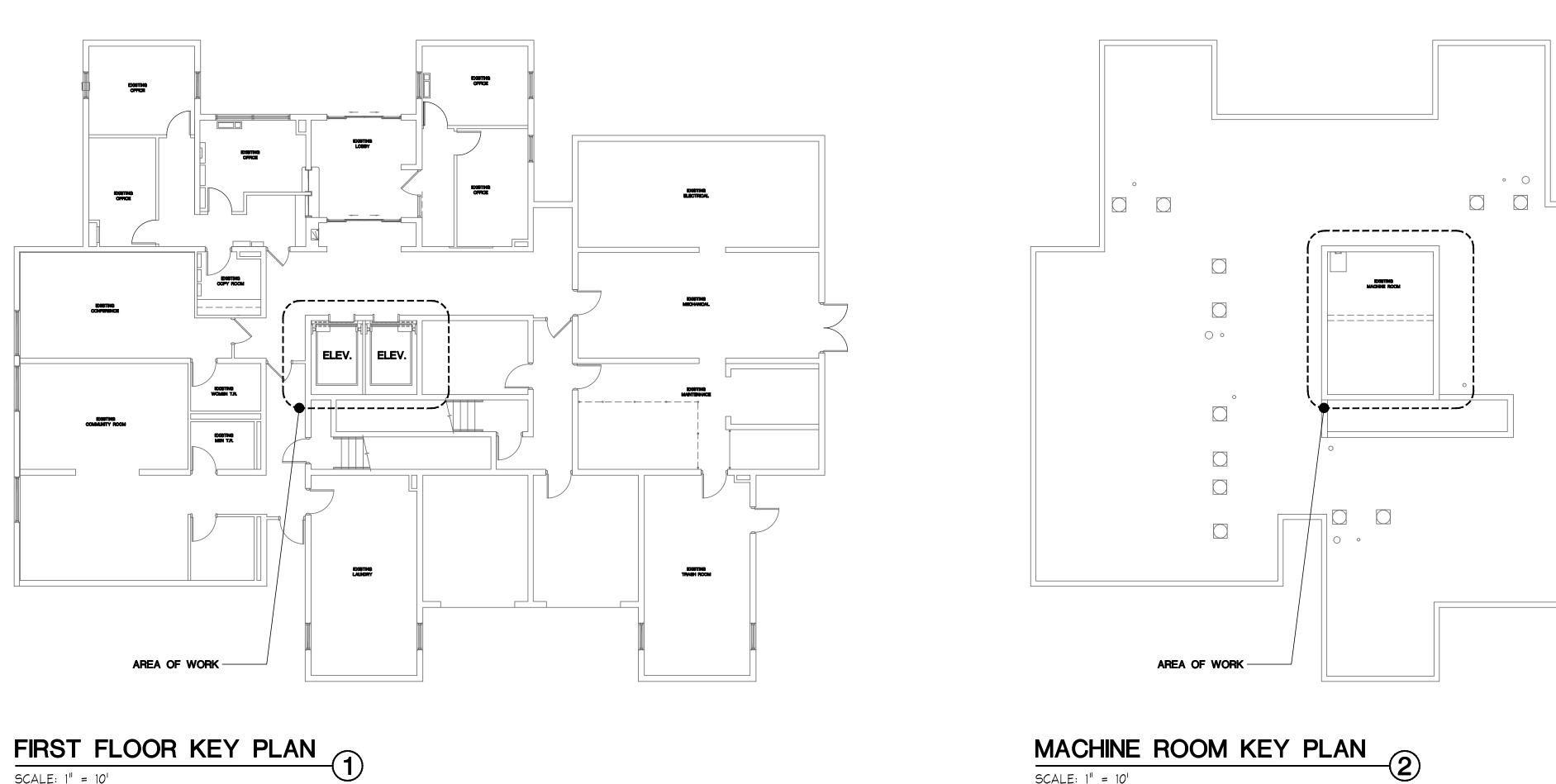
WILDWOOD HOUSING AUTHORITY - SANDMAN TOWERS

ELEVATOR MODERNIZATION

3700 NEW JERSEY AVENUE, WILDWOOD, NJ 08260 06/30/2020 ISSUED FOR BID



PROJECT LOCATION -

Morey's Piers & 🔞

Beachfront Water Parks V

Wildwoods (1)

Google

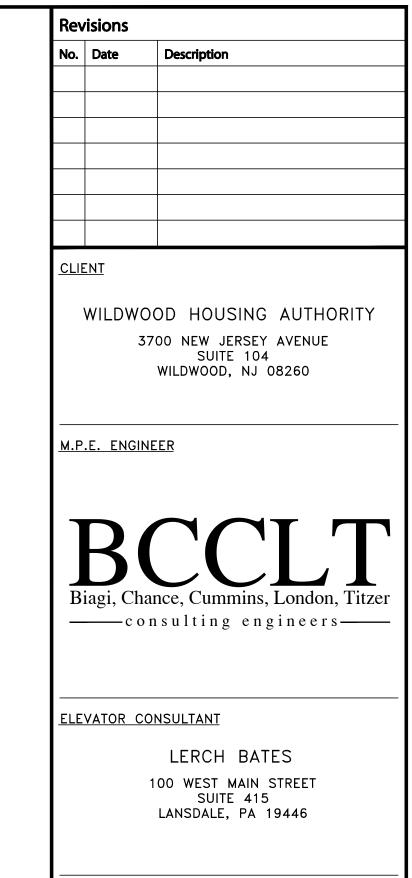
Convention Center

Wildwood

MMPFA PROJECT #20.069

SHEET	SHEET NAME	IS	ISSUED		
NO.	SHELL NAME	NO.	DATE		
CENEDA					
GENERA					
C1.0	COVER SHEET				
MECHAN	CAL				
M1.0	HVAC LEGEND, SCHEDULES, DETAILS, DEMO, AND NEW PLANS				
ELECTRI E1.0	CAL ELECTRICAL PLAN				

