



STREET VIEW LOOKING SOUTH

PROJECT DESCRIPTION

**Vision**  
As the American Legion celebrates its 100<sup>th</sup> year of serving veterans, this unique mixed-use transit-oriented development is an opportunity to create a new home for American Legion Post 105 that has been serving veterans at this site since the 1960s. The project extends Post 105's presence with a new facility and enhances their vision to serve the community, by providing a mix of affordable homes and services for veterans, as well as transit-oriented housing within close walking distance to the downtown Caltrain Station and the El Camino Real transit corridor.

**Program**  
The 1.6 acre site is located just outside the Downtown Precise Plan Area, while it is anticipated to be included within and expansion of the Downtown Plan area. The American Legion's historical use of the site combined with the site's location and size, presents a unique opportunity for a transit-oriented development that benefits both the community at large and local veterans. At the same time, it is an infill development, which must be carefully designed in a manner that respects the surrounding neighborhoods. This mixed-use project is comprised of two major components – a new American Legion facility and new apartment homes. The latter component will include a substantial percentage of affordable units, 22.6% of the total units, designed and designated for Veterans preference. The Veterans preference residential units will be offered to qualified Veterans first, and only offered to the general (income qualified) public if the units do not fill up with Vets. Additional project details are as follows:

- American Legion Facility:
  - The project consists of approximately 11,275 s.f. of space for the American Legion including a 3,600 s.f. event space, a commercial kitchen, and a replacement of the current bar cocktail lounge - all for gatherings and events which take place within the existing facility. This space will also be a modern community hall, which can be reserved for City or community events.
- The American Legion space will include a service area to support veterans, and administration office space for the Post 105 operations. Garage level one will accommodate approximately 83 parking spaces for use by the American Legion members and patrons. Additional 7 spaces on the second floor will be also designated for American Legion staff use.
- Allowing the convenience of the Veteran preference units to be in direct proximity to the Post 105 facilities and amenities and the Veteran's Services Office, the north side of the development includes the Veterans housing entrance. 68 affordable veterans homes are proposed, ranging from micro-studios and studios to one-bedroom apartments. The 68 affordable units represent approximately 22.6% of the units proposed (at "very low" and "low income" levels), which exceeds the City's affordability requirements.
- The affordable veterans housing has its management and services facilities as well as common facilities for gatherings and parties, classes and exercising and laundry room, as well as sharing the rest of the building's facilities. The community space opens up to the well landscaped and activity focused courtyard, above the parking podium, which is shared with the rental housing.
- The project also includes 232 market-rate, transit-oriented apartment homes. The market rate units help to realize and financially support the affordable units. The market rate units have similar sizes to the veterans' homes, ranging from micro-studios, studios and embedded one-bedroom units to full one-bedroom and some two-bedroom apartments. These small apartments are envisioned to provide more affordable living by design, creating housing close to transit and downtown and serving residents who have chosen urban, car-light living, with focused essential amenities, taking advantage of Redwood City's downtown proximity.
- In addition to parking spaces for the American Legion Post 105 at garage levels one and two, the development also has 160 residential parking spaces combined in the subgrade garage level and the second garage level (two), as well as 8 motorcycle parking spaces. Taking advantage of this transit rich location and understanding the limited vehicle ownership of the veteran residents, the proposed parking ratios for the residential units are consistent with the State Law for projects providing at least 20% low income level affordable units and located within half a mile of major transit station. Within the subgrade level there is also secure storage for 96 bicycles, with more storage space available if further bike parking is needed.

**Design**  
The design of this mixed-use building reflects the major program elements while also incorporating the design principles of the City's Downtown Precise Plan. The building façade is organized traditionally with a base, middle and top which is highlighted by corner tower elements. Contemporary features are reflected at the two residential entries, for the veteran's homes and technology-savvy residents. The site plan and building plan emphasize the El Camino Real Street frontage providing two level lobby storefront and visual interest along the streetscape. The primary entries for the American Legion and housing are each along the El Camino Real. There are two points of access and egress from the garage. The circulation is provided via a driveway, circling the entire site and allowing for Fire Department access.



VICINITY MAP

The building encloses a large courtyard which allows for multiple groups to use the space at the same time. Three separate community room spaces extend into the courtyard and then a 4<sup>th</sup> large central space defined by trellises and seating and landscape. The landscape is designed to create a calming space while allowing activities and group events, as well as privacy. Many of the large perimeter planters will also be designed for stormwater management. The veterans housing share the community room and courtyard space, but we have also provided the veteran's preference affordable component its own community room and courtyard space and allows the veterans to have a place of their own. The building design is anchored by the American Legion facility, serving as an active commercial presence along the El Camino Real. The building has a two-story base with masonry material with a solid a pattern of columns and storefronts creating a traditional rhythm along the El Camino Real. The base reflects the two story American Legion space, It is envisioned as a stone veneer facade providing the character and strength of the American Legion Post 105; while providing a strong base on which the building can rest. The façade is punctuated by the American Legion's main address entry flanked by the American and Post 105 flags. The Northern entry lobby is the primary access and the address of the veterans housing. In close proximity to the Post 105, this glassy, sun-filled lobby provides identity for the veteran's home and contrast to the American Legion's solid stone base. Similarly, the Southern entry mirrors the veterans housing providing identity for the market rate apartments and integrating with the American Legion and veteran's homes. In the end each entrance may be used by any resident, while providing an identity for the veterans.

- Base:  
The building's base reflects the two levels of the American Legion and lobby spaces along the El Camino Real. The building's third level reflects the three stories of concrete construction providing a step back and roofed patios emphasizing the residential use along the ECR.
- Middle:  
The middle portion of the façade settles down the building with a series of vertically proportioned patterns window patterns, highlighting the elevation. This restrained middle portion serves as a base for the top of the building and introduces a change in material or color to highlight the upper two floors and to create a light but strong top to the building, accented by sunshades and parapet coping. The corners are emphasized by the vertical tower elements with roof-top decks accessed from the top residential floor, which act as supports and "bookend" the façade pronouncing the views coming from both the north and south along the El Camino Real. The two tower corner elements anchor each end of the El Camino Real facade, providing a strong landmark to the building, whether heading from the South or North along the El Camino Real. The corner towers are viewed as corner elements with large corner windows as residents will look up and down the ECR and the building is viewed at an angle, from along the boulevard not in elevation. The glassy entry lobbies of the veterans and market rate housing provides visual contrast to the American Legion space, adding transparency and contemporary elements which reflect the residents, and accentuates the activity along the street, while the top of the towers are capped with a heavier parapet cap providing a shadow and more traditional silhouette.
- Top:  
The top two floors of the building have either a change in material or color, providing a lightness and warm appearance while respecting and reinforcing the facade's organization and "top" element which is then capped by sunshades and a strong parapet cap to provide that continuity in the roof's silhouette.

**Summary**  
The project's diverse blend of uses provides extensive community benefits by supporting the replacement of the American Legion facility, creating affordable housing for veterans and transit-oriented housing which is affordable by design. The new American Legion Post 105 will support a variety of community-based organizations and the wider community, providing meeting and event space. This project contributes 68 affordable units of much needed Veterans preference housing, as well as services for this important and highly respected group of individuals in the San Mateo County community. It also creates additional transit-oriented housing for the wider community, within walking distance of Caltrain, the ECR transit corridor and Downtown Redwood City.

This unique development is a great addition and a reflection of the past, present and future of Redwood City.

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PROJECT DIRECTORY

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REDWOOD CITY STATION: MULTI-FAMILY / VETERAN'S AFFORDABLE HOUSING | COVER SHEET

REDWOOD CITY, CALIFORNIA | 05/13/2021 | REPUBLIC METROPOLITAN



A0.00

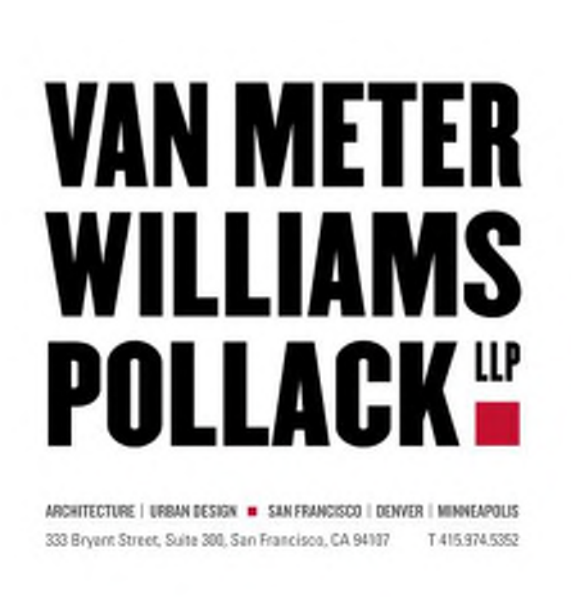
PLANNING INFORMATION & ZONING SUMMARY		
APPLICABLE CODES & REGULATIONS:	Redwood City Zoning Code - Downtown Precise Plan Redwood City General Plan California Building Code 2019 Cal Green 2019	
EXISTING ZONING / ANTICIPATED ZONING	Existing: ECR-MUC	Anticipated Zoning: MIXED USE - DOWNTOWN (Under the General Plan) DOWNTOWN GENERAL 8-story height limit (Under the DTPP) P - PLANNED COMMUNITY (Under the Zoning)
LOT AREA	1.65 ACRES (72,041 SF)	
MARKET RATE RENTAL UNITS:	PROPOSED	
	Studio	101
	1 Bedroom	104
	2 Bedroom	27
	<b>Total Market Rate:</b>	<b>232</b>
AFFORDABLE HOUSING (Per Zoning Code Section 29.4.A.1)	REQUIRED	PROPOSED
	5% Very Low Income	15
	5% Low Income	15
	10% Moderate Income	38
	20% Affordable Housing	<b>60 units</b> (35 studios + 33 one bedroom units)
		<b>23% of 300</b>
<b>TOTAL RESIDENTIAL UNITS</b>	<b>300 units</b>	
<b>ZONING REGULATIONS PER DTPP</b>	ALLOWED	PROPOSED
USES per DPTT Section 2.2.	Civic General Residential Active Uses: Entertainment	American Legion Event Assembly Space Affordable and Market Rate Housing American Legion Bar
MAXIMUM DENSITY (DU/AC)	No Density Limit Form Based Code	182 DU/AC
MAXIMUM FLOOR AREA RATIO	1.0 FAR Commercial No Residential FAR	5.21 FAR
FRONTAGE COVERAGE: Boulevard (per DPTT Section 2.5)	75% min.	79%
MAXIMUM STORIES / HEIGHT Per DTPP Bldg. Height & Disposition Chart: 8 Story Zone	8 Floors / 92 ft.	8 Floors / 90 ft.
MINIMUM SETBACKS Per DTPP Section 2.5 Landscaping and Building Placement Chart: Boulevard	Front: 0' / 10'; Side: 0' / 10'; Rear: 0'	Front: 5'; Side: 26'; Rear: 26'
SIDEWALK WIDTH per DPTT Section 2.4.3. (El Camino Real / Boulevard)	Required: 10' min. planting strip + 6' min. sidewalk = 16'	(E) Sidewalk Width: 6'-9"; 5' setback (to allow 5'x5' tree well) + 6'-6" sidewalk (including tree well) = 11'-6"
USABLE OPEN SPACE	None required per DPTT	6,050 sq. ft. courtyard
<b>RESIDENTIAL VEHICULAR PARKING</b>	REQUIRED	PROPOSED
		Subgrade Parking: <b>83</b> (includes 4 accessible, 2 EV accessible & 7 compact spaces) 2nd Floor Parking: <b>84</b> (includes 4 accessible, 2 EV accessible & 8 compact spaces) <b>Total: 167</b> Unbundled Parking per DTPP 2.6.2.A.2.a
<b>Resident Parking</b> 0.5 Space per Unit per Assembly Bill 2345, Ammended Government Code Section 65915 (p)(2)(A)	150	
<b>Guest/Visitor Parking</b>	0	0
<b>Accessible Spaces</b> (Per CBC 2019 Table 11B-208.2)	4 (3 accessible, 1 van accessible)	Subgrade Parking: 4 (3 accessible, 1 van accessible) 2nd Floor Parking: 4 (3 accessible, 1 van accessible)
<b>EV Ready Spaces</b> (10% per Redwood City Code Sec. 9.259 - Section 4.106.4.2 of Cal Green Amended)	16 (10% of dwelling unit with parking spaces shall have Level 2 EV Ready)	Subgrade Parking: 8 (includes 1 accessible, 1 van accessible) 2nd Level Parking: 8 (includes 1 accessible, 1 van accessible)
<b>COMMERCIAL VEHICULAR PARKING</b>	REQUIRED	PROPOSED
<b>DTPP Parking Regulation Chart (Parking Zone 2)</b> 6/6 per 1,000 s.f.	83	<b>83</b> (includes 6 visitor spaces & 5 compact spaces)
<b>Accessible Spaces</b> (Per CBC 2019 Table 11B-208.2)	4	4 (3 accessible, 1 van accessible)
<b>Clean Air Vehicle Spaces</b> (Per Cal Green Table 5.106.5.2)	8	8 (Per GalGreen 5.106.5.2 EV Ready Spaces are allowed to be counted as Clean Air Vehicle Spaces)
<b>EV Ready Spaces</b> (Per Cal Green Table 5.106.5.3.3 & Redwood City Code Sec. 9.261 - Section 5.106.5.3 of Cal Green Amended )	10 (Includes 5 spaces Level 2 EVCS & 5 spaces Level 1 EV Ready)	5 EVCS + 5 EV Ready (includes 1 accessible & 1 van accessible, which are in addition to the accessible spaces required by CBC Section 11B)
<b>TOTAL VEHICULAR PARKING:</b>	REQUIRED	PROPOSED
	<b>233</b>	<b>250</b>
<b>BICYCLE PARKING</b>	REQUIRED	PROPOSED
	33 (1 per each 5 residential automobile spaces provided)	154 located at (2) secure bike storage rooms
SHELTERED/SECURED BICYCLE SPACES Per DTPP 2.6.2. Parking Provisions (D)		
EXTERIOR BIKE RACKS Per Cal Green Section 5.106.4.1.1	1 5% of visitor parking spaces	3
<b>MOTORCYCLE PARKING</b>	REQUIRED	PROPOSED
5% of required vehicular spaces (4'x6' space per Zoning Code Section 30.6.E)	8 (5% of 150)	8
<b>ACCESS DRIVE</b>	REQUIRED	PROPOSED
Minimum drive aisle for 90 degree parking per DTPP Guidelines 2.6.3.B.2.d	24 feet	24 feet / 25 feet
Minimum unobstructed width (per Zoning Section 30.9.A)	20 feet	20 feet; 26 feet clear for FD
Minimum unobstructed Fire Department Access	26 feet	26 feet
PROPOSED CONCESSIONS & INCENTIVES:		
- Providing 20 compact parking spaces (8'-6" x 16'-0") - Reduced public frontage width - 5' Stepback at building top as requested by the Redwood City Fire Department - The corner elements do not meet the facade base articulation element standard, so as to provide a greater vertical proportion - Building base cap location above 1st and 2nd floor & 24" height - Driveways less than 5' away from adjoining properties due to existing conditions & constraints		

