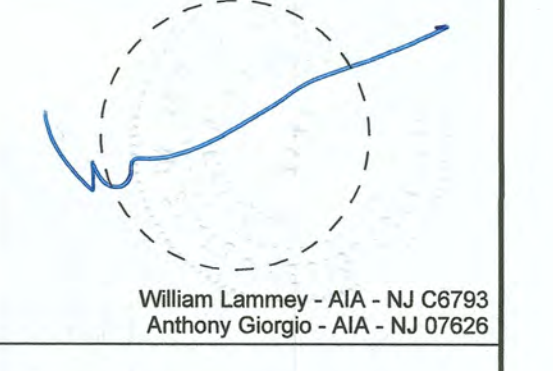


MARGATE MUNICIPAL BUILDING OFFICE IMPROVEMENTS REBID



DATE: _____
EDWARD DENNIS JR.
NJ PROFESSIONAL ENGINEER LIC. No. 47002
Architect
LAMMEY + GIORGIO
Lammy + Giorgio
Architecture + Design
215 Highland Ave. Suite B
Haddon Twp, NJ, 08108
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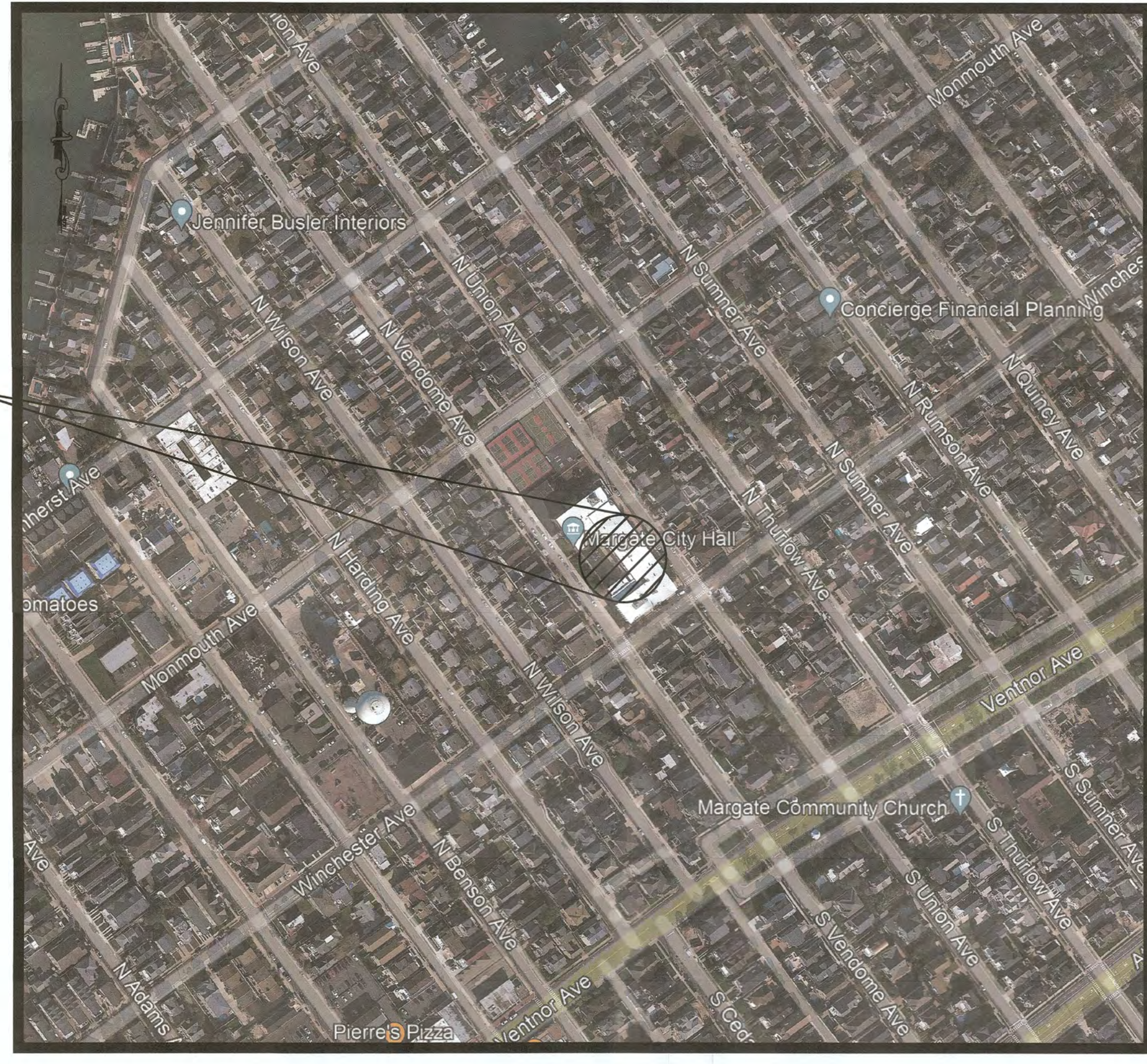


PLANS WHICH DO NOT BEAR
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No.	REVISION	DATE	BY	CHK

MUNICIPAL BUILDING



PROJECT LOCATION MAP
N.T.S.

DWG. No.	DRAWING TITLES
T-1.0	TITLE SHEET
T-1.1	ARCHITECTURAL LEGEND
A-1.0	DEMOLITION AND PROPOSED FLOOR & REFLECTED CEILING PLANS
A-2.0	DETAILS

**New Jersey One Call
CALL BEFORE YOU DIG
811 or 1-800-272-1000
IT'S THE LAW**
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT NJ ONE CALL PRIOR TO THE START OF CONSTRUCTION. CALL FOR MARKOUTS THREE (3) FULL BUSINESS DAYS IN ADVANCE AND BEGIN EXCAVATION WITHIN 10 DAYS. ALL CONTRACTORS ON-SITE MUST HAVE THEIR OWN MARKOUT.

CITY OF MARGATE ATLANTIC COUNTY, NEW JERSEY

MAY, 2023

**TITLE SHEET
REBID**
CITY OF MARGATE
MARGATE MUNICIPAL BUILDING
OFFICE IMPROVEMENTS
ATLANTIC COUNTY
NEW JERSEY

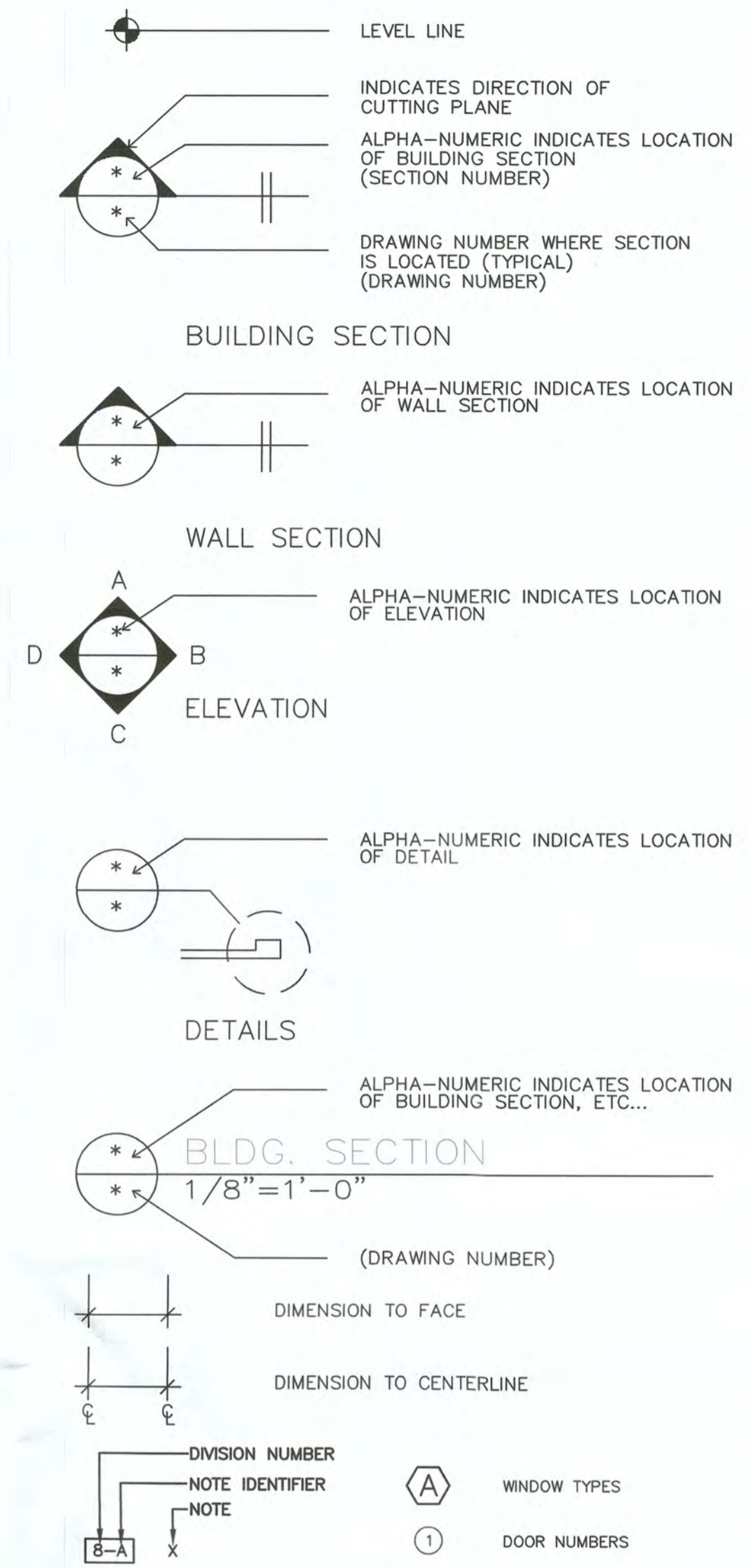
DRAWN BY:	DESIGN BY:	CHECKED BY:	SCALE:
M.Z.	J.J.	E.D.J.	AS NOTED
DATE: 3/2023	JOB No.: 01-14-C-003	SHEET No.: T-10	