PROJECT SUMMARY MINOR ELECTRICAL AND MECHANICAL WORK IS REQUIRED AND DOCUMENTED TO PROVIDE A FULLY OPERATIONAL PASSENGER ELEVATOR COMPLYING WITH ALL APPLICABLE CODES.



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Al-13618

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WILDWOOD HOUSING SANDMAN TOWERS **ELEVATOR MODERNIZATION**

3700 NEW JERSEY AVENUE WILDWOOD, NJ 08260

COVER SHEET AS NOTED

06/30/20

SCALE: 1" = 10'

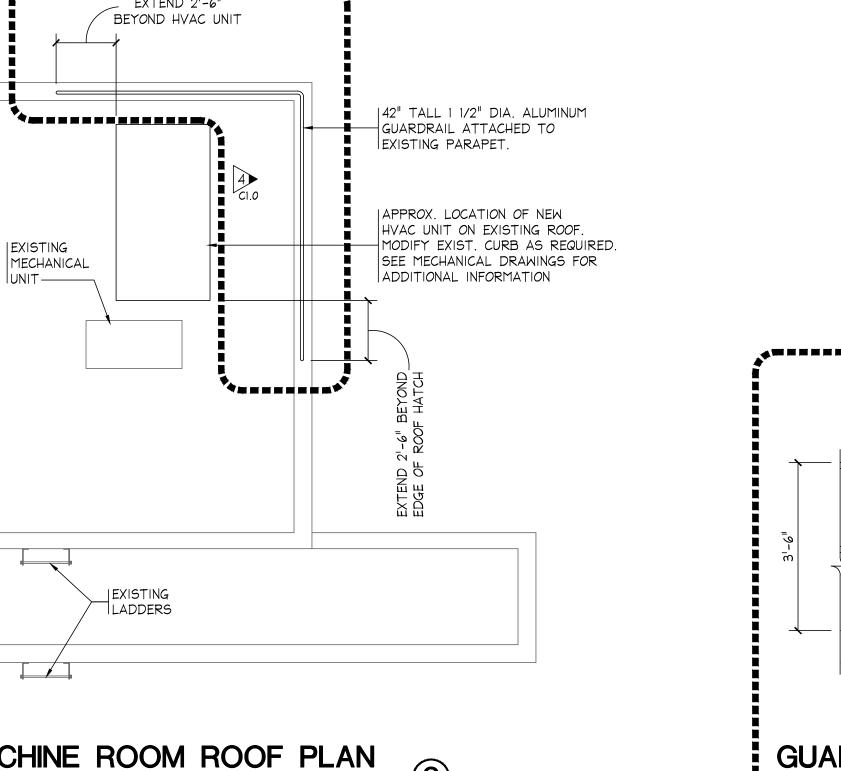
SHAWCREST

LOCATION MAP

Wildwood



SCALE: 1'' = 10'



DEDUCT ALTERNATE #1

MACHINE ROOM ROOF PLAN SCALE: 1/4" = 1'-0"

DEDUCT ALTERNATE #1 121" DIA. SPHERE SHALL NOT PASS THROUGH, TYP. ALUMINUM GUARDRAIL PARAPET |EXISTING GUARDRAIL PARTIAL ELEVATION

+=================

SCALE: 1/2" = 1'-0"

NOTE: NOT ALL SYMBOLS MAY BE USED.

CONSTANT VOLUME

DN. DOWN ENTERING AIR TEMPERATURE

EXHAUST FAN

EXTERNAL

MAXIMUM

MINIMUM

PRESSURE

RETURN AIR

REFERENCE

SUPPLY AIR

SUPPLY FAN

THERMOSTAT

STATIC PRESSURE

TOTAL STATIC PRESSURE

ROOM

SHEET

MECHANICAL

POUNDS PER SQUARE INCH

MAX.

MIN.

REF.

RM.

TSP

C. CONTRACTOR SHALL REVIEW THE EXISTING EQUIPMENT WITH OWNER. EQUIPMENT BEING REMOVED OR RELOCATED SHALL BE REMOVED IN A MANNER THAT ENTERING REUSE IS POSSIBLE AND STORED AS DIRECTED BY OWNER. ALL OTHER EQUIPMENT SHALL BECOME THE EXHAUST PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED & DISPOSED OF FROM THE SITE BY THE EXISTING

> D. CUT, PATCH & REPAIR ALL OPENINGS IN WALLS, FLOORS, CEILINGS, ETC. WHERE REQUIRED BY THE REMOVAL OF EQUIPMENT, DUCTWORK, AND ACCESSORIES. PATCHING SHALL MATCH EXISTING CONSTRUCTION & FINISHES.