FLOOR	MARKET RATE RENTAL									
	NUMBER OF RESIDENTIAL UNITS						RESIDENTIAL CONDITIONED SPACES			
	MICRO 301-394 net sq.ft.	STUDIO 433 net sq.ft.	1BD EMBEDDED 529-560 net sq.ft.	1BD 703-841 net sq.ft.	2BD 918-1,046 net sq.ft.	SUBTOTAL	RESIDENTIAL NET SQ. FT.	CIRCULATION UTILITY & STORAGE SQ. FT.	AMENITY NET SQ. FT.	SUBTOTAL GROSS SQ. FT.
8TH FLOOR	7	10	9	6	5	37	21,690	6,232	910	29,207
7TH FLOOR	7	10	9	6	6	38	20,661	6,232	-	29,927
6TH FLOOR	7	10	9	10	4	40	22,180	6,232	-	31,094
5TH FLOOR	7	10	9	10	4	40	22,180	6,232	-	31,094
4TH FLOOR	7	10	9	10	4	40	22,180	6,232	343	31,504
3RD FLOOR	6	10	7	10	4	37	20,648	6,257	2,070	31,860
2ND FLOOR	-	-	-	-	-	-	-	3,328	145	3,473
1ST FLOOR	-	-	-	-	-	-	-	5,232	-	5,232
SUBGRADE	-	-	-	-	-	-	-	11,451	-	11,451
SUBTOTALS	41	60	52	52	27	232	129,539	57,428	3,468	204,842

FLOOR	VETERANS AFFORDABLE									AMERICAN LEGION	PARKING		COURTYARD/ ROOF DECKS*	TOTAL AREA PER FLOOR
	NUMBER OF RESIDENTIAL UNITS					RESIDENTIAL CONDITIONED SPACES				GROSS SQ. FT.	PARKING SPACES	PARKING GROSS SQ. FT.	GROSS SQ. FT.	GROSS SQ. FT.
	MICRO 262-320 net sq. ft.	STUDIO 358 net sq. ft.	1BD EMBEDDED 491 net sq. ft.	1BD 494-694 net sq. ft.	SUBTOTAL	RESIDENTIAL NET SQ. FT.	CIRCULATION UTILITY & STORAGE	COMMON/ MANAGEMENT	SUBTOTAL GROSS SQ. FT.					
8TH FLOOR	3	2	3	3	11	4,785	1,722	226	6,733				699	37,420
7TH FLOOR	3	2	3	4	12	5,374	1,722		7,096				-	38,235
6TH FLOOR	3	2	3	4	12	5,508	1,722		7,230				-	39,001
5TH FLOOR	3	2	3	4	12	5,508	1,722		7,230				-	39,001
4TH FLOOR	3	2	3	4	12	5,508	1,722		7,230				370	39,473
3RD FLOOR	3	1	1	4	9	4,059	1,959	1,381	7,399				9,527	39,699
2ND FLOOR	-	-	-	-	-	-	2,183	984	3,167	3,140	84	33,433	85	43,213
1ST FLOOR	-	-	-	-	-	-	2,654	506	3,160	8,028	83	31,663	-	48,083
SUBGRADE	-	-	-	-	-	-	2,075	-	2,075	2,275	83	33,037	-	48,838
SUBTOTALS	18	11	16	23	68	30,742	17,481	3,097	51,320	13,443	250	98,133	10,681	372,963

TOTAL UNITS:	300
TOTAL BLDG. AREA:	372,963

\* COURTYARD & ROOF DECKS ARE NOT INCLUDED IN TOTAL BUILDING AREA



- ☐ STRUCTURAL ENGINEER  
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45 FREMONT ST., 28TH FLOOR,  
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- ☐ CIVIL ENGINEER  
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255 SHORELINE DRIVE,  
SUITE 200,  
REDWOOD CITY, CA 94065
- ☐ LANDSCAPE ARCHITECT  
THE GUZZARDO  
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181 GREENWICH STREET,  
SAN FRANCISCO, CA 94111

Project:  
**REDWOOD  
CITY STATION:  
MULTI-FAMILY/  
VETERAN'S  
AFFORDABLE  
HOUSING**  
  
651 EL CAMINO REAL,  
REDWOOD CITY, CA 94061



BUILDING STATISTICS

JOB #1916  
SCALE:

A0.01



1. PROPERTY LINE WALL AND RESIDENTIAL DEVELOPMENT ADJACENT TO PROJECT SITE.



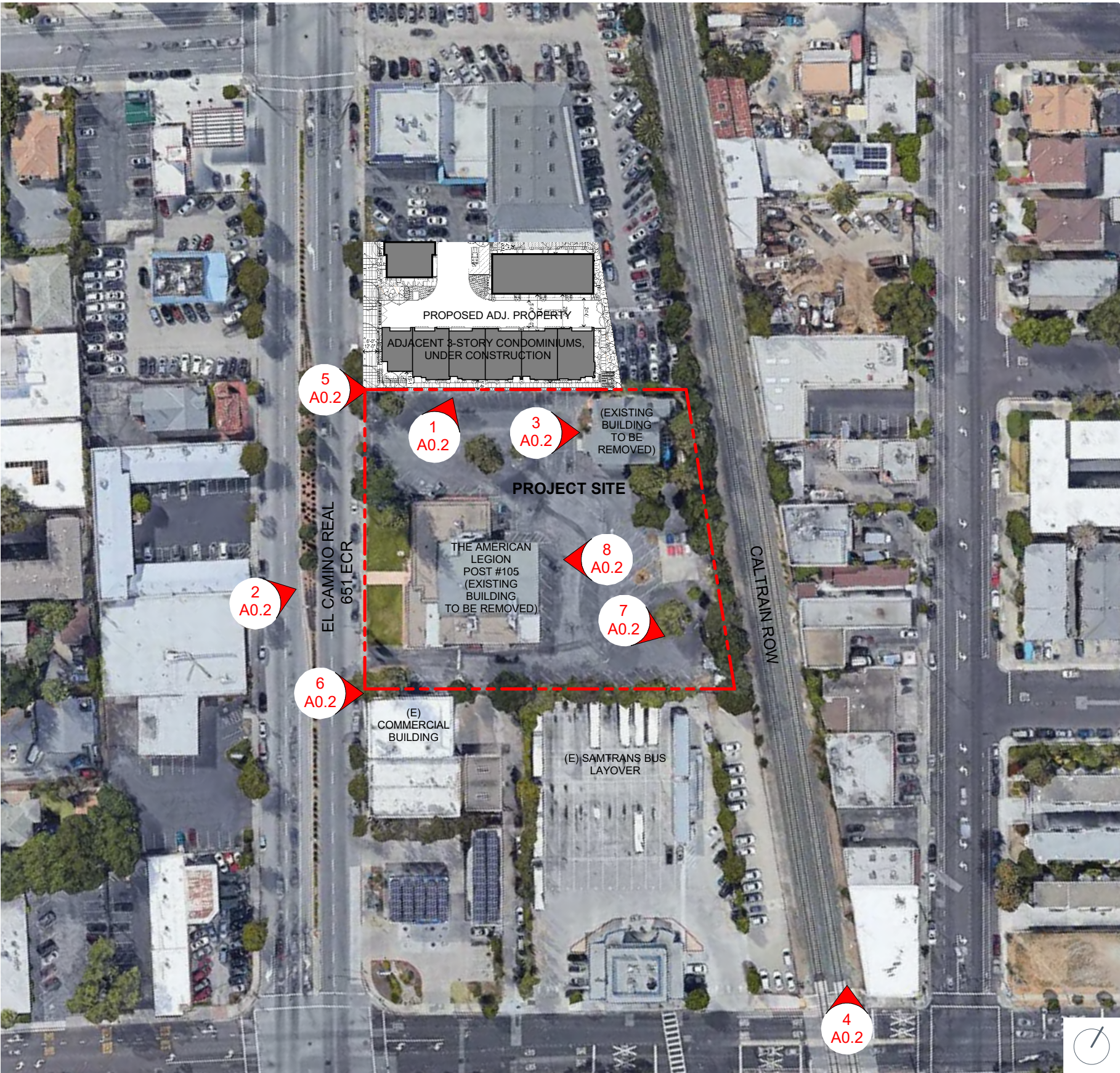
2. VIEW OF PROJECT SITE FROM ACROSS EL CAMINO REAL: EXISTING AMERICAN POST FACILITY



3. EXISTING BUILDING IN NORTH EAST CORNER OF THE SITE: SEE HISTORIC EVALUATION REPORT



4. VIEW AT THE INTERSECTION OF BREWSTER & CAL TRAIN R.O.W LOOKING WEST



PROJECT VICINITY MAP  
SCALE: 1" = 100'-0"



6. DRIVE ADJACENT TO EXISTING COMMERCIAL BUILDING.



7. VIEW OF ADJACENT PROPERTY SAM TRANS BUS STORAGE AND CALTRAIN ROW.



8. REAR OF THE EXISTING BUILDING.

- ☐ **STRUCTURAL ENGINEER**  
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- ☐ **CIVIL ENGINEER**  
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651 EL CAMINO REAL,  
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Client:



**ReMet**  
Republic Metropolitan  
**REPUBLIC  
METROPOLITAN**

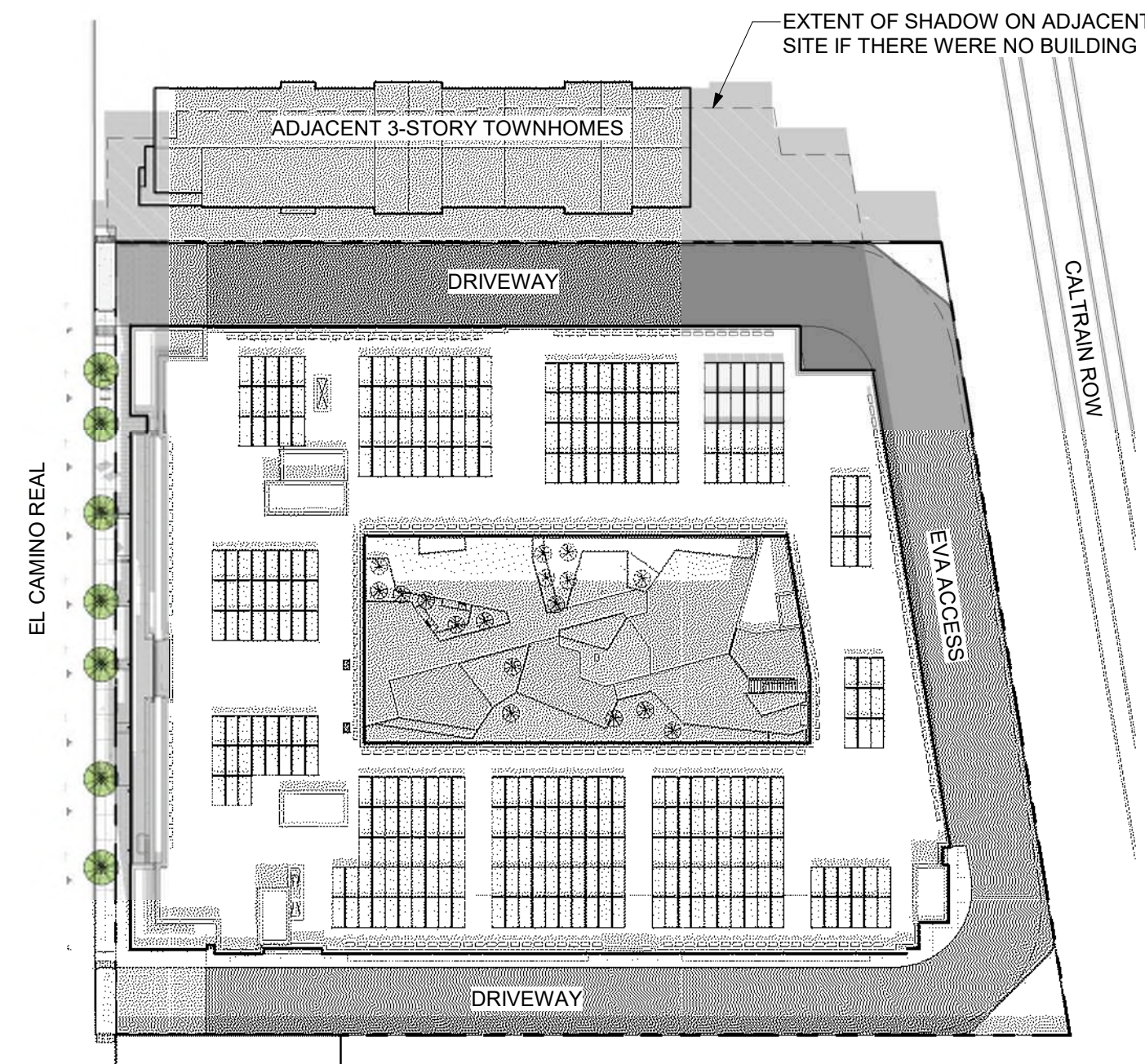
27 ROSS COMMON,  
ROSS, CA 94957  
T: 415.305.9313

