

April 3, 2024

**PUBLIC WORKS BUILDING ADDITION AND RENOVATIONS  
BOROUGH OF CAPE MAY POINT**

**ADDENDUM NO. 1**

The addendum listed below shall become part of the contract, due consideration to this clarification(s) shall be made by the Bidder in preparing their bid for the project. The Bidder shall acknowledge receipt of this Addendum by noting it on the Acknowledgement of Receipt of Addenda form in the Bid Documents. Proposals not acknowledging this Addendum will not be considered.

**THE FOLLOWING CHANGE SHALL BE MADE TO THE ADVERTISEMENT:**

*The first paragraph is revised to read as follows:*

NOTICE is hereby given that sealed bids for the construction of the above referenced project will be received by the Borough of Cape May Point (The Borough) and opened and read in public at the Cape May Point Borough Hall, 215 Lighthouse Avenue, Cape May Point, New Jersey on **Thursday, April 11, 2024 at 1:00pm**. A scanned copy of the bid proposals opened will be posted for viewing on the Borough's web page ([www.capemaypoint.org](http://www.capemaypoint.org)) shortly after bid opening.

**THE FOLLOWING CHANGES SHALL BE MADE TO THE PROPOSAL:**

An Allowance for Contingencies has been added to the Form of Proposal.

Alternate Bid Items have been added to the Form of Proposal.

New Bid Proposal Form, Pages BP-1 through BP-3, dated April 3, 2024, are attached, and shall be substituted for the original pages as found in the Contract Documents.

**THE FOLLOWING CHANGES SHALL BE MADE TO THE PLANS:**

Sheet S-101, Plan A/S-101: *Revised the callout in the lower left of the Plan to read "COMPOSITE FTG (TYP) SEE SKETCH SKS-1.*

Attached are details of the Brick Façade Construction and Sketch SKS-1.

**THE FOLLOWING ARE RESPONSES TO QUESTIONS RECEIVED:**

1. Drawing A-101A references Alternate Elevations, No Alternates found in the bid form. **Response:** *Bid Form has been revised to reflect alternate bid items.*
2. Drawing A-101A reflects a masonry lower wall at proposed west elevation but no clear details found. **Response:** *Details of the brick façade are included as part of this Addendum.*

3. Will the existing wall and roof insulation need to be replaced since there is new roof and wall systems. **Response:** *The intention is not to replace the existing wall and roof insulation, however there may be existing insulation that is damaged or missing and may need to be replaced during construction.*
4. Will the building be completely empty during construction. **Response:** *The building will be occupied by Borough personnel and equipment during construction. The Contractor will need to ensure the site is secure and they are to coordinate their activities with the Borough's Public Works Supervisor.*
5. At the back 12' wide gate entrance what is the proposed ground coverage nothing shown on C-101 does Bit driveway remain. **Response:** *The bituminous driveway on the north side of the Public Works Building is not to be disturbed and is to remain.*
6. Drawing S-101 notes to refer to prefab building shop drawings for composite footings at columns 1&4/H, and 1&4/G. Please provide footing details. **Response:** *The footing detail is included as part of this Addendum.*
7. Section 6/A-101 indicates the addition is a pre-engineered metal building, however a specification for the PEMB is not provided. Please provide. **Response:** *Suffice information is provided on the plans and in the specifications for PEMB manufacturer to complete the design and develop shop drawings for the addition.*
8. Section 2 and 4/S-101 include details for a brick shelf, please confirm the base bid does not require a brick shelf. **Response:** *Bid Form has been revised to reflect alternate bid item for Brick Facade.*
9. A-101A provides alternate elevations which appear to include the brick shelf from question 3, the bid form does not include a space for alternate pricing. Please advise if this drawing should be omitted. If not, please provide details for how the brick façade ties into the framing of the ETR metal building. **Response:** *Details of the brick façade are included as part of this Addendum.*
10. The existing building is Ceco which is not compatible with the specified ATAS material. Please find the attached cut sheets for recommended materials. **Response:** *The Ceco panels are acceptable.*
11. Note 7/E-100 is to provide alternate price for added bollards, the bid form does not have a space for alternate pricing. **Response:** *Bid Form has been revised to reflect alternate bid items.*
12. Please confirm that all utility cost will be paid by the owner or provide an allowance to include in the bid. **Response:** *The Borough will allow the contractor to use electric and water facilities at the Public Works Garage for constructing the project at no charge.*
13. Please confirm that all permit fees will be paid by the owner. **Response:** *As per Section 1.7.13 of the Agreement, the Contractor shall obtain and pay for permits.*
14. The bid form does not show an alternate bid #1 per sheet A-101A, adding brick to the front façade? **Response:** *Bid Form has been revised to reflect alternate bid items.*
15. There is no basis of design in the spec for the brick or stone? **Response:** *Details of the brick façade are included as part of this Addendum.*
16. I did not see an \$\$ allowance in the bid docs? **Response:** *Bid Form has been revised to include an allowance.*
17. I also did not see the date for Q&A? **Response:** *After the issuance of this Addendum, no further questions will be responded to.*

