ADDENDUM NO. 1

to

CONTRACT DOCUMENTS

for

RENOVATIONS FOR SECURITY VESTIBULE AT POMONA PRESCHOOL AND ARTHUR RANN ELEMENTARY SCHOOL

for the

GALLOWAY TOWNSHIP SCHOOL DISTRICT

GALLOWAY TOWNSHIP - ATLANTIC COUNTY - NEW JERSEY

Issued: February 3, 2020

FVHD PROJECT #5192 / NJDOE #1690-040-20-1000 Pomona Preschool, 400 S. Genoa Ave., Egg Harbor, NJ 08215 **FVHD PROJECT #5193** / NJDOE #1690-015-20-1000 Arthur Rann Elementary School, 515 S. Eighth Ave., Galloway, NJ 08205

FRAYTAK VEISZ HOPKINS DUTHIE, P.C.

Architects-Planners 1515 Lower Ferry Road, Trenton, NJ 08618 William D. Hopkins III, AIA, LEED AP, Lic. No. 21AI01706000

EDWARDS ENGINEERING GROUP

Civil Consulting Engineers

69 West End Avenue, Somerville, NJ 08876 William B. Edwards, P.E., Lic. No. GE36148

GILLAN & HARTMANN, INC.

Consulting Engineers 140 Whitaker Avenue, Suite 300 Mont Clare, PA 19453 M. Steven Gillan, P.E., Lic. No. 24GE4470000

<u>INTENT</u>: This Document supersedes all conflicting and contrary information in said Contract Documents. Said documents are hereby amended in certain particulars as described herein after. Unless specifically noted or specified hereinafter all work shall conform to the applicable provisions of the Contract Documents. Bidders shall acknowledge receiving this document on the Bid Proposal Form.

This Addendum includes three (3) pages and the following:

- 1. Pre-Bid Meeting Sign-In Sheet, dated 01/28/20, 2-pages.
- 2. Addendum No. 1 (MEPFP Portion) as prepared by Gillan and Hartmann, Inc., dated 01/31/20, 3-pages.
- 3. Revised Drawings:
 - a. Architectural: G001, A101 PP, A101 AR, A102 AR, A103 AR, S101 AR.
 - b. Electrical: AD1-E01 through AD1-E07.

FVHD-5192 / 5193

REFER TO DRAWINGS

The following Drawings and/or Sketches are attached to this Addendum:

DRAWING NO. TITLE

G001	TITLE SHEET, DRAWING INDEX AND GENERAL INFORMATION
A101 PP	DEMOLITION PLAN, FLOOR PLAN, REFL. CLG. PLAN, DOOR & FRAMES,
	SCHEDULES, DTLS
A101 AR	DEMOLITION PLAN, FLOOR PLAN, REFL. CLG. PLAN, DOOR & FRAMES,
	SCHEDULES, DTLS
A102 AR	FOUNDATION PLAN - BASE BID, SECTIONS, DETAILS
A103 AR	ALTERNATE BID: FLOOR PLAN, FOUNDATION PLAN, REFLECTED CLG PLAN,
	ELEVATIONS, SECTIONS, DETAILS
S101 AR	ALTERNATE BID: FLOOR PLAN, FOUNDATION PLAN, REFLECTED CLG PLAN,
	ELEVATIONS, SECTIONS, DETAILS
AD1-E01	PARTIAL FIRST FLOOR PLAN ELECTRICAL REMOVALS
AD1-E02	PARTIAL FIRST FLOOR PLAN ELECTRICAL NEW WORK
AD1-E03	PARTIAL FIRST FLOOR PLAN ELECTRICAL NEW WORK CANOPY
	LIGHTING
AD1-E04	ELECTRICAL NEW WORK SHEET NOTES
AD1-E05	ELECTRICAL EXTERIOR LIGHTING CONTROL DIAGRAM
AD1-E06	ELECTRICAL INTERIOR EMERGENCY LIGHTING RELAY TYPE "R1"
AD1-E07	ELECTRICAL CANOPY LIGHTING SCHEDULE

The following Drawings to be revised or corrected as follows:

DRAWING NO.	CHANGES AND CORRECTIONS
G001	Revise drawing G001 in its entirety and substitute with revised drawing G001, attached to this Addendum.
A101 PP	Revise drawing A101 PP in its entirety and substitute with revised drawing A101 PP, attached to this Addendum.
A101 AR, A102 AR, A103 AR,	Revise drawings A101 AR, A102 AR, A103 AR in their entirety and substitute with revised drawings A101 AR, A102 AR, A103 AR, attached to this Addendum.
S101 AR	Revise drawing S101 AR in its entirety and substitute with revised drawing S101 AR, attached to this Addendum.
E 100PP	Revise drawing E 100PP as indicated on drawings AD1-E01 and AD1-E02, attached to this Addendum.
E100AR	Revise drawing E100AR as indicated on drawings AD1-E03 through AD1-E07, attached to this Addendum.

REFER TO SPECIFICATIONS

PART 1 - TABLE OF CONTENTS

Page

TOC-2 Change "Section 02000 - Filed Engineering & Layout", to read "Section 02000 - Field Engineering & Layout".

PART 2 - SECTION 03450 - SELF-DRYING FINISHING UNDERLAYMENT

- Page Paragraph
- 03450-1 1.2, B Delete subparagraph 3 in its entirety.

PART 2 - SECTION 07500 - ROOFING, GENERAL

- Page Paragraph
- 07500-1 1.1, A.1 Change "Section 05310 Steel Decking", to read "Section 05300 Steel Decking".
 - 1.1, A Delete subparagraph "5" in its entirety.

PART 2 - SECTION 08110 - HOLLOW METALWORK

Page Para	agraph
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08110-1 1.2, B Delete subparagraph "7" in its entirety.

PART 2 - SECTION 08700 - FINISH HARDWARE

- Page Paragraph
- 08700-18 3.8 Add the following Door Hardware Sets:

Set: 5.0

Doors: CC-01, CC-02

1 1 1 1	Continuous Hinge Exit Device (rim, nightlatch) Cylinder Core Door Pull Door Closer Kickplate	CFM-HD1 Series ED5200A K157 M110 CT6SD Facility Standard BF158 Mtg-Type 12HD UNI7500 K1050 10" high 4BE	630 626 US32D 689 US32D	PE RU RO NO RO
	Gasketing	S88BL		PE

<u>Set: 6.0</u> Doors: CC-03

Existing SVR Panics existing to remain. Replace outside Trim 1 - Fail Safe Outside Trim 1-959 to have outside key override on one door. 1 - Power Supply 1 - Wire Loop

END OF ADDENDUM NO. 1

FVHD-5192 / 5193

Pennsylvania: 140 Whitaker Avenue, Suite 300 Mont Clary, Pennsylvania 19453 tel: 610,933,6294 fax: 610,933,6294	2020 at 2:00 PM 5192 / 5193		E-MAIL			TOMD& OCEAN CONTCON		9 rey @ capriconstruction c.com	
1d 38618	DATE: Tues, January 28, 2020 at 2:00 PM FVHD PROJECT#: 5192 / 5193		FAX#		z			pZ98	
Corporate Office: 1515 Lower Ferry Road Trenton, New Jersey 08618 tel: 609,883.2694 fax: 609.883.2694	DATE:] FVHD F	-IN SHEET	TELEPHONE#		215691	609-653 0133		856-642 4767	1699-149
www.fvhdpc.com John J. Veisz, AIA, CSBA, RCI William D. Hopkins III, AIA, LEED AP George R. Duthie, AIA, PP	S and Pomona ol District	MEETING SIGN-IN SHEET	CONTRACT NUMBER			629 653 0133		22.66-842	
Fraytak Veisz Hopkins Duthie, P.C.	Security Vestibule Renos. at Arthur Rand ES and Pomona Preschool for the Galloway Township School District	PRE-BID ME	COMPANY NAME & ADDRESS	MJJ CONSTRUCTION	DOGAN CONSTRUCTION	OLEAN CONSTRUCTION	Massett Building Lombary	Capri Construction 1 1 Company	+ Nowwell CONST
Fraytak Veisz Ho	PROJECT NAME: Secu Preso		REPRESENTATIVE NAME (Please Print)	MILLE PROKAPUS	ANTHON BIDS INT	Thomas DOND411'U	Mathew Nucrot	Greyory	L'and Warned