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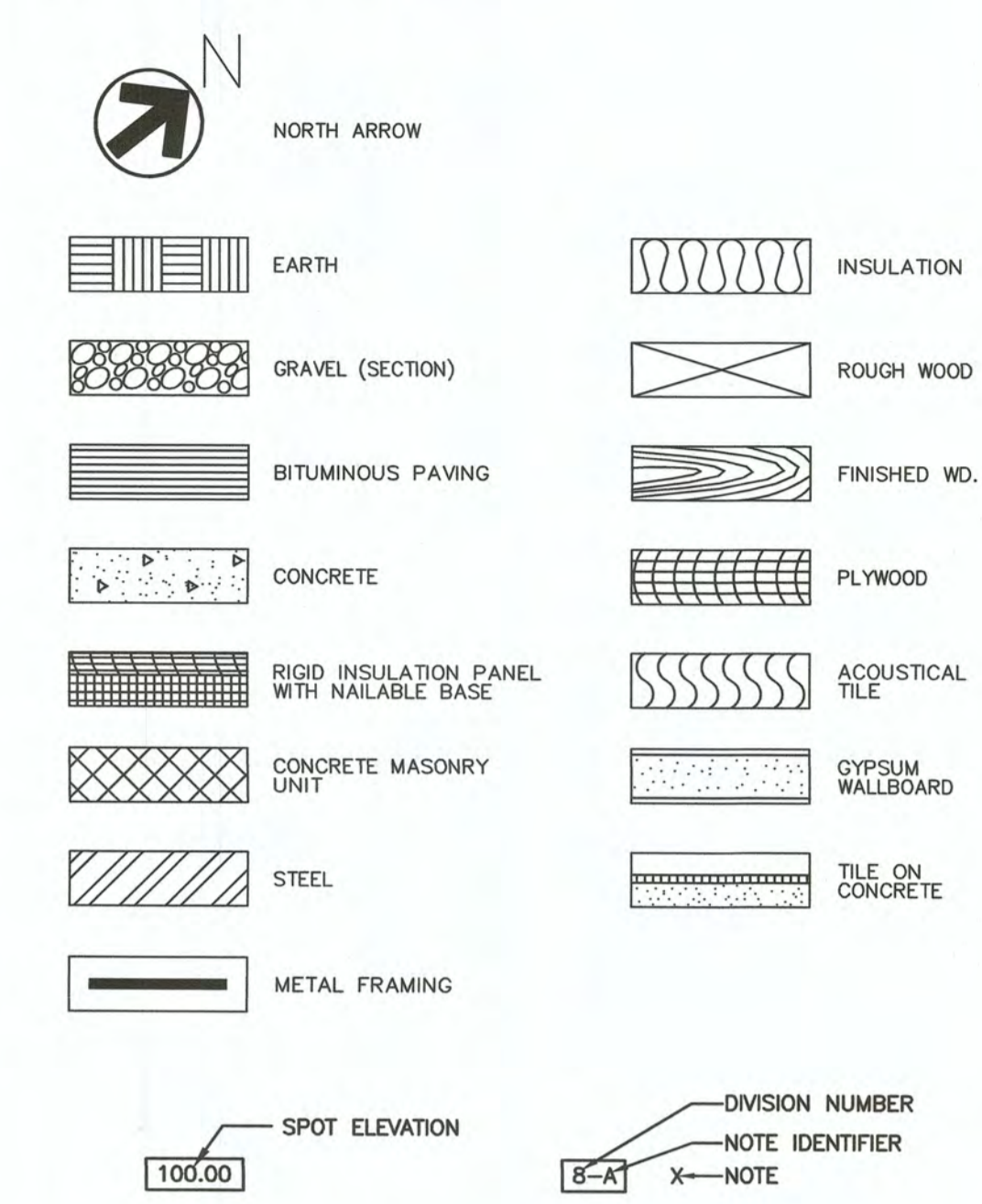
ABBREVIATIONS

ABV ABOVE	GA GAGE/GAUGE	R REMOVE
AFF ABOVE FINISHED FLOOR	GAL GALVANIUM	RAD RADIUS
ACUST ACUSTICAL TILE	GC GENERAL CONTRACT/CONTRACTOR	REF REFLECT(ED)
ADH ADHESIVE	GF GOVERNMENT FURNISHED PROPERTY	REFR REFRIGERATOR
ADJ ADJACENT	GL GLASS/GLAZING	REFR(D) REINFORCING(D)
AGGR AGGREGATE	GPM GALLONS PER MINUTE	RESIL RESILIENT
A/C AIR CONDITIONING	GRD GRADE/GRADING	REV REVISION(S)/REVISED
ALUM ALUMINUM	HOB HOSE/BIB	RHT RIGHT HAND
ANCH ANCHOR, ANCHORAGE	HW HARDWARE	RFG ROOFING
ANGD ANCHORED	HWD HARDWOOD	RM ROOM
APRX APPROXIMATE	HDR HEADER	RO ROUGH OPENING
ARCH ARCHITECT (URAL)	HHE HEATING	REV PER MINUTE
AVG AVERAGE	HVAC HEATING/VENTILATING/AIR COND.	REV PER MINUTE
B BASE CABINETS	HT HEIGHT/HIGH	RSL REFRIGERANT SUCTION LINE
BSMT BASEMENT	HM HOLLOW METAL	SAN SANITARY DRAIN
BRG BEARING	HORIZ HORIZONTAL	SECT SECTION
BLW BELOW	HP HORSE POWER	SHT SHEET
BTW BETWEEN	HTW HIGH TEMPERATURE WATER	SB SINK BASE CABINET
BVL BEVELED	HW HOT WATER	SPC SPECIFICATION(S)
BHP BRAKE HORSE POWER	HWH HOT WATER HEATER	SQ SQUARE
BIT BITUMINOUS	HWR HOT WATER RETURN	SI SQUARE INCH
BLK BLOCK	HWS HOT WATER SUPPLY	SQ FT SQUARE FEET (FOOT)
BLDG BOARD	IN INCH/INCHES	SY SQUARE YARD
BO BOTTOM OF	INCL INCLUDE(D)/INCLUDING	SS STANDARD
BULD BUILDING	INSUL INSULATE(D)/INSULATION	STL STEEL
CD COIL CONDENSATE DRIP PIPING	INT INTERIOR	STR STRUCTURAL
CSMT CASEMENT	JC JANITOR'S CLOSET	SUSP SUSPENDED
CS CAST STONE	JT JOINT	TDH TOTAL DYNAMIC HEAD
CLG CEILING	JF JOINT FILLER	THK THICK/THICKNESS
CH CEILING HEIGHT	J JOIST	TLT TOILET
CEM CEMENT	JT JOIST	TO TOP OF
CL CENTER LINE	KIT KITCHEN	TPY TYPICAL
CER CERAMIC TILE	KW KILOWATTS	UR URINAL
CT CIR	LAT LABEL	V VENT
CIR CLEAN OUT	LAM LAMINATE(D)	VLD VOLUME DAMPER
COL COL	LAV LAVATORY	VERT VERTICAL
CONC CONCRETE	LH LEFT HAND	VCT VINYL COMPOSITION TILE
CONSTR CONSTRUCTION	LEN LENGTH/LONG	VNT VINYL TILE
CONT CONTINUOUS OR CONTINUE	LFL REFRIGERANT LIQUID LINE	VTR VENT THROUGH ROOF
CONTR CONTRACTOR	LRA LOCKED ROTOR AMPS	W WALL CABINET
CORR CORRUGATED	LF LINEAL FOOT	WH WATER HEATER
CTR COUNTER	MFR MANUFACTURE(R)	WF WASH FOUNTAIN
CU CUBIC	MAS MASONRY	WCSCT WAINSCOT
CU CUBIC FEET/MINUTE	MO MASONRY OPENING	WC WATER CLOSET
CW COLD WATER	MAT MATERIAL(S)	WF WELDED WIRE FABRIC
CYD CUBIC YARD	MAX MAXIMUM	WB WET BULB TEMPERATURE
D DEEP/DEPTH	MCA MECHANICAL CONTRACTOR	W WIDTH/WIDE
DEMO DEMOLISH/DEMOLITION	MC MECHANICAL CONTRACTOR	WND WINDOW
DEPR DEPRESSED	MD METAL	WITH WITH
DTL DETAIL	M METER(S)	WO WITHOUT
DIAG DIAGONAL	M MIN	WO WOOD
DIAM DIAMETER	MISC MISCELLANEOUS	WP WEATHERPROOF
DIAM DIMENSION	MOP MOP RECEPTOR	YD YARD(S)
DIV DIVISION	MT MOUNT(ED)/MOUNTING	
DN DOWN	N NEW	
DR DOOR	NRC NOISE REDUCTION COEFFICIENT	
DH DOUBLE HUNG	NOM NOMINAL	
DS DOWNSPOUT	NIC NOT IN CONTRACT	
DB DRAWER BASE CABINET	NTS NOT TO SCALE	
DWG DRAWING	OC ON CENTER(S)	
E EXISTING TO REMAIN	OPG OPENING	
EA EACH/EXHAUST AIR	OPP OPPOSITE	
EAT ENTERING AIR TEMPERATURE	OD OUTSIDE DIAMETER/DIMENSION	
ELEC ELECTRIC (AL)	OA OVERALL/OUTSIDE AIR	
EC ELECTRICAL CONTRACTOR	PD PRESSURE DROP	
EP ELECTRICAL PANELBOARD	PTD PAINT/PAINTE	
EWG ELECTRIC WATER COOLER	PNL PANEL	
ELEV ELEVATION	PERF PERF(ORATED/ED)	
EQ EQUAL	PERIM PERIMETER	
EQUIP EQUIPMENT	PLAS PLASTER	
EXH EXHAUST FAN	PC PLUMBING CONTRACTOR	
ESP EXTERNAL STATIC PRESSURE	PLYD PLYWOOD	
EXIST EXISTING	PNT POINT	
(E) EXISTING TO BE RELOCATED	PVC POLYVINYL CHLORIDE	
EXP EXPOSED	PSI POUNDS PER SQUARE INCH	
EXT EXTERIOR	PC PRECAST	
FL FLOOR	PREFAB PREFABRICATE(D)	
FD FLOOR DRAIN		
FIN FINISH/FINISHED		
FF FINISHED FLOOR		
FLSHG FLASHING		
FLR FLOOR/FLOORING		
FLUR FLUORESCENT		
FT FOOT/FEET		
FTG FOOTING		
FOUND FOUNDATION		
FPM FEET PER MINUTE		
FRMG FRAME/FRAMING		
FV FIELD VERIFY		

