

# WILDWOOD HOUSING AUTHORITY - SANDMAN TOWERS

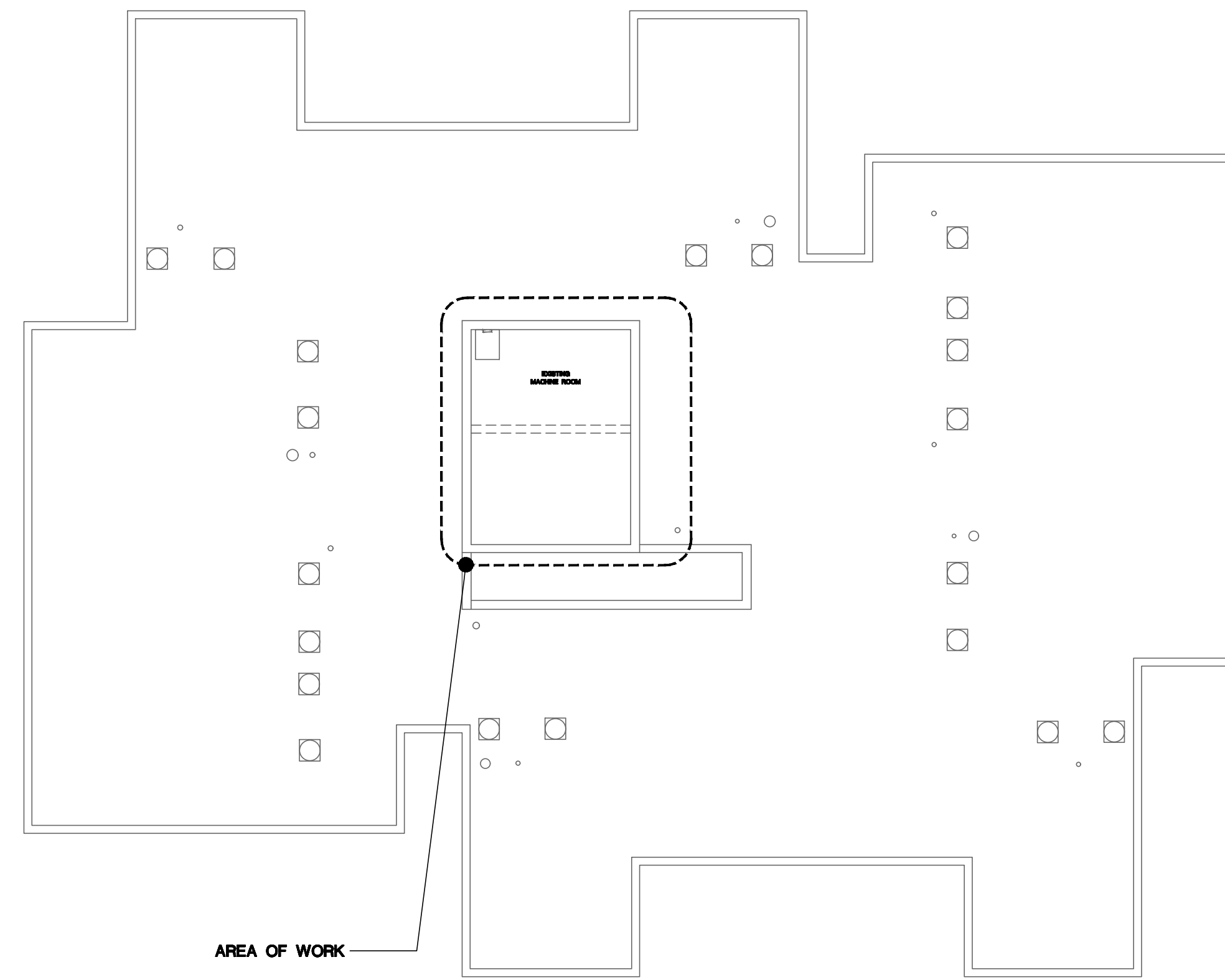
## ELEVATOR MODERNIZATION

3700 NEW JERSEY AVENUE, WILDWOOD, NJ 08260  
06/30/2020 ISSUED FOR BID

