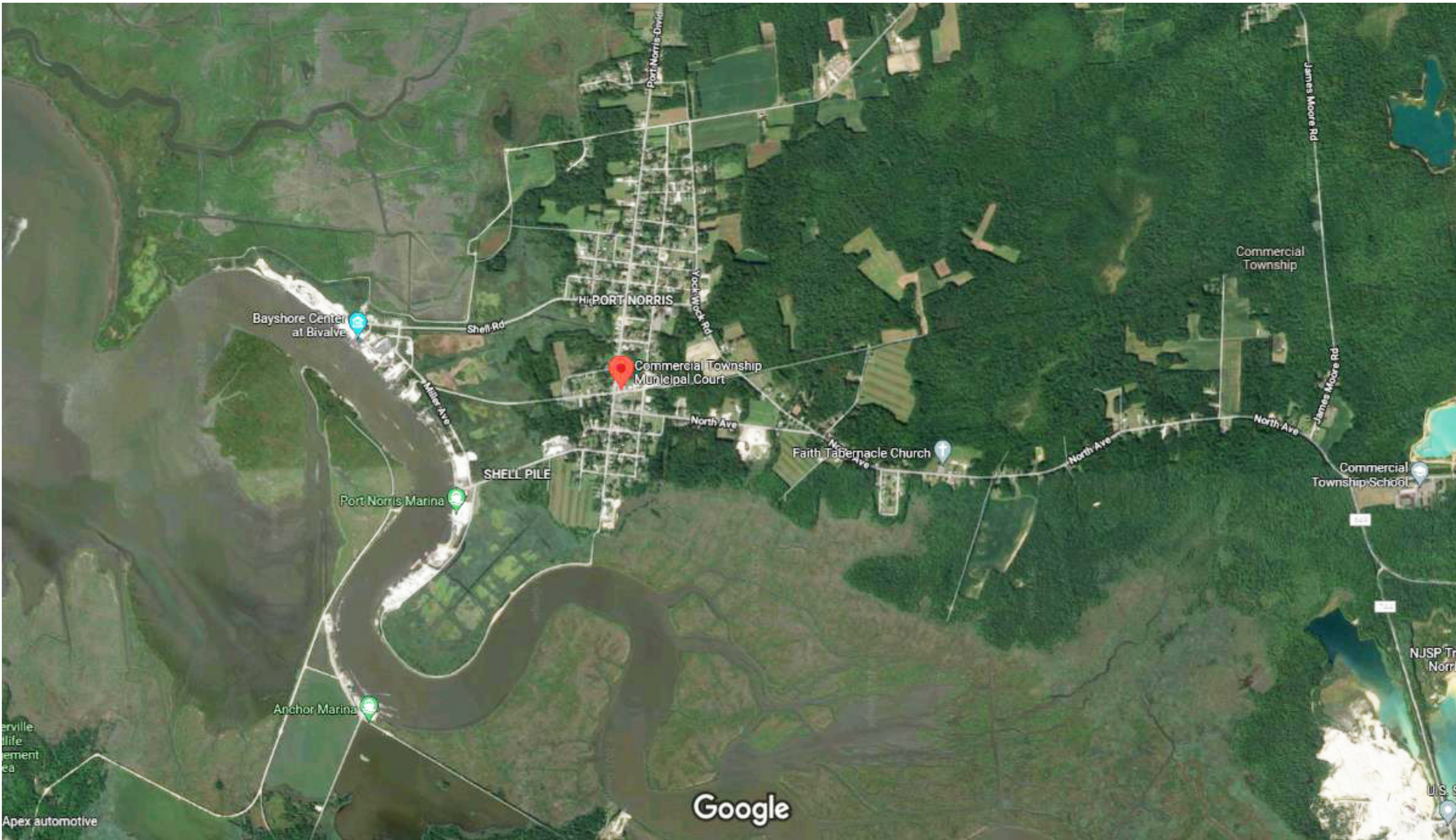


INTERIOR RENOVATIONS TO COMMERCIAL TOWNSHIP MUNICIPAL BUILDING

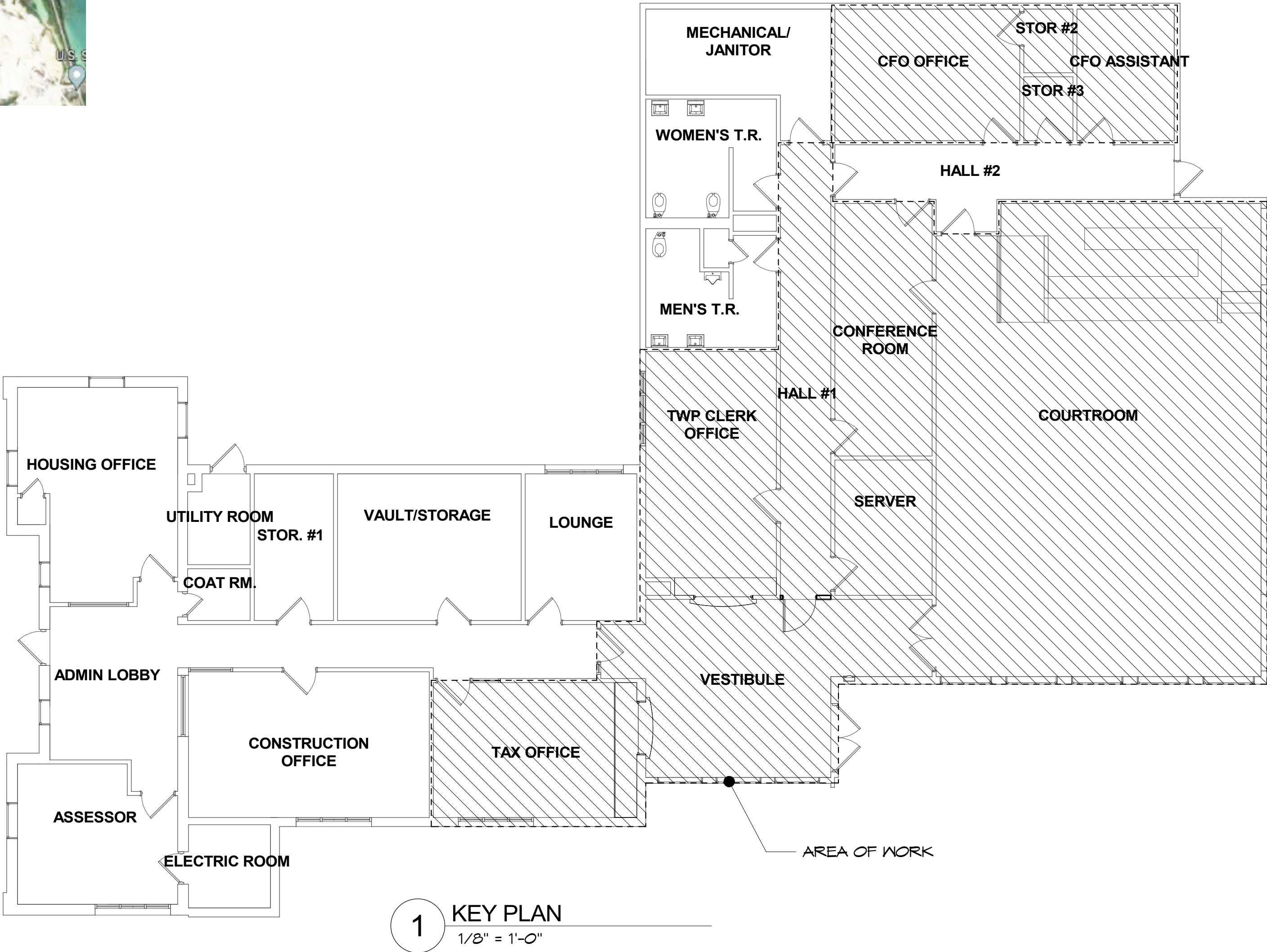
1768 MAIN ST, PORT NORRIS, NJ 08349
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MMPFA PROJECT #: 21.110