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ADDENDUM NO. 1 (MEPFP portion)

to the

SPECIFICATIONS AND DRAWINGS

for the

SECURE ENTRANCE ALTERATIONS

at the

POMONA PRESCHOOL

and

ARTHUR RANN E.S.

located in

GALLOWAY, NJ



- 1. MEP Addendum No. 1 dated January 31, 2020, is issued as part of the Contract Documents, dated January 13, 2020 to inform and/or specify changes, which take precedence over information contained in the original Contract Documents. Unless otherwise specifically noted or specified hereinafter, or shown on drawings or schedules accompanying this Addendum, all work required by this Addendum shall conform to the applicable provisions of the Contract Documents. It shall be the responsibility of the Bidder to include in their bid any cost implications of this Addendum. All Bidders are to indicate on the form of proposal submitted by them, acknowledgment of receipt and compliance with the contents of this change to the Contract Documents.
- 2. Any provision in any of the Contract Documents which may be in conflict or be inconsistent with the contents of this Addendum shall be void to the extent of such conflict or inconsistency.

3. ELECTRICAL TRADE:

3.1 CLARIFICATIONS

3.1.1. None.

3.2 ERRATA IN THE SPECIFICATIONS

3.2.1. None.

3.3 ERRATA ON THE DRAWINGS

- 3.3.1. E100PP:
 - 3.3.1.1. Remove cast iron radiator in Secure Landing 001 and provide new wall mounted electric heater. See attached sketches AD1-E01 and AD1-E02.
 - 3.3.1.2. Remove two single-pole 20-amp circuit breakers in existing panel "EPP" (Panel "EPP" located in the Main Electrical Room) and turn over to the Owner. Provide one 2-pole 20-amp circuit breaker in Panel "EPP." Provide a 2-pole 30-amp disconnect switch for the electric heater. Provide (2)#12,(1)#12G, 3/4"C from the new circuit breaker and wire through the new disconnect switch and connect to the new electric heater. Provide wiring in conduit raceway or MC cable in concealed locations. Provide wiring in surface mounted raceway painted to match the existing wall finish in exposed locations.
 - 3.3.1.3. Provide (2)#12,(1)#12G,3/4"C from a space circuit breaker in Panel "EPP" to a new junction box (Junction box located above the dropped ceiling in the Main Lobby 006 and adjacent to the passageway doors into Vestibule 005) for power for a future door lock. Provide a 3/4" conduit raceway extended from the door lock power supply junction box into the Main Secretary Office 007.

3.3.2 E001

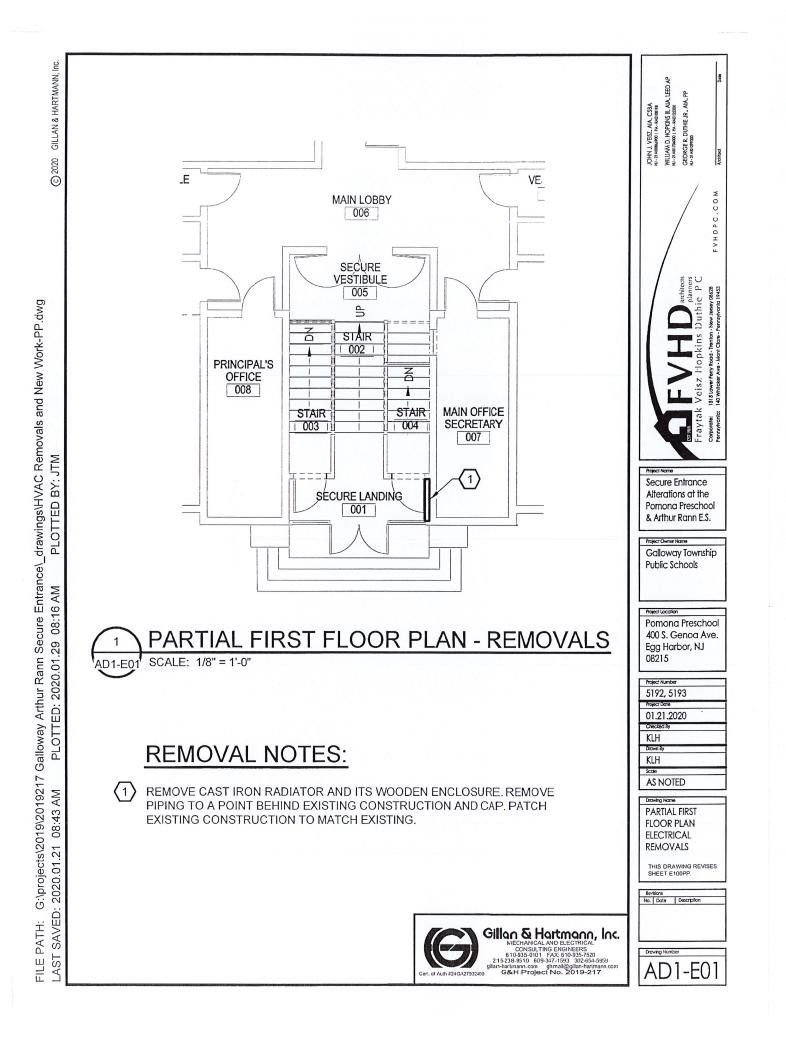
3.3.2.1 Change General Electrical Note 4 to read as follows: All work must comply with the National Electrical Code 2017 Edition.

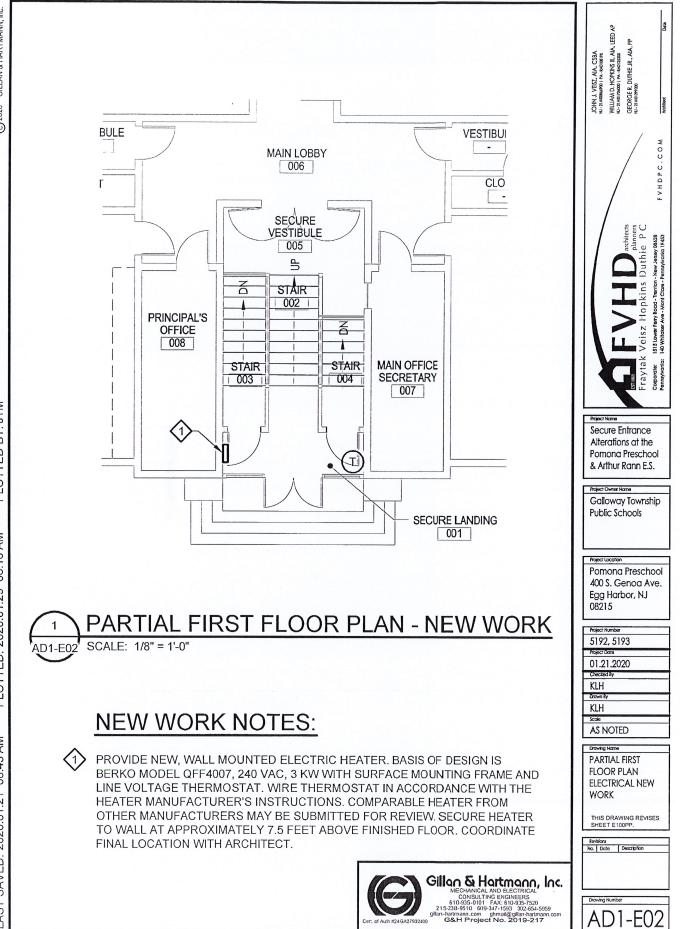
- 3.3.2.2 Add the following General Electrical Note: Incorporate in bidding submission the cost of alternates as defined and required and required on architectural drawings and Division 1 specifications.
- 3.3.2.3 Provide the additional work (in compliance with the requirements for alternates) shown on sketches AD1-E03, AD1-E-04, AD1-E05, AD1-E06, and AD1-E07.