MMPFA PROJECT #20.069



**FIRST FLOOR KEY PLAN** ①  
SCALE: 1" = 10'

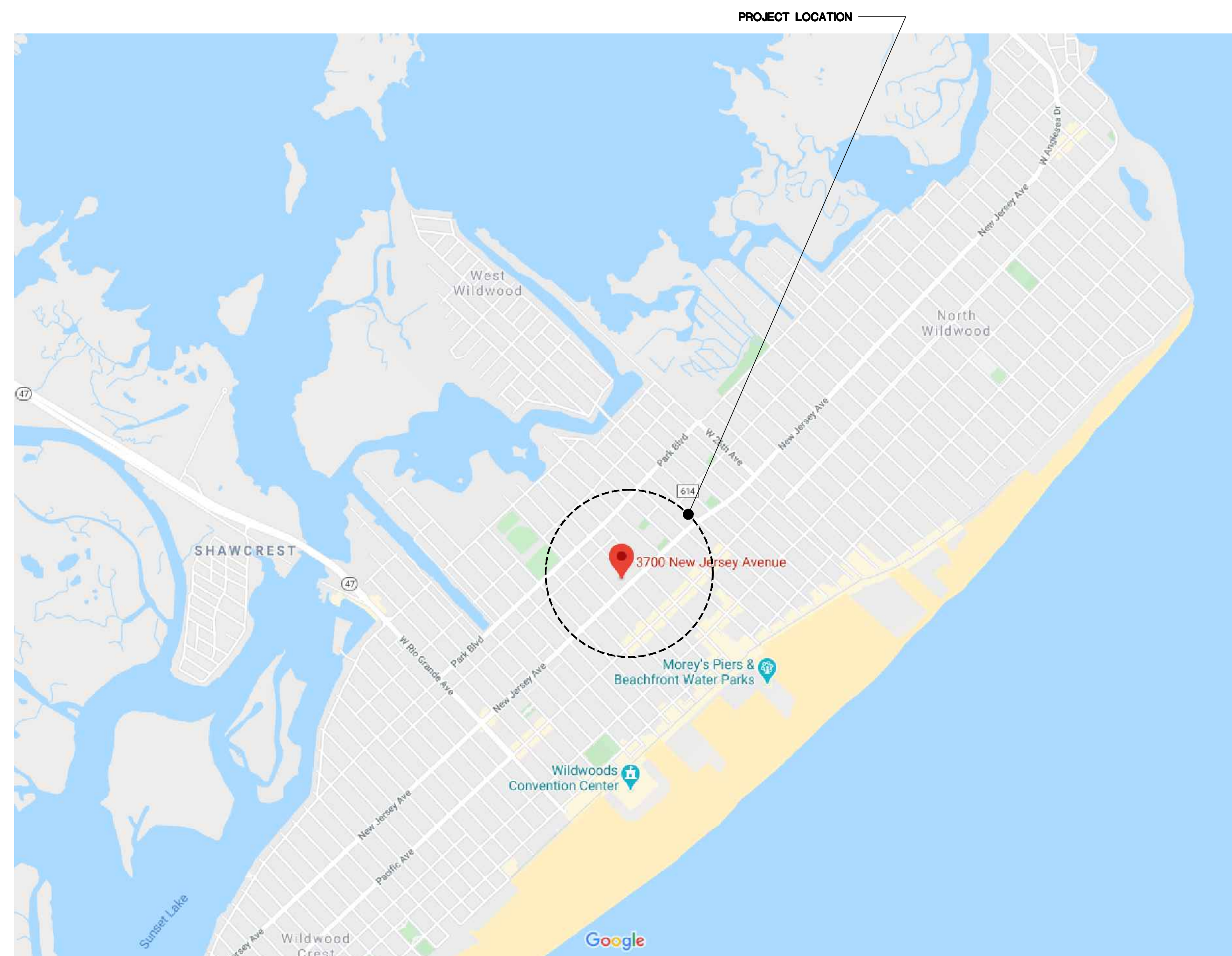


**MACHINE ROOM KEY PLAN** ②  
SCALE: 1" = 10'

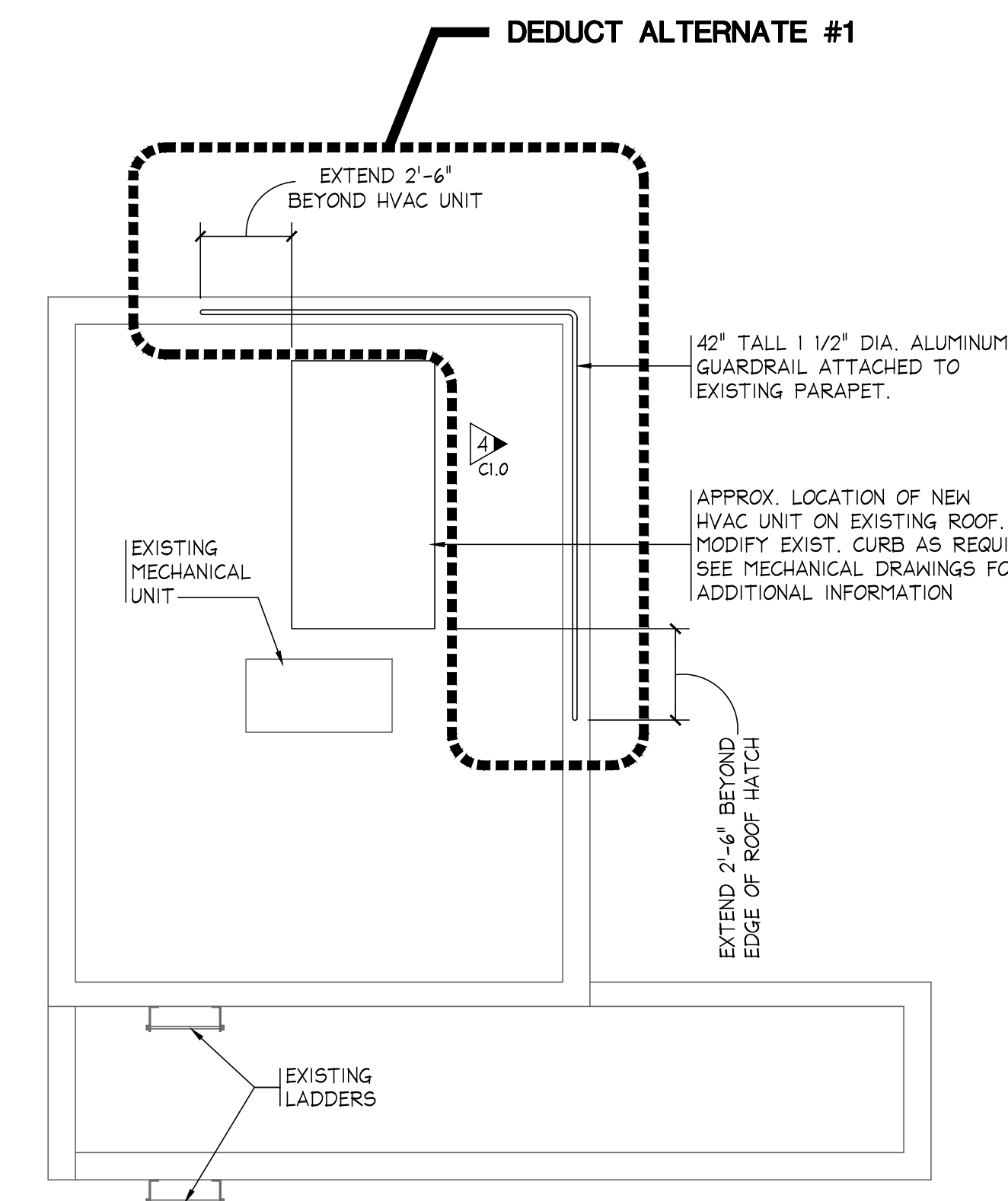
DRAWING LIST			
SHEET NO.	SHEET NAME	ISSUED NO.	DATE
GENERAL			
C1.0	COVER SHEET		
MECHANICAL			
M1.0	HVAC LEGEND, SCHEDULES, DETAILS, DEMO, AND NEW PLANS		
ELECTRICAL			
E1.0	ELECTRICAL PLAN		