DRAWING LIST			
SHEET NO.	SHEET NAME	ISSUED	
		NO.	DATE
GENERAL			
C0.0	COVER SHEET	A	12/01/21
ARCHITECTURAL			
D1.0	DEMOLITION PLAN, NOTES, AND KEYNOTES	A	12/01/21
A1.0	FLOOR PLAN, NOTES, AND SCHEDULES	A	12/01/21
A1.1	REFLECTED CEILING PLAN	A	12/01/21
A4.0	INTERIOR ELEVATIONS	A	12/01/21
A4.1	INTERIOR ELEVATIONS	A	12/01/21

APPLICABLE CODES	
2018 INTERNATIONAL BUILDING CODE - NJ EDITION	
2018 NATIONAL STANDARD PLUMBING CODE	
2011 NATIONAL ELECTRIC CODE, NFPA 70	
2018 IECC WITH REFERENCE TO ASHRAE 90.1-2013	
2018 INTERNATIONAL MECHANICAL CODE	
2018 INTERNATIONAL FUEL GAS CODE	
REHABILITATION SUBCODE; NJICC, SUBCHAPTER 6	
BARRIER FREE SUBCODE; ICC/ANSI A117.1, 2009	



1 KEY PLAN
1/8" = 1'-0"

Issue / Revisions		
No.	Date	Description
A	01/09/23	ISSUED FOR BIDDING

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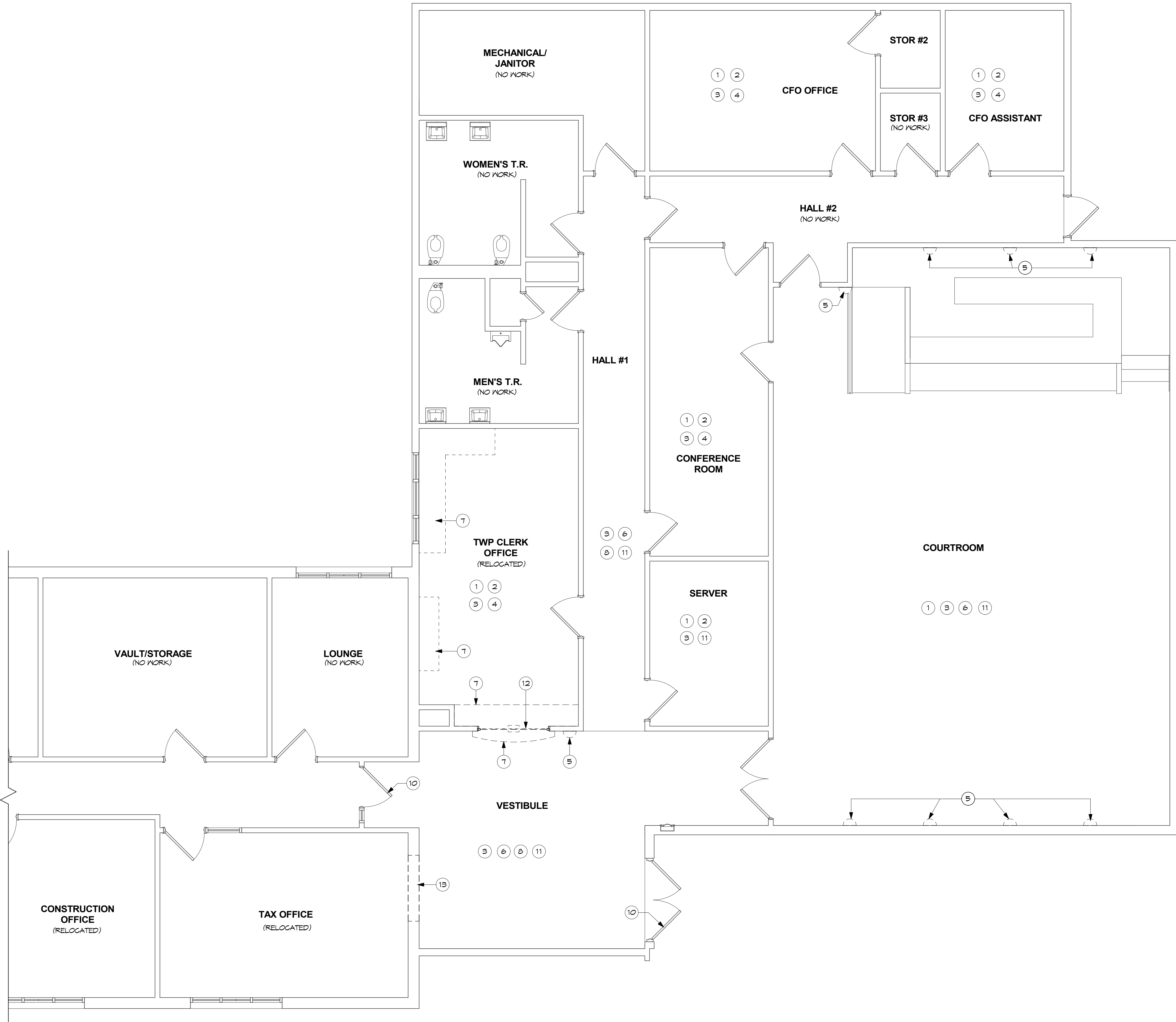
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Project
INTERIOR RENOVATIONS TO
COMMERCIAL TOWNSHIP
MUNICIPAL BUILDING
1768 MAIN ST, PORT NORRIS, NJ
08349