**EXISTING  
CONDITIONS**

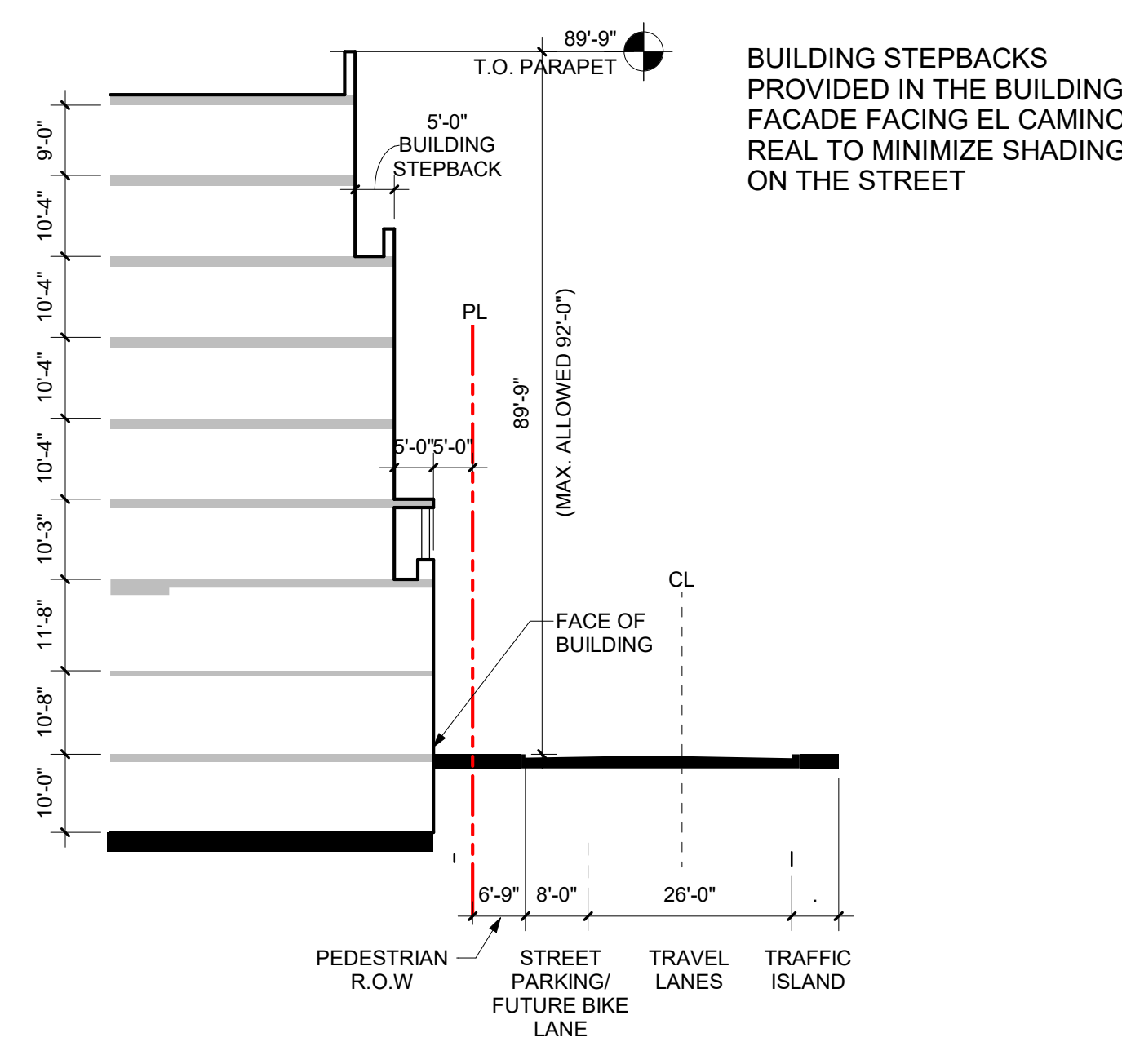
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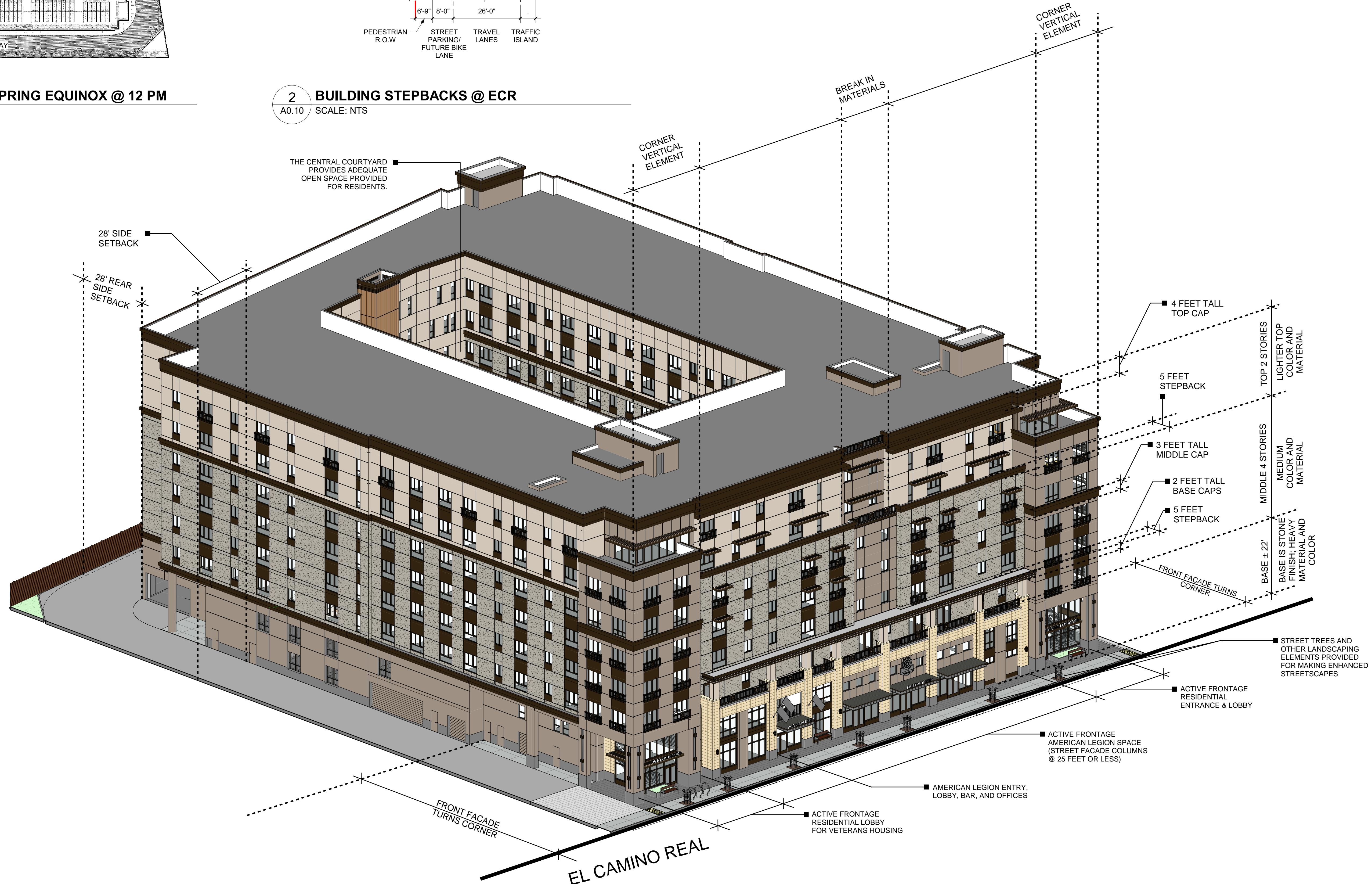
**A0.02**



3 SHADOW STUDY - SPRING EQUINOX @ 12 PM  
A0.10 SCALE: 1" = 50'-0"



2 BUILDING STEPBACKS @ ECR  
A0.10 SCALE: NTS



1 PLANNING DIAGRAM  
A0.10

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PLANNING DIAGRAM

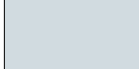




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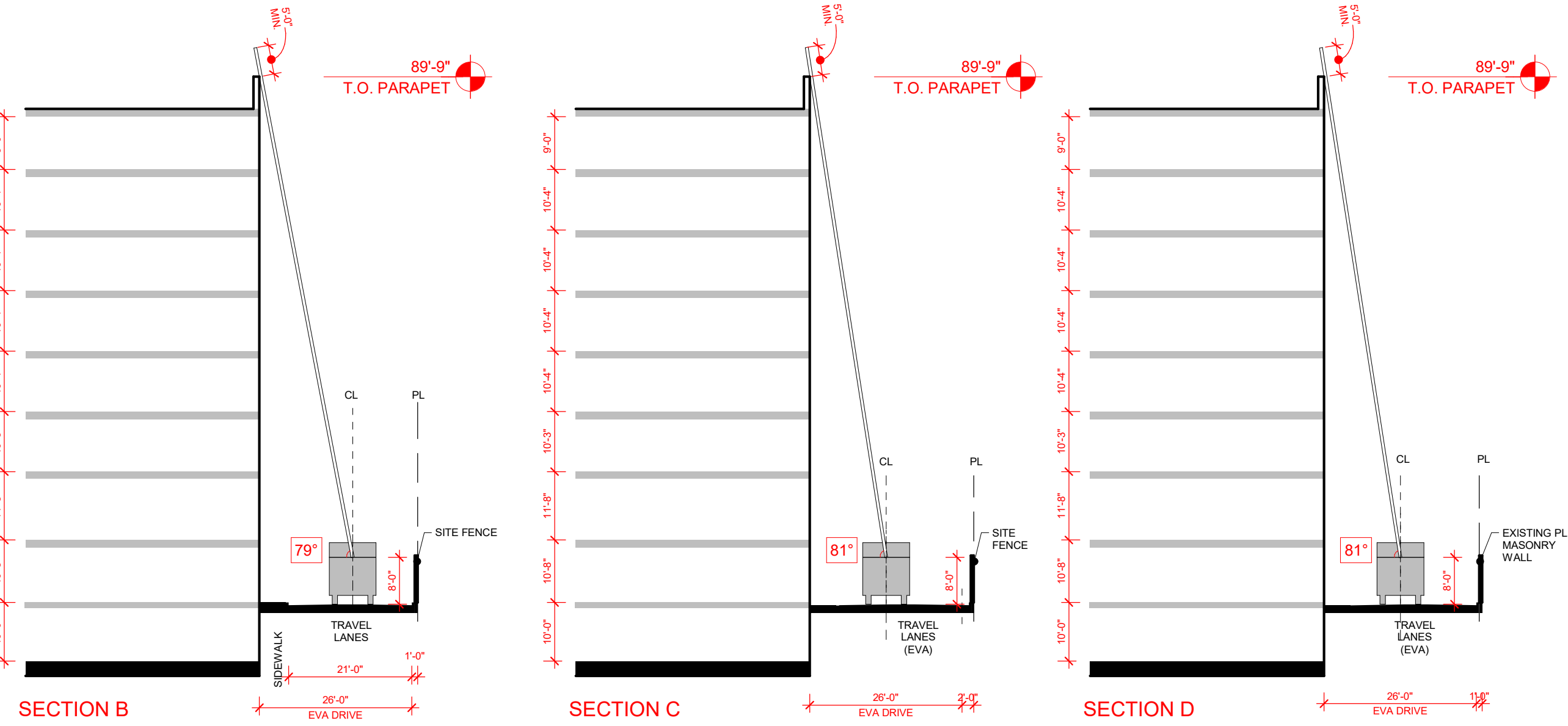
SCALEs indicated

A0.10

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255 SHORELINE DRIVE,  
SUITE 200,  
REDWOOD CITY, CA 94065
- ☐ **LANDSCAPE ARCHITECT**  
**THE GUZZARDO  
PARTNERSHIP INC.**  
181 GREENWICH STREET,  
SAN FRANCISCO, CA 94111

**FIRE DEPARTMENT ACCESS LEGEND**

-  26' WIDE EMERGENCY  
VEHICLE ACCESS DRIVE
-  150' MAX. DISTANCE FROM  
FIRE VEHICLE ACCESS
-  PROPOSED FIRE HYDRANT OR  
PRIVATE "WHARF HYDRANT"
-  STANDPIPE LOCATION AT STAIR
-  FIRE DEPARTMENT CONNECTION (FDC)



**3 SECTIONS**  
A0.11 SCALE: 1" = 20'-0"

0' 10' 20' 40'

**4 TYPICAL SECTION AT EVA DRIVE**

A0.11 SCALE: 1" = 10'-0"



0' 5' 10' 20'



**2 SITE PLAN - FIRE DEPT. ACCESS DIAGRAM**

A0.11 SCALE: 1" = 20'-0"

0' 10' 20' 40'

**1 TYPICAL SECTION AT ECR**

A0.11 SCALE: 1" = 10'-0"