**PROJECT SUMMARY**

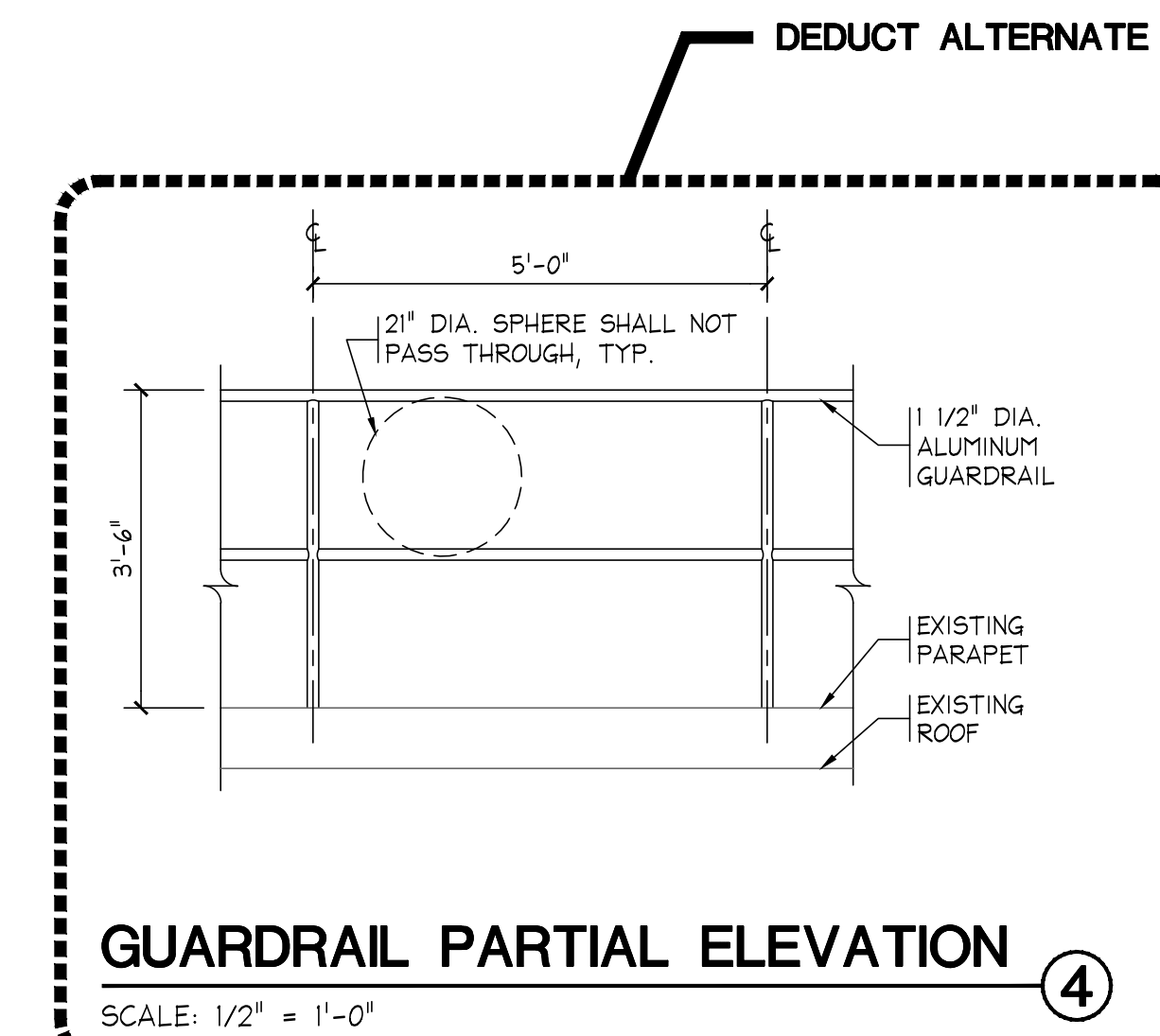
TWO EXISTING II-STOP TRACTION ELEVATORS ARE TO BE MODERNIZED. CONTROL SYSTEMS, DOOR OPERATORS, CAR AND HALL FIXTURES, AND OTHER ELEVATOR COMPONENTS SHALL BE REPLACED AS INDICATED ON THE DRAWINGS AND SPECIFICATIONS. MINOR ELECTRICAL AND MECHANICAL WORK IS REQUIRED AND DOCUMENTED TO PROVIDE A FULLY OPERATIONAL PASSENGER ELEVATOR COMPLYING WITH ALL APPLICABLE CODES.



**LOCATION MAP**



**MACHINE ROOM ROOF PLAN** ③  
SCALE: 1/4" = 1'-0"



**GUARDRAIL PARTIAL ELEVATION** ④  
SCALE: 1/2" = 1'-0"

Revisions		
No.	Date	Description

CLIENT  
WILDWOOD HOUSING AUTHORITY  
3700 NEW JERSEY AVENUE  
SUITE 104  
WILDWOOD, NJ 08260

M.P.E. ENGINEER  
**BCCLT**  
Biagi, Chance, Cummins, London, Titzer  
—consulting engineers—

ELEVATOR CONSULTANT  
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Project **WILDWOOD HOUSING AUTHORITY SANDMAN TOWERS ELEVATOR MODERNIZATION**  
3700 NEW JERSEY AVENUE  
WILDWOOD, NJ 08260