3.3.3 E100AR

3.3.3.1 Add provisions to remove and reinstall a surface wall mounted thermostat mounted 42" above finished floor and located above the indicated receptacle shown on Detail 1/E100AR with Removal Note #1. Include provisions to remove and reinstall the existing surface mounted wiremold raceway extending from the dropped ceiling and down to the thermostat. Include provisions to intercept and extend the thermostat wiring to the new location as directed by the Owner up to 25 feet from its existing location.

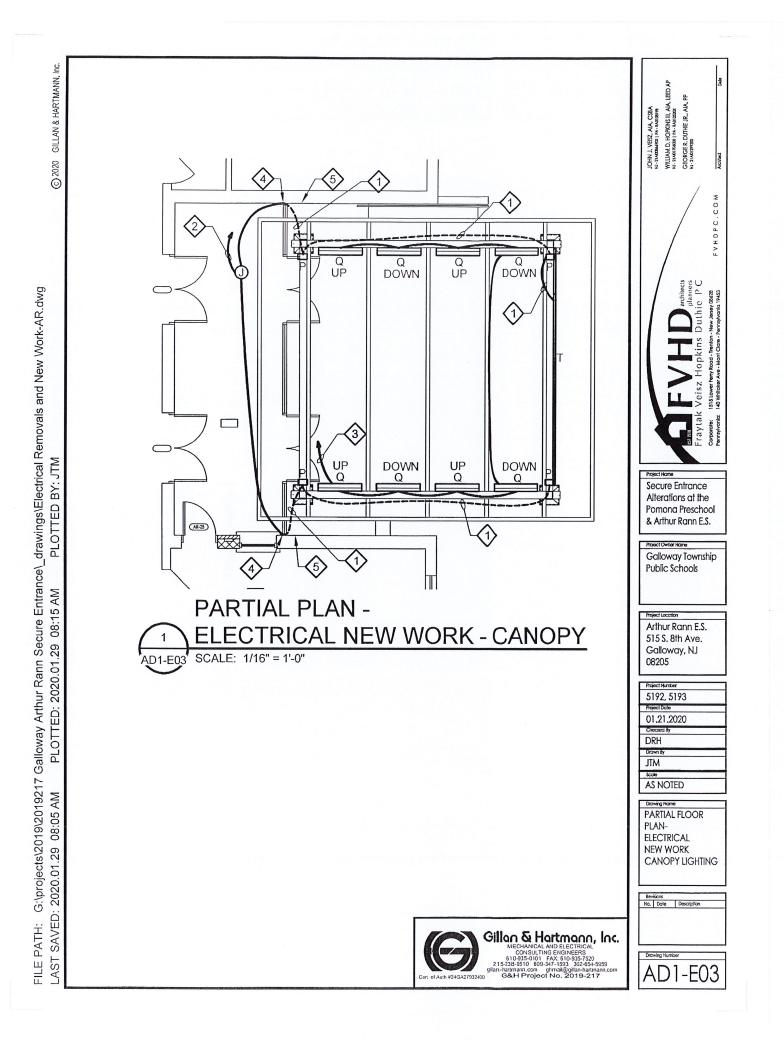
END OF ADDENDUM NO. 1





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NEW WORK NOTES:

(APPLIES ONLY TO DRAWING AD1-E03)

COORDINATE THE EXACT LOCATION, LENGTH, AND NUMBER OF THE REQUIRED TYPE "T" LED TAPE LIGHT FIXTURES AND THE EXACT NUMBER OF POWER SUPPLIES WITH THE MANUFACTURER, ARCHITECT, AND GENERAL CONTRACTOR FOR A COMPLETE INSTALLATION AS SHOWN ON THE ARCHITECTURAL DRAWINGS PRIOR TO PURCHASING THE FIXTURES AND POWER SUPPLIES. WIRE THE LOW VOLTAGE EXTERIOR LED LIGHT FIXTURES TO THEIR REQUIRED LOW VOLTAGE DRIVER/120VACxLV-DC POWER SUPPLIES (LOCATE POWER SUPPLIES IN A WEATHERPROOF EXTERIOR ENCLOSURE CONCEALED IN THE CANOPY). COORDINATE THE ENCLOSURE LOCATION WITH THE ARCHITECT PRIOR TO THE START OF WORK. TYPE "P" FIXTURES ARE TO BE SURFACE MOUNTED ON CANOPY COLUMNS. COORDINATE THE EXACT NUMBER AND MOUNTING LOCATIONS OF THE LIGHT FIXTURES WITH THE ARCHITECT PRIOR TO THE START OF ANY WORK. THE BRANCH CIRCUITS FOR THE TYPE "P" AND "T" FIXTURES SHALL EXTEND DOWN THROUGH THE COLUMNS (ROUTE BETWEEN THE STEEL COLUMN AND CSMU OF COLUMN ENCLOSURE) AND UNDERGROUND TO THE BUILDING. REFER TO THE ARCHITECTURAL DRAWING DETAILS AND COORDINATE WITH THE ARCHITECT FOR THE EXACT UNDERGROUND AND ABOVE GROUND ROUTING OF THE BRANCH CIRCUIT RACEWAYS PRIOR TO THE START OF ANY WORK. PAINT THE BRANCH CIRCUIT CONDUITS TO MATCH THE ADJACENT STEEL STRUCTURE (COLOR SELECTED BY ARCHITECT). EXTEND 120V WIRING FROM THE POWER SUPPLIES TO AN INTERIOR JUNCTION BOX TO POWER THE TYPE "T" AND "P" FIXTURES FROM THE SAME PANEL "F" 120V BRANCH CIRCUIT CONTROLLING THE SHUNT RELAYS FOR THE VESTIBULE LIGHTING. REFER TO 1/AD1-E05 FOR MORE INFORMATION.

WIRE TO EXTERIOR LIGHTING CONTROL SHOWN ON 1/AD1-E05.

SEE THE EXTERIOR LIGHTING CONTROL DETAIL ON 1/AD1-E05 FOR BRANCH CIRCUIT POWER AND EMERGENCY LIGHTING CONTROL SHUNT RELAY REQUIREMENTS. REFER TO THE ARCHITECTURAL DRAWING DETAILS AND COORDINATE WITH THE ARCHITECT FOR THE EXACT ROUTING OF THE BRANCH CIRCUIT RACEWAYS FROM THE EXTERIOR LIGHT FIXTURES AND INTO THE BUILDING PRIOR TO THE START OF ANY WORK. ROUTE THE BRANCH CIRCUITS BETWEEN THE STEEL COLUMN AND CSMU OF COLUMN ENCLOSURE AND UNDERGROUND TO THE BUILDING. PAINT THE BRANCH CIRCUIT CONDUITS TO MATCH THE ADJACENT STEEL STRUCTURE (COLOR SELECTED BY ARCHITECT).

PROVIDE SURFACE MOUNTED WIRE RACEWAY TRANSITIONING FROM THE UNDERGROUND CONDUIT TO ABOVE THE DROPPED CEILING.

IN LIEU OF ORIGINAL BID DOCUMENT PLAN 2/E100AR, THE EXISTING WALL MOUNTED LIGHT FIXTURE SHOWN REMOVED ON PLAN 1/E100AR WILL NOT BE REINSTALLED. AFTER TURN THE LIGHT FIXTURES OVER TO THE OWNER AND PROVIDE COVER PLATES PAINTED TO MATCH THE EXISTING WALL FINISH.



