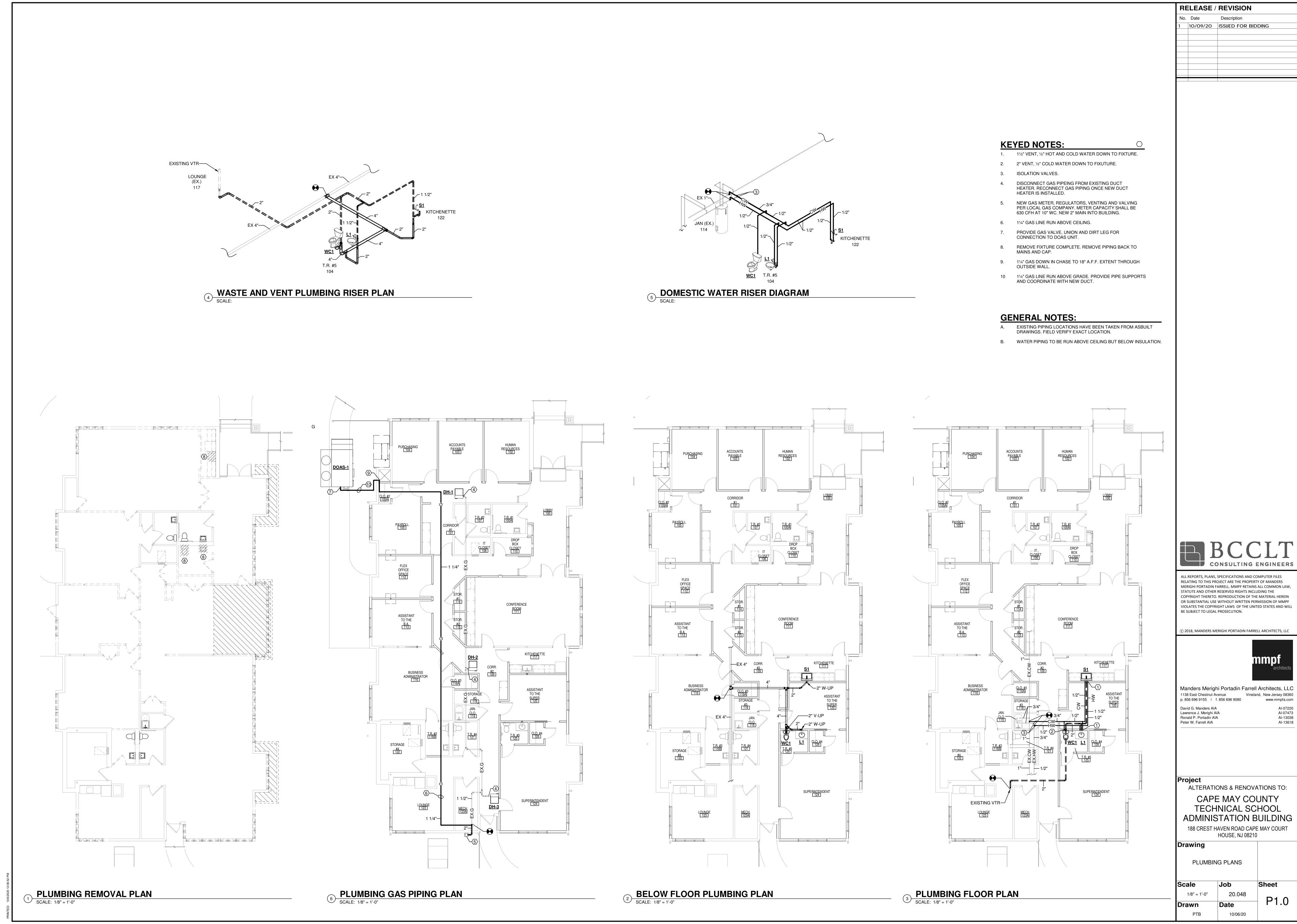
David G. Manders AIA Lawrence J. Merighi AIA Ronald P. Portadin AIA Peter W. Farrell AIA