CONVENTIONS



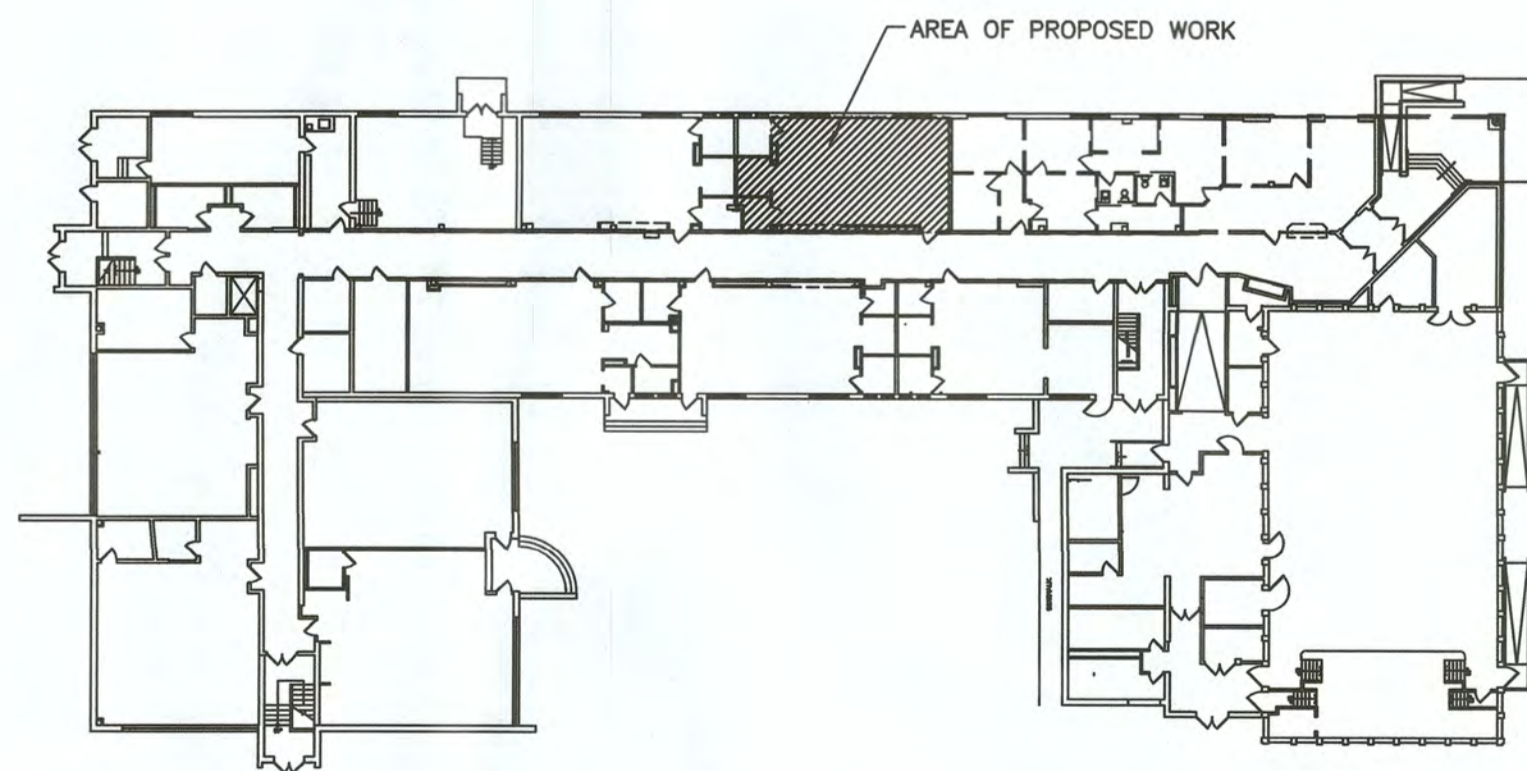
SYMBOL LEGEND



GENERAL NOTES

1. A KEYNOTING SYSTEM IS USED ON THE DRAWINGS FOR MATERIALS REFERENCES AND NOTES. REFER TO THE KEYNOTE LEGEND ON THE DRAWING FOR THE INFORMATION WHICH RELATES TO EACH KEYNOTE ON THE RESPECTIVE DRAWING.
2. THE ORGANIZATION OF THE KEYNOTING SYSTEM ON THE DRAWINGS, WITH THE KEYNOTE REFERENCE NUMBERS, SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG SUBCONTRACTOR'S OR IN ESTABLISHING THE EXTENT OF WORK TO BE PERFORMED BY ANY TRADE.
3. DO NOT SCALE DRAWINGS.
4. ALL WORK INDICATED ON THESE DOCUMENTS HAS BEEN DESIGNED TO MEET THE NEW JERSEY UNIFORM CONSTRUCTION CODE, REHABILITATION SUBCODE CHAPTER 6 REPAIRS & RENOVATIONS. CONTRACTOR TO PERFORM ALL WORK IN ACCORDANCE WITH ABOVE MENTIONED CODES.

BUILDING DATA



BUILDING DATA

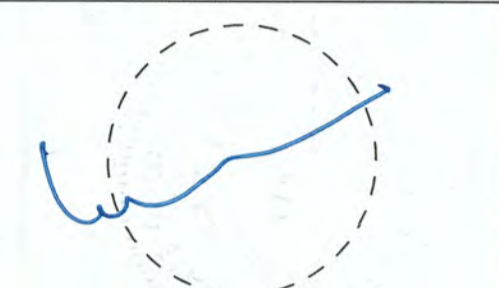
CONSTRUCTION CODE:	2021 INTERNATIONAL BUILDING CODE, NEW JERSEY EDITION NUJCC REHABILITATION SUBCODE CHAPTER 6 5.23-6.5 RENOVATIONS
USE GROUP:	B - BUSINESS
CONSTRUCTION TYPE:	IIIB
MARGATE MUNICIPAL BUILDING AREA:	FIRST FLOOR AREA: 28,265 S.F. SECOND FLOOR AREA: 26,050 S.F. TOTAL BUILDING AREA: 54,315 S.F.
BUILDING HEIGHT:	30'-0"
NUMBER OF STORIES:	2 STORIES



REMINGTON & VERNICK ENGINEERS
845 NORTH MAIN STREET
PLEASANTVILLE, NJ 08232
(609) 645-7110, FAX (609) 645-7076
WEB SITE ADDRESS: WWW.RVE.COM
Certification of Authorization: 24 GA 28003300
—ENGINEERING EXCELLENCE—