Drawing **COVER SHEET**

Scale	Job	Sheet
AS NOTED	20.069	<b>C1.0</b>
Drawn	Date	
CR	06/30/20	



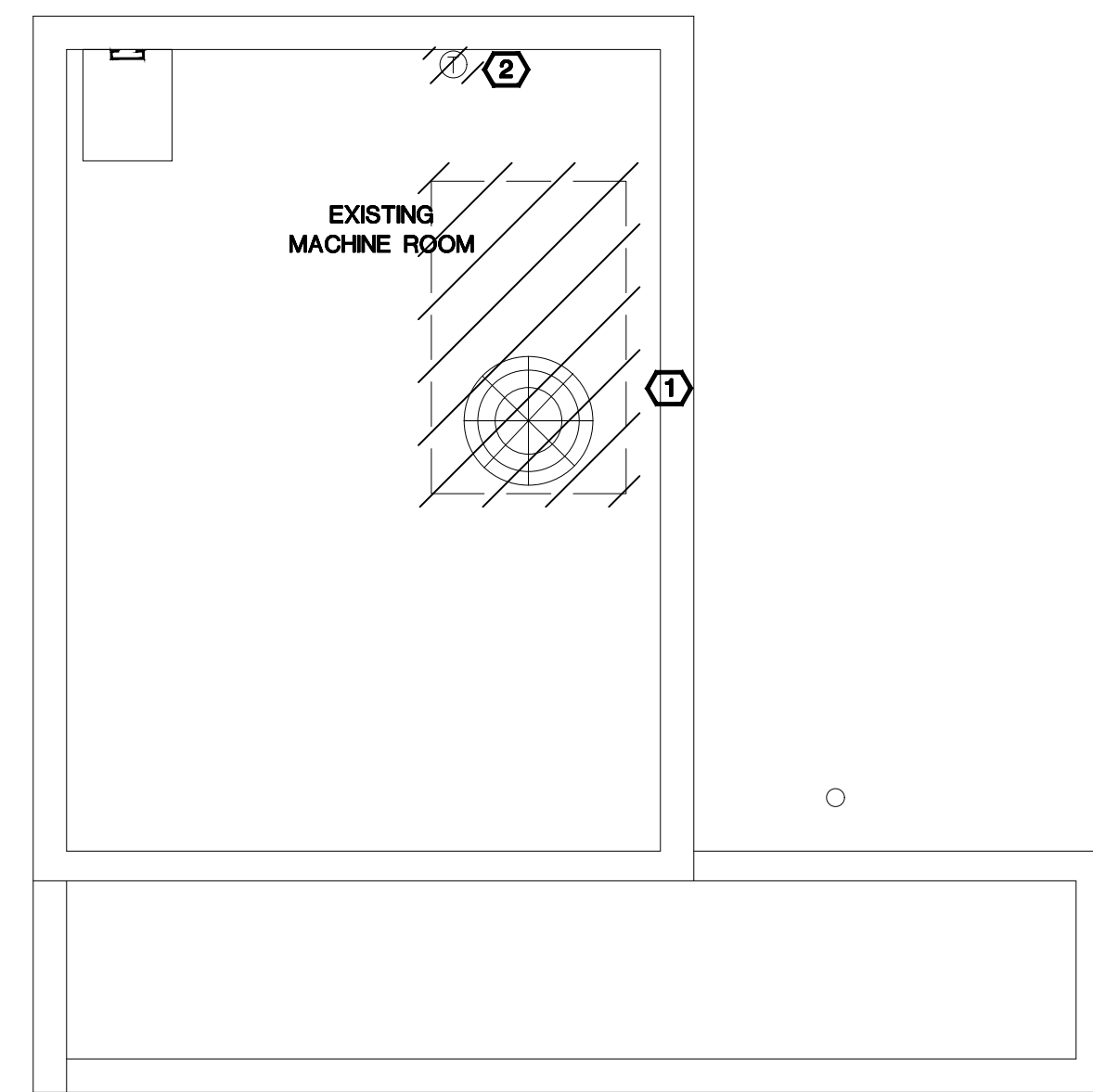
**HVAC SYMBOLS AND ABBREVIATIONS LEGEND**

NOTE: NOT ALL SYMBOLS MAY BE USED.

BTUH	BTU/HR
CAP.	CAPACITY
CC	COOLING COIL
CV	CONSTANT VOLUME
DN.	DOWN
EAT	ENTERING AIR TEMPERATURE
EF	EXHAUST FAN
ENT.	ENTERING
EXH.	EXHAUST
EXST.	EXISTING
EXT.	EXTERNAL
MAX.	MAXIMUM
MECH.	MECHANICAL
MIN.	MINIMUM
PSI	POUNDS PER SQUARE INCH
PRESS.	PRESSURE
R.A.	RETURN AIR
REF.	REFERENCE
RM.	ROOM
S.A.	SUPPLY AIR
SF	SUPPLY FAN
SHT.	SHEET
S.P.	STATIC PRESSURE
TSP	TOTAL STATIC PRESSURE
Ⓢ	THERMOSTAT