Drawing
COVER SHEET

Scale As Indicated	Job 21.110	Sheet C0.0
Drawn CR	Date 01/09/23	

PRINTED: 11/18/2025 10:17:24 AM



1 DEMOLITION PLAN
1/4" = 1'-0"

DEMOLITION NOTES

- THE INTENT OF THE DEMOLITION PLAN IS TO SHOW THE GENERAL NATURE OF THE DEMOLITION SCOPE, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VISITING THE JOB SITE AND VERIFYING THE EXISTING CONDITIONS.
- DEMOLITION WORK SHALL INCLUDE REMOVAL OF ALL INTERIOR FINISHES, INCLUDING BUT NOT LIMITED TO ALL FURRING, HANGERS, UNUSED ATTACHMENTS, CEILING TILE AND GRID, FLOOR FINISHES, ETC. AS REQUIRED FOR PROPOSED NEW WORK.
- WHERE DEMOLITION ACTIVITIES INVOLVE STRUCTURAL ELEMENTS, DEMOLITION WORK SHALL BE CLOSELY COORDINATED WITH NEW CONSTRUCTION WORK. NO WORK SHALL COMMENCE WITHOUT ADEQUATE BRACING OR SHORING AS REQUIRED TO PREVENT MOVEMENT OR SETTLING IN THE EXISTING STRUCTURE. REMOVALS OF A STRUCTURAL NATURE, BEARING WALLS, ROOFS, FOOTINGS, ETC., SHALL BE MADE ONLY UNDER THE DIRECT SUPERVISION OF QUALIFIED PERSONNEL AND SHALL BE SECURED OR OTHERWISE BRACED WHERE EVER FEASIBLE, BY INCORPORATION INTO PROPOSED NEW WORK. AS MUCH AS POSSIBLE NEW CONSTRUCTION IN KEEPING WITH THE PROPOSED CONDITIONS SHALL BE INSTALLED IN LIEU OF TEMPORARY BRACINGS.
- PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK, THE CONTRACTOR SHALL MEET WITH THE OWNER TO DETERMINE WHICH ITEMS, IF ANY, ARE OF SALVAGEABLE VALUE TO THE OWNER. THE CONTRACTOR IS ENCOURAGED TO DOCUMENT ANY EXISTING DAMAGE OR DEFICIENCIES WHICH ARE EVIDENT IN THE EXISTING BUILDING IN BOTH WRITTEN AND PHOTOGRAPHIC FORMS.
- ALL ITEMS DESIGNATED TO BE OF SALVAGEABLE VALUE TO THE OWNER SHALL BE REMOVED AND STORED AS DIRECTED BY THE OWNER. ALL ITEMS DESIGNATED FOR DEMOLITION SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED COMPLETELY FROM THE SITE AND DISPOSED OF AS NECESSARY, IN ACCORDANCE WITH ALL REGULATIONS IN EFFECT.
- CONFORM TO APPLICABLE CODES FOR DEMOLITION WORK, SAFETY OF STRUCTURE AND DUST CONTROL. NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS. DO NOT CLOSE OR OBSTRUCT EGRESS TO EXITS. DO NOT DISRUPT BUILDING, FIRE, OR LIFE SAFETY SYSTEMS WITHOUT (3) DAYS PRIOR WRITTEN NOTICE TO THE OWNER.
- MAINTAIN TEMPORARY PARTITIONS TO PREVENT THE SPREAD OF DUST, ODORS, AND NOISE AND TO PERMIT CONTINUED OWNER OCCUPANCY. PROTECT EXISTING MATERIALS WHICH ARE NOT TO BE DEMOLISHED. ALL DEBRIS SHALL BE REMOVED FROM THE CONSTRUCTION SITE DAILY.
- IN AREAS OF DEMOLITION, PATCH, LEVEL, AND INFILL ALL WALL AND FLOOR SURFACES AS REQUIRED FOR INSTALLATION OF NEW FINISHES. THIS INCLUDES LEVELING OF ALL FLOORS AND INFILLING OF ANY TRENCHED AREAS.

DEMOLITION KEY NOTES

- REMOVE ALL FLOOR FINISH DOWN TO EXISTING SUBSTRATE. PATCH, REPAIR, AND/OR LEVEL FLOOR AS REQUIRED TO RECEIVE NEW SCHEDULED FINISH.
- REMOVE ALL WALLBASE THROUGHOUT. CLEAN, PATCH, AND REPAIR ADJACENT SURFACES FOR NEW CONSTRUCTION.
- REMOVE WALL COVERING THROUGHOUT. CLEAN, PATCH, AND REPAIR WALL SURFACES TO RECEIVE NEW PAINT.
- REMOVE ACOUSTICAL TILE CEILING, GRID, AND LIGHT FIXTURES THROUGHOUT. OTHER CEILING MOUNTED DEVICES SHALL BE CAREFULLY REMOVED, STORED, AND REINSTALLED IN NEW CEILING.
- REMOVE WALL MOUNTED SCONCES.
- REMOVE LOOSE AND PEELING PAINT ON EXISTING WOOD TRIM SURFACES. ABRASE SURFACE AND PREPARE FOR NEW COATINGS.
- REMOVE BUILT-IN CASEWORK, COUNTERTOPS, AND ALL ASSOCIATED HARDWARE.
- REMOVE LOOSE GROUT IN TILE FLOORING. CLEAN AND PREPARE JOINTS FOR NEW GROUT TO MATCH EXISTING.
- REMOVE/MODIFY DOOR HARDWARE AS REQUIRED FOR NEW WIRELESS ACCESS CONTROL DEVICES.
- REMOVE LIGHT FIXTURES IN EXISTING CEILING ONLY. EXISTING CEILING TO REMAIN. REPLACE ANY DAMAGED ACOUSTICAL CEILING TILES TO MATCH EXISTING.
- REMOVE TRANSACTION WINDOW AND CURTAIN.
- CUT IN NEW OPENING IN EXISTING PARTITION FOR NEW TRANSACTION WINDOW.

Issue / Revisions

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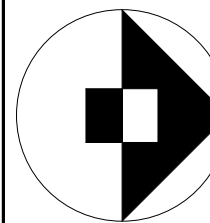
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MUNICIPAL BUILDING
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08349

Drawing		
DEMOLITION PLAN, NOTES, AND KEYNOTES		
Scale 1/4" = 1'-0"	Job 21.110	Sheet D1.0
Drawn CR	Date 01/09/23	



ROOM FINISH SCHEDULE						
NAME	FLOOR	BASE	WALL	CEILING	HEIGHT	COMMENTS
CFO ASSISTANT	CARPET TILE	VINYL	PTD EXIST. GNB	ACOUSTICAL TILE	8' - 0"	
CFO OFFICE	CARPET TILE	VINYL	PTD EXIST. GNB	ACOUSTICAL TILE	8' - 0"	
CONFERENCE ROOM	CARPET TILE	VINYL	PTD EXIST. GNB	ACOUSTICAL TILE	8' - 0"	
COURTROOM	CARPET TILE	PTD EXIST. WD	PTD EXIST. GNB	E.T.R.	8' - 0"	PTD. EXIST. WOOD TRIM
HALL #1	E.T.R.	PTD EXIST. WD	PTD EXIST. GNB	E.T.R.	8' - 10"	PTD. EXIST. WOOD TRIM
SERVER	CARPET TILE	VINYL	PTD EXIST. GNB	PTD EXIST. GNB	8' - 6"	
TAX OFFICE	CARPET TILE	VINYL	PTD EXIST. GNB	ACOUSTICAL TILE	8' - 0"	
TWP CLERK OFFICE	CARPET TILE	VINYL	PTD EXIST. GNB	ACOUSTICAL TILE	8' - 0"	
VESTIBULE	E.T.R.	PTD EXIST. WD	PTD EXIST. GNB	E.T.R.	8' - 10"	PTD. EXIST. WOOD TRIM