0' 5' 10' 20'

**REDWOOD  
CITY STATION:  
MULTI-FAMILY/  
VETERAN'S  
AFFORDABLE  
HOUSING**

651 EL CAMINO REAL,  
REDWOOD CITY, CA 94061

Client:



**REPUBLIC  
METROPOLITAN**

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ROSS, CA 94957  
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**FIRE DEPARTMENT  
ACCESS DIAGRAMS**

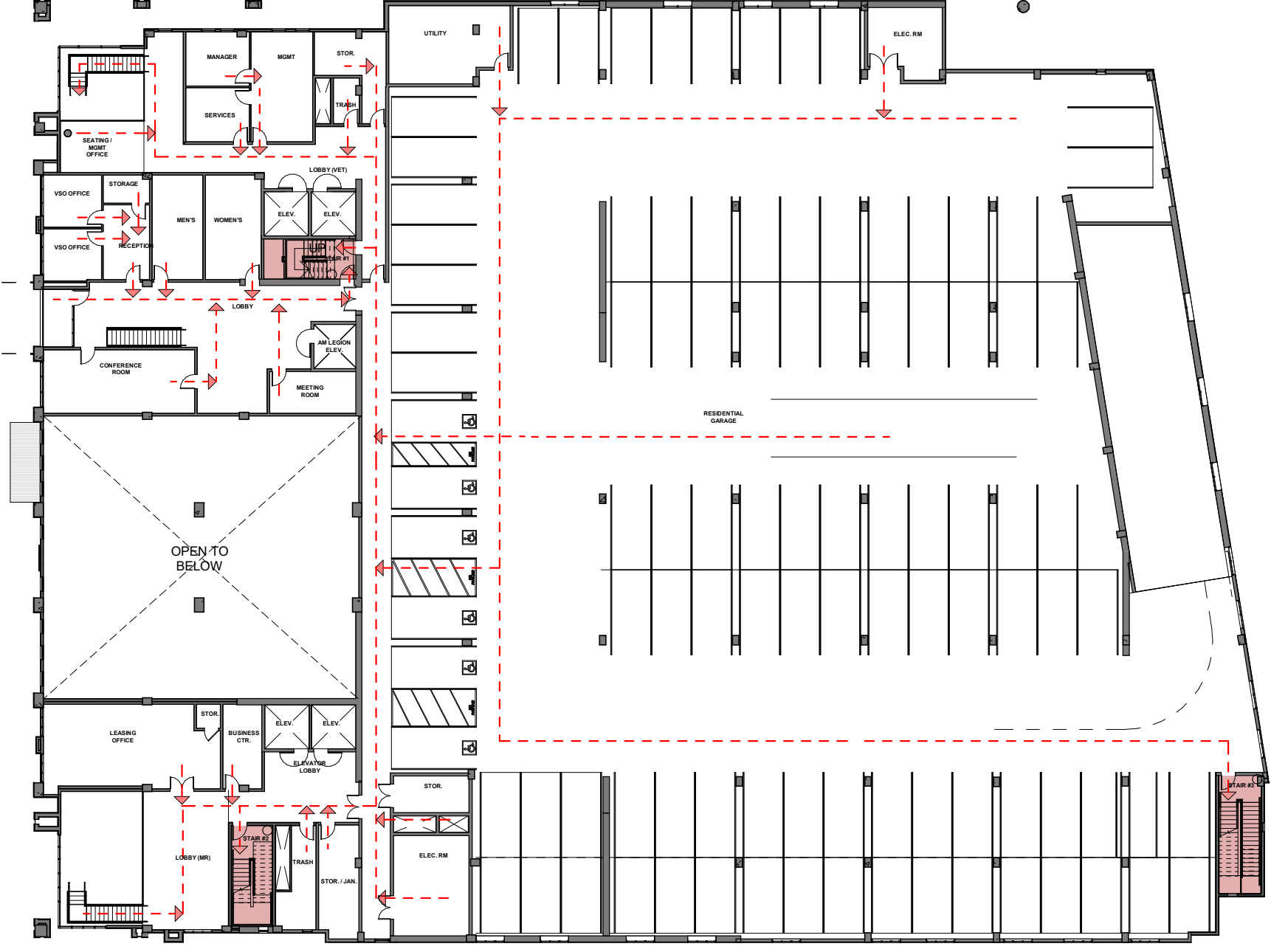
JOB #1916

SCALEs indicated

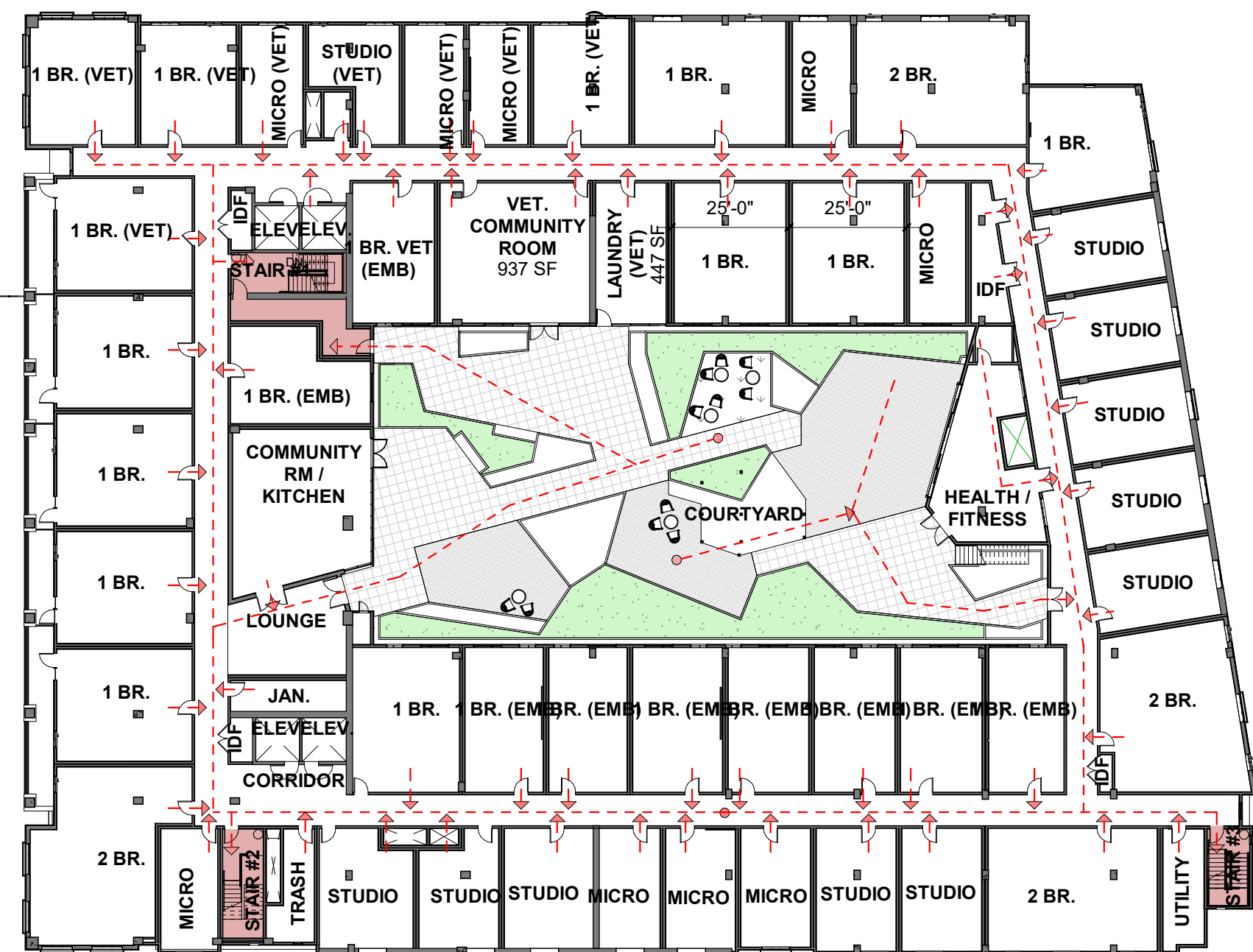
**A0.11**



5 LEVEL 04 - EXITING DIAGRAM  
A0.12 SCALE: 1" = 30'-0"



3 LEVEL 02 - EXITING DIAGRAM  
A0.12 SCALE: 1" = 30'-0"



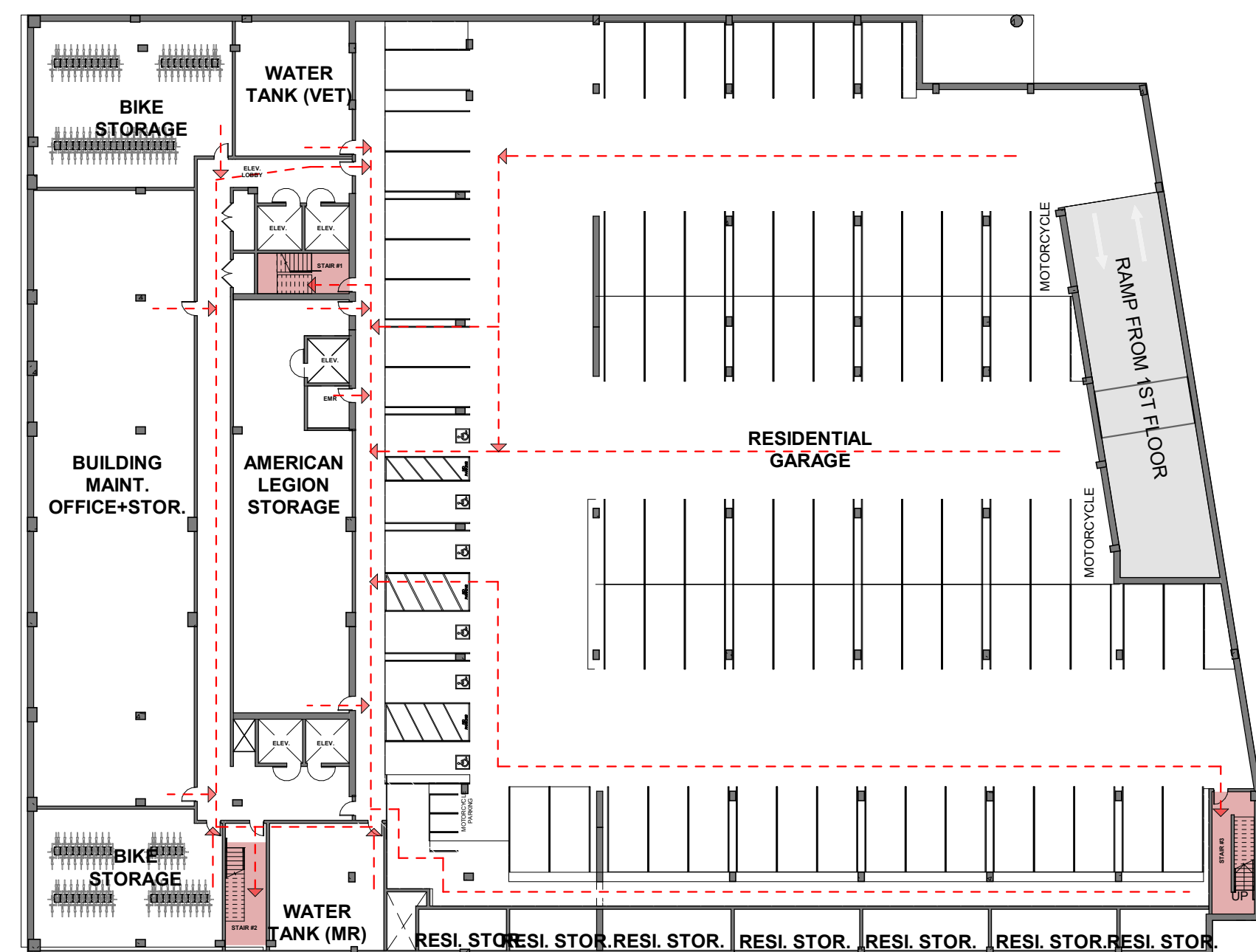
4 LEVEL 03 - EXITING DIAGRAM  
A0.12 SCALE: 1" = 30'-0"