**GENERAL NOTES:**

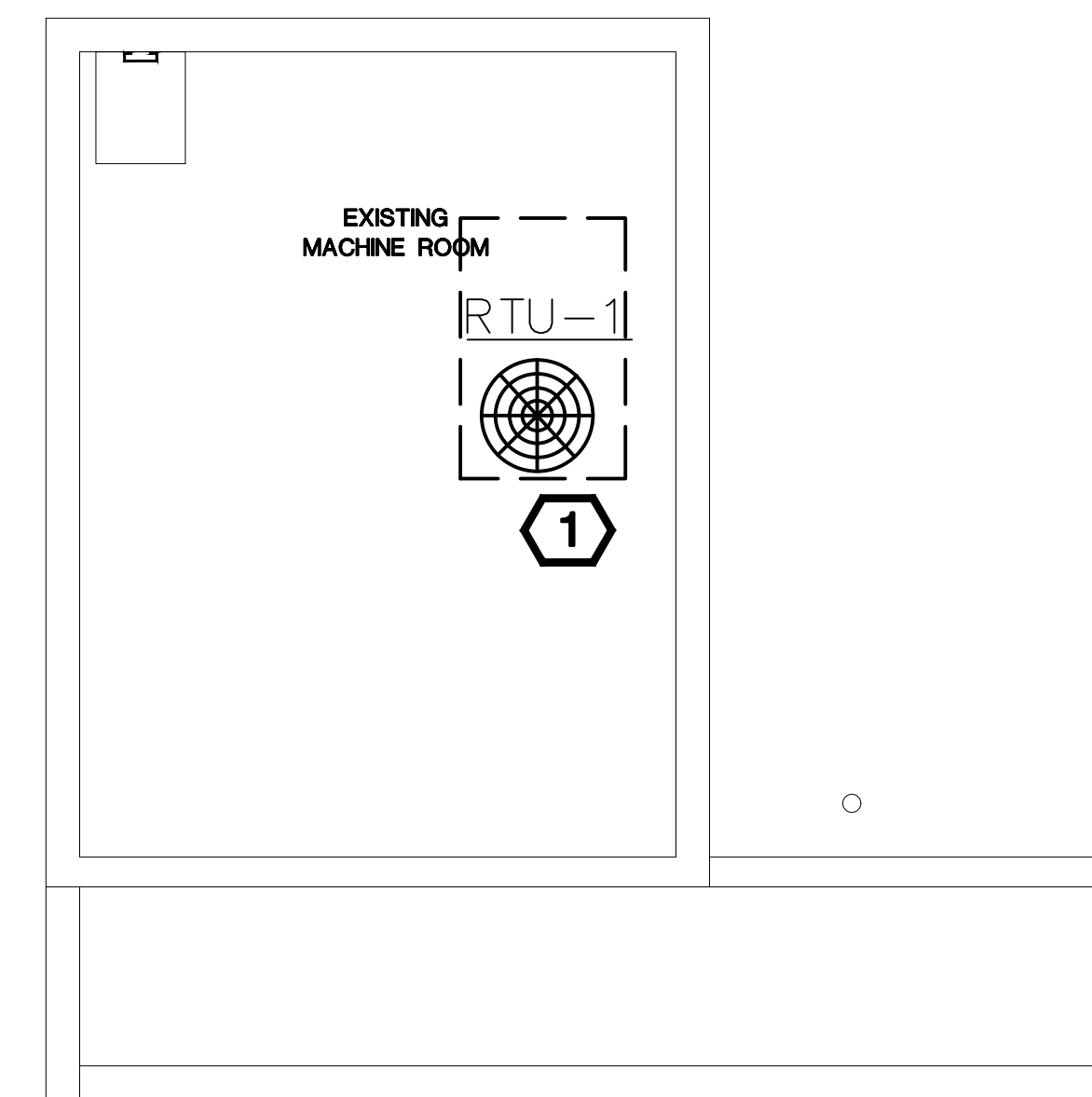
- A. THE REMOVAL DRAWINGS SHALL SERVE TO AID THE CONTRACTOR IN THE EVALUATION OF THE EXTENT OF REMOVALS, BUT SHALL NOT BE HELD TO BE ALL INCLUSIVE.
- B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE AREA TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS. VERIFY SIZE, LOCATION, AND USAGE OF EXISTING UTILITIES PRIOR TO REMOVAL. FOR FURTHER INFORMATION WITH REGARD TO THE EXTENT OF REMOVALS, SEE THE CONSTRUCTION DRAWINGS AND THE ARCHITECTURAL DRAWINGS WHICH SHOW WORK TO BE PERFORMED.
- C. CONTRACTOR SHALL REVIEW THE EXISTING EQUIPMENT WITH OWNER. EQUIPMENT BEING REMOVED OR RELOCATED SHALL BE REMOVED IN A MANNER THAT REUSE IS POSSIBLE AND STORED AS DIRECTED BY OWNER. ALL OTHER EQUIPMENT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED & DISPOSED OF FROM THE SITE BY THE CONTRACTOR.
- D. CUT, PATCH & REPAIR ALL OPENINGS IN WALLS, FLOORS, CEILINGS, ETC. WHERE REQUIRED BY THE REMOVAL OF EQUIPMENT, DUCTWORK, AND ACCESSORIES. PATCHING SHALL MATCH EXISTING CONSTRUCTION & FINISHES.
- E. PROPER CONNECTIONS, MATERIALS, AND SIZES OF DUCTWORK SHALL BE MAINTAINED TO ENSURE EQUIPMENT IS MADE FULLY OPERATIONAL.
- F. REMOVAL OF EXISTING EQUIPMENT, PIPING OR DUCTWORK SHALL BE MADE SO THAT SERVICE TO OTHER AREAS UTILIZED BY THE OWNER ARE NOT INTERRUPTED WITHOUT CONSENT FROM OWNER. PROVIDE TEMPORARY VALVES AND TEMPORARY SERVICES REQUIRED DURING REMOVALS AND CONSTRUCTION.
- G. DRAWING IS DIAGRAMMATIC. PROVIDE ADDITIONAL OFFSETS, TRANSITIONS, ETC. AS REQUIRED TO AVOID INTERFERENCES ENCOUNTERED. RELOCATION OF EXISTING DUCT REQUIRED FOR INSTALLATION WORK SHALL BE CONSIDERED PART OF THIS CONTRACT.
- H. CONTRACTOR SHALL PROVIDE MANUFACTURER'S RECOMMENDED ACCESS TO ALL EQUIPMENT. COORDINATE LOCATION OF MECHANICAL EQUIPMENT WITH OTHER TRADES TO AVOID CONFLICT.