DATE: _____
EDWARD DENNIS JR.
NJ PROFESSIONAL ENGINEER LIC. NO. 47002

Architect
LAMMEY + GIORGIO Lammy + Giorgio
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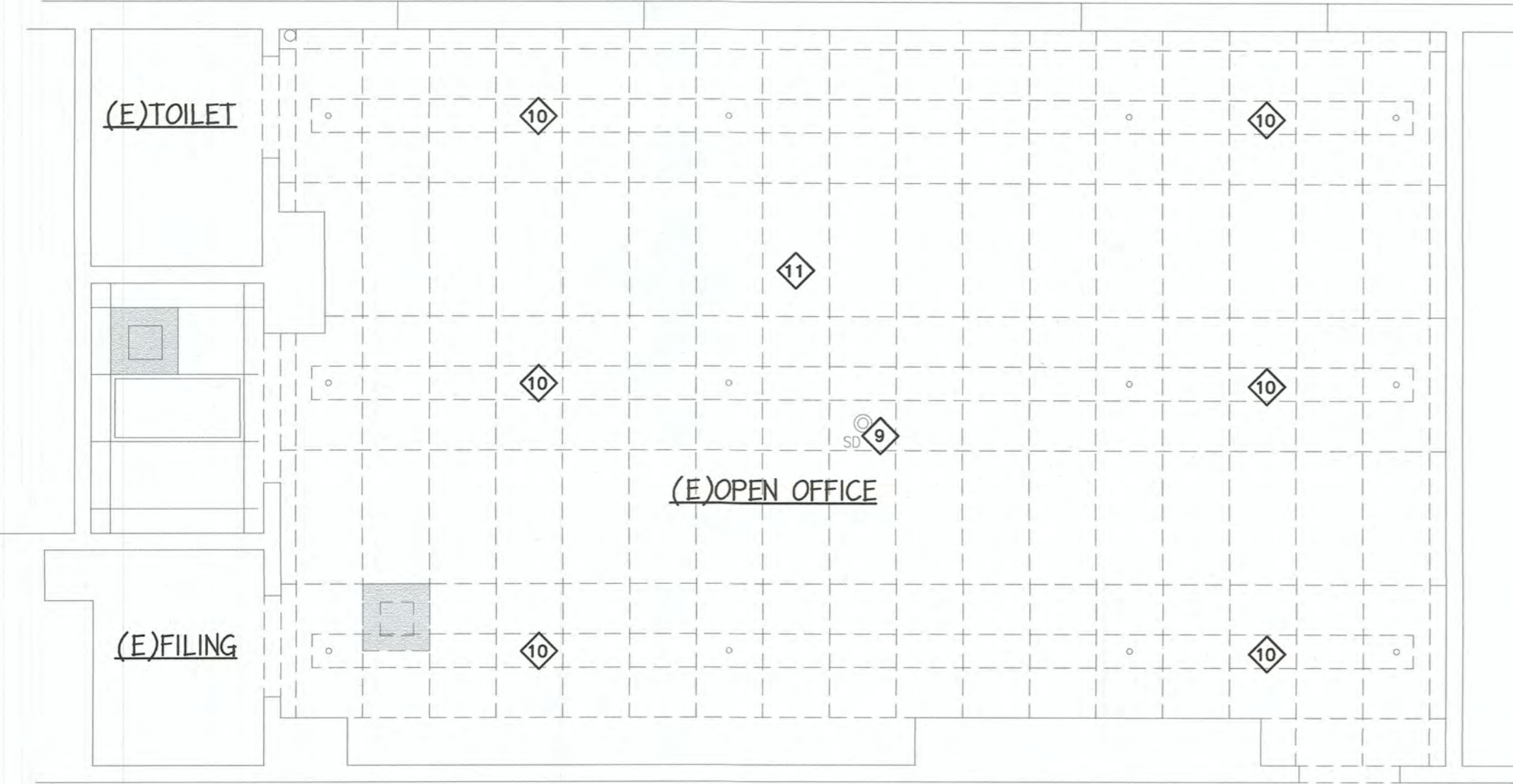
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	BY: _____	DATE: _____
	REVISION	

ARCHITECTURAL TITLESHEET
REBID
CITY OF MARGATE
MARGATE MUNICIPAL BUILDING
OFFICE IMPROVEMENTS
CITY OF MARGATE ATLANTIC COUNTY
NEW JERSEY

DRAWN BY: M.Z.	DESIGN BY: J.J.	CHECKED BY: E.D.J.	SCALE: AS NOTED
DATE: 3/2023	SHEET No.: T-11		
JOB No.: 01-14-C-003			

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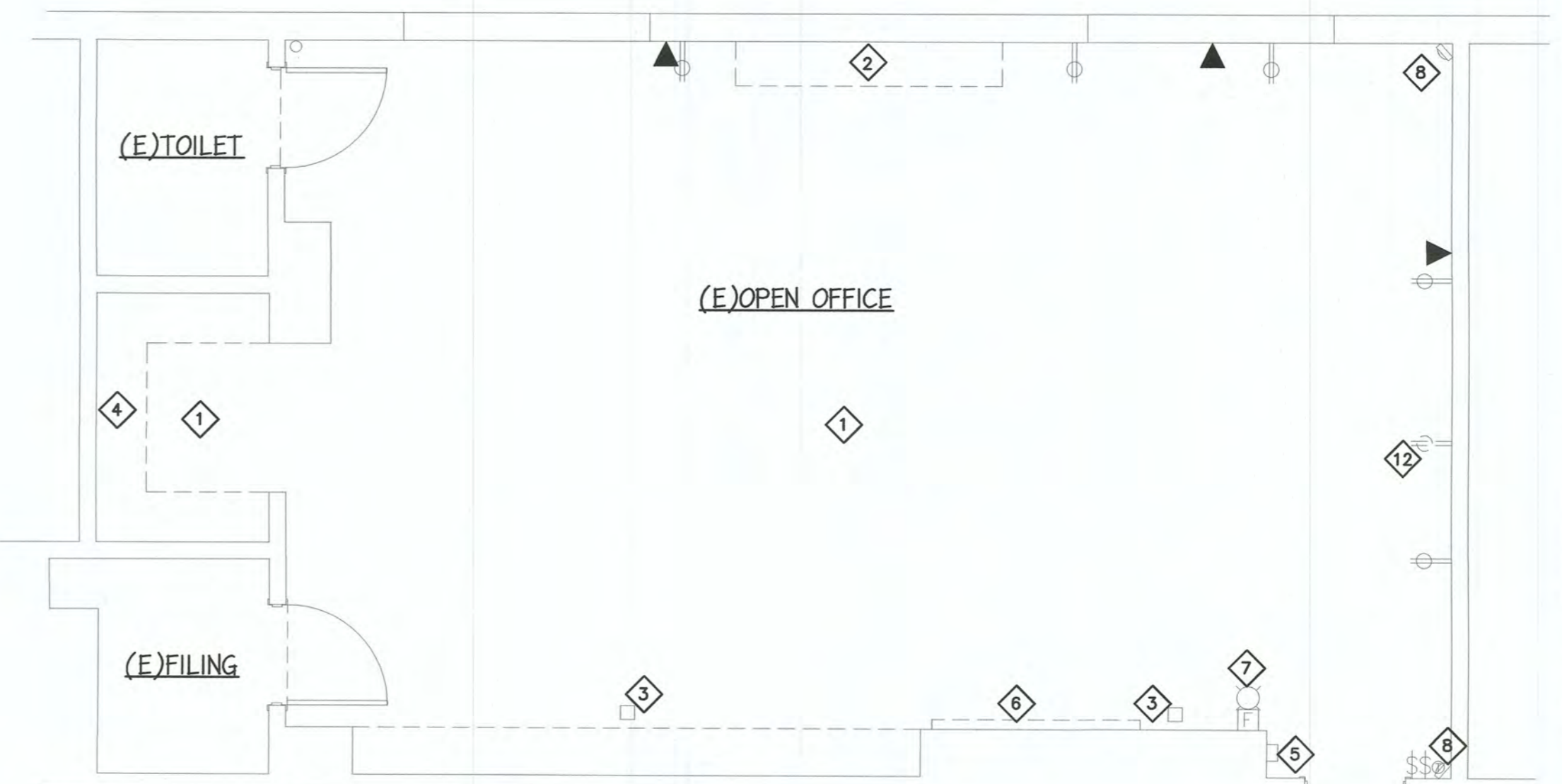
PARTIAL DEMOLITION REFLECTED CEILING PLAN
SCALE: 1/4"=1'-0"

DEMOLITION NOTES

- 1 REMOVE EXISTING CARPETING AND WALL BASE, COMPLETE. PATCH SLAB AS REQUIRED TO INSTALL NEW FLOORING MATERIAL.
- 2 REMOVE EXISTING UNIT VENTILATOR, COMPLETE. SEE MECHANICAL DRAWINGS.
- 3 REMOVE EXISTING POWER POLES. EXISTING WIRING SHALL RUN WITHIN THE NEW FURRED WALLS TO NEW FLUSH ELECTRICAL AND DATA RECEPTACLES.
- 4 REMOVE EXISTING BUILT IN SHELVING AND CASWORK, COMPLETE. FILL MOUNTING HOLES, PATCH TO MATCH ADJACENT SURFACES.
- 5 REMOVE EXISTING HAND SANITIZER DISPENSER. SALVAGE FOR REINSTALLATION.
- 6 REMOVE EXISTING WALL MOUNTED SHELVING, COMPLETE. PATCH EXPOSED MOUNTING HOLES TO MATCH ADJACENT SURFACE.
- 7 REMOVE EXISTING FIRE ALARM/STROBE. SALVAGE FOR REINSTALLATION AT SAME LOCATION AT NEW FURRED WALL SURFACE.
- 8 REMOVE EXISTING MOTION DETECTORS. SALVAGE FOR REINSTALLATION AT SAME LOCATION AT NEW CEILING HEIGHT.
- 9 REMOVE EXISTING SMOKE/HEAT DETECTOR. SALVAGE FOR REINSTALLATION. SEE ELECTRICAL PLANS.
- 10 REMOVE EXISTING PENDANT LIGHTING FIXTURES, COMPLETE. SEE ELECTRICAL DRAWINGS.
- 11 REMOVE EXISTING 2x4 ACOUSTICAL CEILING TILE AND GRID SYSTEM, COMPLETE.
- 12 RELOCATE EXISTING WALL RECEPTACLE TO AVOID NEW WALL CONSTRUCTION.