A. THE REMOVAL DRAWINGS SHALL SERVE TO AID THE CONTRACTOR IN THE EVALUATION OF THE EXTENT OF

REMOVALS, BUT SHALL NOT BE HELD TO BE ALL

B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE AREA TO BECOME FAMILIAR WITH THE EXISTING

CONDITIONS. VERIFY SIZE, LOCATION, AND USAGE OF EXISTING UTILITIES PRIOR TO REMOVAL. FOR FURTHER

THE ARCHITECTURAL DRAWINGS WHICH SHOW WORK TO

INFORMATION WITH REGARD TO THE EXTENT OF REMOVALS, SEE THE CONSTRUCTION DRAWINGS AND

GENERAL NOTES:

INCLUSIVE.

BE PERFORMED.

E. PROPER CONNECTIONS, MATERIALS, AND SIZES OF DUCTWORK SHALL BE MAINTAINED TO ENSURE EQUIPMENT IS MADE FULLY OPERATIONAL.

F. REMOVAL OF EXISTING EQUIPMENT, PIPING OR DUCTWORK SHALL BE MADE SO THAT SERVICE TO OTHER AREAS UTILIZED BY THE OWNER ARE NOT INTERRUPTED WITHOUT CONSENT FROM OWNER. PROVIDE TEMPORARY VALVES AND TEMPORARY SERVICES REQUIRED DURING REMOVALS AND CONSTRUCTION.

G. DRAWING IS DIAGRAMMATIC, PROVIDE ADDITIONAL OFFSETS, TRANSITIONS, ETC. AS REQUIRED TO AVOID INTERFERENCE'S ENCOUNTERED. RELOCATION OF EXISTING DUCT REQUIRED FOR INSTALLATION WORK SHALL BE CONSIDERED PART OF THIS CONTRACT.

H. CONTRACTOR SHALL PROVIDE MANUFACTURER'S RECOMMENDED ACCESS TO ALL EQUIPMENT. COORDINATE LOCATION OF MECHANICAL EQUIPMENT WITH OTHER TRADES TO AVOID CONFLICT.

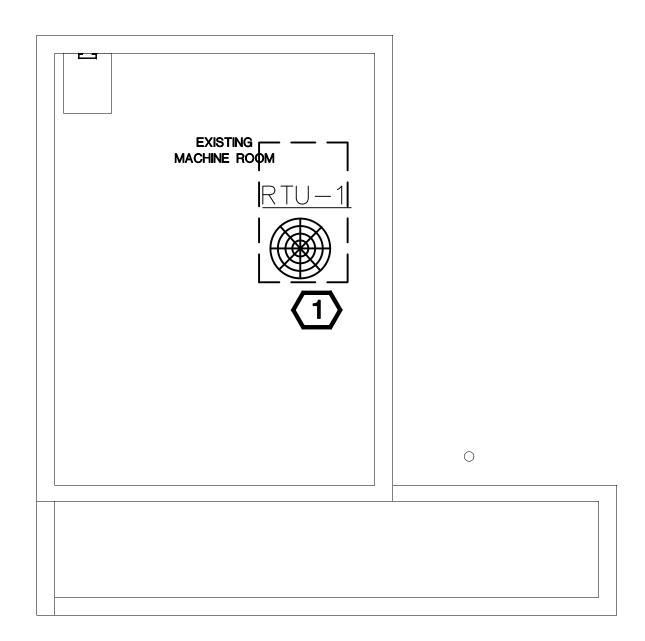
EXISTING MACHINE ROOM /

ROOF HVAC REMOVAL PLAN REMOVAL KEYNOTES:

1. EXISTING RTU LOCATED ON ROOF ABOVE ELEVATOR MACHINE ROOM SHALL BE REMOVED AND CURB TEMPORARILY PATCHED. PREPARE CURB FOR