**ROOF HVAC REMOVAL PLAN** REMOVAL KEYNOTES: Ⓢ

SCALE: 1/4" = 1'-0"

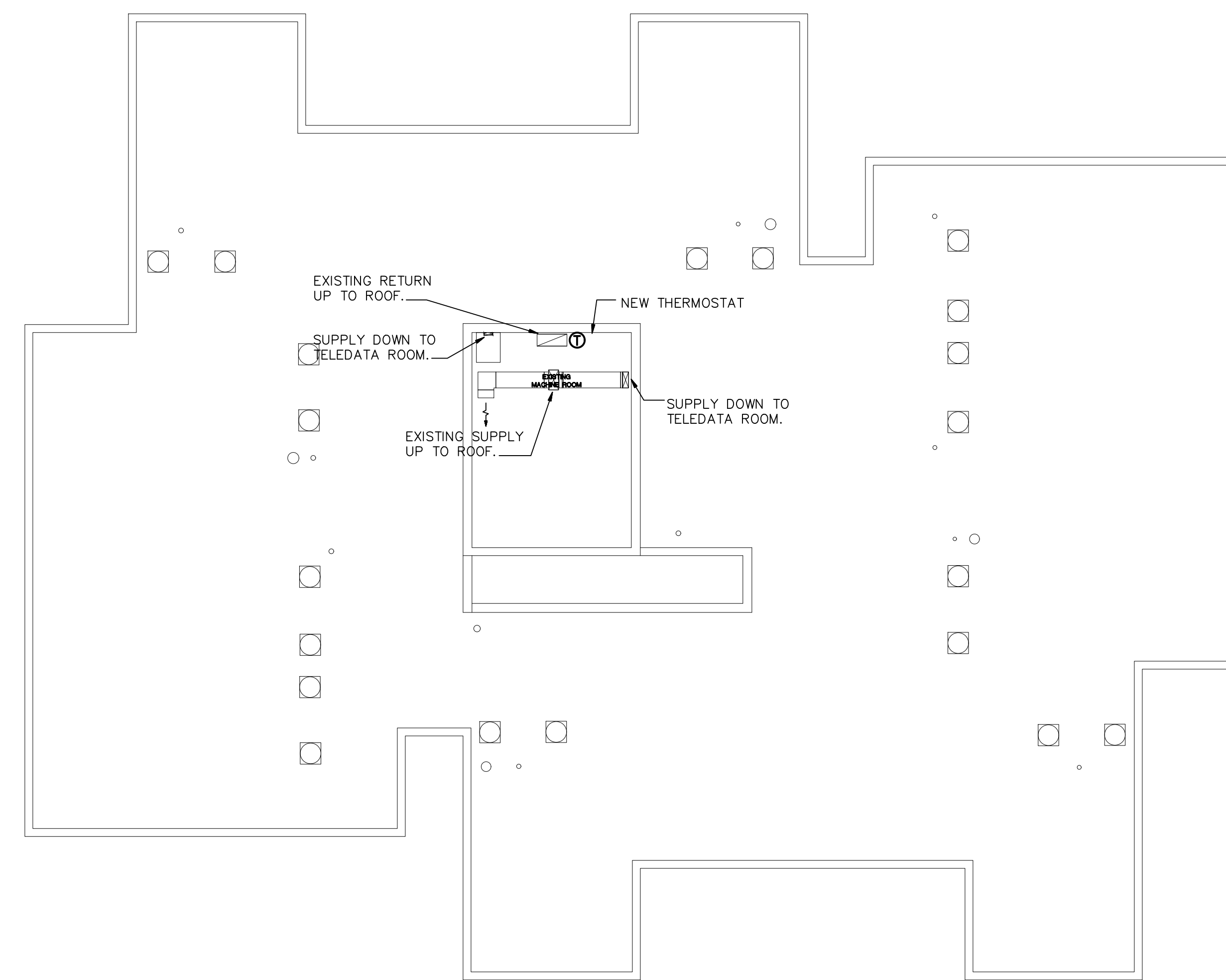
1. EXISTING RTU LOCATED ON ROOF ABOVE ELEVATOR MACHINE ROOM SHALL BE REMOVED AND CURB TEMPORARILY PATCHED. PREPARE CURB FOR INSTALLATION OF NEW RTU.
2. REMOVE EXISTING THERMOSTAT IN ELEVATOR MACHINE ROOM.