DEMOLITION GENERAL NOTES

1. CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS.
2. CONTRACTOR IS RESPONSIBLE AND OBLIGATED TO SUCCESSFULLY COMPLETE THE ENTIRE PROJECT AND TO COMPLETE EACH AND EVERY NECESSARY DETAIL OF EVERY ITEM SPECIFIED AND/OR IS REQUIRED TO COMPLETE THE SPECIFIED WORK REGARDLESS OF WHETHER OR NOT A PARTICULAR DETAIL IS SPECIFICALLY MENTIONED IN THESE CONTRACT DOCUMENTS.
3. CONTRACTOR SHALL PROTECT EXISTING ALL EXISTING SURFACES AND EXISTING EQUIPMENT PRESENT DURING DEMOLITION. ANY SURFACES OR EQUIPMENT DAMAGED SHALL BE REPLACED OR REPAIRED AND BROUGHT BACK TO EXISTING OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
4. CONTRACTOR SHALL PATCH/REPAIR ALL EXISTING SURFACES EXPOSED AND/OR DAMAGED DURING DEMOLITION.
5. ALL CLOCKS, FIRE SAFETY ITEMS, EXIT SIGNS, ETC. TO REMAIN. CONTRACTOR SHALL REMOVE AND REINSTALL AS REQUIRED REGARDLESS IF SHOWN IN CONTRACT DOCUMENTS.
6. ALL EXISTING ELECTRICAL AND DATA RECEPTACLES SHALL REMAIN AT EXISTING LOCATIONS. ALL EXISTING CONDUIT, WIRING, ETC. SHALL BE CONCEALED WITHIN NEW FURRED WALLS. IF EXISTING RECEPTACLE IS RECESSED, IT SHALL BE MOVED FORWARD TO BE FLUSH WITH NEW FURRED WALL SURFACE.



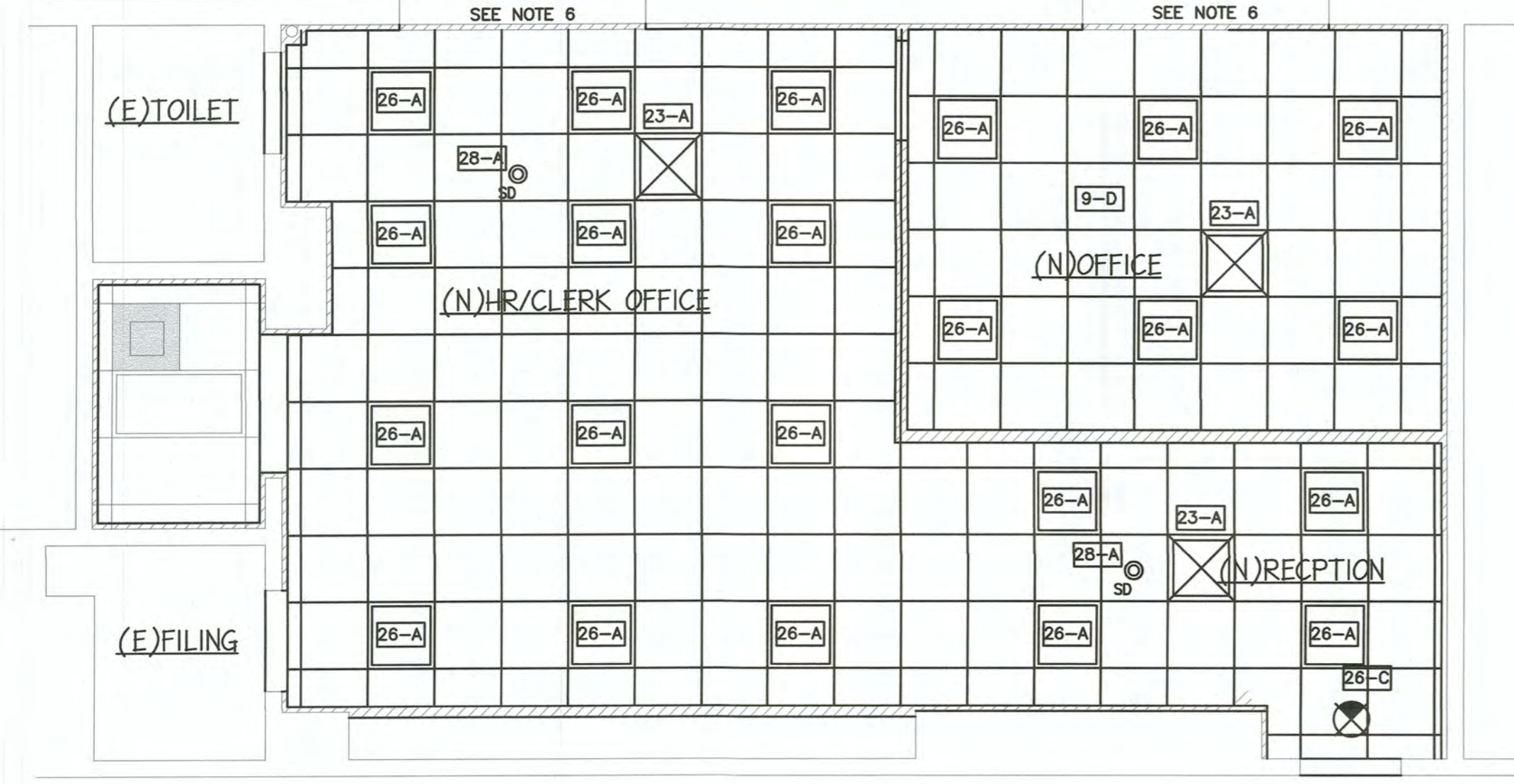
PARTIAL DEMOLITION FLOOR PLAN
SCALE: 1/4"=1'-0"

LEGEND

- INDICATES EXISTING STUD AND GYPSUM WALL BOARD WALLS TO REMAIN
- INDICATES EXISTING CMU WALLS TO REMAIN
- INDICATES DEMOLITION OF WALLS, DOORS, BUILT-IN CABINETS AND BOOKSHELVES, PLUMBING AND HVAC, COMPLETE
- INDICATES CONSTRUCTION OF NEW WALLS
- INDICATES INSTALLATION OF NEW ACOUSTICAL CEILING GRID AND TILE
- INDICATES EXISTING DATA DROP
- INDICATES DUPLEX RECEPTACLE. (N) INDICATES NEW. SEE ELECTRICAL DRAWINGS.
- INDICATES EXISTING LIGHT SWITCH SEE ELECTRICAL DRAWINGS FOR NEW SWITCHING.
- INDICATES EXISTING WALL MOUNTED FIRE STROBE DEVICE. SEE ELECTRICAL DRAWINGS.
- INDICATES NEW/EXISTING RETURN REGISTER. SEE MECHANICAL DRAWINGS.
- INDICATES NEW SUPPLY REGISTER. SEE MECHANICAL DRAWINGS.

MATERIAL KEYNOTES

- 8 DOORS AND WINDOWS
 - 8-A NEW SOLID CORE WOOD DOOR AND HARDWARE
 - 8-B NEW HOLLOW METAL DOOR FRAME PAINTED TO MATCH ADJACENT DOOR FRAMES
 - 8-C
- 9 FINISHES
 - 9-A NEW VINYL LUXURY TILE, INTERFACE LEVEL SET NATURAL WOODGRAINS, COLOR: TBD
 - 9-B 4.5" NEW WALL BASE. ROPPE CONTOURS PROFILED WALL BASE. COLOR: TBD
 - 9-C PRIME AND PAINT, ALL EXPOSED SURFACES. REGARDLESS IF CALLED
 - 9-D NEW 2'-0"x2'-0" ACOUSTICAL TILE CEILING GRID SYSTEM, ARMSTRONG, SUPRAMINE XL, BEVELED TEGULAR AND ULTIMA, OR APPROVED EQUAL. NEW CEILING HEIGHT 8'-0"
- 10 SPECIALTIES
 - 10-A REINSTALLED EXISTING HAND SANITIZER DISPENSER.