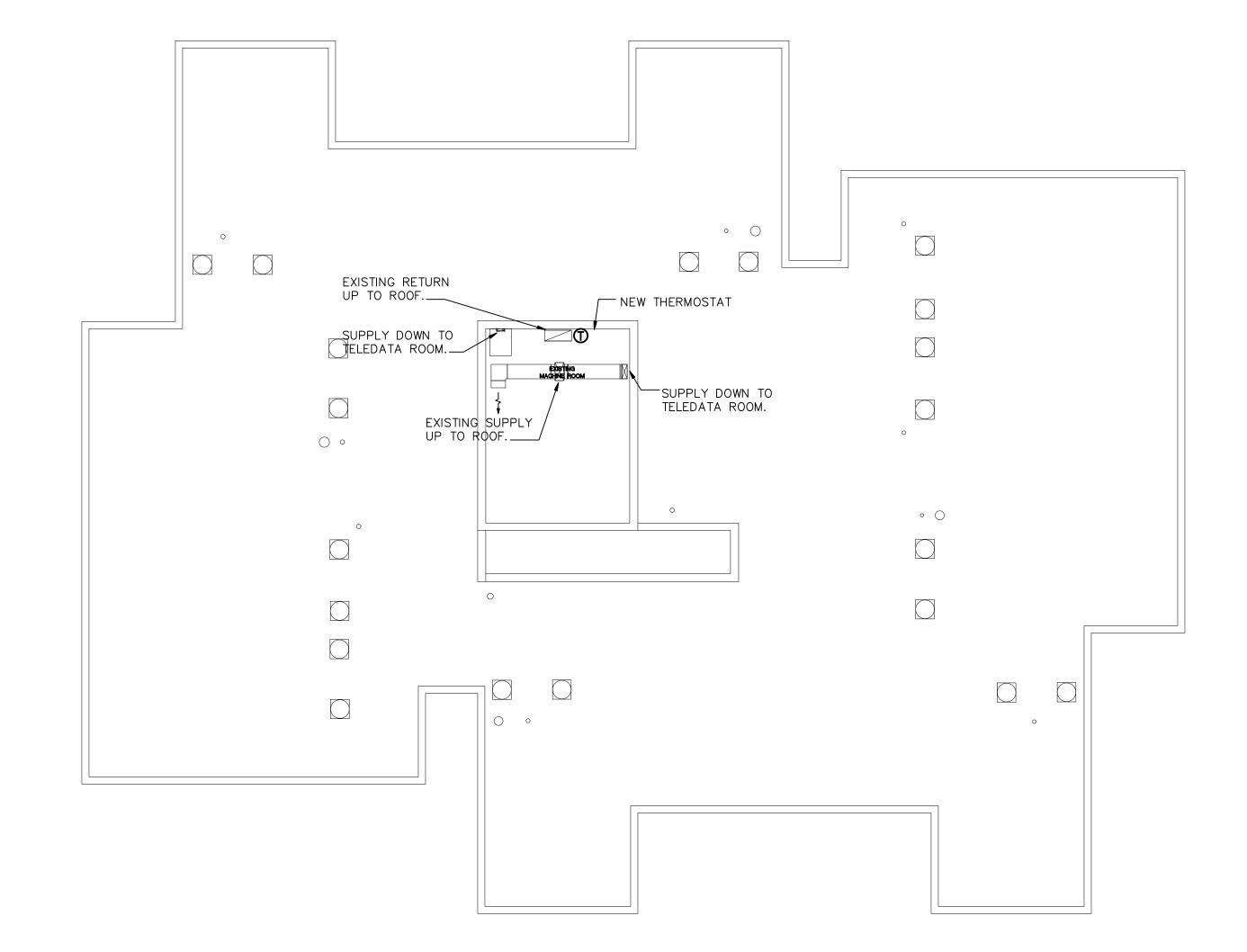
INSTALLATION OF NEW RTU. 2. REMOVE EXISTING THERMOSTAT IN ELEVATOR MACHINE ROOM.

5. PROVIDE UNIT WITH 110V CONVENIENCE RECEPTACLE AND NON-FUSED DISCONNECT SWITCH.



ROOF HVAC PLAN KEYNOTES:

1. NEW RTU-1 TO BE INSTALLED ON EXISTING CURB. TRANSITION CURB TO BE PROVIDED BY CONTRACTOR AS REQUIRED.



ELEVATOR MACHINE ROOM HVAC PLAN

SCHEDULE OF ROOFTOP UNIT																	
SYMBOL	MANUFACTURER	MODEL	NET COOLING CAP (MBh)		HEATING	CFM		CLG. WB	CLG. DB		SUPPLY	FRPM	T.S.P.	E.S.P.	ELECTRICAL	MCA	REMARKS
			SENSIBLE	TOTAL	CAPACITY (kW)		E.A.T.		L.A.T.	L.A.T.	MOTOR H.P.		(IN H₂O)	(IN H₂O)	CHARACTERISTICS	WICA	NEWANNS
RTU-1	TRANE	TSC048G3E0A	38.1	48.2	4.5 kW	1,600	80	67	58	57	1	1181	1.0	0.75	208/3	26	ALL
2. CONTRA 3. PROVIDE	E UNIT WITH PROG ACTOR TO PROVIDE E UNIT WITH MERV E UNIT WITH 4.5 k	TRANSITION C 8 FILTERS AN	URB FOR UNIT D HAIL GUARD	, THIS MUST		A SHOP D	RAWING	SUBMI	TTAL.								

ALTERNATE #1 CONTRACTOR SHALL PROVIDE AN ALTERNATE PRICE FOR ALL WORK ASSOCIATED WITH THIS SHEET AND RELATED SPECIFICATIONS.