ALTERATIONS & RENOVATIONS TO: CAPE MAY COUNTY TECHNICAL SCHOOL ADMINISTATION BUILDING

188 CREST HAVEN ROAD CAPE MAY COURT HOUSE, NJ 08210 Drawing

PANEL SCHEDULE AND ONE LINE DIAGRAM Sheet 1/8" = 1'-0" E4.0 Drawn

Author

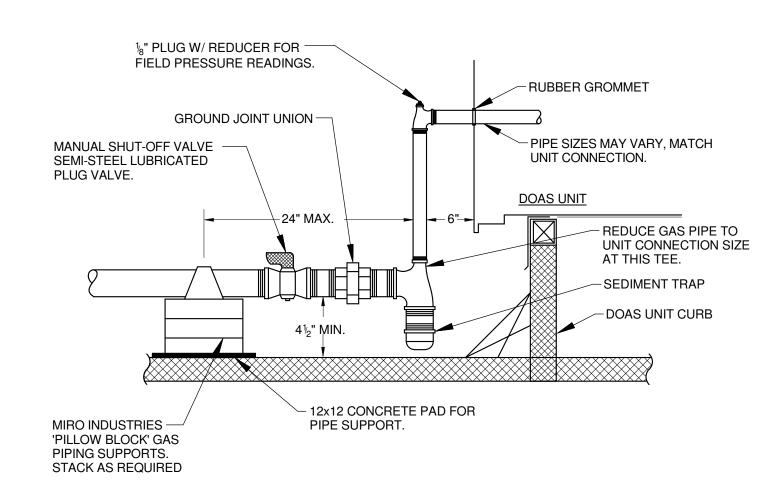


MERIGHI PORTADIN FARRELL. MMPF RETAINS ALL COMMON LAW, COPYRIGHT THERETO. REPRODUCTION OF THE MATERIAL HEREIN

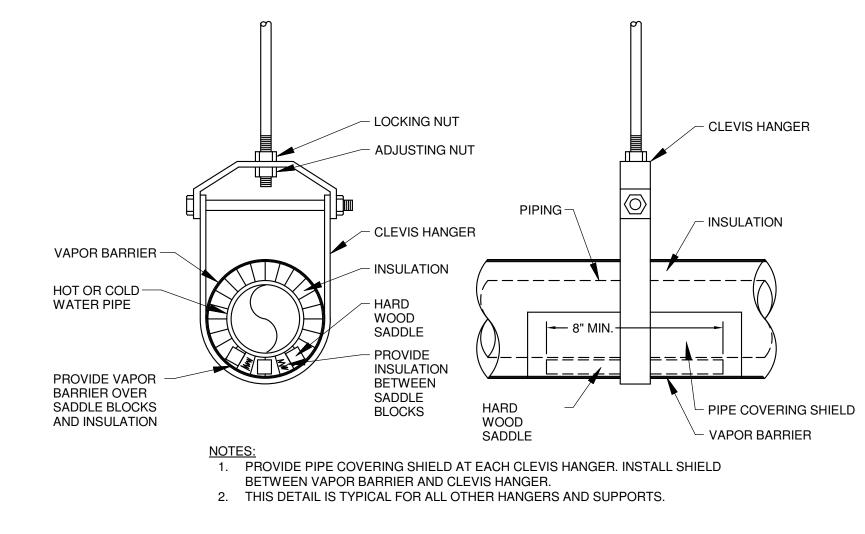
www.mmpfa.com

ALTERATIONS & RENOVATIONS TO:

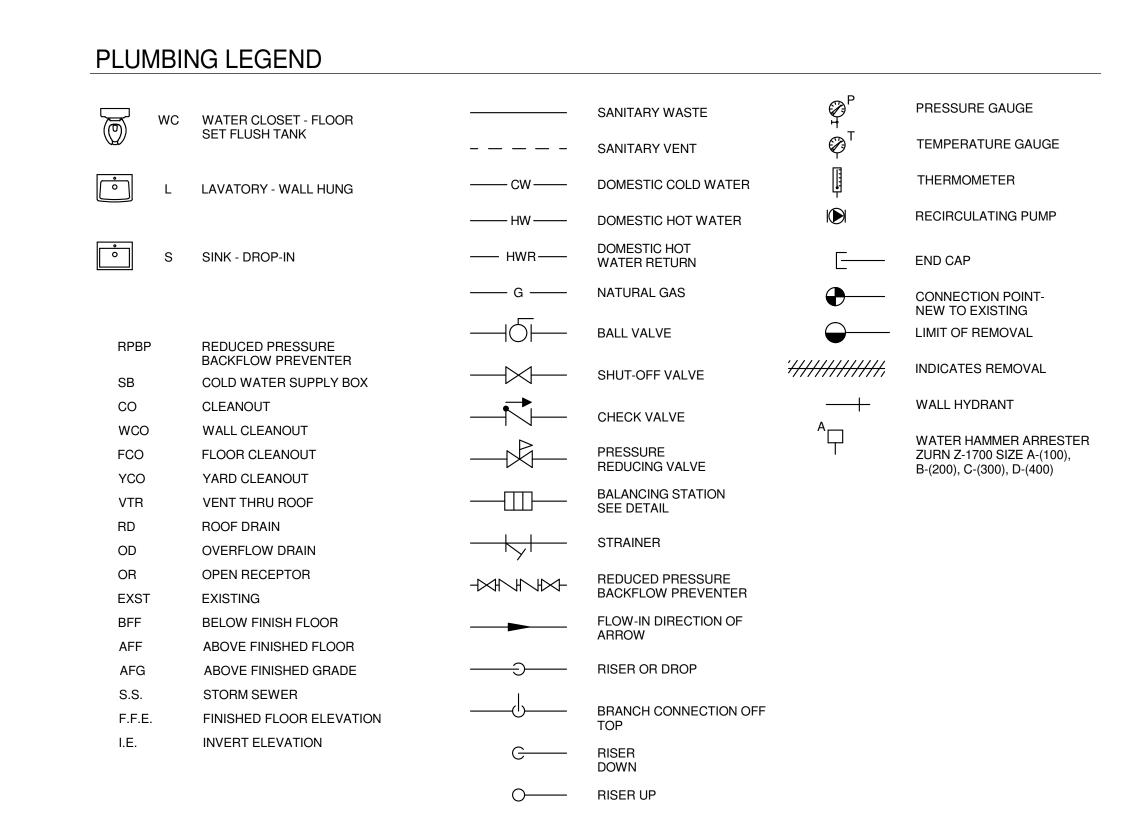
								SCHEDUL	LE OF PL	LUMBIN	IG FIXTURE	ES AND	CONN	ECTION	S						
MARK	FIXTURE	MANUFACTURER	MODEL NO.	TYPE	MATERIAL	STYLE		FAUCET / VALVE			SUPPLY STOPS MANUFACTURER			DRAIN		DOMESTIC		DOMESTIC	SANITARY	SANITARY	REMARKS
						0=	MANUFACTURER & MODEL	SPOUT	HANDLES	CENTERS	AND MODEL	TYPE	SIZE	P-TRAP	TAILPIECE	CW	HW	TW	WASTE	VENT	TVI II I
WC1 (ADA)	WATER CLOSET	ZURN	Z5551-K	FLOOR MOUNT FLUSH TANK	VITREOUS CHINA	A.D.A. ELONGATED SIPHON-JET			LEVER		ZURN Z8804-XL -LK-Q-PC					1/2"			4"	2"	1.6 GALLON FLUSH. ZURN Z5955SS-EL-AM-STS SEAT. TOILET FLANGE BOLTS SHALL BE DOUBLE NUTTED.
<u>L1</u>	LAVATORY			INTEGRAL BOWL			ZURN MODEL Z81000-XL-17M	INTEGRAL WITH FAUCET	LEVER	4"	ZURN Z8804-XL -LK-Q-PC	ZURN Z8746-PC	11/4"	17 GAUGE 1½" X 1½"	OFFSET	1/2"	1/2"		1½"	1½"	ARCHITECTURAL DRAWINGS SHOW DETAILS ON INTEGRAL BOWL SINK. P-TRAP SHALL BE ADJUSTABLE CAST BRASS WITH CLEANOUT. PROVIDE ZURN Z8946-3-NT PROTECTIVE LOVERINGS FOR ALL TAILPIECES, TRAP, SUPPLIES.
<u>S1</u> (ADA)	SINK	ELKAY	LRAD312265PD	SINGLE BOWL DROP IN	STAINLESS STEEL	SELF-RIMMING OFF-CENTERED DRAIN	ZURN MODEL Z831C3-XL-HCT	INTEGRAL WITH FAUCET	4" WRIST BLADES	8"	ZURN Z8804-XL -LK-Q-PC	ZURN Z8739 -17-PC	1½"	17 GAUGE 1½" X 1½"	OFFSET	1/2"	1/2"		1½"	1½"	P-TRAP SHALL BE ADJUSTABLE CAST BRASS WITH CLEANOUT.