BY ORDER OF:

THE BOROUGH OF CAPE MAY POINT  
ELAINE WALLACE, CLERK

BOROUGH OF CAPE MAY POINT

**PUBLIC WORKS BUILDING ADDITION AND RENOVATIONS**

BIDDER'S PROPOSAL

Proposal of \_\_\_\_\_  
(hereafter called "Bidder")

a Corporation doing business as \_\_\_\_\_

a Partnership doing business as \_\_\_\_\_

an Individual doing business as \_\_\_\_\_

To: Borough of Cape May Point  
PO Box 490  
215 Lighthouse Avenue  
Cape May Point, NJ 08212

In compliance with your Invitation to Bid on the **Cape May Point Public Works Building Addition and Renovations** Project and having examined the Project Manual and related documents and having visited the sites of the proposed work; and being familiar with all of the conditions surrounding the construction of the proposed project, including the availability of materials and labor; Bidder hereby proposes to furnish all labor, materials, and supplies, and to complete the work in accordance with the indicated Contract Documents within the time set forth therein, and at the bid amount stated below. The bid amount shall cover all expenses incurred in performing the work required under the Contract Documents of which this proposal is a part.

Bidder hereby agrees to commence work under this Contract on or before a date to be specified in written "Notice to Proceed" of the Owner and to substantial complete the project on or before October 25, 2024, and fully complete the project on or before November 22, 2024.

1. Bidder will complete the Work in accordance with the Contract Documents for the following Price(s):

***Public Works Building Addition and Renovations – Base Bid:***

\_\_\_\_\_

\_\_\_\_\_ Dollars (\$\_\_\_\_\_).

Insert both written and numerical amounts

***Allowance for Contingencies:***

**Ten Thousand Dollars** **( \$10,000.00 )**

**Add Alternate #1: Provide protective bollards in front of the electrical equipment as described in note 7/E-100.**

\_\_\_\_\_ Dollars (\$\_\_\_\_\_).  
Insert both written and numerical amounts

**Add Alternate #2: Provide Brick Facade as shown on A-101A.**

\_\_\_\_\_ Dollars (\$\_\_\_\_\_).  
Insert both written and numerical amounts

2. **The Undersigned has enclosed 2 original signed sets of all required Bid Forms.**
3. The Undersigned acknowledges receipt of Addenda numbers: \_\_\_\_ thru \_\_\_\_.
4. The Undersigned understands and agrees that this proposal is effective for acceptance by the Borough for a period of sixty (60) days after receipt of bids.
5. The Undersigned understands and agrees to provide full liability insurance coverage as specified for the duration of the contract term.
6. The Undersigned understands and agrees to comply with and be bound by Instructions to Bidders issued for this work.
7. The Undersigned understands and agrees that this proposal must be prepared on the basis that the Wage Rates included in the project manual apply to the project.
8. Enclosed with this Bid is bid security in the amount of not less than ten (10%) percent of the bidder's proposed Contract Sum nor more than \$20,000.