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Project Name
Secure Entrance Alterations at the Pomona Preschool & Arthur Rann E.S.
Project Owner Hame Galloway Township Public Schools
Project Location
Arthur Rann E.S. 515 S. 8th Ave. Galloway, NJ 08205
Project Number 5192, 5193
Project Date 01.21.2020
Checked by
JTM Scole
AS NOTED
Drowing Norme ELECTRICAL NEW WORK SHEET NOTES
Revisions No. Date Description

AD1-E04

C 2020 GILLAN & HARTMANN, Inc

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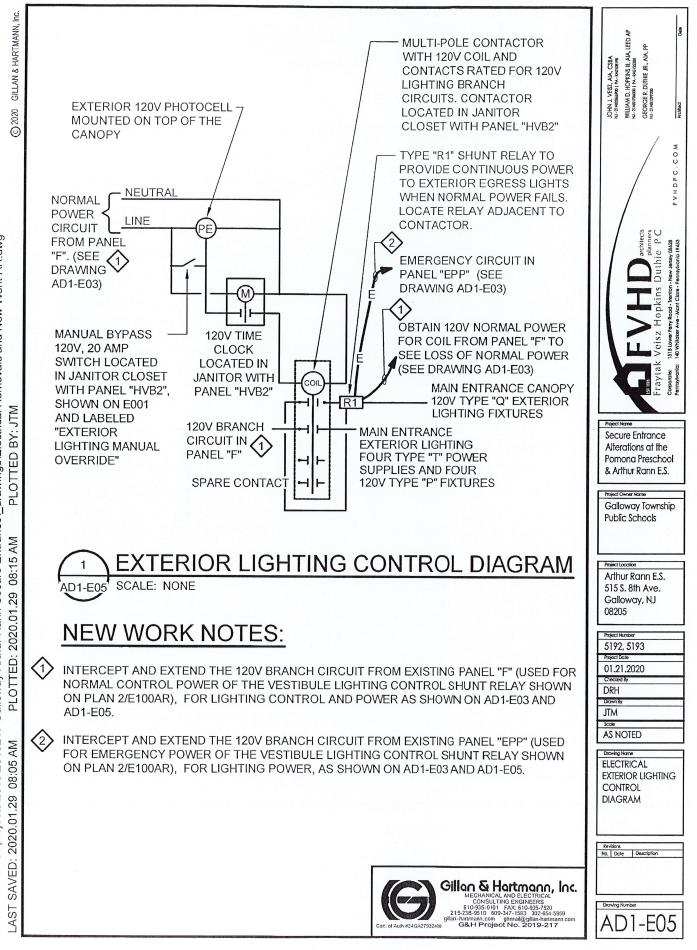
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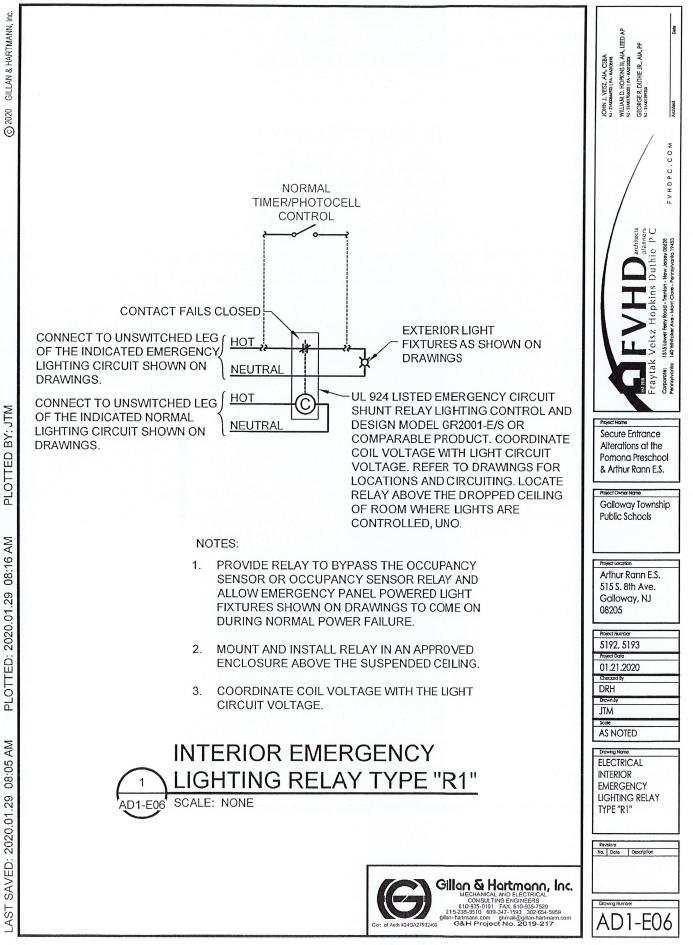
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AD1-E07

610-935-0101 FAX: 610-935-7520 215-238-9510 609-347-1593 302-654-5959 gilan-hartmann.com ghmail@gillan-hartmann.com G&H Project No. 2019-217

Renovations for a Security Vestibule at the POMONA PRE-SCHOOL and the ARTHUR RANN ELEMENTARY SCHOOL for the Galloway Township Board of Education

EST 1918 Fraytak Veisz Hopkins Duthie PC New Jersey | Pennsylvania | fvhdpc.com

EDWARD ENGINEERING GROUP CONSULTING ENGINEERS | SOMERVILLE, NEW JERSEY

GILLAN & HARTMANN, INC. CONSULTING ENGINEERS | MONT CLARE - PENNSYLVANIA

POMONA PRE-SCHOOL FVHD 5192 - NJ DOE No. 1690-040-20-1000

ARTHUR RANN ELEMENTARY SCHOOL FVHD 5193 - NJ DOE No. 1690-015-20-1000

Galloway Township, Atlantic County, New Jersey

EXISTING FIRE ALARM SYSTEM NOTE:

IF ANY PORTION OF THE EXISTING FIRE ALARM SYSTEM MUST BE TAKEN OUT OF SERVICE FOR ANY LENGTH OF TIME, THE LOCAL FIRE MARSHAL MUST BE CONTACTED AND MUST APPROVE SHUTDOWN PLANS, PROCEDURES AND FIRE WATCH PLANS THAT WILL BE IMPLEMENTED.

CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE LOCAL FIRE MARSHAL CONCERNING THE EXISTING FIRE ALARM SYSTEM SHUTDOWN PLANS, PROCEDURES AND FIRE WATCH PLANS THAT WILL BE IMPLEMENTED FOR SYSTEM INTERRUPTIONS DURING CONSTRUCTION.

NOTE THAT TEMPORARILY COVERING EXISTING DETECTION DEVICES TO PREVENT ACCIDENTAL ALARM ACTIVATIONS DUE TO DUST AND DIRT CONSTITUTES A PARTIAL SHUTDOWN OF THE EXISTING FIRE ALARM SYSTEM.

APPLICABLE CODES

BUILDING SUBCODE

BARRIER-FREE SUBCODE FIRE SUBCODE

ELECTRICAL SUBCODE

REHABILITATION SUBCODE

INTERNATIONAL BUILDING CODE / 2018, NEW JERSEY EDITION ICC / ANSI A117.1 - 2009 INTERNATIONAL FIRE CODE / 2015 NATIONAL ELECTRICAL CODE (NFPA 70) 2017

GENERAL CONSTRUCTION NOTES:

THESE NOTES SHALL APPLY TO ALL WORK THROUGHOUT THE PROJECT.

A. CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE ALL REQUIRED SAFETY PROTECTION DURING CONSTRUCTION.

NJUCC, SUBCHAPTER 6

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE A SUFFICIENT WORK FORCE TO MEET COMPLETION DATES AS OUTLINED IN THE SPECIFICATIONS. NO EXCEPTIONS WILL BE ALLOWED
- C. DO NOT SCALE THE DRAWINGS.
- D. DETAILS NOTED "TYPICAL" IMPLY ALL SUCH CONDITIONS BE TREATED SIMILARLY.
- ALL WORK PERTAINING TO THESE DRAWINGS SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND IN AGREEMENT WITH ALL AGENCIES HAVING JURISDICTION
- THE CONTRACTOR IS RESPONSIBLE TO SECURE ALL PERMITS, TO OBTAIN APPROVALS AS REQUIRED AND COORDINAT INSPECTION WITH LOCAL BUILDING INSPECTOR. ALL PERMIT AND APPLICATION FEES WILL BE PAID BY THE OWNER AND DELIVERED BY THE CONTRACTOR.
- G. DRAWINGS AND SPECIFICATIONS COMPLEMENT EACH OTHER. WORK NOT SHOWN ON DRAWING BUT CALLED FOR IN THE SPECIFICATIONS IS STILL REQUIRED, AND ALL WORK NOT CALLED FOR IN SPECIFICATIONS, BUT CALLED OUT OR SHOWN IN DRAWINGS IS STILL REQUIRED.
- H. UNLESS OTHERWISE NOTED AND UNLESS FACTORY FINISHED, ALL EXPOSED SURFACES OF CMU, CONCRETE, PLASTER, WOOD, GYPSUM BOARD, HOLLOW METAL, HARDWOODS, MISC. METALS ETC., ARE TO RECEIVE PRIME AND FINISH COATS OF PAINT OR CLEAR FINISH AS SPECIFIED AND IN COLORS AS SELECTED BY ARCHITECT. EXCLUDED FROM THIS IS BRICK.
- I. THE OWNER WILL REMOVE AND RE-INSTALL ALL MOVEABLE EQUIPMENT. EACH CONTRACTOR IS RESPONSIBLE TO REMOVE. STORE AND RE-INSTALL EXISTING BUILT-IN EQUIPMENT REQUIRED TO PERFORM THEIR WORK UNLESS NOTED OTHERWISE.
- ALL CONTRACTORS SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS BEFORE SUBMITTING A BID. DISCREPANCIES OR OMISSIONS MUST BE REPORTED TO THE ARCHITECT IN WRITING (7) DAYS PRIOR TO BID OPENING. IF HE OR SHE DOES NOT, CONTRACTOR SHALL CORRECT SAME AT NO CHANGE IN CONTRACT PRICE.
- K. MATERIALS LISTED ON THE ROOM FINISH SCHEDULE REFER TO THE MAJORITY OF WALLS, FLOOR AND CEILING OF ROOMS SCHEDULED. REFER TO PLANS, DETAILS, INTERIOR ELEVATION, CEILING PLANS AND NOTES FOR THOSE MATERIALS NOT INDICATED ON THE SCHEDULE BUT ARE STILL REQUIRED IN THE ROOM.

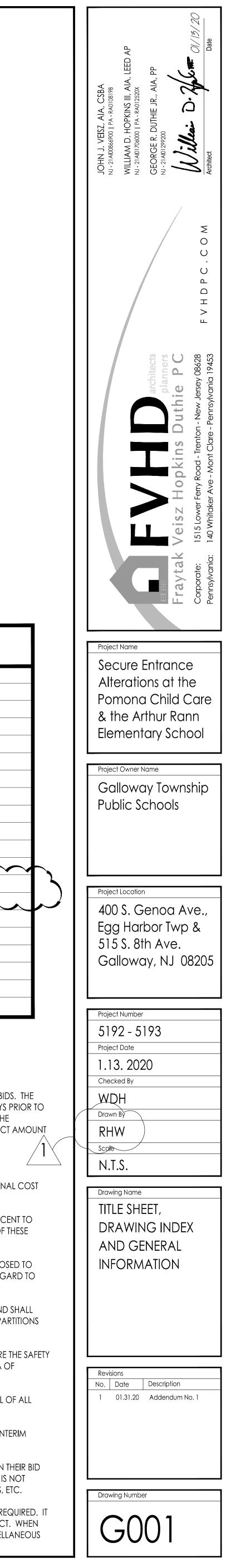
DRAWING INDEX

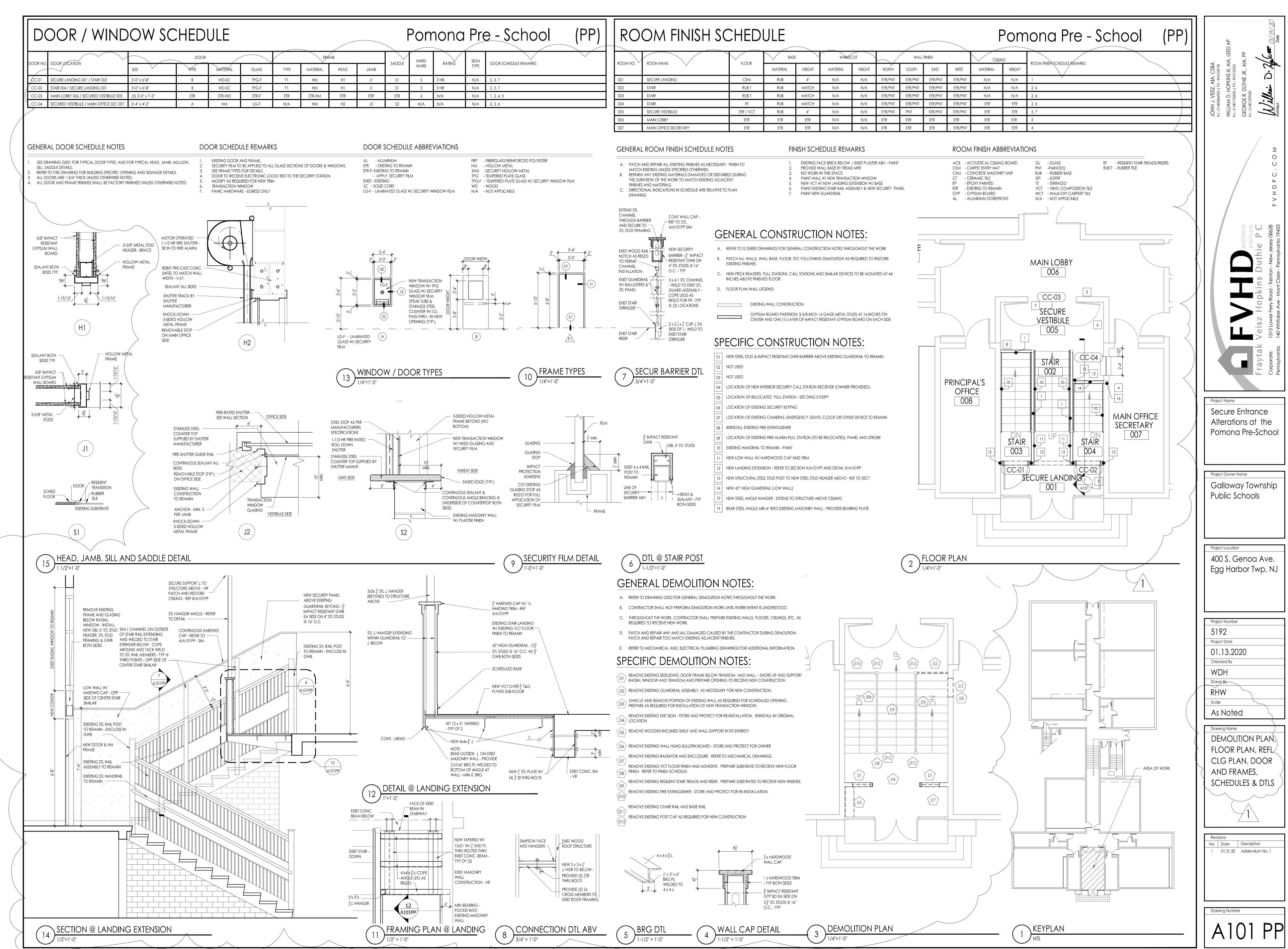
GENERAL -	POMONA PRE-SCHOOL & ARTHUR RANN ELELMENTARY SCHOOL
G001	TITLE SHEET, DRAWING INDEX AND GENERAL INFORMATION
E001	ELECTRICAL LEGEND, GENERAL NOTES, EQUIPMENT SCHEDULE, & DETAILS
ARCHITEC	TURAL - POMONA PRE-SCHOOL
A101 PP	DEMOLITION PLAN, FLOOR PLAN, REFL CLG PLAN, DOOR & FRAMES, SCHEDULES, DTLS
ELECTRICA	AL
E100 PP	ELECTRICAL - REMOVALS AND NEW WORK
ARCHITEC	TURAL - ARTHUR RANN ELEMENTARY SCHOOL
A101 AR	DEMOLITION PLAN, FLOOR PLAN, REFL CLG PLAN, DOOR & FRAMES, SCHEDULES, DTLS
A102 AR	FOUNDATION PLAN - BASE BID, SECTIONS, DETAILS
A103 AR	ALTERNATE BID: FLOOR PLAN, FOUNDATION PLAN, REFLECTED CLG PLAN, ELEVATIONS, SECTIONS, DETAILS
STRUCTUR	
S101 AR	ALTERNATE BID: FLOOR PLAN, FOUNDATION PLAN, REFLECTED CLG PLAN, ELEVATIONS, SECTIONS, DETAILS
ELECTRICA	AL
E100 AR	REMOVALS AND NEW WORK
CIVIL	·
C-1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C-2.0	CONSTRUCTION PLAN AND GRADING PLAN