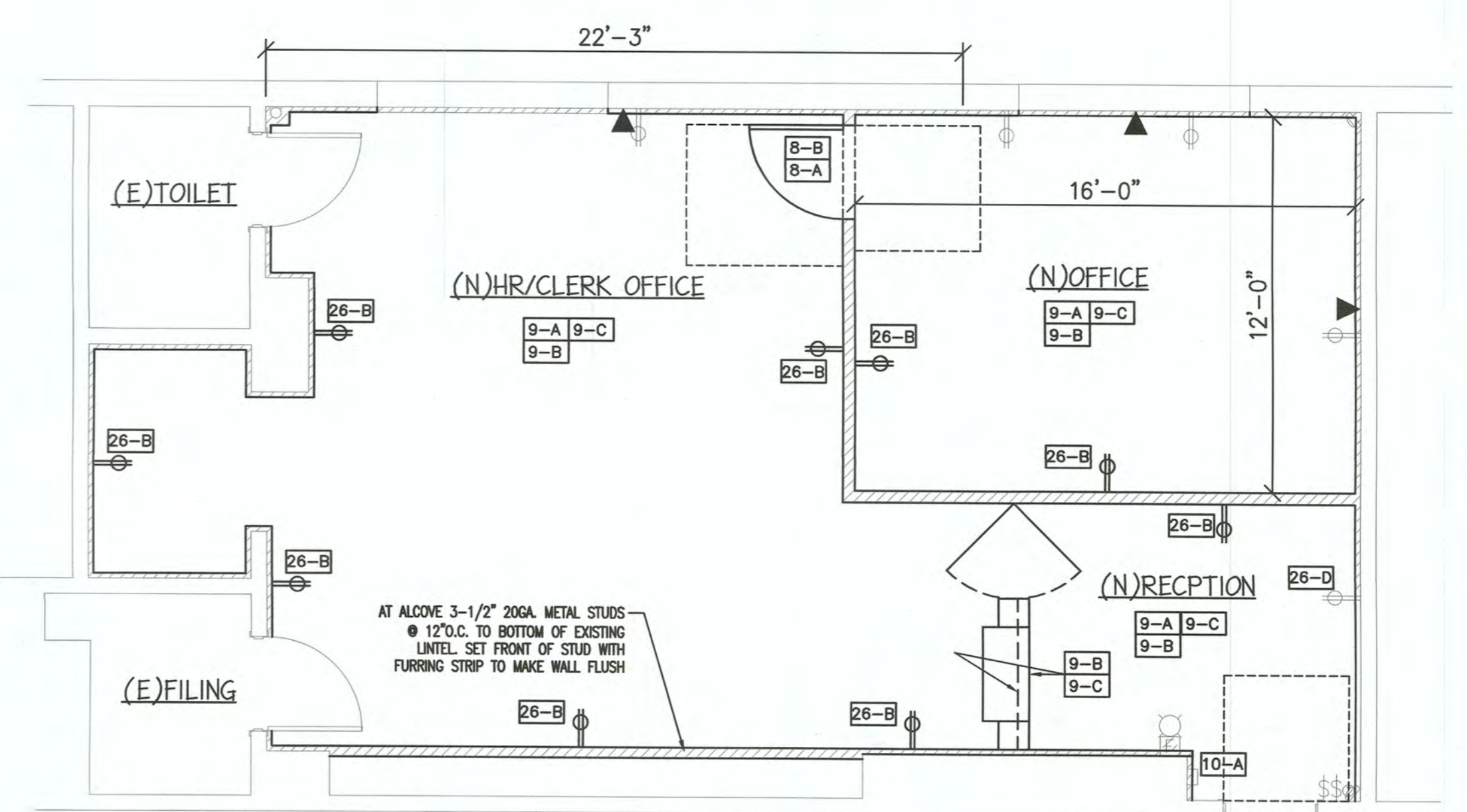
PARTIAL PROPOSED REFLECTED CEILING PLAN
SCALE: 1/4"=1'-0"

MECHANICAL

- 23 MECHANICAL
 - 23-A NEW SUPPLY/RETURN REGISTER. SEE MECHANICAL DRAWINGS
- 26 ELECTRICAL
 - 26-A 2'x2' IAY-IN LED LIGHT FIXTURES, DIMERSIFIED, LT-22-L39/835-AF-DIM-UNV, OR APPROVED EQUAL. SEE ELECTRICAL DRAWINGS
 - 26-B NEW DUPLEX RECEPTACLE. SEE ELECTRICAL DRAWINGS.
 - 26-C NEW CEILING MOUNTED EXIT SIGN. DIMERSIFIED, LEC-X-R-X-NA, OR APPROVED EQUAL. SEE ELECTRICAL DRAWINGS.
 - 26-D RELOCATED EXISTING DUPLEX RECEPTACLE. SEE ELECTRICAL DRAWINGS.
- 28 FIRE
 - 28-A RELOCATED OR NEW SMOKE/HEAT DETECTOR. SEE ELECTRICAL DRAWINGS.

NOTES:

1. CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS.
2. ARCHITECTURAL DRAWINGS ARE FOR LAYOUT AND FINISHES ONLY, SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR INFORMATION, LOCATIONS AND SPECIFICATIONS.
3. CONTRACTOR IS RESPONSIBLE AND OBLIGATED TO SUCCESSFULLY COMPLETE THE ENTIRE PROJECT AND TO COMPLETE EACH AND EVERY NECESSARY DETAIL OF EVERY ITEM SPECIFIED AND/OR IS REQUIRED TO COMPLETE THE SPECIFIED WORK REGARDLESS OF WHETHER OR NOT A PARTICULAR DETAIL IS SPECIFICALLY MENTIONED IN THESE CONTRACT DOCUMENTS.
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5. CONTRACTOR SHALL BRING EXISTING RECEPTACLES TO NEW WALL SURFACE. INSTALL NEW FACE PLATE AT ALL EXISTING RECEPTACLES.
6. CONTRACTOR SHALL BE AWARE THAT A PREVIOUS OFFICE IMPROVEMENT PROJECT HAS BEEN COMPLETED. FINISHES AND DETAILS SHALL MATCH THE ADJACENT OFFICE PROJECT.
7. CEILING GRID AND TILE AT THE EXISTING WINDOWS SHALL BE FINISHED AS RECENT IMPROVEMENT PROJECT. SEE PHOTO ON DETAIL SHEET.
8. DOOR ADA CLEARANCES SHALL BE KEPT AS:
 - 8.1. 12" PUSH SIDE APPROACH
 - 8.2. 18" PULL SIDE APPROACH



PARTIAL PROPOSED FLOOR PLAN
SCALE: 1/4"=1'-0"

RVE
1901
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-ENGINEERING EXCELLENCE-

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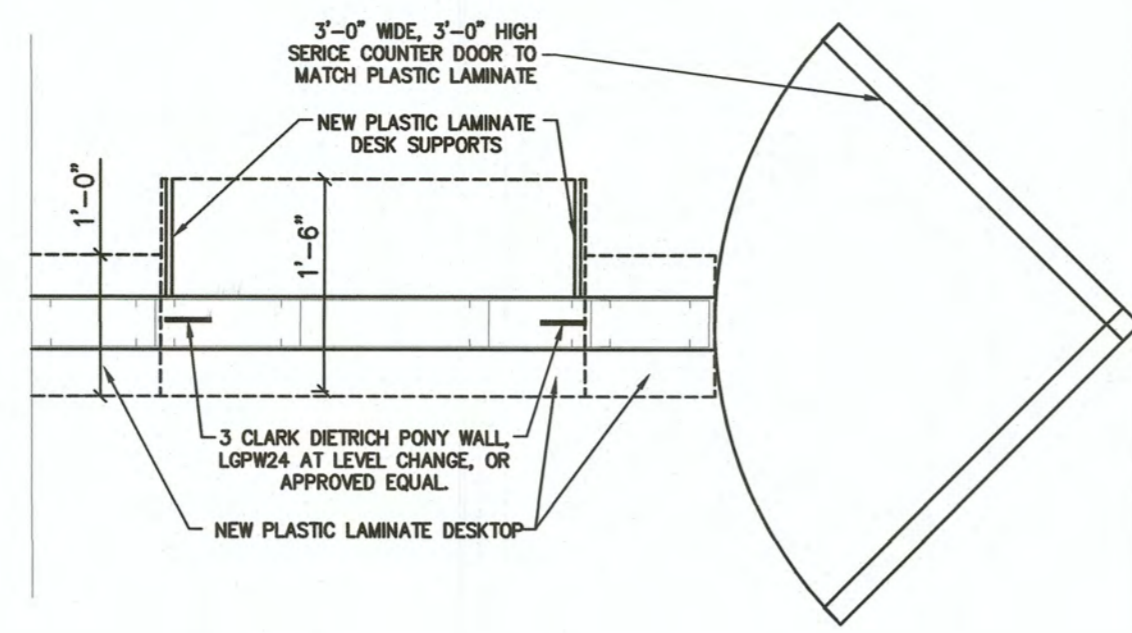
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NO.	DATE	BY	CHK	REVISION