Respectfully submitted:

\_\_\_\_\_  
(Firm Name)

By: \_\_\_\_\_

Title: \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

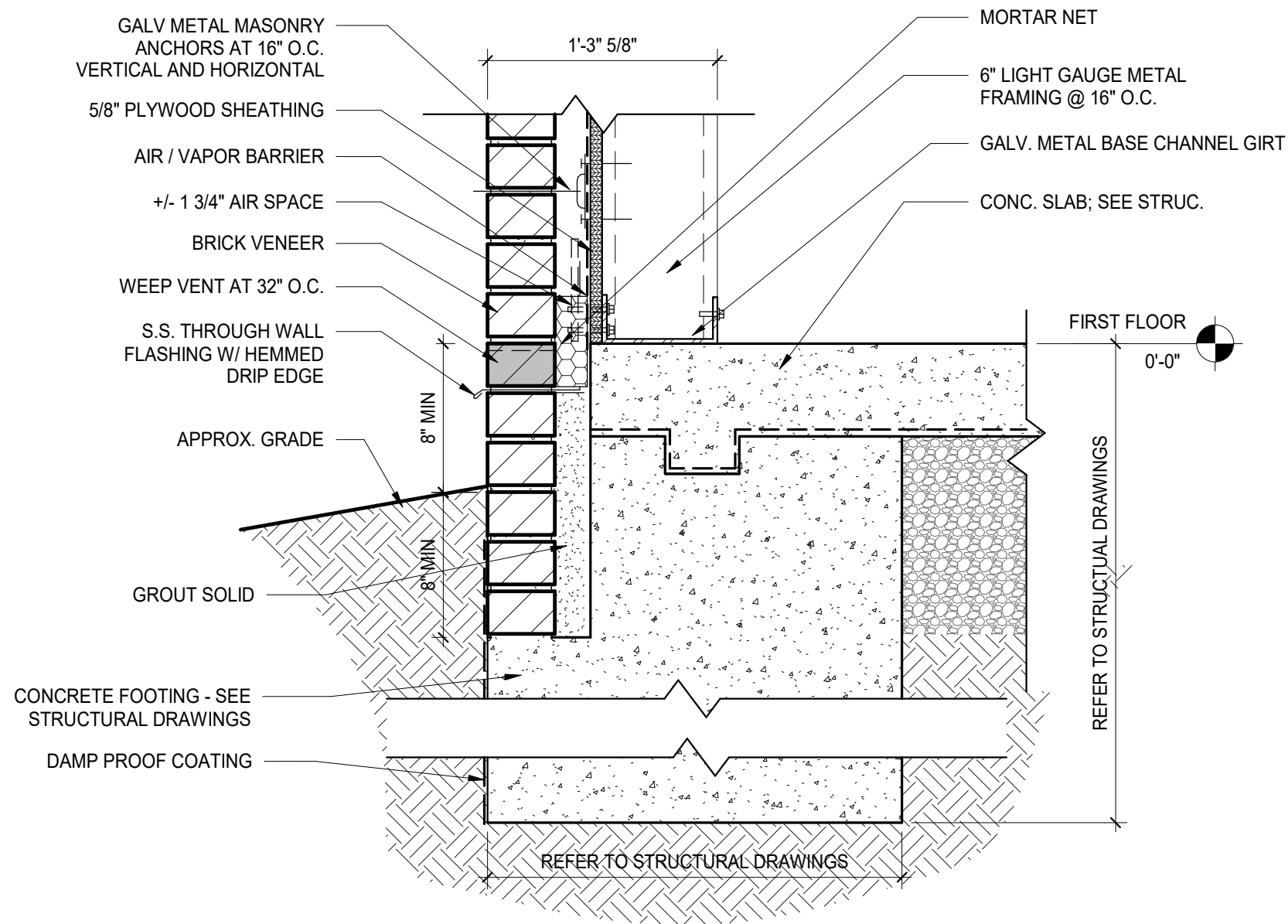