DOOR SCHEDULE											
NO.	DOOR					FRAME			HARDWARE SET	NOTES	COMMENTS
	WIDTH	HEIGHT	THICKNESS	TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH		
01	3' - 0"	8' - 0"	1 3/4"	F	SC. WOOD	PRE FIN.	1	WOOD	PTD.	1	MATCH EXISTING FINISH
EX1	6' - 0"	7' - 0"	1 3/4"	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	2	PROVIDE NEW/MODIFY EXISTING HARDWARE FOR WIRELESS ACCESS CONTROL
EX2	3' - 0"	8' - 0"	1 3/4"	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	PTD.	3	DOOR SIZE MAY VARY, V.I.F. PROVIDE NEW/MODIFY EXISTING HARDWARE FOR WIRELESS ACCESS CONTROL
EX3	6' - 0"	8' - 0"	1 3/4"	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	PTD.	E.T.R.	DOOR SIZE MAY VARY, V.I.F. PAINT EXISTING FRAME
EX4	3' - 0"	8' - 0"	1 3/4"	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	PTD.	E.T.R.	DOOR SIZE MAY VARY, V.I.F. PAINT EXISTING FRAME
EX5	3' - 0"	8' - 0"	1 3/4"	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	PTD.	E.T.R.	DOOR SIZE MAY VARY, V.I.F. PAINT EXISTING FRAME
EX6	3' - 0"	8' - 0"	1 3/4"	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	PTD.	E.T.R.	DOOR SIZE MAY VARY, V.I.F. PAINT EXISTING FRAME
EX7	3' - 0"	8' - 0"	1 3/4"	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	PTD.	E.T.R.	DOOR SIZE MAY VARY, V.I.F. PAINT EXISTING FRAME
EX8	3' - 0"	8' - 0"	1 3/4"	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	PTD.	E.T.R.	DOOR SIZE MAY VARY, V.I.F. PAINT EXISTING FRAME
EX9	3' - 0"	8' - 0"	1 3/4"	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	PTD.	E.T.R.	DOOR SIZE MAY VARY, V.I.F. PAINT EXISTING FRAME
EX10	3' - 0"	8' - 0"	1 3/4"	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	PTD.	E.T.R.	DOOR SIZE MAY VARY, V.I.F. PAINT EXISTING FRAME
EX11	3' - 0"	8' - 0"	1 3/4"	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	PTD.	E.T.R.	DOOR SIZE MAY VARY, V.I.F. PAINT EXISTING FRAME
EX12	3' - 0"	8' - 0"	1 3/4"	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	PTD.	E.T.R.	DOOR SIZE MAY VARY, V.I.F. PAINT EXISTING FRAME
EX13	3' - 0"	8' - 0"	1 3/4"	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	PTD.	E.T.R.	DOOR SIZE MAY VARY, V.I.F. PAINT EXISTING FRAME
EX14	3' - 0"	8' - 0"	1 3/4"	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	PTD.	E.T.R.	DOOR SIZE MAY VARY, V.I.F. PAINT EXISTING FRAME
EX15	3' - 0"	8' - 0"	1 3/4"	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	PTD.	E.T.R.	DOOR SIZE MAY VARY, V.I.F. PAINT EXISTING FRAME
EX16	3' - 0"	8' - 0"	1 3/4"	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	PTD.	E.T.R.	DOOR SIZE MAY VARY, V.I.F. PAINT EXISTING FRAME
EX17	3' - 0"	8' - 0"	1 3/4"	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	PTD.	E.T.R.	DOOR SIZE MAY VARY, V.I.F. PAINT EXISTING FRAME

- GENERAL NOTES
1.

ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL AND OTHER CODES, REGULATIONS, AND RESTRICTIONS WHICH APPLY TO THIS PROJECT.
2.

THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. THE GENERAL CONTRACTOR SHALL PROCEED WITH THE WORK ONLY AFTER ALL DISCREPANCIES HAVE BEEN RESOLVED BY THE ARCHITECT.
3.

ALL DIMENSIONS ARE TO FINISHED FACE OF WALL, UNLESS NOTED OTHERWISE.
4.

WORK FROM GIVEN DIMENSIONS AND LARGE SCALE DETAILS ONLY. DO NOT SCALE DRAWINGS.
5.

EXISTING BUILDING OR SITE COMPONENTS WHICH ARE AFFECTED BY NEW WORK, OR DEMOLITION OR WHICH MAY BE DAMAGED BY THE GENERAL CONTRACTOR OR ANY SUBCONTRACTORS SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND FINISHED BY METHODS DESCRIBED IN THIS CONTRACT, OR AS APPROVED BY THE ARCHITECT.
6.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE WORK OF ALL TRADES AND THE RESOLUTION OF CONFLICTS BETWEEN TRADES. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY AND ALL CONFLICTS BETWEEN THE TRADES THAT REQUIRE DEVIATION FROM THE WORK SHOWN AND SHALL OBTAIN A WRITTEN ACCEPTANCE FROM THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION IN ALL AREAS AFFECTED BY THE CONFLICT. SUCH ACCEPTANCE OF A CHANGE TO THE PROPOSED WORK SHALL BE FOR INFORMATIONAL PURPOSES ONLY AND SHALL NOT BE GROUNDS FOR A CHANGE ORDER EXCEPT AS SPECIFICALLY AND SEPARATELY DESIGNATED AS SUCH.
7.

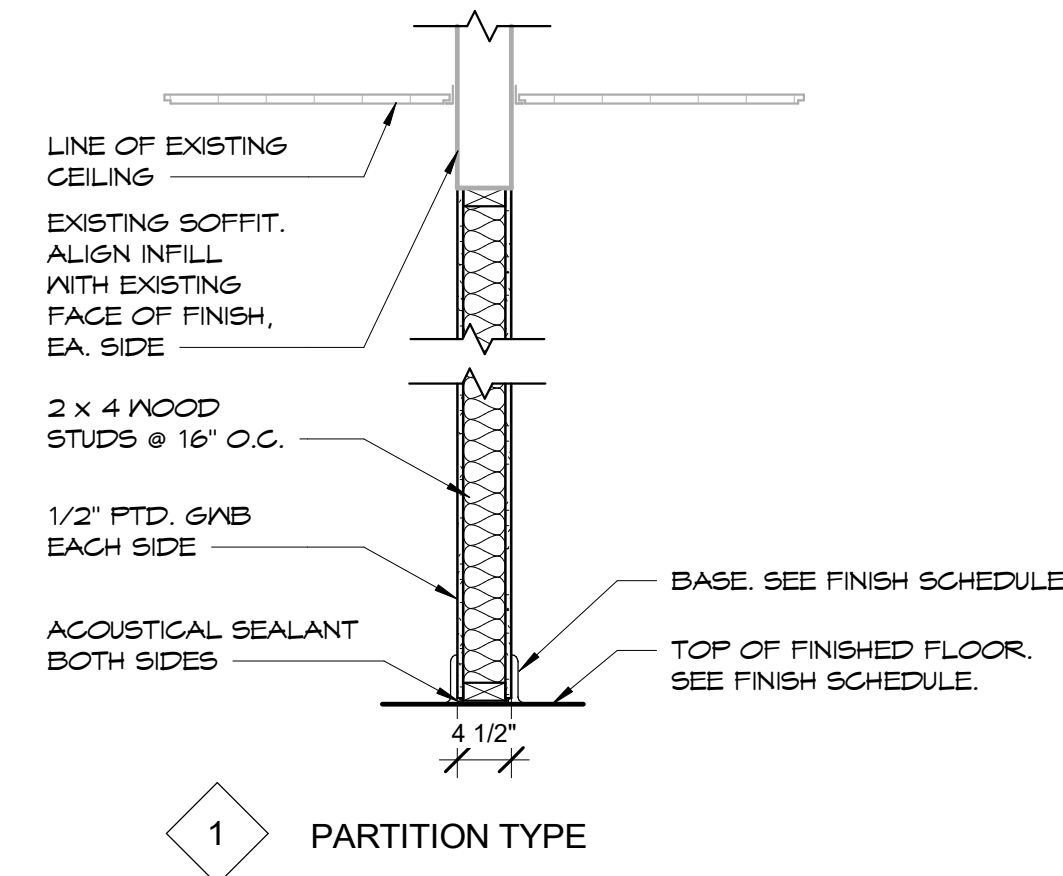
ALL MATERIALS & EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS. BY PROCEEDING WITH ANY INSTALLATION, THE CONTRACTOR AFFIRMS THAT THEY HAVE REVIEWED THE EXISTING OR NEW WORK AND DEEM IT ACCEPTABLE AND IN FULL COMPLIANCE WITH THE MANUFACTURER'S REQUIREMENTS.
8.