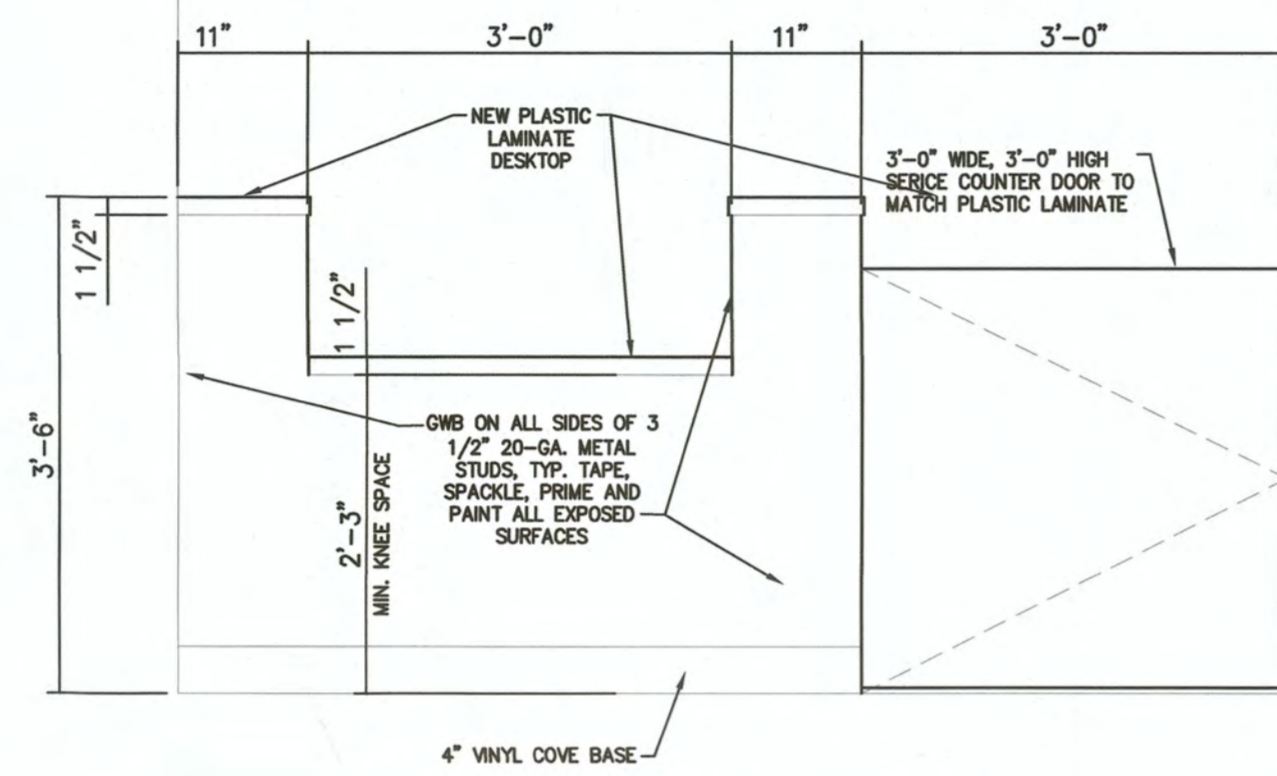
DEMOLITION AND PROPOSED FLOOR PLANS - REBID
 CITY OF MARGATE
 MARGATE MUNICIPAL BUILDING OFFICE IMPROVEMENTS
 ATLANTIC COUNTY
 NEW JERSEY

DRAWN BY: M.Z.	DESIGN BY: J.J.	CHECKED BY: E.D.J.	SCALE: AS NOTED
DATE: 3/2023	SHEET NO.:		
JOB NO.:	A-10		
01-14-C-003			

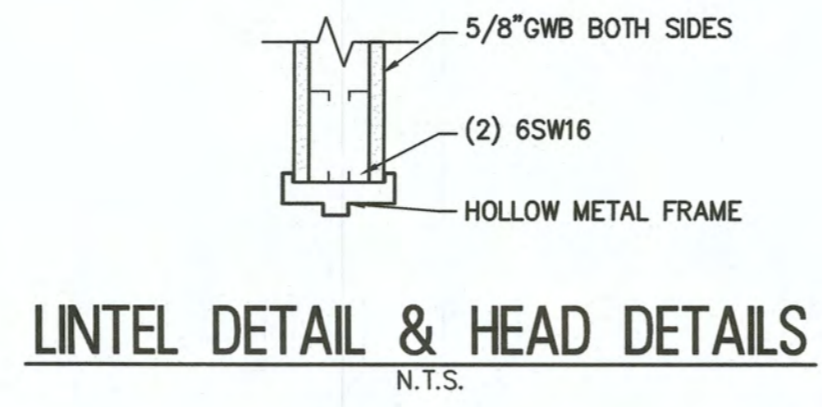
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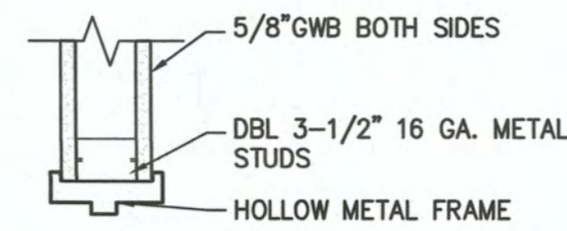
RECEPTION DESK PLAN
SCALE: 3/4"=1'-0"



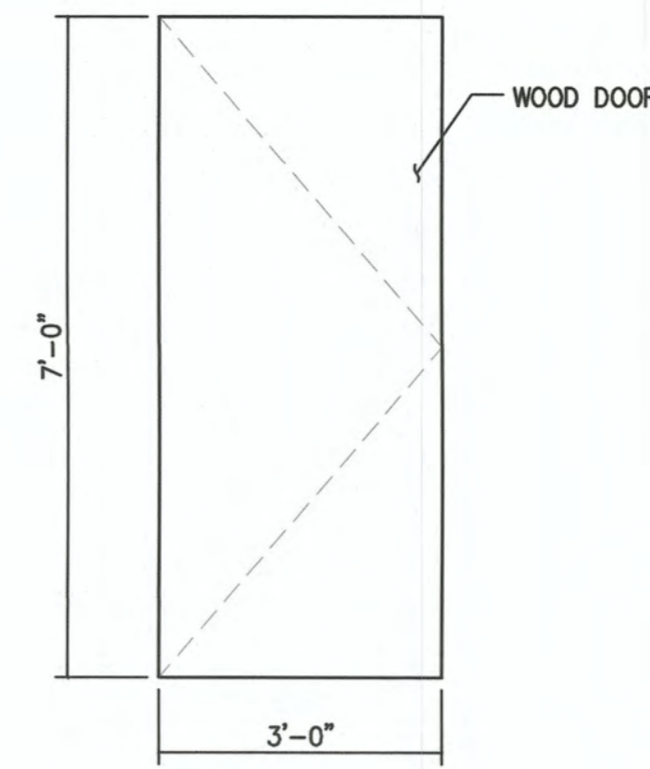
RECEPTION DESK ELEVATION
SCALE: 3/4"=1'-0"



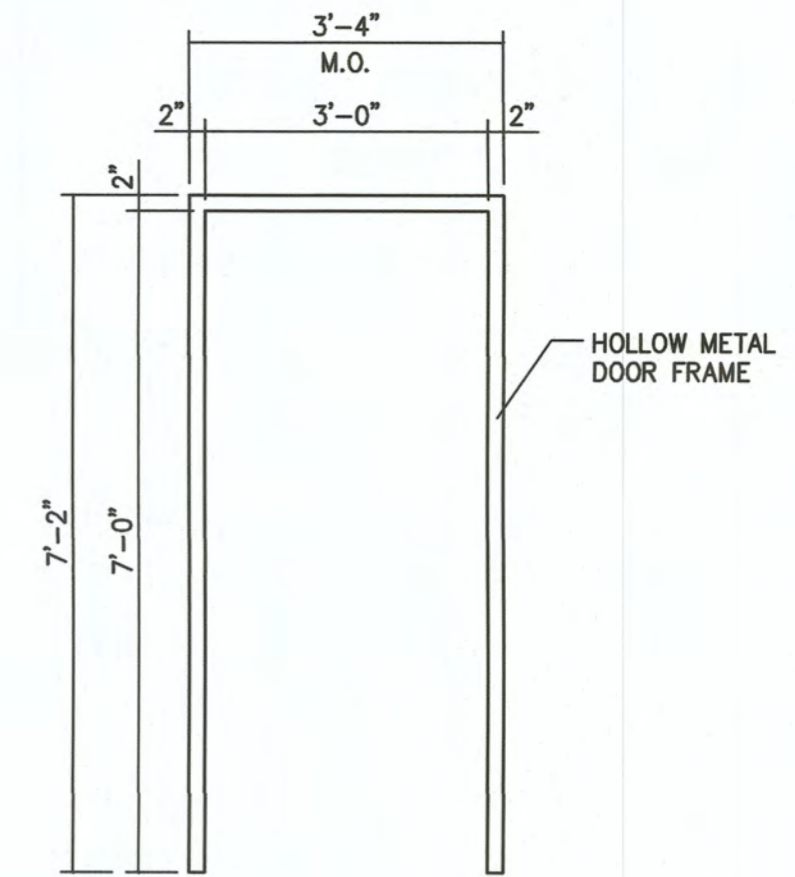
LINTEL DETAIL & HEAD DETAILS
N.T.S.