2 LEVEL 01 - EXITING DIAGRAM  
A0.12 SCALE: 1" = 30'-0"

FIRE SPRINKLER SYSTEMS					
APPROVED AUTOMATIC SPRINKLER SYSTEM REQUIRED THROUGHOUT PER CBC 903.3.1.1 (NFPA 13)					
NOTE: SPRINKLER SYSTEM NOTES ARE FOR REFERENCE ONLY. SPRINKLER SYSTEM SHALL BE DESIGNED / BUILT AND DRAWINGS SHALL BE SUBMITTED BY SPRINKLER SUBCONTRACTOR AS A DEFERRED SUBMITTAL.					
ALLOWABLE HEIGHT & STORIES		ALLOWABLE STORIES & HEIGHT, TABLES 504.3 & 504.4		PROVIDED STORIES AND HEIGHT	
BUILDING / ZONE DESIGNATION	OCCUPANCY GROUP	BASIC ALLOWABLE STORIES, FIRE SPRINKLED WITHOUT AREA INCREASE [CBC Table 504.4]	MAX. HEIGHT WITH AREA INCREASE [CBC Table 504.3]	PROVIDED STORIES	ACTUAL HEIGHT*
BUILDING - TYPE 1-A	R-2, A-3, S-2	UL	UL	4	
BUILDING - TYPE 3-A	R-2	5 STORIES	85'	5	84'-6"
* PER CBC 2019, MEASURED FROM AVERAGE GRADE PLANE OF PRINCIPAL FACADE TO TOP OF ROOF SHEATHING					
** PER REDWOOD CITY MUNI CODE Sec. 12.15.1 SECTION 202, MEASURED FROM THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS.					
TOTAL ALLOWABLE AREAS AND FRONTAGE PER TABLE 506.2					
FLOOR	MAIN OCCUPANCY	CONSTRUCTION TYPE	A=BASE MAXIMUM AREA WITH HEIGHT INCREASE TABLE 506.2	NS=BASE MAXIMUM SQFT TABLE 506.2 (FOR EQ. 5-2 BELOW)	IF=FRONTAGE INCREASE FACTOR
TYPE 1A	S-2, R-2	1A	UL		N/A
LEVEL 8 thru 3					
TYPE 3A	R-2	3A	24,000	24,000	0.370
LEVELS 4 thru 8					
TYPE 1A AREA PROVIDED					
179,833 SF COMPLEES (ALLOWABLE AREA IS UNLIMITED)					
TYPE 3A BUILDING AREA CALCULATIONS					
FRONTAGE INCREASE PER EQ. 5-5 (If)					
BUILDING IS FRONTED ON ONE SIDE BY ROW (EL CAMINO REAL) GREATER THAN 30' ON THE OTHER THREE SIDES, 30' WIDE DRIVEWAYS					
(FIP - 0.25W/30)					
= (198'30"280'25" + 177'25"237'26")(198+280+177+237) = 26.9					
FRONTAGE PERIMETER F = P TOTAL PERIMETER = (198 + 280 + 177 + 237) = 872					
If = (1+0.25)(26.9/30)=0.6725					
TYPE 3A ALLOWABLE AREA PER EQ. 5-2 (Aa)					
ALLOWABLE AREA PER EQ. 5-2: Aa					
Aa=(NS x If)xSa					
[24,000+(24,000x0.6725)]x2 = 80,280 SF					
TYPE 3A BUILDING TOTAL (LEVELS 4 THROUGH 8)					
193,130 SF EXCEEDS ALLOWABLE AREA AND SHALL BE SEPARATED WITH FIRE WALLS INTO 3 BUILDINGS (BLDG. 3, 4)					

CONSTRUCTION FIRE-RESISTIVE REQUIREMENTS	
TYPE 3A CONSTRUCTION PER CBC 602.3	TYPE 3A CONSTRUCTION PER CBC 602.3
EXTERIOR BEARING WALLS PER CBC TABLE 601	2-HR RATED CONSTRUCTION
PRIMARY STRUCTURAL FRAME PER CBC TABLE 601	1-HR RATED CONSTRUCTION
INDIVIDUAL PRIMARY STRUCTURAL MEMBERS THAT REQUIRE FIRE-RESISTIVE PROTECTION	1 AND 2 HOUR RATED CONSTRUCTION PER CBC TABLE 601 AND CBC 704 SEE STRUCTURAL DRAWINGS FOR LOCATIONS AND REFER TO ARCHITECTURAL DRAWINGS FOR FIRE PROTECTION DETAILS
TYPICAL FLOOR CONSTRUCTION PER CBC TABLE 601	1-HR RATED CONSTRUCTION
ROOF CONSTRUCTION PER CBC TABLE 601	1-HR RATED CONSTRUCTION
INTERIOR BEARING WALLS PER CBC TABLE 601	1-HR RATED CONSTRUCTION
INTERIOR NON-BEARING WALLS PER CBC TABLE 601	NON-RATED
WALLS SEPARATING DWELLING UNITS WITHIN R-2 PER CBC 420.2	1-HR RATED FIRE PARTITION (PER CBC 708)
FLOORS SEPARATING DWELLING UNITS WITHIN R-2 PER CBC 420.3	1-HR RATED HORIZONTAL ASSEMBLY (PER CBC 711)
HORIZONTAL BUILDING SEPARATION PER CBC 510	3-HR RATED HORIZONTAL SEPARATION (PER CBC 510)
FIRE WALL BUILDING SEPARATION FIRE WALL PER CBC 706	3-HR RATED VERTICAL SEPARATION (PER CBC TABLE 706.4)
HORIZONTAL EXT. WALL PER CBC 1025	3-HR RATED HORIZONTAL SEPARATION (PER CBC TABLE 706.4)
INTERIOR EXT. ENCLOSURES PER 1022.1	2-HR RATED FIRE BARRIER OR HORIZONTAL ASSEMBLY (CBC 707.3.2, 711)
EXIT PASSAGEWAYS PER CBC 1023.1	1-HR RATED FIRE BARRIER OR HORIZONTAL ASSEMBLY (CBC 707.3.4, 711)
CORRIDORS PER CBC 1018	1-HR RATED FIRE PARTITION (CBC 708) - BUILDING SPRINKLER SYSTEM REQUIRED
SHAFT ENCLOSURES PER CBC 713	2-HR RATED FIRE BARRIER OR HORIZONTAL ASSEMBLY (CBC 707.3.1, 711)
ELEVATOR	2-HR RATED FIRE BARRIER (CBC 707.3.1)
OCCUPANCY SEPARATIONS PER CBC TABLE 506.4	1-HR OCCUPANCY SEPARATIONS BETWEEN R-2 & A-3, R-2 & B-2, R-2 & U, B-2 & A-3



1 SUBGRADE LEVEL - EXITING DIAGRAM  
A0.12 SCALE: 1" = 30'-0"

- STRUCTURAL ENGINEER  
KPFF  
45 FREMONT ST., 28TH FLOOR,  
SAN FRANCISCO, CA  
94105-2209
- CIVIL ENGINEER  
BKf ENGINEERS  
255 SHORELINE DRIVE,  
SUITE 200,  
REDWOOD CITY, CA 94065
- LANDSCAPE ARCHITECT  
THE GUZZARDO  
PARTNERSHIP INC.  
181 GREENWICH STREET,  
SAN FRANCISCO, CA 94111

Project:  
REDWOOD  
CITY STATION:  
MULTI-FAMILY/  
VETERAN'S  
AFFORDABLE  
HOUSING

651 EL CAMINO REAL,  
REDWOOD CITY, CA 94061

Client:

ReMet  
Republic Metropolitan

REPUBLIC  
METROPOLITAN

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ROSS, CA 94957  
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EXITING DIAGRAMS

JOB #1916  
SCALE: 1" = 30'-0"

STRUCTURAL ENGINEER

KPFF  
45 FREMONT ST., 28TH FLOOR,  
SAN FRANCISCO, CA  
94105-2209

CIVIL ENGINEER

BKF ENGINEERS  
255 SHORELINE DRIVE,  
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LANDSCAPE ARCHITECT

THE GUZZARDO  
PARTNERSHIP INC.  
181 GREENWICH STREET,  
SAN FRANCISCO, CA 94111

FIRE SPRINKLER REQUIREMENTS

APPROVED AUTOMATIC SPRINKLER SYSTEM REQUIRED THROUGHOUT PER CBC 903.3.1.1 (NFPA 13)

NOTE: SPRINKLER SYSTEM NOTES ARE FOR REFERENCE ONLY. SPRINKLER SYSTEM SHALL BE DESIGN / BUILD AND DRAWINGS SHALL BE SUBMITTED BY SPRINKLER SUBCONTRACTOR AS A DEFERRED SUBMITTAL.

ALLOWABLE HEIGHT & STORIES		ALLOWABLE STORIES & HEIGHT, TABLES 504.3 & 504.4		PROVIDED STORIES AND HEIGHT		
BUILDING / ZONE DESIGNATION	OCCUPANCY GROUP	BASIC ALLOWABLE STORIES, FIRE SPRINKLED WITHOUT AREA INCREASE [CBC Table 504.4]	MAX. HEIGHT WITH AREA INCREASE [CBC Table 504.3]	PROVIDED STORIES	ACTUAL HEIGHT*	TOP STORY FLOOR LEVEL**
BUILDING - TYPE 1-A	R-2, A-3, S-2	UL	UL	4		
BUILDING - TYPE 3-A	R-2	5 STORIES	85'	5	84'-6"	74'-6"

\* PER CBC 2019, MEASURED FROM AVERAGE GRADE PLANE OF PRINCIPAL FACADE TO TOP OF ROOF SHEATHING

\*\* PER REDWOOD CITY MUNI CODE Sec. 12.15.1 SECTION 202, MEASURED FROM THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS.

TOTAL ALLOWABLE AREAS AND FRONTAGE PER TABLE 506.2					
FLOOR	MAIN OCCUPANCY	CONSTRUCTION TYPE	A=BASE MAXIMUM AREA WITH HEIGHT INCREASE TABLE 506.2	N=BASE MAXIMUM SQFT TABLE 506.2 (FOR EQ. 5-2 (BELOW))	I=FRONTAGE INCREASE FACTOR
TYPE 1A	S-2, R-2	1A	UL		N/A
LEVEL 8 thru 3					
TYPE 3A	R-2	3A	24,000	24,000	0.370
LEVELS 4 thru 8					

TYPE 1A AREA PROVIDED	
179,833 SF	COMPLIES (ALLOWABLE AREA IS UNLIMITED)

TYPE 3A BUILDING AREA CALCULATIONS	
FRONTAGE INCREASE PER EQ. 5-5 (Ii)	
(FIP = 0.25W/30)	BUILDING IS FRONTED ON ONE SIDE BY ROW (EL CAMINO REAL) GREATER THAN 30'. ON THE OTHER THREE SIDES, 30' WIDE DRIVEWAYS. VALUE OF W AT ECR IS 30 PER EQ. 5-2
$= (198'30" \times 280'25" + 177'25" \times 237'26") \times (198' + 280' + 177' + 237') = 26.9$	
FRONTAGE PERIMETER F = F TOTAL PERIMETER = (198' + 280' + 177' + 237') = 872	
$I_i = (1 + 0.25) \times 26.9 / 30 = 0.6725$	
TYPE 3A ALLOWABLE AREA PER EQ. 5-2 (Aa)	
ALLOWABLE AREA PER EQ. 5-2: Aa	$Aa = (NS \times I_i) \times Si$
$[24,000 + (24,000 \times 0.6725)] \times 2 = 80,280 \text{ SF}$	
TYPE 3A BUILDING TOTAL (LEVELS 4 THROUGH 8)	
193,130 SF	EXCEEDS ALLOWABLE AREA AND SHALL BE REPARATED WITH FIRE WALLS INTO 3 BUILDINGS (BLDG. 3, 4)

CONSTRUCTION FIRE-RESISTIVE REQUIREMENTS	
TYPE 3A CONSTRUCTION PER CBC 602.3	TYPE 3A CONSTRUCTION PER CBC 602.3
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INDIVIDUAL PRIMARY STRUCTURAL MEMBERS THAT REQUIRE FIRE RESISTIVE PROTECTION	1 AND 2 HOUR RATED CONSTRUCTION PER CBC TABLE 601 AND CBC 704. SEE STRUCTURAL DRAWINGS FOR LOCATIONS AND REFER TO ARCHITECTURAL DRAWINGS FOR FIRE PROTECTION DETAILS
TYPICAL FLOOR CONSTRUCTION PER CBC TABLE 601	1-HR RATED CONSTRUCTION
ROOF CONSTRUCTION PER CBC TABLE 601	1-HR RATED CONSTRUCTION
INTERIOR BEARING WALLS PER CBC TABLE 601	1-HR RATED CONSTRUCTION
INTERIOR NON-BEARING WALLS PER CBC TABLE 601	NON-RATED
WALLS SEPARATING DWELLING UNITS WITHIN R-2 PER CBC 420.2	1-HR RATED FIRE PARTITION (PER CBC 708)
FLOORS SEPARATING DWELLING UNITS WITHIN R-2 PER CBC 420.3	1-HR RATED HORIZONTAL ASSEMBLY (PER CBC 711)
HORIZONTAL BUILDING SEPARATION PER CBC 510	3-HR RATED HORIZONTAL SEPARATION (PER CBC 510)
FIRE WALL BUILDING SEPARATION FIRE WALL PER CBC 706	3-HR RATED VERTICAL SEPARATION (PER CBC TABLE 706.4)
HORIZONTAL EXT. WALL PER CBC 1025	3-HR RATED HORIZONTAL SEPARATION (PER CBC TABLE 706.4)
INTERIOR EXT. ENCLOSURES PER 1022.1	2-HR RATED FIRE BARRIER OR HORIZONTAL ASSEMBLY (CBC 707.3.2, 711)
EXIT PASSAGEWAYS PER CBC 1023.1	1-HR RATED FIRE BARRIER OR HORIZONTAL ASSEMBLY (CBC 707.3.4, 711)
CORRIDORS PER CBC 1018	1-HR RATED FIRE PARTITION (CBC 708) - BUILDING SPRINKLER SYSTEM REQUIRED
SHAFT ENCLOSURES PER CBC 713	2-HR RATED FIRE BARRIER OR HORIZONTAL ASSEMBLY (CBC 707.3.1, 711)
ELEVATOR	2-HR RATED FIRE BARRIER (CBC 707.3.1)
OCCUPANCY SEPARATIONS PER CBC TABLE 608.4	1-HR OCCUPANCY SEPARATIONS BETWEEN R-2 & A-3, R-2 & B-2, R-2 & U, S-2 & A-3

STAIR DISTANCE LEGEND

- STAIR #1 TO STAIR #2: 115' - 0"
- STAIR #2 TO STAIR #3: 209' - 0"
- STAIR #3 TO STAIR #1: 369' - 0"