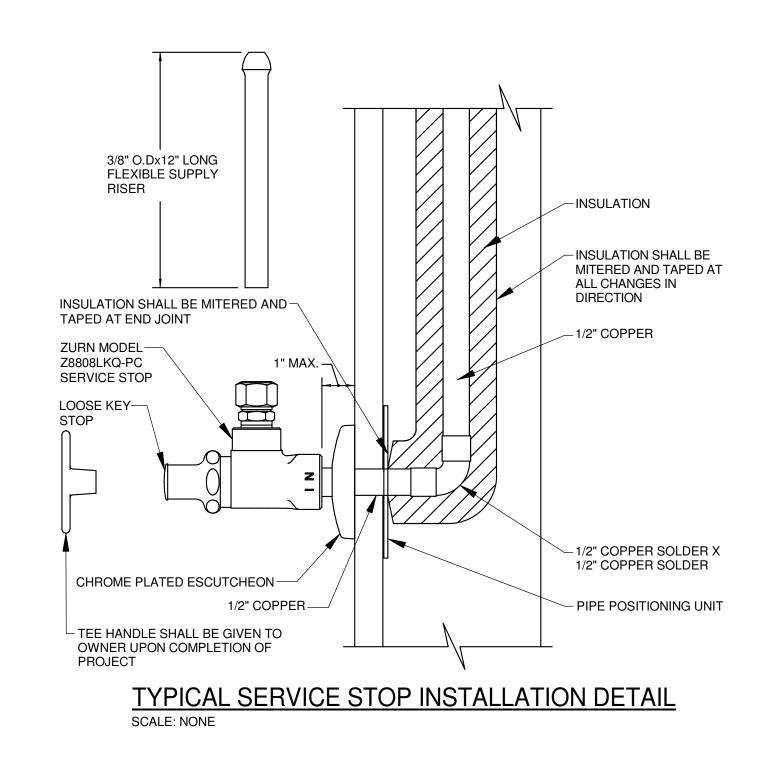


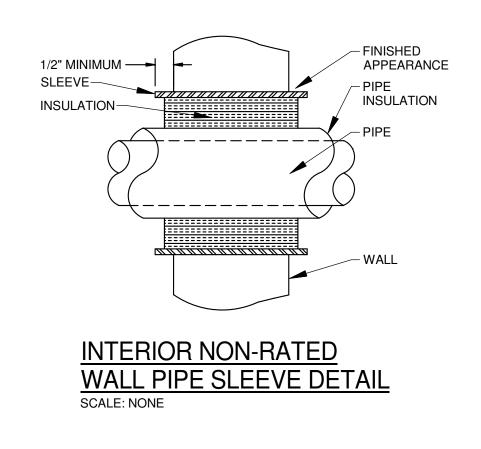
TYPICAL GAS PIPING CONNECTION DETAIL
SCALE: NONE

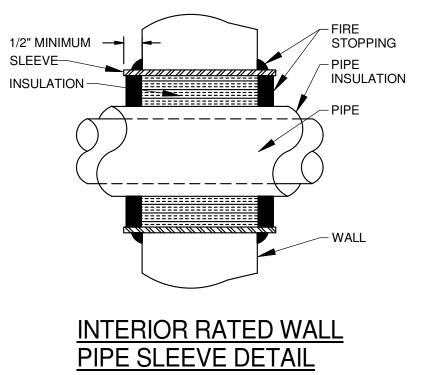


TYPICAL INSULATED PIPE HANGER DETAIL
SCALE: NONE

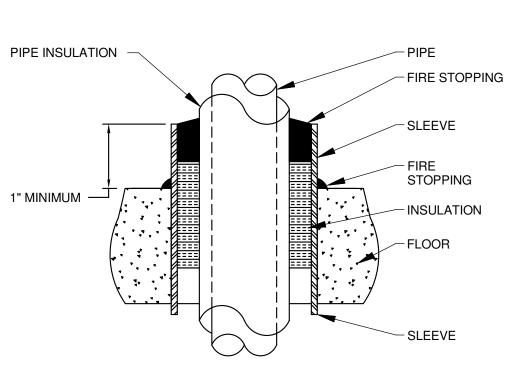








FLOOR PIPE SLEEVE DETAIL



Project ALTERATIONS & RENOVATIONS TO: CAPE MAY COUNTY TECHNICAL SCHOOL ADMINISTATION BUILDING

ALL REPORTS, PLANS, SPECIFICATIONS AND COMPUTER FILES

RELATING TO THIS PROJECT ARE THE PROPERTY OF MANDERS

STATUTE AND OTHER RESERVED RIGHTS INCLUDING THE

BE SUBJECT TO LEGAL PROSECUTION.

1138 East Chestnut Avenue

David G. Manders AIA Lawrence J. Merighi AIA

Ronald P. Portadin AIA

Peter W. Farrell AIA

p. 856 696 9155 I f. 856 696 9080

MERIGHI PORTADIN FARRELL. MMPF RETAINS ALL COMMON LAW,

COPYRIGHT THERETO. REPRODUCTION OF THE MATERIAL HEREIN OR SUBSTANTIAL USE WITHOUT WRITTEN PERMISSION OF MMPF VIOLATES THE COPYRIGHT LAWS OF THE UNITED STATES AND WILL

© 2018, MANDERS MERIGHI PORTADIN FARRELL ARCHITECTS, LLC

Manders Merighi Portadin Farrell Architects, LLC

www.mmpfa.com

AI-07220 AI-07473 AI-13038

AI-13618

RELEASE / REVISION

No. Date

Description

10/09/20 ISSUED FOR BIDDING

188 CREST HAVEN ROAD CAPE MAY COURT

PLUMBING SCHEDULE, DETAILS AND LEGEND Scale Job 20.048
DETAILS AND LEGEND
DETAILS AND LEGEND