**ROOF HVAC PLAN** KEYNOTES: Ⓢ

SCALE: 1/4" = 1'-0"

1. NEW RTU-1 TO BE INSTALLED ON EXISTING CURB. TRANSITION CURB TO BE PROVIDED BY CONTRACTOR AS REQUIRED.



**ELEVATOR MACHINE ROOM HVAC PLAN**

SCALE: 1/8" = 1'-0"

**SCHEDULE OF ROOFTOP UNIT**

SYMBOL	MANUFACTURER	MODEL	NET COOLING CAP (Mbh)		HEATING CAPACITY (kW)	CFM	CLG. DB E.A.T.	CLG. WB E.A.T.	CLG. DB L.A.T.	CLG. WB L.A.T.	SUPPLY MOTOR H.P.	FRPM	T.S.P. (IN H <sub>2</sub> O)	E.S.P. (IN H <sub>2</sub> O)	ELECTRICAL CHARACTERISTICS	MCA	REMARKS
			SENSIBLE	TOTAL													
RTU-1	TRANE	TSC048G3E0A	38.1	48.2	4.5 kW	1,600	80	67	58	57	1	1181	1.0	0.75	20B/3	26	ALL

- NOTES:
1. PROVIDE UNIT WITH PROGRAMMABLE THERMOSTAT WITH FAN SPEED SETTINGS.
  2. CONTRACTOR TO PROVIDE TRANSITION CURB FOR UNIT. THIS MUST BE INCLUDED AS A SHOP DRAWING SUBMITTAL.
  3. PROVIDE UNIT WITH MERV 8 FILTERS AND HAIL GUARD.
  4. PROVIDE UNIT WITH 4.5 kW HEATING COIL.
  5. PROVIDE UNIT WITH 110V CONVENIENCE RECEPTACLE AND NON-FUSED DISCONNECT SWITCH.

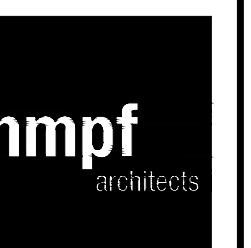
**ALTERNATE #1**  
CONTRACTOR SHALL PROVIDE AN ALTERNATE PRICE FOR ALL WORK ASSOCIATED WITH THIS SHEET AND RELATED SPECIFICATIONS.

Revisions		
No.	Date	Description



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**SANDMAN TOWERS ELEVATOR MODERNIZATION**

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Drawing **ALTERNATE #1 - HVAC LEGEND, SCHEDULES, DETAILS, DEMO, AND NEW PLAN**

Scale	Job	Sheet
AS NOTED	20.069	<b>M1.0</b>
Drawn	Date	1 OF 1
TLP	06/30/20	