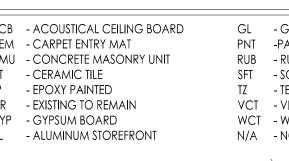
GENERAL NOTES ON DEMOLITION:

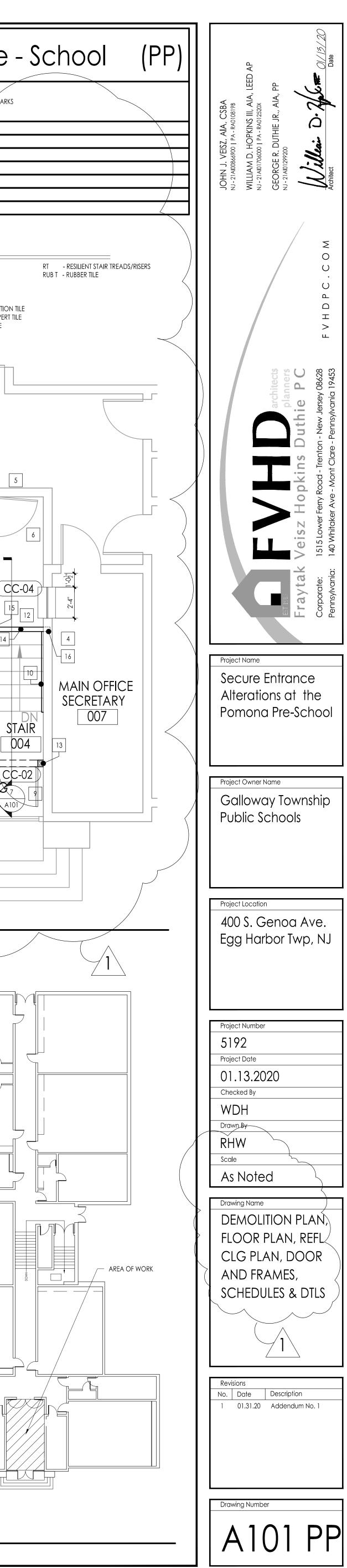
THESE NOTES SHALL APPLY TO ALL DEMOLITION WORK THROUGHOUT THE PROJECT.

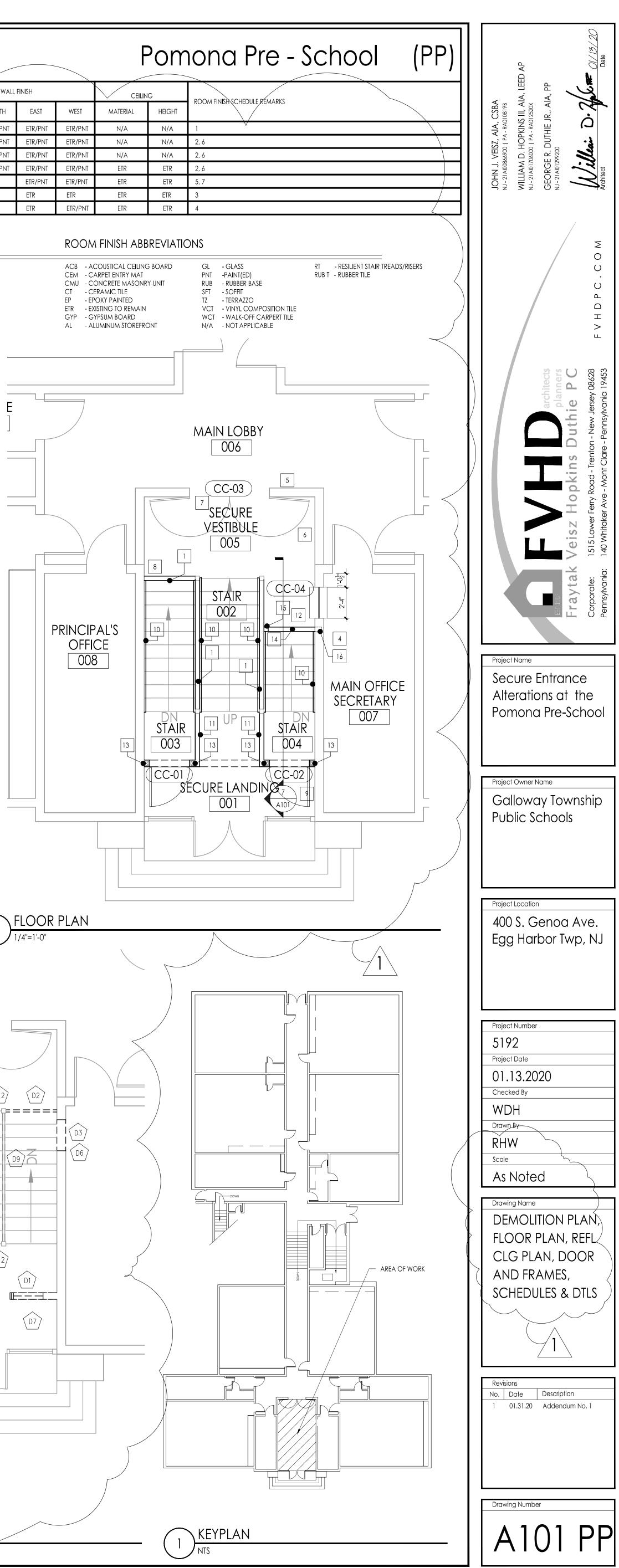
- ALL CONTRACTORS ARE ADVISED TO VISIT THE SITE AND VERIFY ALL AREAS AND CONDITIONS PRIOR TO SUBMITTING 1 CONTRACTOR MUST NOTIFY THE ARCHITECT OF ANY DISCREPANCIES AND/OR OMISSIONS IN WRITING AT LEAST SEVEN DAYS PRIOR TO THE RECEIPT OF BIDS. FAILURE TO SO NOTIFY THE ARCHITECT INDICATES THAT ANY ADDITIONAL COSTS ASSOCIATED WITH THE DISCREPANCIES AND / OR OMISSIONS ARE INCLUDED IN THE CONTRACTOR'S BID AND THAT NO CHANGE TO THE CONTRACT AMOUNT WILL BE MADE AFTER THE RECEIPT OF BIDS OR THE AWARD OF CONTRACTS
- ALL ELECTRICAL DISCONNECTS SHALL BE MADE BY THE RESPECTIVE TRADE SUBCONTRACTOR
- C. UNLESS NOTED OTHERWISE ALL DEMOLITION MATERIAL SHALL BE REMOVED OFF SITE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROTECT PORTIONS OF THE EXISTING CONSTRUCTION WHICH ARE ADJACENT TO AREAS TO BE DEMOLISHED. MAKE ALL CUTS AS NEATLY AS POSSIBLE. REFER TO FLOOR PLAN DRAWINGS FOR FINISHING OF THESE ARFAS
- IF NOT OTHERWISE NOTED OR DETAILED. ALL SURFACES LEFT ROUGH OR UNFINISHED BY DEMOLITION AND WHICH ARE EXPOSED TO VIEW, SHALL BE PATCHED TO MATCH ADJACENT SURFACES AND FINISHED TO PROVIDE A UNIFORM APPEARANCE WITH REGARD TO SIZE, SHAPE, COLOR, TEXTURE AND MATERIAL
- F. THE CONTRACTOR SHALL PROVIDE A PHYSICAL BARRIER TO CONTAIN DUST AND DIRT AROUND THE DEMOLITION AREA AND SHALL MAKE EVERY EFFORT TO KEEP THE DEMOLITION SITE AND SURROUNDING AREAS AS CLEAN AS POSSIBLE. ALL TEMPORARY PARTITIONS SHALL BE 1 HOUR RATED CONSTRUCTION AND INCLUDE A DOOR.
- G. NO DEMOLITION SHALL BEGIN UNTIL PROPER PROTECTION IS IN PLACE AND APPROVED BY ARCHITECT & OWNER TO ENSURE THE SAFETY OF THE PUBLIC, THE BUILDING OCCUPANTS, CONSTRUCTION WORKERS AND TO CONTAIN DUST AND DIRT WITHIN THE AREA OF DEMOLITION.
- H. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS REGARDING THE REMOVAL AND DISPOSAL OF ALL MATERIALS & EQUIPMENT.
- I. THE CONTRACTOR SHALL PROVIDE PROTECTION AGAINST INCLEMENT WEATHER FOR THE EXISTING BUILDING DURING THE INTERIM PERIOD BETWEEN DEMOLITION AND THE COMPLETION OF NEW CONSTRUCTION.
- J. THE CONTRACTORS SHALL TAKE INTO ACCOUNT THEIR METHODS OF CONSTRUCTION FOR THE NEW WORK AND INCLUDE IN THEIR BID THE COST OF ADDITIONAL DEMOLITION WORK NECESSARY TO FACILITATE THE CONSTRUCTION. THIS WORK INCLUDES, BUT IS NOT LIMITED TO THE AREA AROUND JOINTS BETWEEN NEW AND EXISTING CONSTRUCTION IN WALLS, FLOORS AND/OR CEILINGS, ETC.
- K. THE DEMOLITION WORK SHOWN ON THIS PLAN IS INTENDED TO BE A GENERAL OVERVIEW OF MAJOR DEMOLITION WORK REQUIRED. IT IS NOT A COMPLETE AND EXCLUSIVE REPRESENTATION OF ALL DEMOLITION WORK NEEDED FOR EXECUTION OF THE PROJECT. WHEN PREPARING THEIR BIDS, CONTRACTORS MUST REFER TO THE FULL SET OF CONSTRUCTION DOCUMENTS FOR VARIOUS MISCELLANEOUS ITEMS WHICH MUST BE REMOVED AND/OR RELOCATED AS PART OF THE WORK.