ALL MATERIAL USED FOR THE CONSTRUCTION OF THIS PROJECT, WHETHER BUILDING MATERIALS OR APPURTENANCES, SHALL BE NON-ASBESTOS CONTAINING MATERIAL.
9.

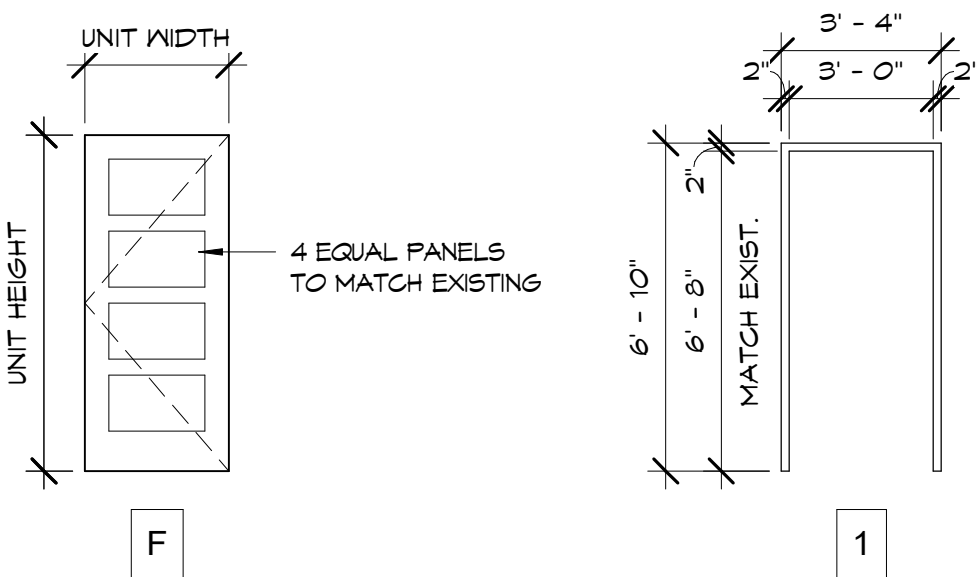
SEAL AND CAULK AROUND ALL PENETRATIONS, CRACKS AND CREVICES AND ANY OPENINGS CAPABLE OF HARBORING INSECTS/RODENTS.
10.

REFERENCE PLANS, INTERIOR ELEVATIONS, AND ROOM FINISH SCHEDULE FOR ALL NEW INTERIOR FINISHES. WHERE ONLY A PORTION OF A SPACE IS SHOWN, IT SHALL BE ASSUMED THAT THE FINISHES APPLY TO THE ENTIRE SPACE UNLESS OTHERWISE NOTED.

Issue / Revisions		
No.	Date	Description
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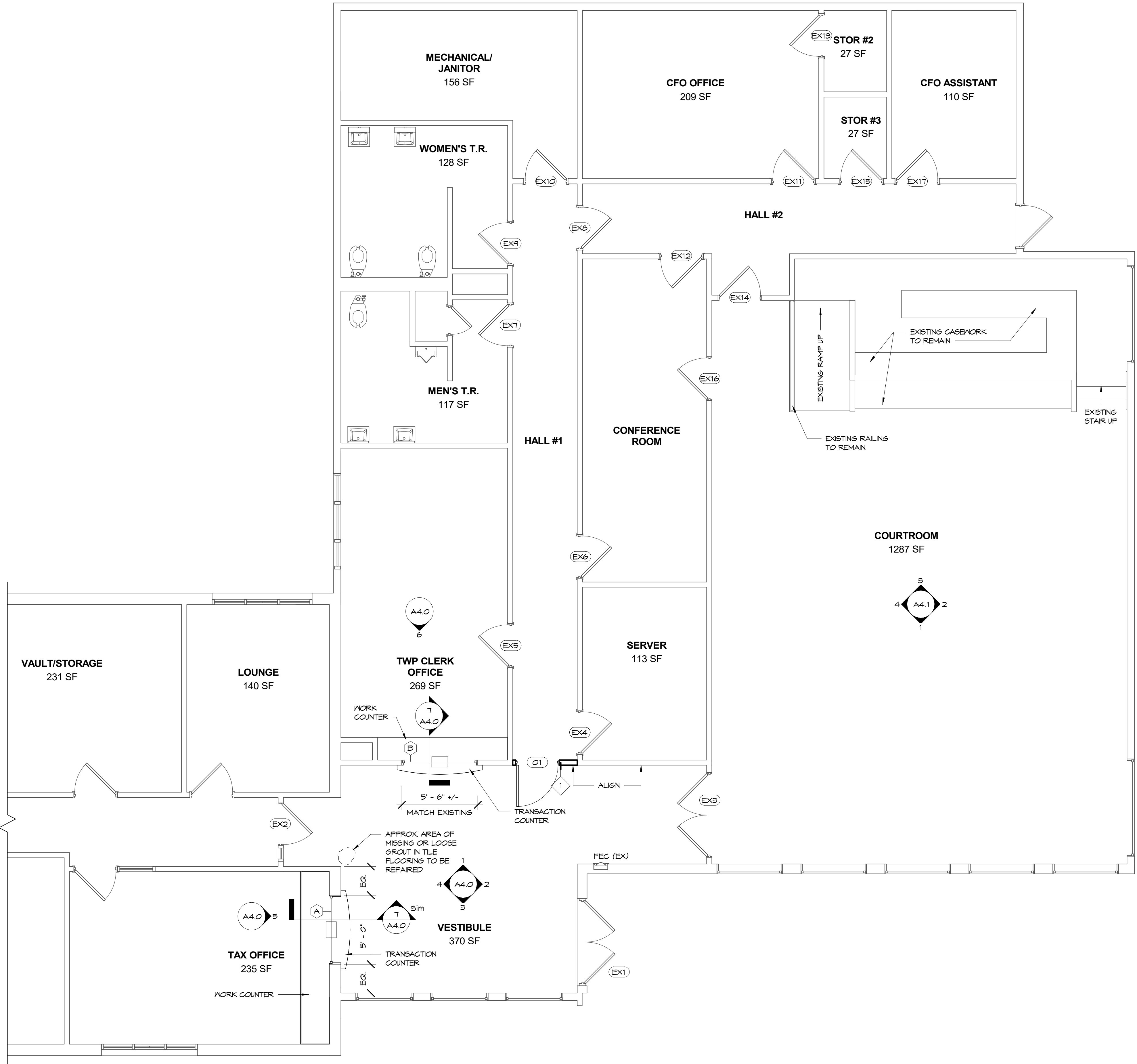