STAIR LOCATIONS



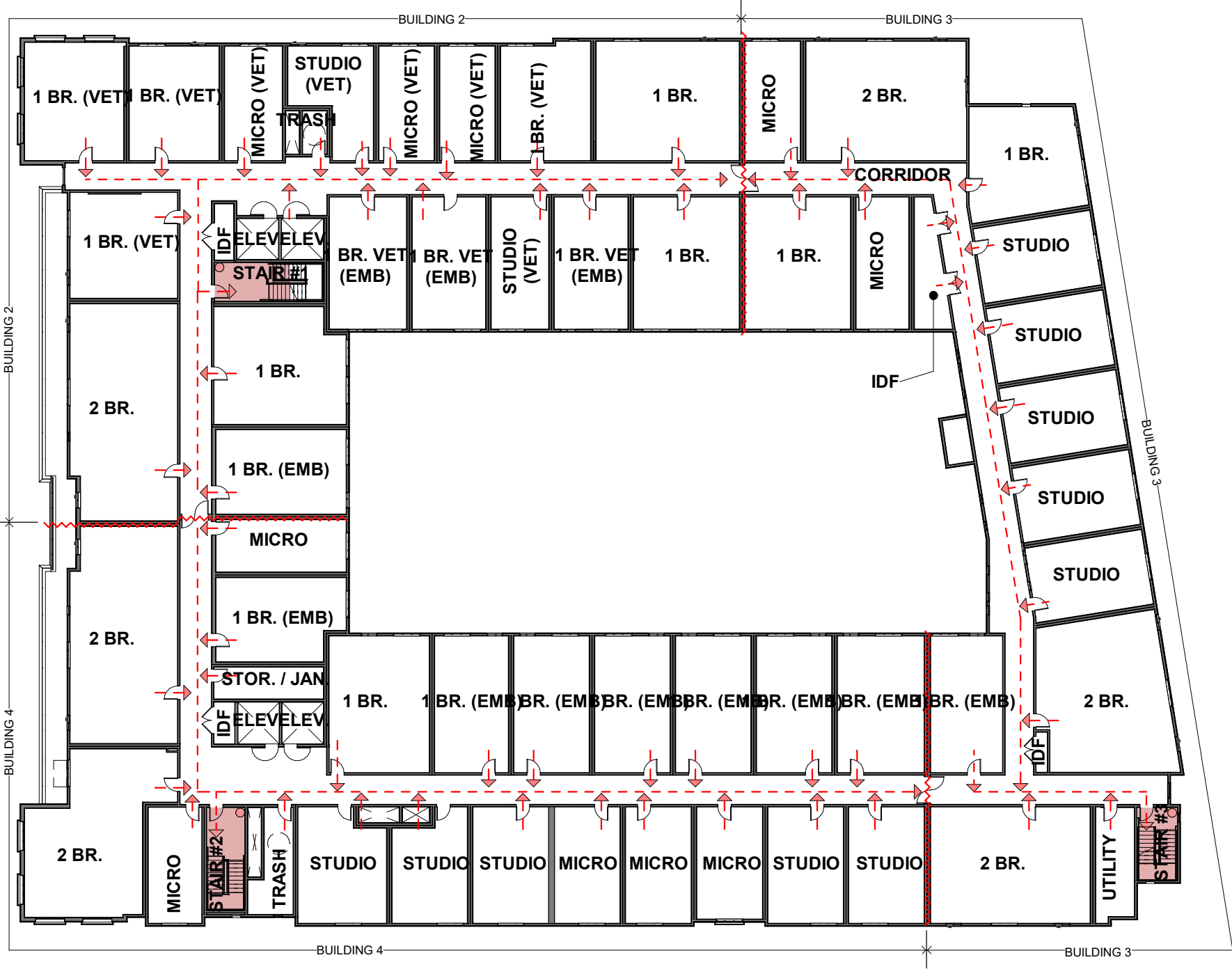
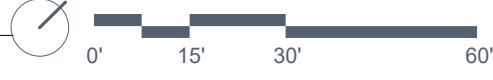
4 LEVEL 08 - EXITING DIAGRAM

A0.13 SCALE: 1" = 30'-0"



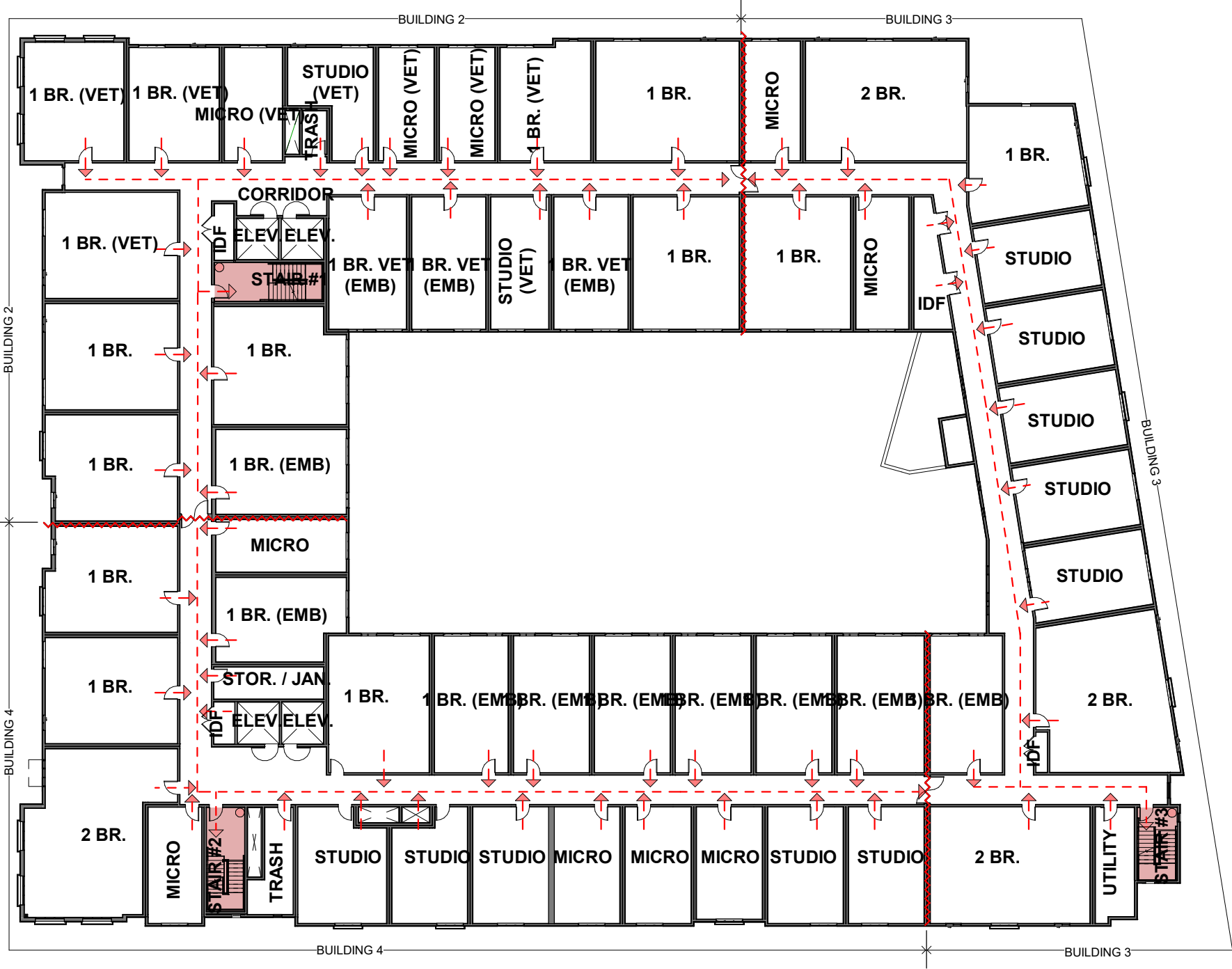
2 LEVEL 06 - EXITING DIAGRAM

A0.13 SCALE: 1" = 30'-0"



3 LEVEL 07 - EXITING DIAGRAM

A0.13 SCALE: 1" = 30'-0"



1 LEVEL 05 - EXITING DIAGRAM

A0.13 SCALE: 1" = 30'-0"



Project:  
REDWOOD  
CITY STATION:  
MULTI-FAMILY/  
VETERAN'S  
AFFORDABLE  
HOUSING

651 EL CAMINO REAL,  
REDWOOD CITY, CA 94061

Client:



ReMet  
Republic Metropolitan

REPUBLIC  
METROPOLITAN

27 ROSS COMMON,  
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EXITING DIAGRAMS

JOB #1916

SCALEs indicated

A0.13

STRUCTURAL ENGINEER

KPFF

45 FREMONT ST., 28TH FLOOR,  
SAN FRANCISCO, CA  
94105-2209

CIVIL ENGINEER

BKF ENGINEERS

255 SHORELINE DRIVE,  
SUITE 200,  
REDWOOD CITY, CA 94065

LANDSCAPE ARCHITECT

THE GUZZARDO

PARTNERSHIP INC.

181 GREENWICH STREET,  
SAN FRANCISCO, CA 94111

Project:

REDWOOD  
CITY STATION:  
MULTI-FAMILY/  
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SITE PLAN - EXISTING  
CONDITIONS

JOB #1916

SCALE 1" = 30'-0"

A1.01



1

SITE PLAN - EXISTING CONDITIONS

A1.01

SCALE: 1" = 30'-0"



0' 15' 30' 60'



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- ☐ **CIVIL ENGINEER**  
**BKF ENGINEERS**  
255 SHORELINE DRIVE,  
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- ☐ **LANDSCAPE ARCHITECT**  
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181 GREENWICH STREET,  
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ILLUSTRATIVE SITE  
PLAN

JOB #1916

SCALE 1" = 20'-0"

**A1.02**

- ☐ **STRUCTURAL ENGINEER**  
**KPFF**  
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- ☐ **CIVIL ENGINEER**  
**BKF ENGINEERS**  
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- ☐ **LANDSCAPE ARCHITECT**  
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Project:  
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ARCHITECTURAL SITE  
PLAN

JOB #1916

SCALE 1/16" = 1'-0"

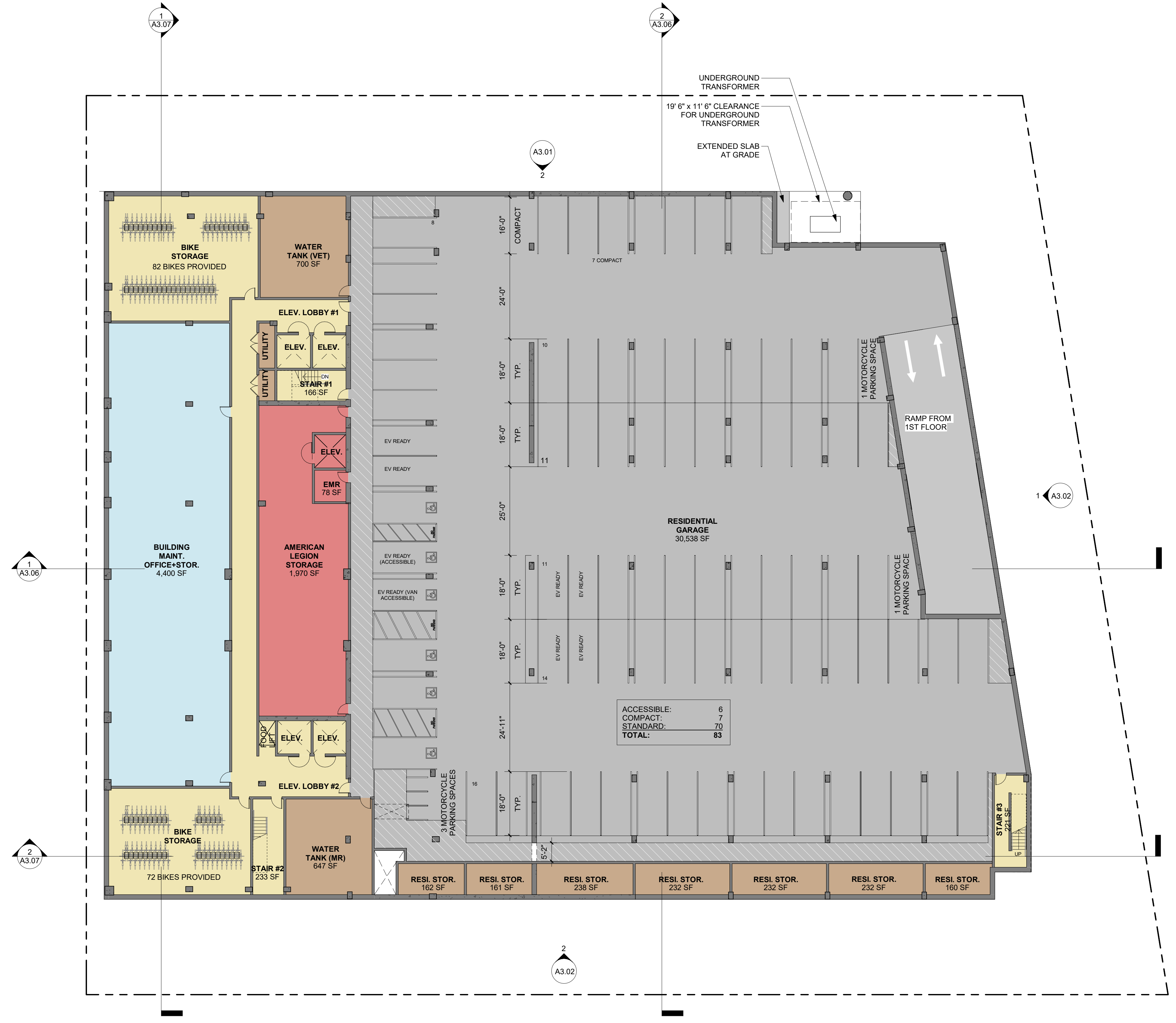
**A1.03**



**1 ARCHITECTURAL SITE PLAN**  
A1.03 SCALE: 1/16" = 1'-0"



1  
A2.00  
SUBGRADE PARKING LEVEL  
SCALE: 1/16" = 1'-0"



- LEGEND
- AMERICAN LEGION STORAGE + UTILITY
  - PARKING/RAMP (RES.)
  - RES. UTILITY + STORAGE
  - BUILDING MAINT. OFFICE + STORAGE
  - CIRCULATION/ LOBBY
  - BIKE STORAGE