Revisions

No. Date Description

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WILDWOOD HOUSING AUTHORITY SANDMAN TOWERS **ELEVATOR**

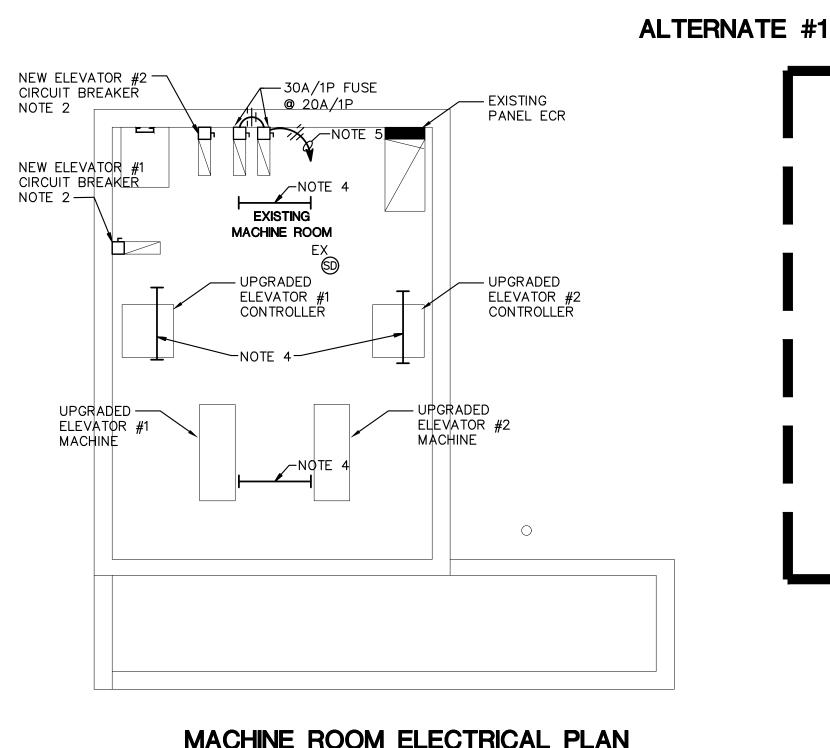
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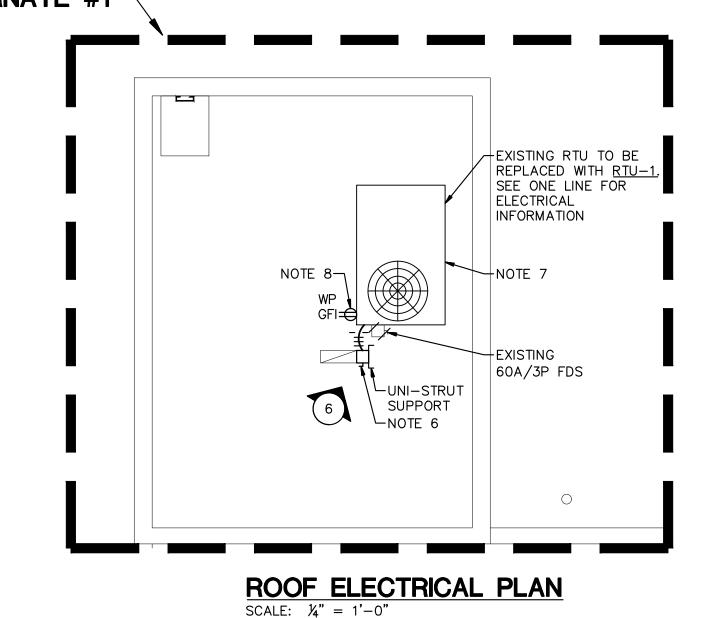
MODERNIZATION