1 PARTITION TYPES
3/4" = 1'-0"



3 DOOR TYPE
1/4" = 1'-0"

4 FRAME TYPE
1/4" = 1'-0"



2 FLOOR PLAN
1/4" = 1'-0"

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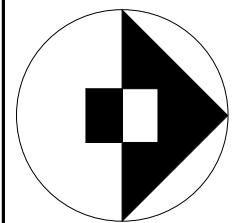
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Project
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MUNICIPAL BUILDING
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Drawing
FLOOR PLAN, NOTES, AND
SCHEDULES

Scale As Indicated	Job 21.110	Sheet A1.0
Drawn CR	Date 01/09/23	



LIGHTING FIXTURE SCHEDULE				
MARK	DESCRIPTION	MANUFACTURER	PRODUCT NUMBER	COMMENTS
A	2X2 LED FLAT PANEL	LITHONIA	EPANL 2X2 3400LM 80CRI 35K MINIO 2T MVOLT NLIGHT	RECESSED, CONNECT TO EXISTING CIRCUIT
B	2X2 LED FLAT PANEL	LITHONIA	EPANL 2X2 3400LM 80CRI 35K MINIO 2T MVOLT NLIGHT	SURFACE MOUNT, CONNECT TO EXISTING CIRCUIT
C	6" LED DOWNLIGHT	GOTHAM	EVO 35/20 AR MND LSS EZ1 MVOLT NLT	RECESSED, CONNECT TO EXISTING CIRCUIT
D	LED WALL SCONCE	LUMINUS	SN820	CONNECT TO EXISTING CIRCUIT

RCP NOTES

- REFERENCE ROOM FINISH SCHEDULE FOR CEILING HEIGHTS, UNLESS NOTED OTHERWISE (AND).
- IN AREA OF NEW CEILING, ALL LIGHTING SHALL BE REPLACED. ALL OTHER CEILING MOUNTED DEVICES TO BE REMOVED AND REINSTALLED IN EXISTING LOCATIONS EXCEPT IN CONFLICT W/ NEW LIGHTING OR AS INDICATED ON DWGS.
- NOT ALL EXISTING LIGHT FIXTURES SHOWN, GC TO VERIFY QUANTITY OF EXISTING LIGHT FIXTURES TO BE REPLACED WITH NEW LED FIXTURES.
- TIE IN NEW LIGHT FIXTURES TO EXISTING CIRCUITS, TYP. THROUGHOUT.

Issue / Revisions

No.	Date	Description
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1 REFLECTED CEILING PLAN
1/4" = 1'-0"

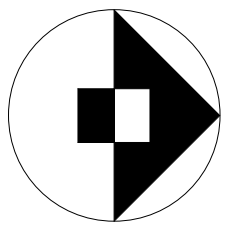
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Drawing REFLECTED CEILING PLAN		 Sheet A1.1
Scale 1/4" = 1'-0"	Job 21.110	
Drawn CR	Date 01/09/23	

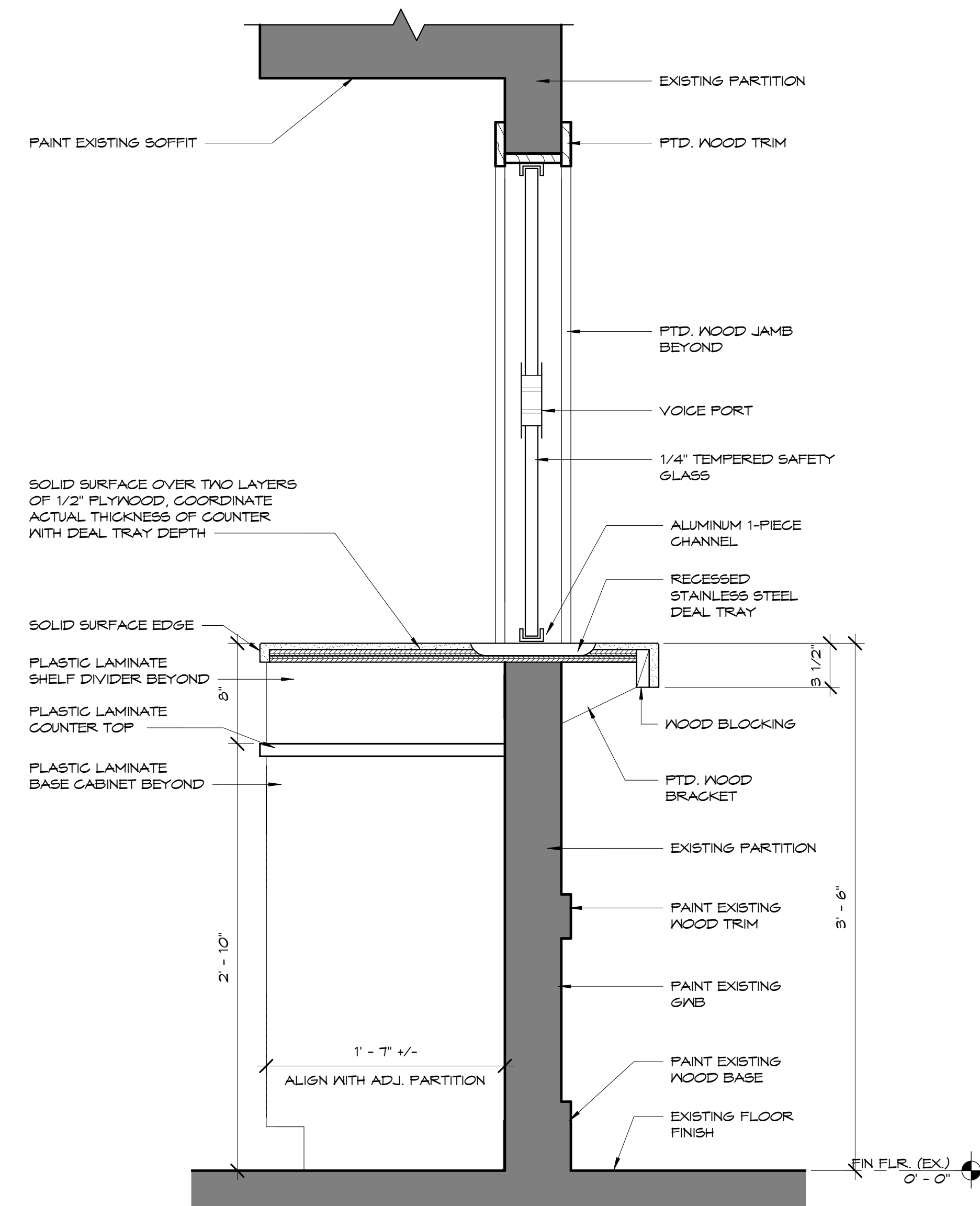
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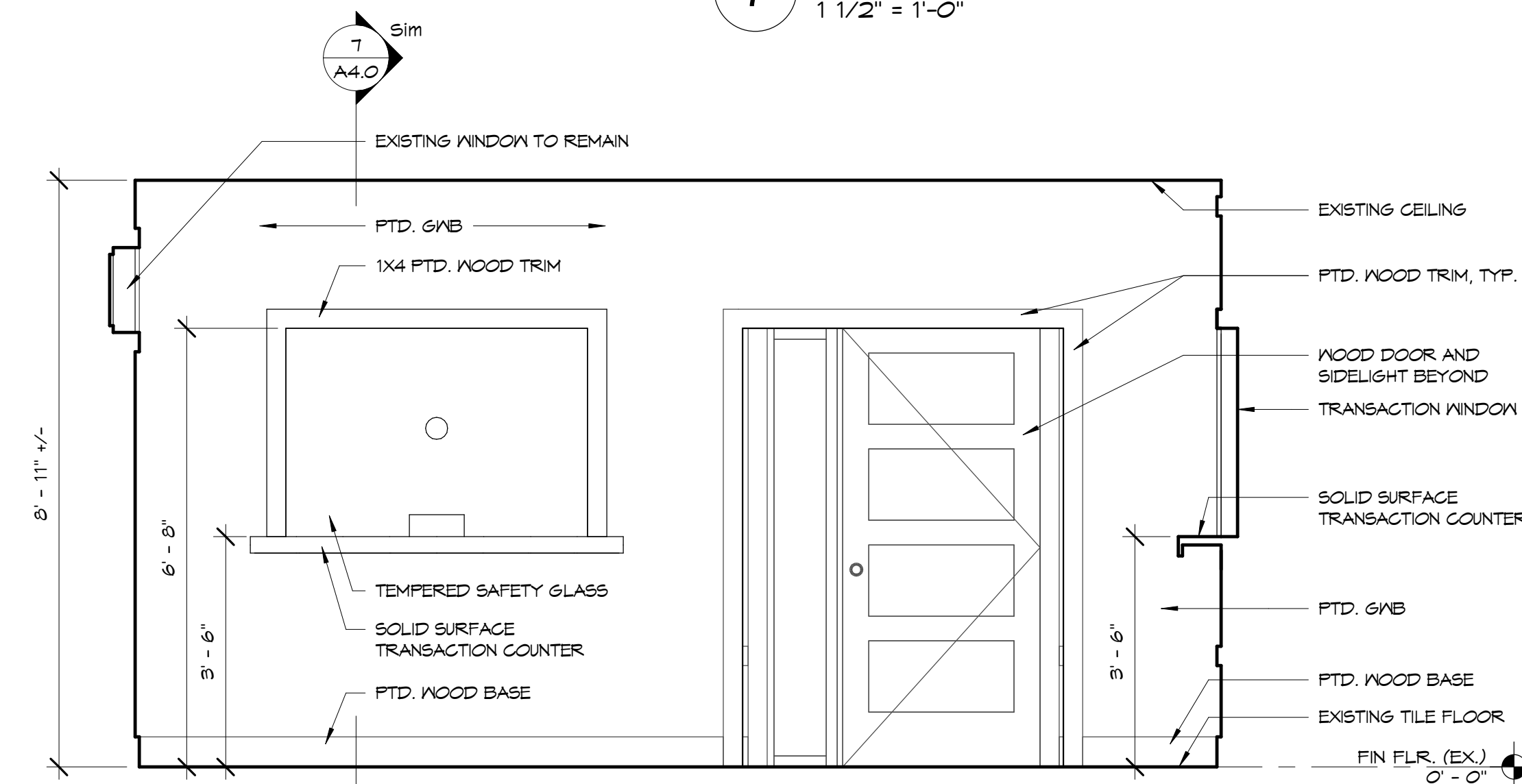
Drawing	
INTERIOR ELEVATIONS	