**VAN METER WILLIAMS POLLACK** LLP

ARCHITECTURE | URBAN DESIGN | SAN FRANCISCO | DENVER | MINNEAPOLIS  
323 Bryant Street, Suite 200, San Francisco, CA 94107 T 415.574.0302

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☐ **CIVIL ENGINEER**  
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☐ **LANDSCAPE ARCHITECT**  
**THE GUZZARDO PARTNERSHIP INC.**  
181 GREENWICH STREET,  
SAN FRANCISCO, CA 94111

Project:

**REDWOOD CITY STATION: MULTI-FAMILY/ VETERAN'S AFFORDABLE HOUSING**

651 EL CAMINO REAL,  
REDWOOD CITY, CA 94061

Client:



**ReMet**  
Republic Metropolitan

**REPUBLIC METROPOLITAN**

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ROSS, CA 94957  
T: 415.305.9313

SUBGRADE PARKING

JOB #1916

SCALEs indicated

**A2.00**



1 GROUND LEVEL  
A2.01 SCALE: 1/16" = 1'-0"

## LEGEND

- AMERICAN LEGION
- VETERANS LOBBY / MANAGEMENT
- MARKET RATE LOBBY / MANAGEMENT
- PARKING
- DRIVEWAY
- WALKWAY
- UTILITY
- PLANTING
- OFFICE
- CIRCULATION

**VAN METER  
WILLIAMS  
POLLACK** LLP

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## STRUCTURAL ENGINEER

**KPFF**  
45 FREMONT ST., 28TH FLOOR,  
SAN FRANCISCO, CA  
94105-2209

## CIVIL ENGINEER

**BKF ENGINEERS**  
255 SHORELINE DRIVE,  
SUITE 200,  
REDWOOD CITY, CA 94065

## LANDSCAPE ARCHITECT

**THE GUZZARDO  
PARTNERSHIP INC.**  
181 GREENWICH STREET,  
SAN FRANCISCO, CA 94111

## Project:

**REDWOOD  
CITY STATION:  
MULTI-FAMILY/  
VETERAN'S  
AFFORDABLE  
HOUSING**

651 EL CAMINO REAL,  
REDWOOD CITY, CA 94061

## Client:



**ReMet**  
Republic Metropolitan

**REPUBLIC  
METROPOLITAN**

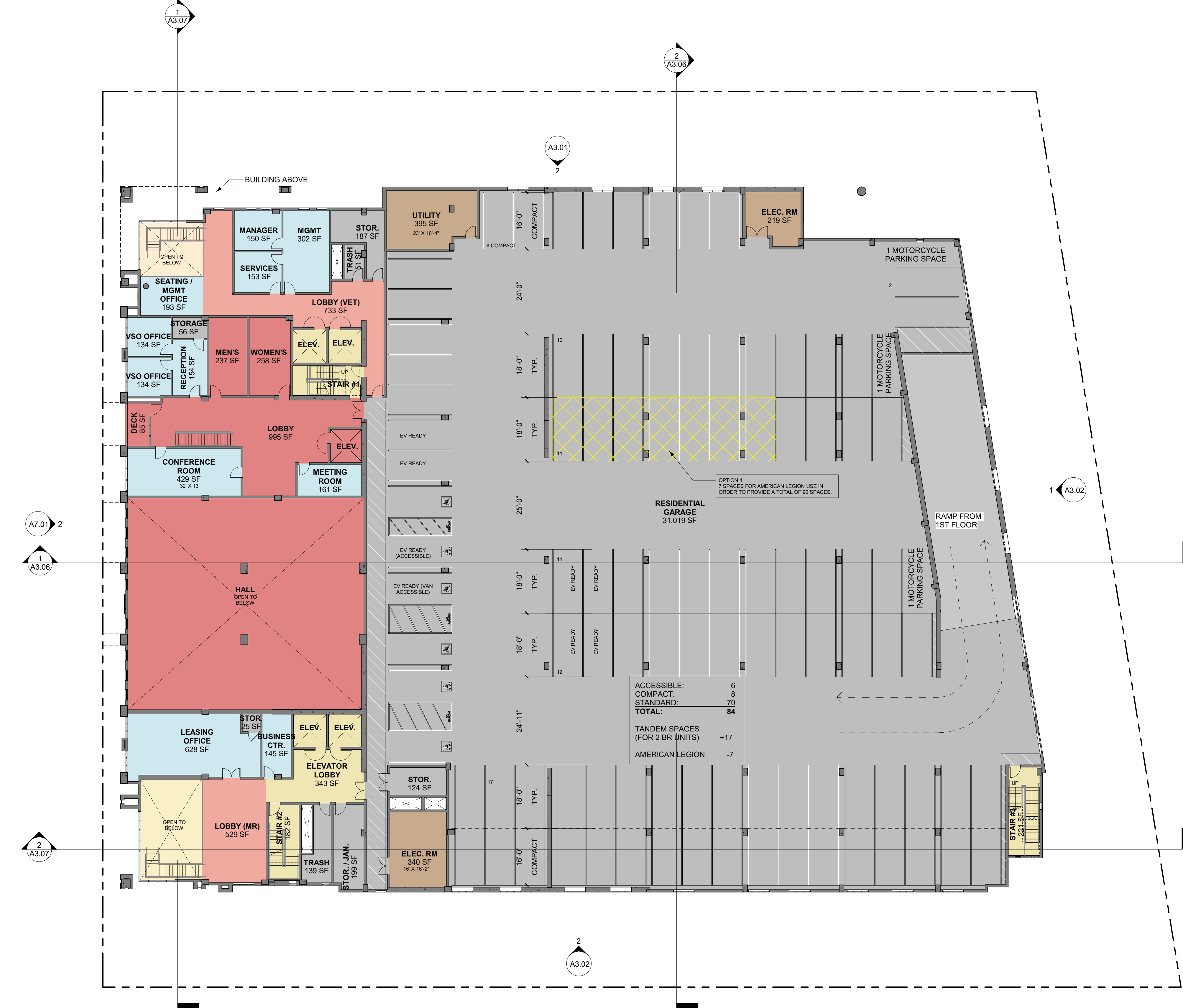
27 ROSS COMMON,  
ROSS, CA 94957  
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## GROUND FLOOR PLAN

JOB #1916

SCALEs as indicated

A2.01



1 FLOOR PLAN : LEVEL 2  
A2.02 SCALE: 1/16" = 1'-0"



LEGEND

- AMERICAN LEGION
- VETERANS LOBBY / MANAGEMENT
- MARKET RATE LOBBY / MANAGEMENT
- PARKING
- DRIVEWAY
- WALKWAY
- UTILITY
- PLANTING
- OFFICE
- CIRCULATION

- STRUCTURAL ENGINEER  
**KPFF**  
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94105-2209
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- LANDSCAPE ARCHITECT  
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2ND FLOOR PLAN

JOB #1916  
SCALEs indicated

A2.02



- LEGEND**
- MICRO
  - STUDIO
  - 1BR EMBEDDED
  - 1BR
  - 2BR
  - COMMON
  - UTILITY
  - CIRCULATION

**VAN METER WILLIAMS POLLACK LLP**

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**KPFF**  
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94105-2209

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**LANDSCAPE ARCHITECT**  
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181 GREENWICH STREET,  
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Project:

**REDWOOD CITY STATION: MULTI-FAMILY/ VETERAN'S AFFORDABLE HOUSING**

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27 ROSS COMMON,  
ROSS, CA 94957  
T: 415.305.9313

3RD FLOOR PLAN

JOB #1916

SCALE: As indicated

A2.03

**1 FLOOR PLAN : LEVEL 3**  
A2.03 SCALE: 1/16" = 1'-0"

0' 8' 16' 32'



1 FLOOR PLAN : LEVEL 4  
A2.04 SCALE: 1/16" = 1'-0"



- LEGEND
- MICRO
  - STUDIO
  - 1BR EMBEDDED
  - 1BR
  - 2BR
  - COMMON
  - UTILITY
  - CIRCULATION

**VAN METER WILLIAMS POLLACK** LLP

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323 Bryant Street, Suite 300, San Francisco, CA 94107 T: 415.574.0302

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**KPFF**  
45 FREMONT ST., 28TH FLOOR,  
SAN FRANCISCO, CA  
94105-2209

☐ **CIVIL ENGINEER**  
**BKF ENGINEERS**  
255 SHORELINE DRIVE,  
SUITE 200,  
REDWOOD CITY, CA 94065

☐ **LANDSCAPE ARCHITECT**  
**THE GUZZARDO PARTNERSHIP INC.**  
181 GREENWICH STREET,  
SAN FRANCISCO, CA 94111

Project:

**REDWOOD CITY STATION: MULTI-FAMILY/ VETERAN'S AFFORDABLE HOUSING**

651 EL CAMINO REAL,  
REDWOOD CITY, CA 94061

Client:

  
**ReMet**  
Republic Metropolitan  
**REPUBLIC METROPOLITAN**  
27 ROSS COMMON,  
ROSS, CA 94957  
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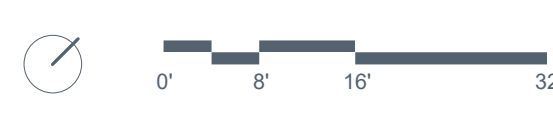
4TH FLOOR PLAN

JOB #1916  
SCALEs indicated

A2.04



1 FLOOR PLAN : LEVEL 5 (LEVEL 6 SIMILAR)  
A2.05 SCALE: 1/16" = 1'-0"



- LEGEND
- MICRO
  - STUDIO
  - 1BR EMBEDDED
  - 1BR
  - 2BR
  - COMMON
  - UTILITY
  - CIRCULATION

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- ☐ **LANDSCAPE ARCHITECT**  
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PARTNERSHIP INC.**  
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SAN FRANCISCO, CA 94111

Project:  
**REDWOOD  
CITY STATION:  
MULTI-FAMILY/  
VETERAN'S  
AFFORDABLE  
HOUSING**

651 EL CAMINO REAL,  
REDWOOD CITY, CA 94061

Client:

  
**ReMet**  
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ROSS, CA 94957  
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5TH FLOOR PLAN (6TH  
FLOOR SIMILAR)

JOB #1916  
SCALEs indicated

A2.05



- LEGEND**
- MICRO
  - STUDIO
  - 1BR EMBEDDED
  - 1BR
  - 2BR
  - COMMON
  - UTILITY
  - CIRCULATION

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Project:  
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CITY STATION:  
MULTI-FAMILY/  
VETERAN'S  
AFFORDABLE  
HOUSING**

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**1 FLOOR PLAN : LEVEL 7**  
A2.07 SCALE: 1/16" = 1'-0"



**7TH FLOOR PLAN**

JOB # 1916  
SCALE As indicated

**A2.07**

LEGEND

- MICRO
- STUDIO
- 1BR EMBEDDED
- 1BR
- 2BR
- COMMON
- UTILITY
- CIRCULATION

STRUCTURAL ENGINEER

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SAN FRANCISCO, CA  
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CIVIL ENGINEER

BKF ENGINEERS

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SUITE 200,  
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LANDSCAPE ARCHITECT

THE GUZZARDO

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1 FLOOR PLAN : LEVEL 8  
A2.08 SCALE: 1/16" = 1'-0"



Project:

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CITY STATION:  
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AFFORDABLE  
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Client:



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Republic Metropolitan

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METROPOLITAN

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8TH FLOOR PLAN

JOB #1916

SCALEs indicated

A2.08

STRUCTURAL ENGINEER

KPFF

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CIVIL ENGINEER

BKF ENGINEERS

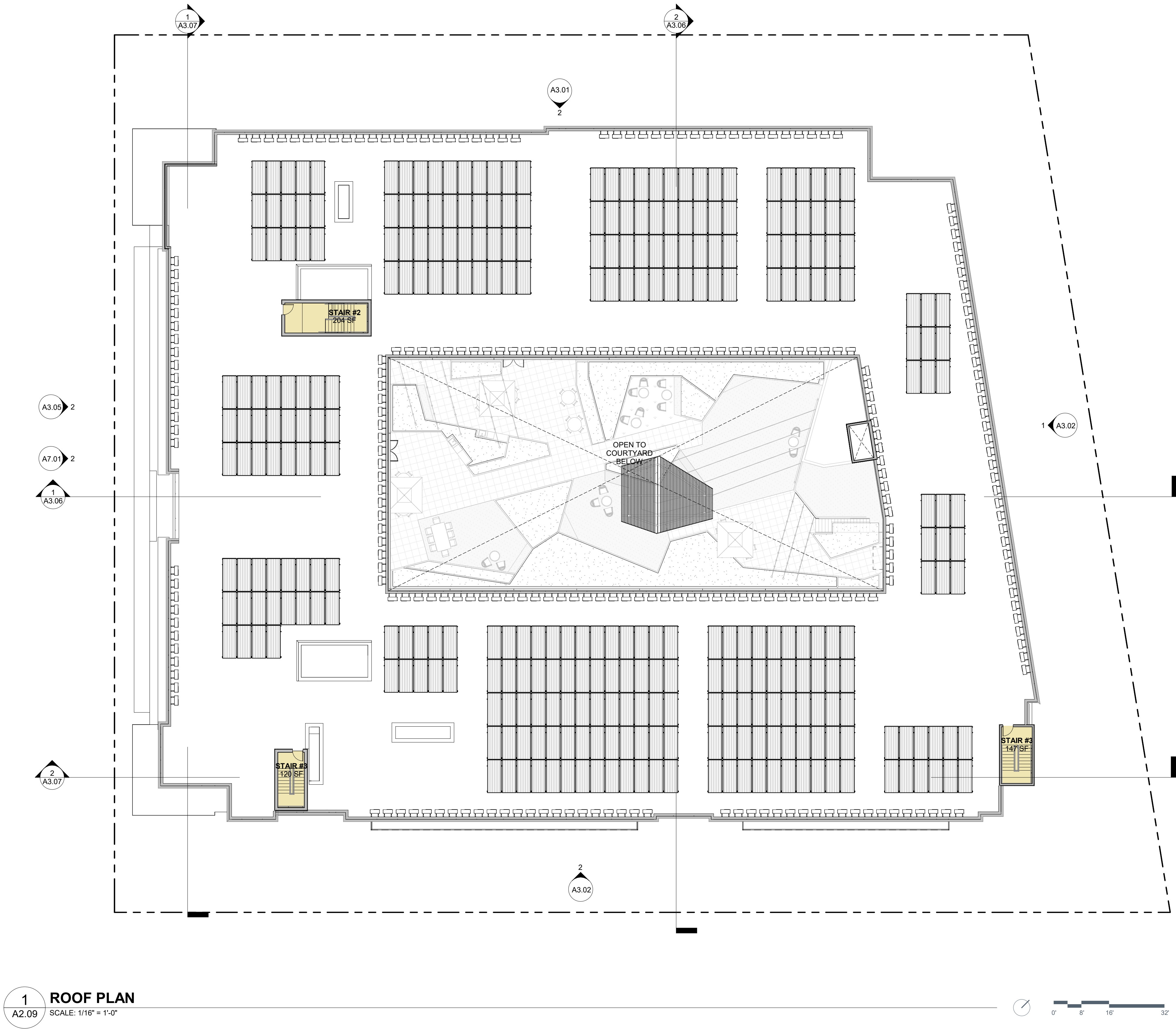
255 SHORELINE DRIVE,  
SUITE 200,  
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LANDSCAPE ARCHITECT

THE GUZZARDO

PARTNERSHIP INC.