Dated: \_\_\_\_\_

Phone: \_\_\_\_\_

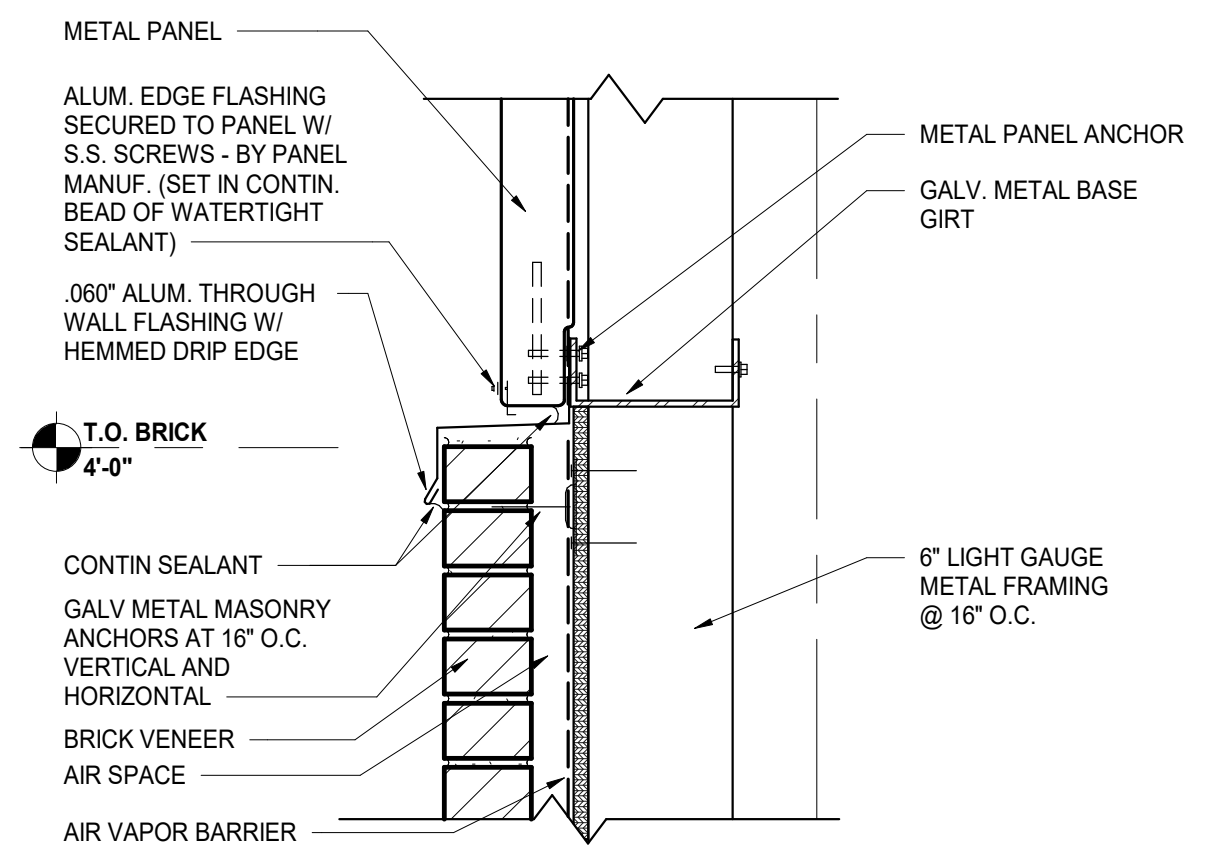
Email: \_\_\_\_\_

Signature \_\_\_\_\_

Corporate Seal (If Bidder is a Corporation)