ALTERNATE #1 - HVAC LEGEND, SCHEDULES, DETAILS, DEMO, AND NEW PLÁN

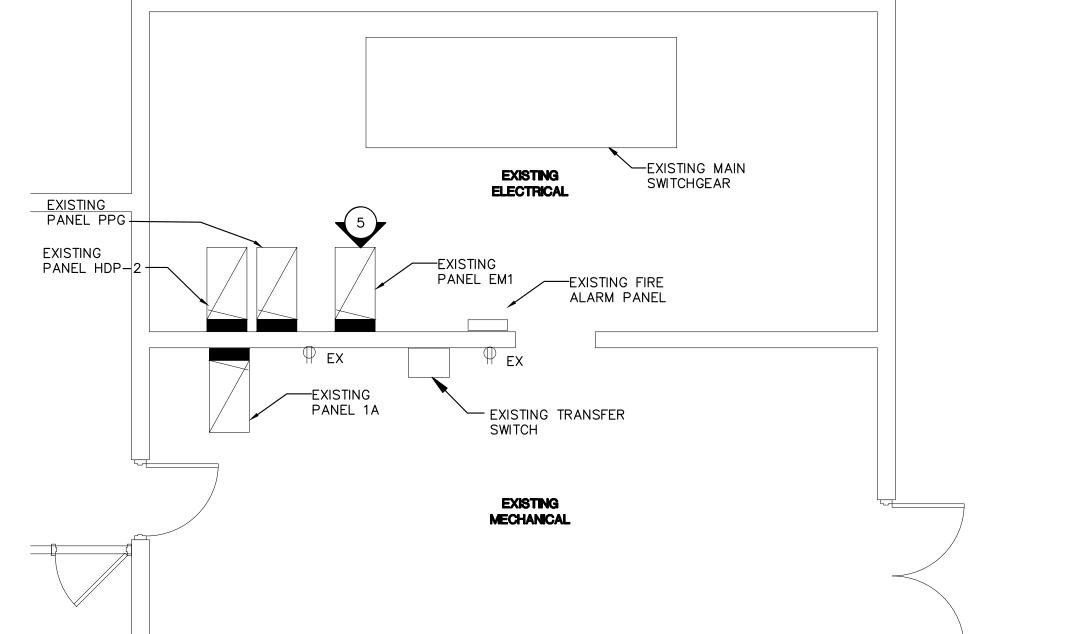
AS NOTED

06/30/20



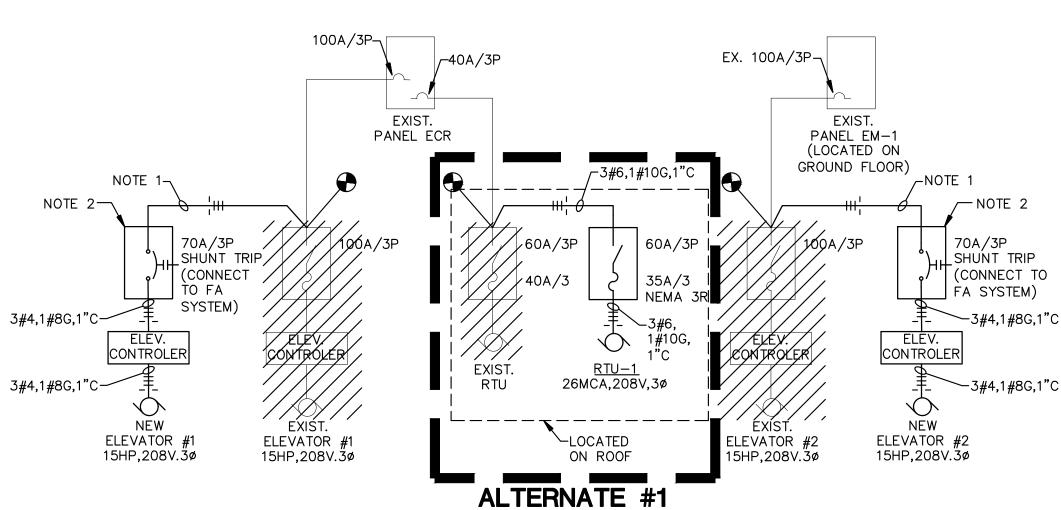


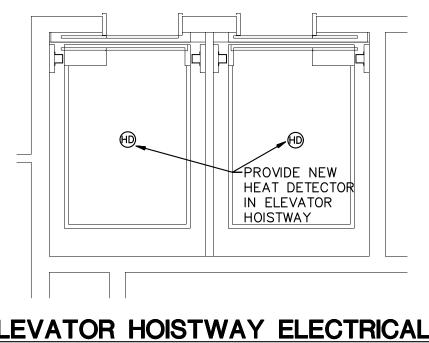
MACHINE ROOM ELECTRICAL PLAN



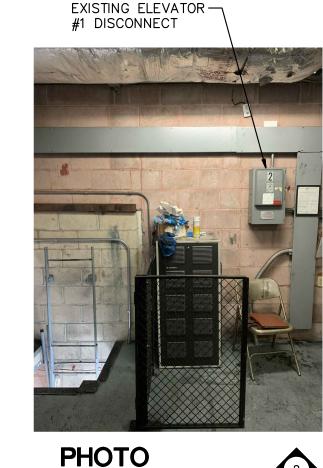
MACHINE ROOM ELECTRICAL REMOVAL PLAN

ELECTRICAL/MECHANICAL ROOM ELECTRICAL PLAN





ELEVATOR HOISTWAY ELECTRICAL PLAN









ELECTRICAL LEGEND

DESCRIPTION <u>SYMBOL</u>

SURFACE MOUNTED PANELBOARD. DASH LINE INDICATES N.E.C. CLEARANCE.

FUSIBLE DISCONNECT SWITCH. MOUNT 4'-6" A.F.F. TO CENTER, UNLESS NOTED OTHERWISE. DASH LINE INDICATES N.E.C. CLEARANCE.

CONDUCTORS —7 NEUTRAL-GROUND -

CIRCUIT. CROSSBARS INDICATE NUMBER OF CONDUCTORS REQUIRED. CONDUIT NOT SIZED IS 3/4" INCH. CONDUCTORS NOT SIZED ARE NO. 12.

HOMERUN TO PANELBOARD INDICATED. NUMBER OF ARROWHEADS

CEILING OUTLET AND LIGHTING FIXTURE AS NOTED.

INDICATES NUMBER OF CIRCUITS.

WALL OUTLET WITH 20A, 125V DUPLEX RECEPTACLE. GFI INDICATED GROUND FAULT INTERRUPTER. WP INDICATED WEATHER IN-USE ENCLOSURE.

WALL OUTLET WITH 20A, 125V. SINGLE POLE SWITCH.

INDICATES EXISTING.

FIRE ALARM SMOKE DETECTOR.

FIRE ALARM HEAT DETECTOR.