Scale As indicated	Job 21.110	Sheet A4.0
Drawn CR	Date 01/09/23	

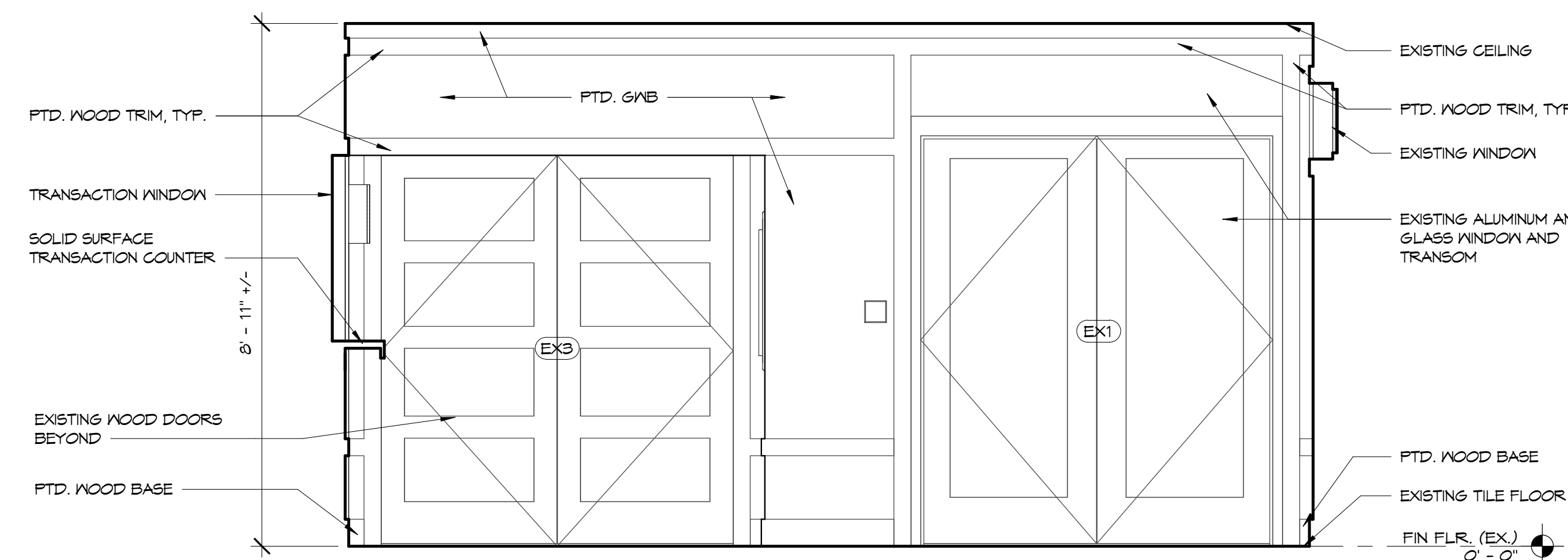


6 INTERIOR ELEVATION - CLERK'S OFFICE
1/2" = 1'-0"

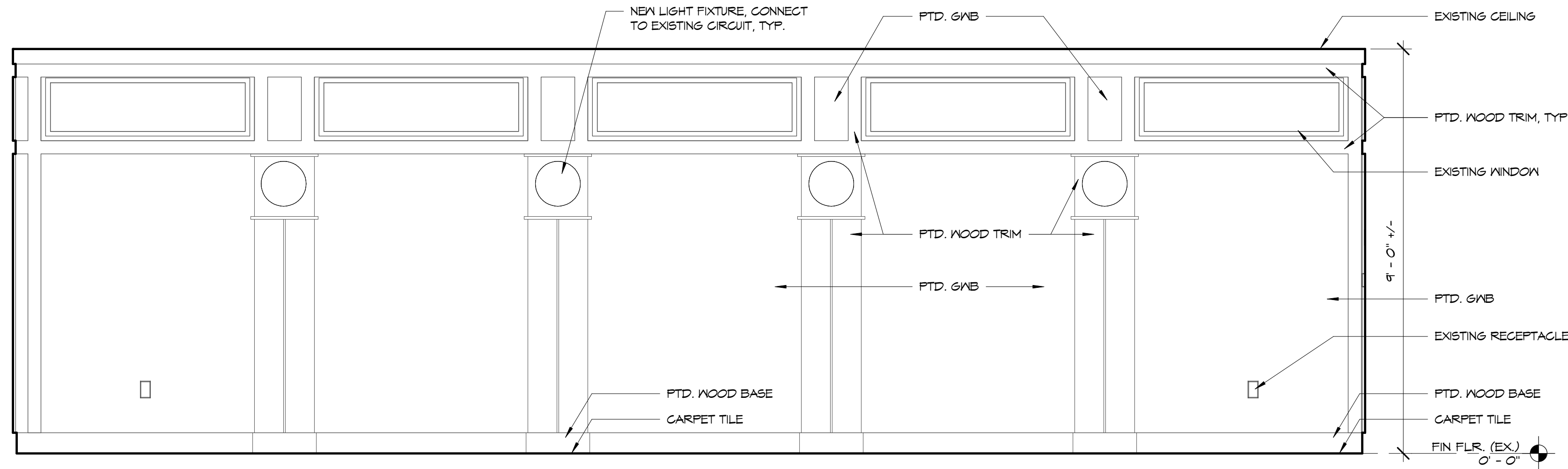
7 TRANSACTION WINDOW SECTION
1 1/2" = 1'-0"



4 INTERIOR ELEVATION - LOBBY
1/2" = 1'-0"



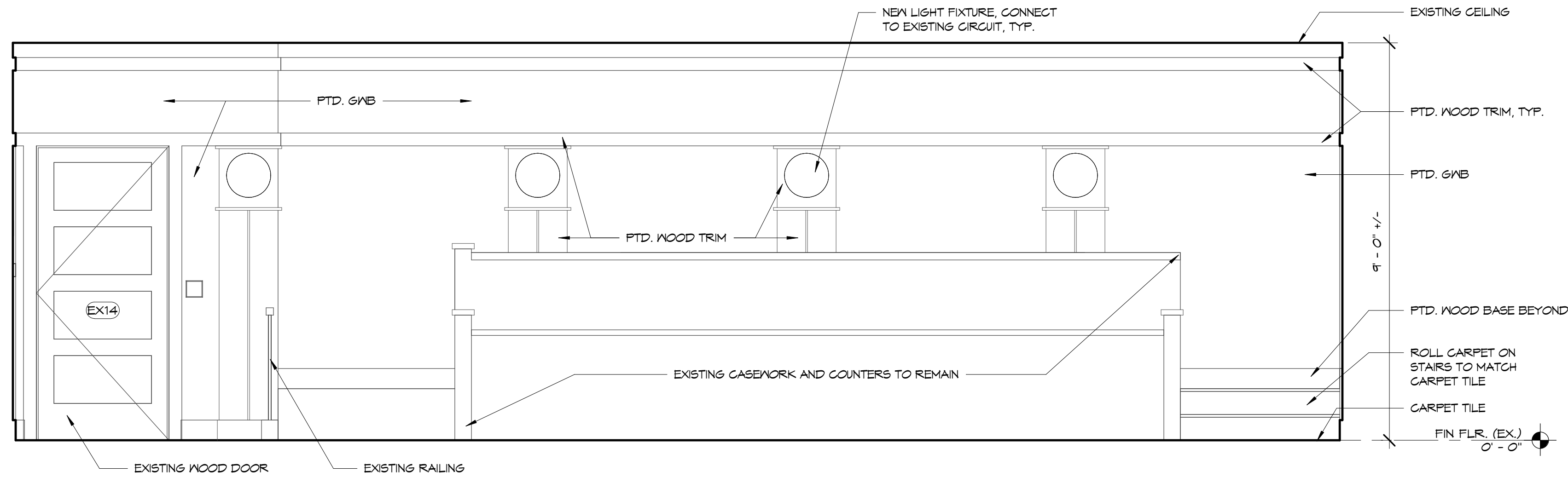
2 INTERIOR ELEVATION - LOBBY
1/2" = 1'-0"



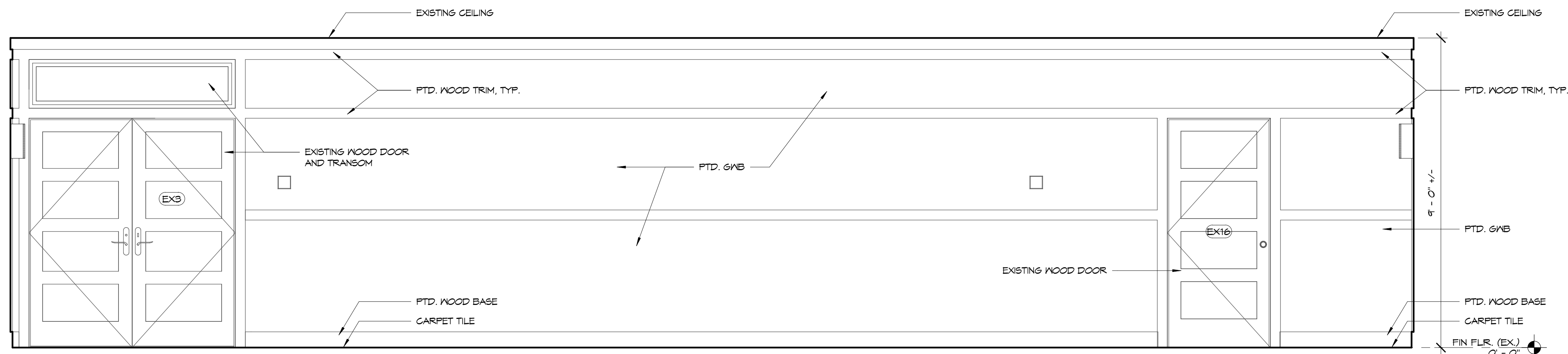
1 INTERIOR ELEVATION - COURTROOM
1/2" = 1'-0"



2 INTERIOR ELEVATION - COURTROOM
1/2" = 1'-0"



3 INTERIOR ELEVATION - COURTROOM
1/2" = 1'-0"



4 INTERIOR ELEVATION - COURTROOM
1/2" = 1'-0"

Issue / Revisions

No.	Date	Description
A	01/09/23	ISSUED FOR BIDDING

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Project
INTERIOR RENOVATIONS TO
**COMMERCIAL TOWNSHIP
MUNICIPAL BUILDING**
1768 MAIN ST, PORT NORRIS, NJ
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Drawing
INTERIOR ELEVATIONS

Scale 1/2" = 1'-0"	Job 21.110	Sheet A4.1
Drawn CR	Date 01/09/23	