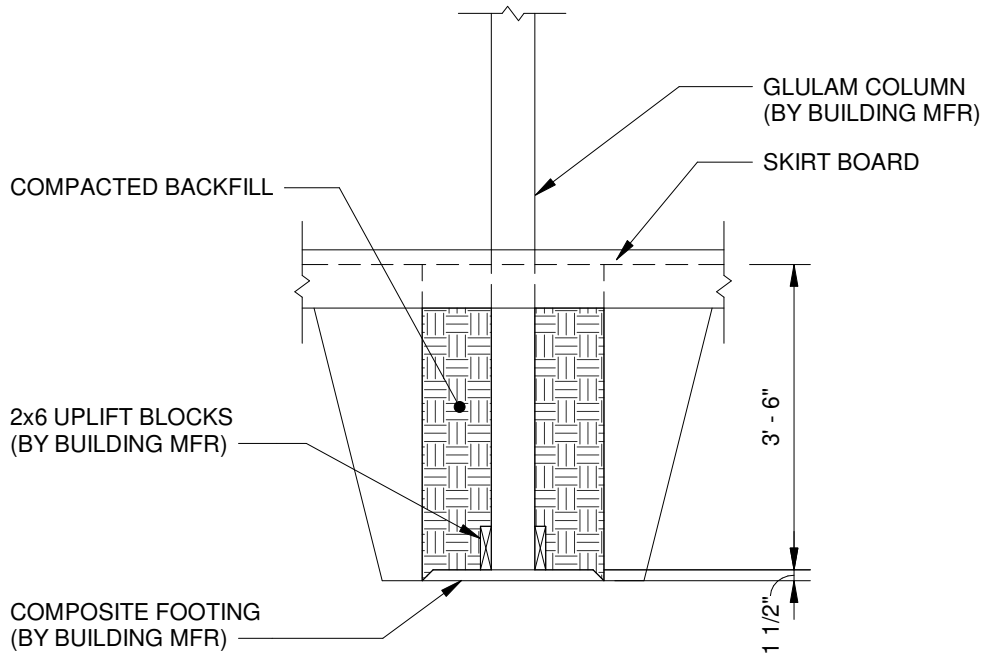


**1** **DETAIL AT FOUNDATION**  
 SK-1 1 1/2" = 1'-0"



**2** **DETAIL AT PANEL AND BRICK**  
 SK-1 1 1/2" = 1'-0"

**DETAILS**  
**CAPE MAY POINT PUBLIC WORKS BUILDING**



**NOTE:**

1. THIS TYPICAL COMPOSITE FOOTING DETAIL WAS USED AS THE BASIS OF DESIGN & SHALL BE PROVIDED BY THE MANUFACTURER/DESIGNER OF THE MAINTENANCE GARAGE STRUCTURE. GC TO VERIFY THIS DETAIL WITH THE EOR AFTER OBTAINING SHOP DRAWINGS OF THE FOOTING DETAILS OF THE STRUCTURE.

1  
 SKS-01
 

 TYPICAL DETAIL - COMPOSITE FOOTING  
 SCALE: NTS

<b>GPI</b> <small>www.gpinet.com</small> Greenman-Pedersen, Inc. 52 Glenmaura Natl. Blvd. P.O. Box 5777 Suite 302, Scranton, Pa, 18505-5777 Tel: 570.342.3700 Fax: 570.342.4080	<b>BOROUGH OF CAPE MAY                  POINT                  CAPE MAY POINT PUBLIC                  WORKS BUILDING                  CAPE MAY COUNTY, NJ</b>	COMPOSITE FOOTING BASIS OF DESIGN		DWG. NO. <b>SKS-01</b>	
		DRAWN	RPR	CHECKED	AE
		DATE	04/04/2024	JOB NO.	2200655