ELECTRICAL REMOVAL NOTES:

- THE REMOVAL PLAN DRAWINGS SHALL SERVE TO AID THE CONTRACTOR IN HIS EVALUATION OF THE EXTENT OF REMOVALS, BUT SHALL NOT BE HELD TO BE ALL INCLUSIVE.
- B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE BUILDING AND SITE TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS, VERIFY SIZE, LOCATION, AND USAGE OF UTILITIES AND EQUIPMENT PRIOR TO REMOVAL.
- C. FOR FURTHER INFORMATION WITH REGARD TO THE EXTENT OF REMOVALS, SEE NEW CONSTRUCTION PLANS AND ARCHITECTURAL PLANS WHICH ILLUSTRATE THE NEW CONSTRUCTION.
- E. PATCH ALL OPENINGS IN WALLS, FLOORS, AND CEILINGS WHERE REMOVAL OF EQUIPMENT OR DEVICES CREATES SUCH OPENINGS. PATCH OPENINGS TO MATCH EXISTING.
- F. IF PORTIONS OF CIRCUITS SERVING EQUIPMENT TO REMAIN MUST BE RELOCATED OR REMOVED DUE TO OTHER REMOVAL OR DUE TO INTERFERENCE WITH NEW EQUIPMENT INSTALLATION, THE CIRCUITS SHALL BE MODIFIED IN SUCH A MANNER WHICH WILL ENSURE THE PROPER OPERATION OF THE EQUIPMENT AFTER CONSTRUCTION IS COMPLETE. USE THE SAME TYPE OF CONDUCTOR AND SAME CONDUIT SIZE AS EXISTING TO MAKE ALL REQUIRED MODIFICATIONS.
- G. IF WALLS, CEILINGS, FLOORS, OR EQUIPMENT ARE REMOVED, OR OTHER REMOVAL OCCURS, WHICH EXPOSES CIRCUITS TO REMAIN. THE CIRCUITS SHALL BE RELOCATED OR MODIFIED IN SUCH A MANNER WHICH SHALL ENSURE CONTINUED OPERATION OF THE CIRCUIT. EXISTING CONDUITS EXPOSED DURING REMOVALS WHICH REMAIN TO SERVE EQUIPMENT, SHALL BE RESUPPORTED IN ACCORDANCE WITH THE REQUIREMENTS FOR RACEWAY INSTALLATION IN THE SPECIFICATIONS.
- H. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REMOVALS REQUIRED FOR THE INSTALLATION OF NEW WORK, WHETHER OR NOT IT IS SPECIFICALLY INDICATED OR NOTED IN THESE DOCUMENTS.
- I. ALL EQUIPMENT INDICATED AS CROSS HATCHED, OR NOTED, SHALL BE DISCONNECTED AND REMOVED.
- J. ALL CONDUIT RUNS TO REMOVED EQUIPMENT OR DEVICES SHALL BE COMPLETELY REMOVED BACK TO SOURCE INCLUDING ALL HANGERS, BEAM CLAMPS, MISCELLANEOUS SUPPORTS, AND WIRING, UNLESS WIRING IS REQUIRED TO SERVE EXISTING EQUIPMENT TO REMAIN.
- K. ALL WIRING DEVICES TO BE REMOVED SHALL BE REMOVED COMPLETELY INCLUDING OUTLET BOX.
- L. ALL DEVICES, FIXTURES, EQUIPMENT, AND MATERIAL DETERMINED BY THE OWNER TO BE SALVAGEABLE SHALL REMAIN THE PROPERTY OF THE OWNER AND STORED AT THE LOCATION ON THE PREMISES DESIGNATED BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL OTHER ELECTRICAL EQUIPMENT WHICH IS DISCONNECTED AND REMOVED DURING DEMOLITION, UNLESS NOTED OTHERWISE.
- M. REMOVE ALL ABANDONED ELECTRICAL EQUIPMENT, WIRING & CONDUIT WITHIN PROJECT AREA.
- N. PROVIDE ALL TEMPORARY EGRESS EXIT LIGHTING FIXTURES AS REQUIRED DURING CONSTRUCTION.
- O. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING & REPLACING ACOUSTICAL LAY-IN CEILING FOR ROUTING OF CIRCUITS, UNLESS SPECIFICALLY NOTED OTHERWISE OR SHOWN ON ARCHITECTURAL DRAWINGS. ALL DAMAGED TILE SHALL BE REPLACED WITH NEW TILE TO MATCH EXISTING.
- P. COORDINATE CONDUIT ROUTING TO AVOID CONFLICTS WITH EQUIPMENT AND EQUIPMENT CLEARANCES.
- Q. SEAL AROUND ALL NEW AND EXISTING PENETRATIONS THROUGH RATED WALLS WITH FIRE STOPPING.

GENERAL NOTES:

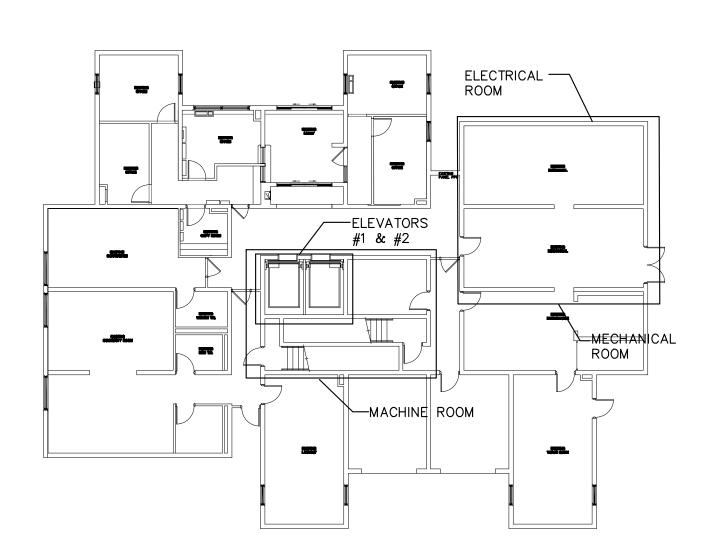
- PROVIDE ALARM INITIATING SIGNAL WIRING FROM MACHINE ROOM CONNECTION POINT TO THE NEW ELEVATOR CONTROL TERMINALS PER MANUFACTURER'S SPECIFICATION. COORDINATE WITH ELEVATOR CONTRACTOR.
- BB. SMOKE DETECTOR LOCATED IN MACHINE ROOM SHALL PROVIDE A SIGNAL FOR GENERAL ALARM AS WELL AS A DISCRETE SIGNAL FOR PHASE 2 FIREFIGHTERS OPERATION, ALSO KNOWN AS THE "FLASHING HAT".

NOTES:

- 1. DISCONNECT CIRCUIT TO ALLOW FOR REMOVAL OF THE EXISTING DISCONNECT SWITCH. EXTEND CIRCUIT TO SHUNT TRIP CIRCUIT BREAKER AS NEEDED USING SAME GAUGE/TYPE WIRE AND CONDUIT AS EXISTING.
- 2. CONTRACTOR SHALL REPLACE EXISTING DISCONNECT SWITCH WITH SHUNT TRIP BREAKER. ACTIVATION OF SMOKE/HEAT DETECTOR IN MACHINE ROOM OR ELEVATOR HOISTWAY SHALL SHUT OFF POWER TO ELEVATORS. PROVIDE ALL RÉQUIRED WIRING/CONDUIT AND PROGRAMMING.
- 3. REMOVE EXISTING LIGHTS IN SUCH A MANNER THAT THEY MAY BE REPLACED AND EXISTING CIRCUIT MAY BE REUSED TO SERVE NEW LIGHTS.
- 4. PROVIDE LITHONIA MODEL #ZL2N-L48-5000L-MDD-35K-80CRI-WH. CONNECT LIGHT TO EXISTING LIGHTING CIRCUIT
- SERVING ROOM. MODIFY/EXTEND CIRCUIT AS NEEDED USING SAME GAUGE/TYPE WIRING AND CONDUIT AS EXISTING. 5. PROVIDE DISCONNECTS FOR ELEVATOR CAB LIGHTS PER MANUFACTURER SPECIFICATION. RUN 2#10,1#10G,1"C TO EXISTING PANEL ECR IN GROUND FLOOR ELECTRICAL ROOM. UTILIZE EXISTING CIRCUIT BREAKER.
- ROVIDE 60A/3P FUSIBLE DISCONNECT SWITCH FUSED AT 35A/3 NEMA 3R TYPE TO SERVE REPLACEMENT ROOF TOP UNIT. NEW DISCONNECT SWITCH SHALL BE MOUNTED ON NEW ÚNI-STRUT SUPPORT TO PROVIDE 36" WORKING CLEARANCE IN FRONT OF SWITCH. CONTRACTOR SHALL PROVIDE UNI-STRUT SUPPORT WITH CROSS BRACING. COORDINATE WORK WITH
- REMOVE EXISTING LIGHTING PROTECTION SYSTEM FROM ROOF TOP UNIT TO ALLOW FOR REPLACEMENT OF UNIT. REINSTALL LIGHTING PROTECTION SYSTEM ON NEW UNIT.
- PROVIDE NEW WEATHERPROOF CONVENIENCE OUTLET TO REPLACE EXISTING. UTILIZE EXISTING CIRCUIT TO SERVE OUTLET. MODIFY/EXTEND CIRCUIT AS NEEDED USING SAME TYPE AND GAUGE WIRING AND CONDUIT AS EXISTING.

ALTERNATE #1

ARCHITECT TO SUPPORT UNI-STRUT FROM ROOF AND PATCH ROOF AS REQUIRED.



KEYPLAN



Revisions

No. Date

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WILDWOOD HOUSING **AUTHORITY** SANDMAN TOWERS

ELEVATOR MODERNIZATION

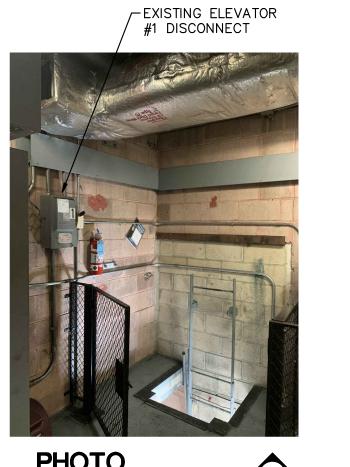
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ELECTRICAL LEGEND, ONE LINE, DEMO, AND NEW PLAN

06/30/20

PARTIAL ONE-LINE DIAGRAM

CONTRACTOR SHALL PROVIDE AN ALTERNATE PRICE FOR ALL WORK ASSOCIATED WITH THIS SHEET AND RELATED SPECIFICATIONS.

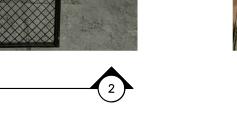




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