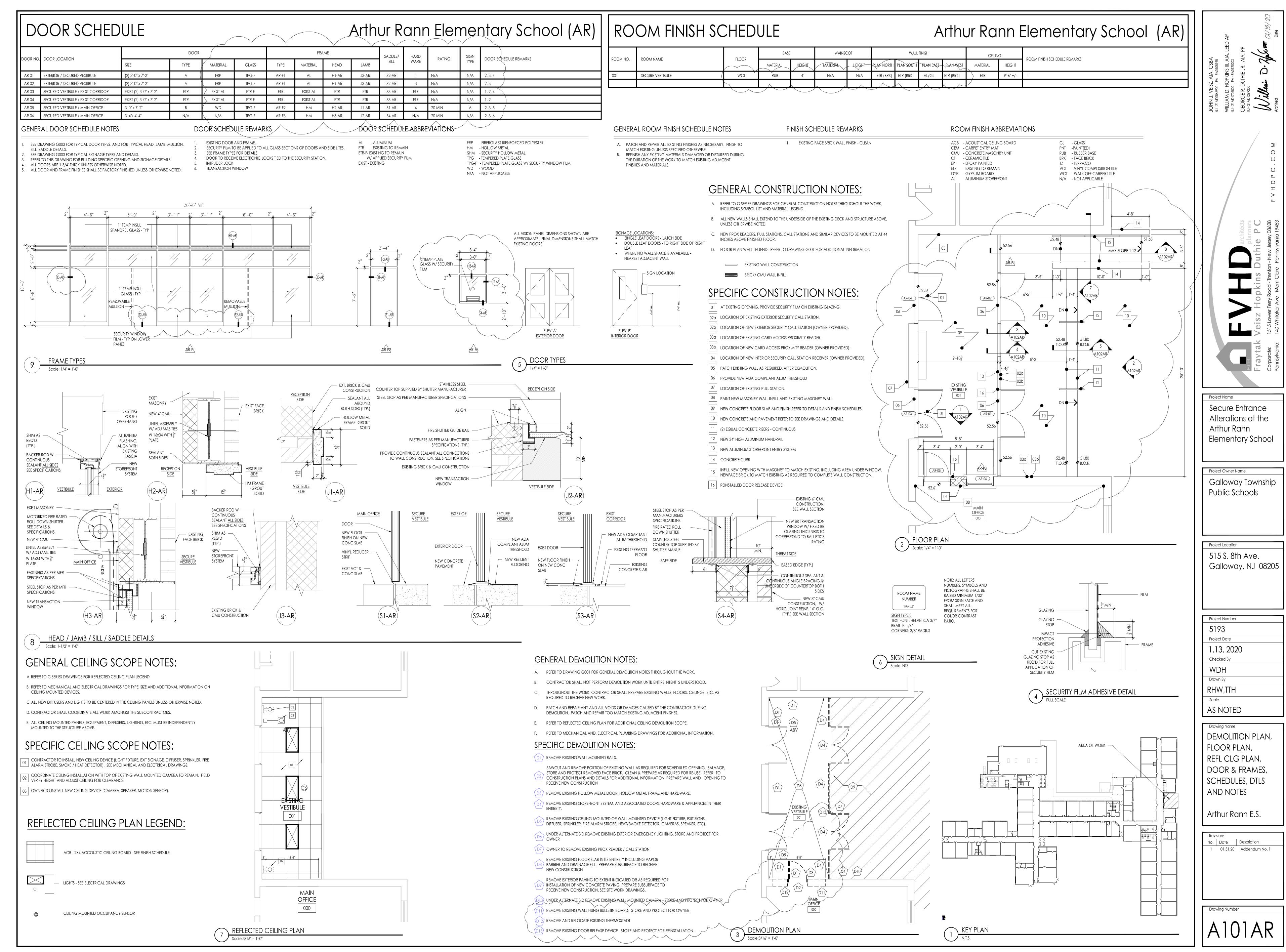






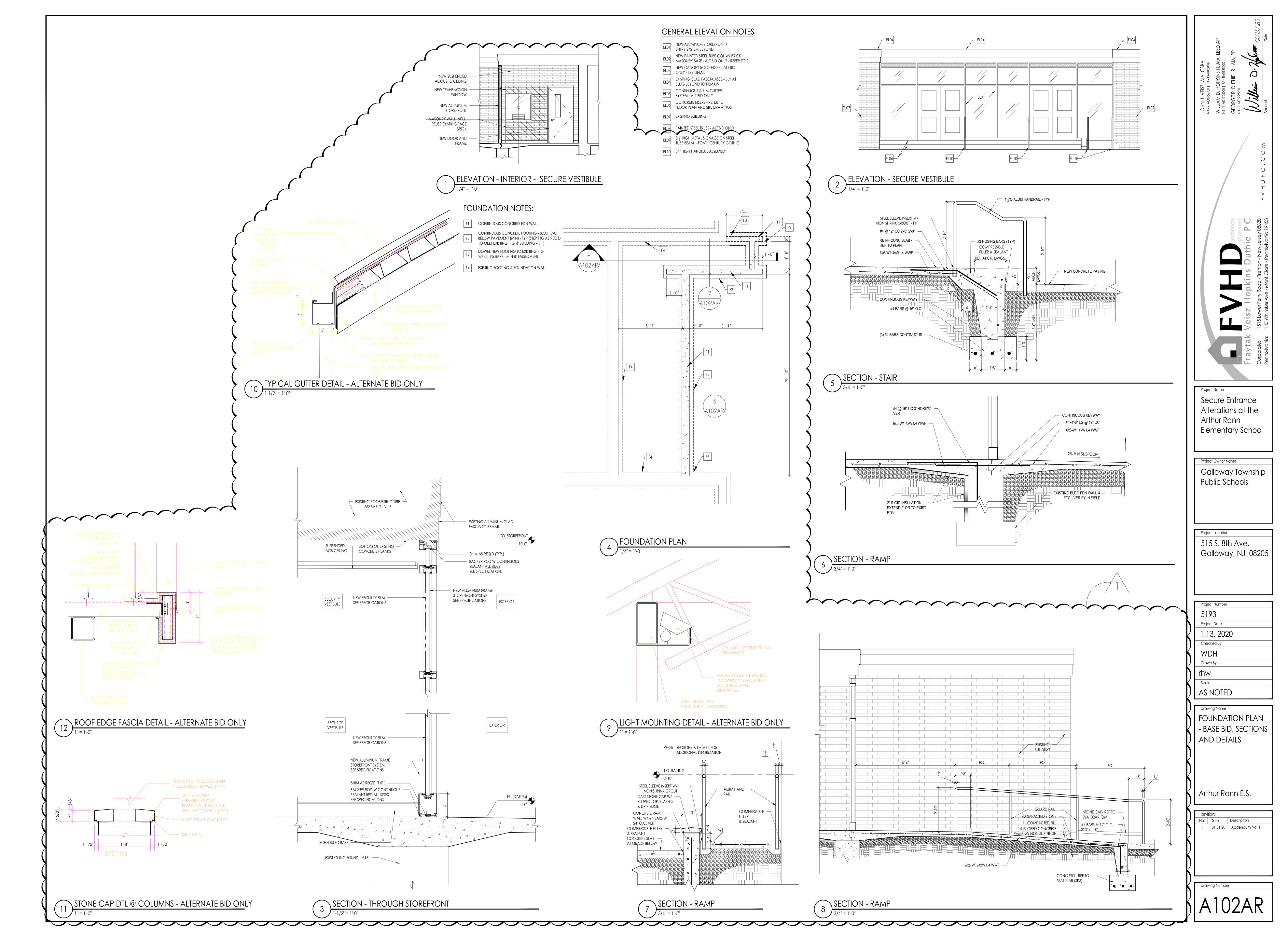


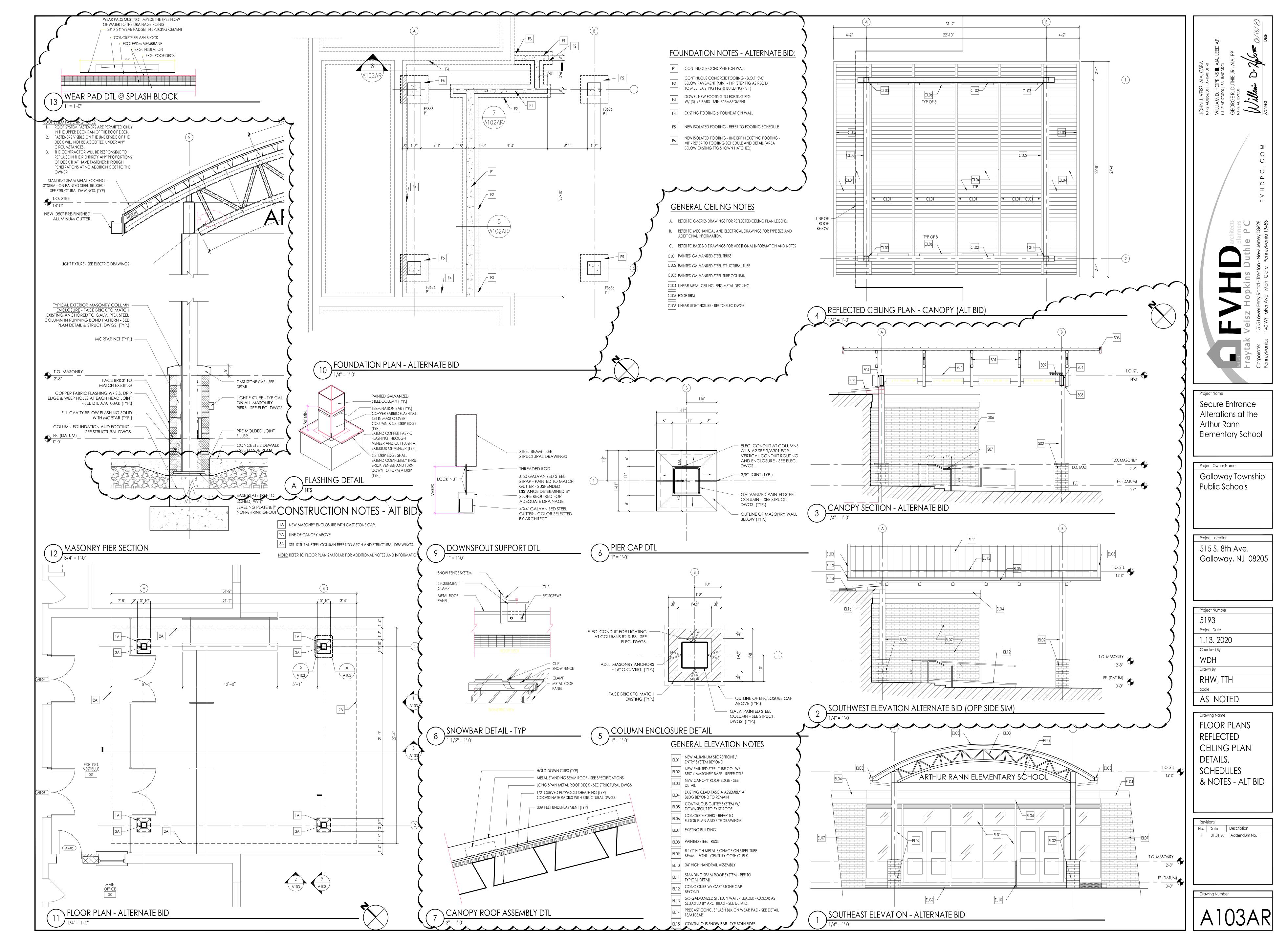






	BASE		WAINSC	COT		WALL FINISH			CEILING		ROOM FINISH SCHEDULE REMARKS
	MATERIAL	HEIGHI	MATERIAL	HEIGHT	RLAN NORTH	PLANSOUTH	RLANEASI	PLANWEST	MATERIAL	HEIGHT	
V	RUB	4"	N/A	N/A	ETR (BRK)	ETR (BRK)	AL/GL	ETR (BRK)	ETR	9'-6" +/-	1
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