JAMB DETAILS
N.T.S.



DOOR TYPE
N.T.S.

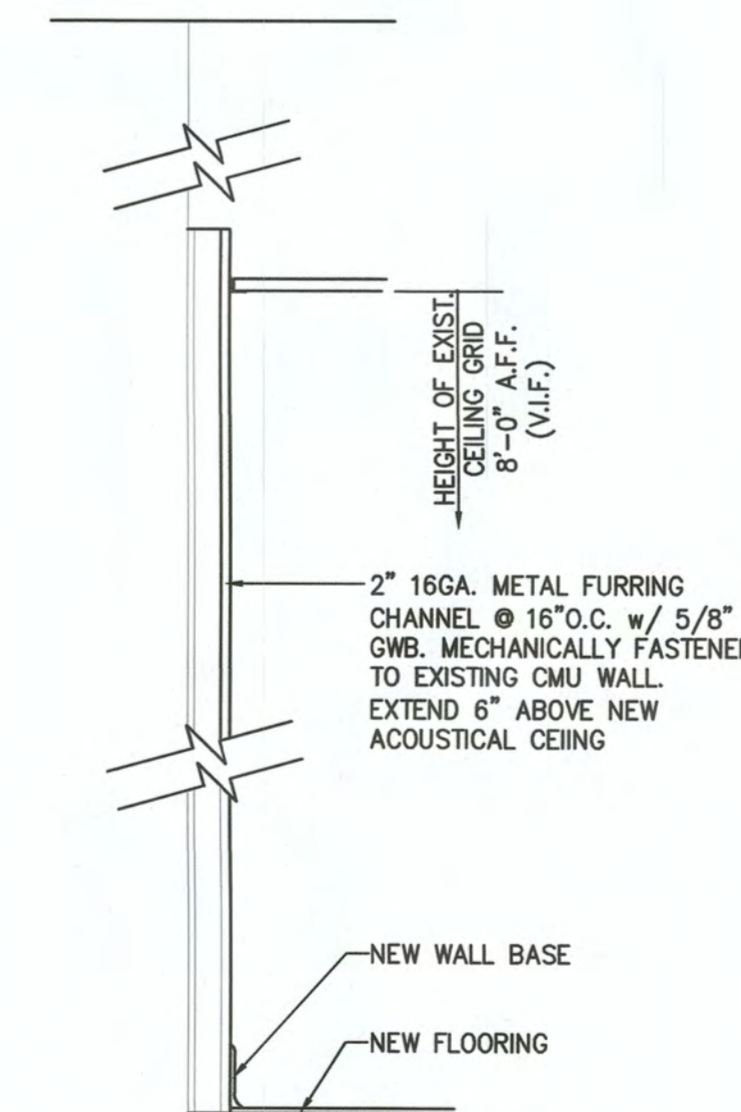


DOOR FRAME TYPE
N.T.S.

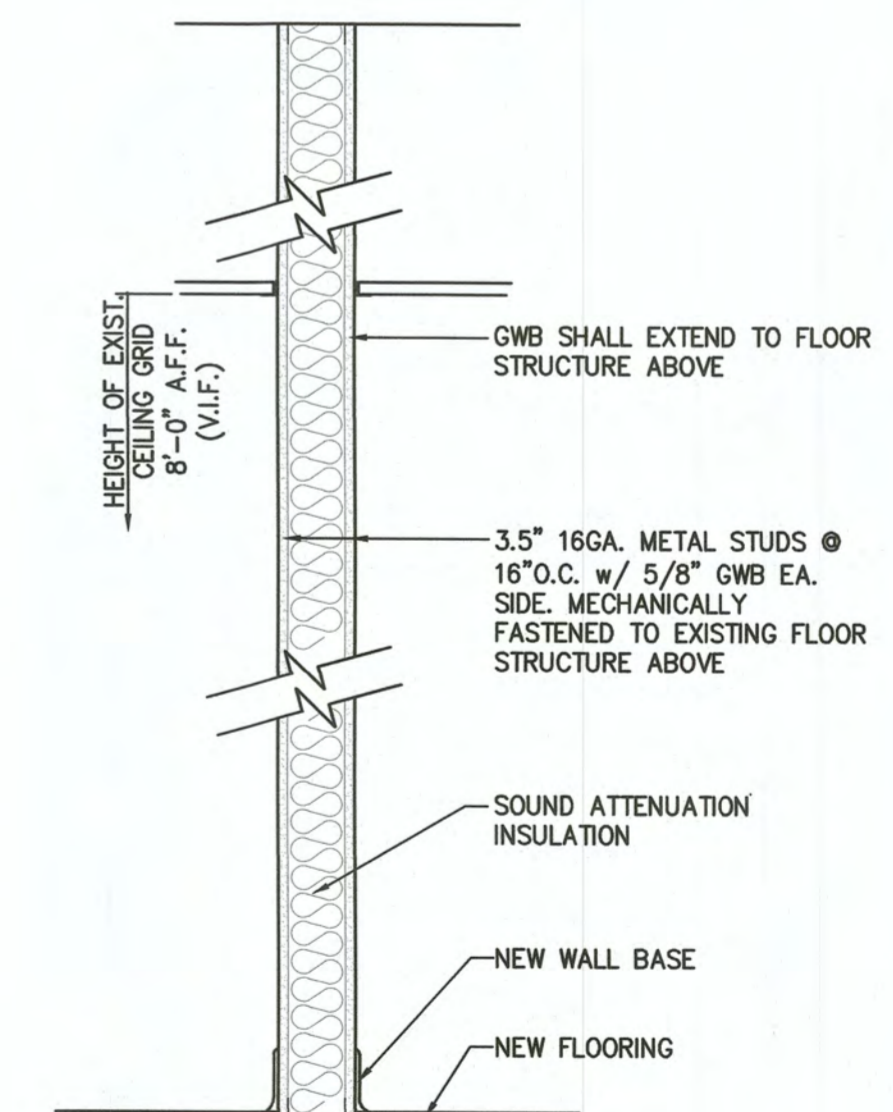
HARDWARE SCHEDULE						
QUANTITY	DISCRPTION	CATALOG NUMBER	FINISH	MANUF.	REMARKS	
3	HINGE	5BB1 4.5x4.5	652	IVES		
1	OFFICE LOCK	HEAVY DUTY	MATCH	MATCH	MATCH NEW HARDWARE AT RECENTLY COMPLETED RENOVATIONS IN ADJACENT SPACE	
1	KICK PLATE	10"x34"	32D	RKWD		
1	MOP PLATE	4"x34"	32D	RKWD		
1	WALL BUMPER			HGR		
3	SILENCER			HGR		



ACOUSTICAL CEILING GRID/WINDOW
N.T.S.



FURRED WALL SECTION
N.T.S.

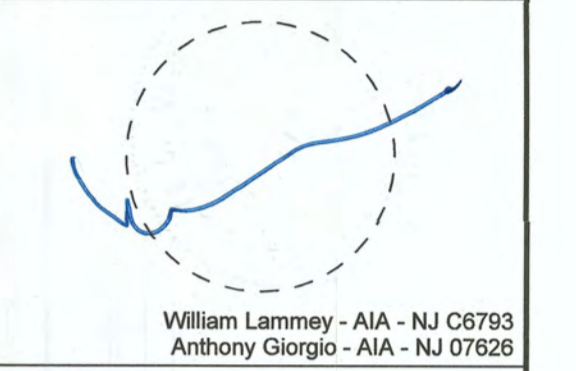


TYPICAL WALL SECTION
N.T.S.

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1901
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Certification of Authorization: 24 GA 28003300
-ENGINEERING EXCELLENCE-

DATE:
EDWARD DENNIS JR.
NJ PROFESSIONAL ENGINEER LIC. No. 47002

LAMMEY + GIORGIO
Architect
Lammey + Giorgio
Architecture + Design
215 Highland Ave, Suite B
Haddon Twp, NJ 08108
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PLANS WHICH DO NOT BEAR AN EMBOSSED SEAL ARE NOT VALID.

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NO.	REVISION	DATE	BY	CHK

**DEMOLITION PLANS
REBID**
CITY OF MARGATE
**MARGATE MUNICIPAL BUILDING
OFFICE IMPROVEMENTS**
CITY OF MARGATE ATLANTIC COUNTY
NEW JERSEY

DRAWN BY: M.Z. DESIGN BY: J.J. CHECKED BY: E.D.J. SCALE: AS NOTED
DATE: 3/2023 SHEET No.:
JOB No.: 01-14-C-003 **A-20**