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1 ROOF PLAN  
A2.09 SCALE: 1/16" = 1'-0"

Project:

REDWOOD  
CITY STATION:  
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VETERAN'S  
AFFORDABLE  
HOUSING

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Client:



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ROOF PLAN

JOB #1916

SCALE 1/16" = 1'-0"

A2.09



1 BUILDING ELEVATION - WEST  
A3.01 SCALE: 1/16" = 1'-0"



2 BUILDING ELEVATION - NORTH  
A3.01 SCALE: 1/16" = 1'-0"

- MATERIALS**
- 1 HORIZONTAL METAL SUNSHADE - SOLID PANEL
  - 2 METAL GRILLE AT GARAGE
  - 3 RECESSED METAL / FIBER CEMENT PANELS
  - 4 METAL COPING BAND
  - 5 METAL RAILING
  - 6 METAL AWNINGS
  - 7 METAL STOREFRONTS
  - 8 VINYL WINDOWS
  - 9 STUCCO
  - 10 CONCRETE COLUMNS
  - 11 CONCRETE BASE
  - 12 GARAGE ROLLING DOOR
  - 13 EYEBROW AWNINGS (FRAMED)
  - 14 METAL JULIET BALCONIES

- COLORS**
- A PARISIAN CASHMERE - KM5787
  - B BIG BAND - KM5828
  - C NORTHPOINTE - KM5791
  - D SANDSTONE VENEER
  - E DARK BRONZE

**VAN METER  
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**BKF ENGINEERS**  
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SUITE 200,  
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Project:  
**REDWOOD  
CITY STATION:  
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VETERAN'S  
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HOUSING**

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REDWOOD CITY, CA 94061

Client:

  
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**BUILDING  
ELEVATIONS**

JOB #1916  
SCALE As indicated  
**A3.01**



1 BUILDING ELEVATION - EAST  
A3.02 SCALE: 1/16" = 1'-0"

- MATERIALS**
- 1 HORIZONTAL METAL SUNSHADE - SOLID PANEL
  - 2 METAL GRILLE AT GARAGE
  - 3 RECESSED METAL / FIBER CEMENT PANELS
  - 4 METAL COPING BAND
  - 5 METAL RAILING
  - 6 METAL AWNINGS
  - 7 METAL STOREFRONTS
  - 8 VINYL WINDOWS
  - 9 STUCCO
  - 10 CONCRETE COLUMNS
  - 11 CONCRETE BASE
  - 12 GARAGE ROLLING DOOR
  - 13 EYEBROW AWNINGS (FRAMED)
  - 14 METAL JULIET BALCONIES

- COLORS**
- A PARISIAN CASHMERE - KM5787
  - B BIG BAND - KM5828
  - C NORTHPOINTE - KM5791
  - D SANDSTONE VENEER
  - E DARK BRONZE

- ☐ **STRUCTURAL ENGINEER**  
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SAN FRANCISCO, CA  
94105-2209
- ☐ **CIVIL ENGINEER**  
**BKF ENGINEERS**  
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**THE GUZZARDO PARTNERSHIP INC.**  
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2 BUILDING ELEVATION - SOUTH  
A3.02 SCALE: 1/16" = 1'-0"

Project:  
**REDWOOD CITY STATION:  
MULTI-FAMILY/  
VETERAN'S  
AFFORDABLE  
HOUSING**

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Client:



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**BUILDING  
ELEVATIONS**

JOB #1916

SCALEs indicated

A3.02

- ☐ **STRUCTURAL ENGINEER**  
**KPFF**  
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94105-2209
- ☐ **CIVIL ENGINEER**  
**BKF ENGINEERS**  
255 SHORELINE DRIVE,  
SUITE 200,  
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- ☐ **LANDSCAPE ARCHITECT**  
**THE GUZZARDO**  
**PARTNERSHIP INC.**  
181 GREENWICH STREET,  
SAN FRANCISCO, CA 94111



1 **COURTYARD - WEST**  
A3.03 SCALE: 1/8" = 1'-0"



2 **COURTYARD - NORTH**  
A3.03 SCALE: 1/8" = 1'-0"

**MATERIALS**

- 1 HORIZONTAL METAL SUNSHADE - SOLID PANEL
- 2 METAL GRILLE AT GARAGE
- 3 RECESSED METAL / FIBER CEMENT PANELS
- 4 METAL COPING BAND
- 5 METAL RAILING
- 6 METAL AWNINGS
- 7 METAL STOREFRONTS
- 8 VINYL WINDOWS
- 9 STUCCO
- 10 CONCRETE COLUMNS
- 11 CONCRETE BASE
- 12 GARAGE ROLLING DOOR
- 13 EYEBROW AWNINGS (FRAMED)
- 14 METAL JULIET BALCONIES

**COLORS**

- A PARISIAN CASHMERE - KMS787
- B BIG BAND - KMS828
- C NORTHPOINTE - KMS791
- D SANDSTONE VENEER
- E DARK BRONZE

Project:  
**REDWOOD  
CITY STATION:  
MULTI-FAMILY/  
VETERAN'S  
AFFORDABLE  
HOUSING**

651 EL CAMINO REAL,  
REDWOOD CITY, CA 94061

Client:



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**COURTYARD  
ELEVATIONS**

JOB #1916

SCALEs indicated

STRUCTURAL ENGINEER

KPFF

45 FREMONT ST., 28TH FLOOR,  
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94105-2209

CIVIL ENGINEER

BKF ENGINEERS

255 SHORELINE DRIVE,  
SUITE 200,  
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LANDSCAPE ARCHITECT

THE GUZZARDO

PARTNERSHIP INC.

181 GREENWICH STREET,  
SAN FRANCISCO, CA 94111



1 COURTYARD - EAST  
A3.04 SCALE: 1/8" = 1'-0"



2 COURTYARD - SOUTH  
A3.04 SCALE: 1/8" = 1'-0"

MATERIALS

- 1 HORIZONTAL METAL SUNSHADE - SOLID PANEL
- 2 METAL GRILLE AT GARAGE
- 3 RECESSED METAL / FIBER CEMENT PANELS
- 4 METAL COPING BAND
- 5 METAL RAILING
- 6 METAL AWNINGS
- 7 METAL STOREFRONTS
- 8 VINYL WINDOWS
- 9 STUCCO
- 10 CONCRETE COLUMNS
- 11 CONCRETE BASE
- 12 GARAGE ROLLING DOOR
- 13 EYEBROW AWNINGS (FRAMED)
- 14 METAL JULIET BALCONIES
- 15 ALUMINUM SIDING (LONGBOARD OR SIM.)

COLORS

- A PARISIAN CASHMERE - KM5787
- B BIG BAND - KM5828
- C NORTHPOINTE - KM5791
- D SANDSTONE VENEER
- E DARK BRONZE
- F DARK FIR - LONGBOARD

Project:

REDWOOD  
CITY STATION:  
MULTI-FAMILY/  
VETERAN'S  
AFFORDABLE  
HOUSING

651 EL CAMINO REAL,  
REDWOOD CITY, CA 94061

Client:



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COURTYARD  
ELEVATIONS

JOB #1916

SCALEs indicated

A3.04



2 VETERANS HOUSING ENTRANCE  
A3.05 SCALE: 3/16" = 1'-0"



1 AMERICAN LEGION ENTRANCE  
A3.05 SCALE: 3/16" = 1'-0"

#### MATERIALS

- 1 HORIZONTAL METAL SUNSHADE - SOLID PANEL
- 2 METAL GRILLE AT GARAGE
- 3 RECESSED METAL / FIBER CEMENT PANELS
- 4 METAL COPING BAND
- 5 METAL RAILING
- 6 METAL AWNINGS
- 7 METAL STOREFRONTS
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- 9 STUCCO
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- 11 CONCRETE BASE
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- 14 METAL JULIET BALCONIES

#### COLORS

- A PARISIAN CASHMERE - KM5787
- B BIG BAND - KM5828
- C NORTHPOINTE - KM5791
- D SANDSTONE VENEER
- E DARK BRONZE

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#### STRUCTURAL ENGINEER

**KPFF**  
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94105-2209

#### CIVIL ENGINEER

**BKF ENGINEERS**  
255 SHORELINE DRIVE,  
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#### LANDSCAPE ARCHITECT

**THE GUZZARDO  
PARTNERSHIP INC.**  
181 GREENWICH STREET,  
SAN FRANCISCO, CA 94111

#### Project:

**REDWOOD  
CITY STATION:  
MULTI-FAMILY/  
VETERAN'S  
AFFORDABLE  
HOUSING**

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#### Client:



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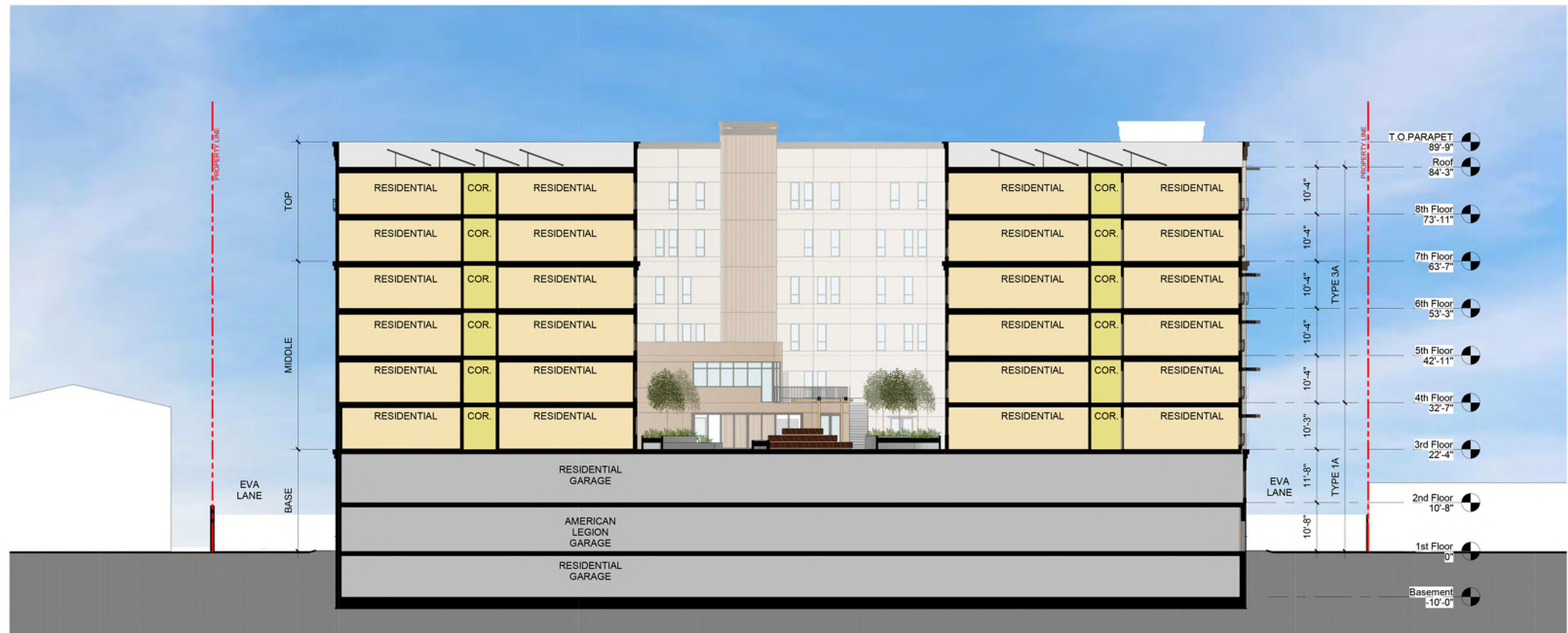
**ENLARGED  
ELEVATIONS**

JOB #1916

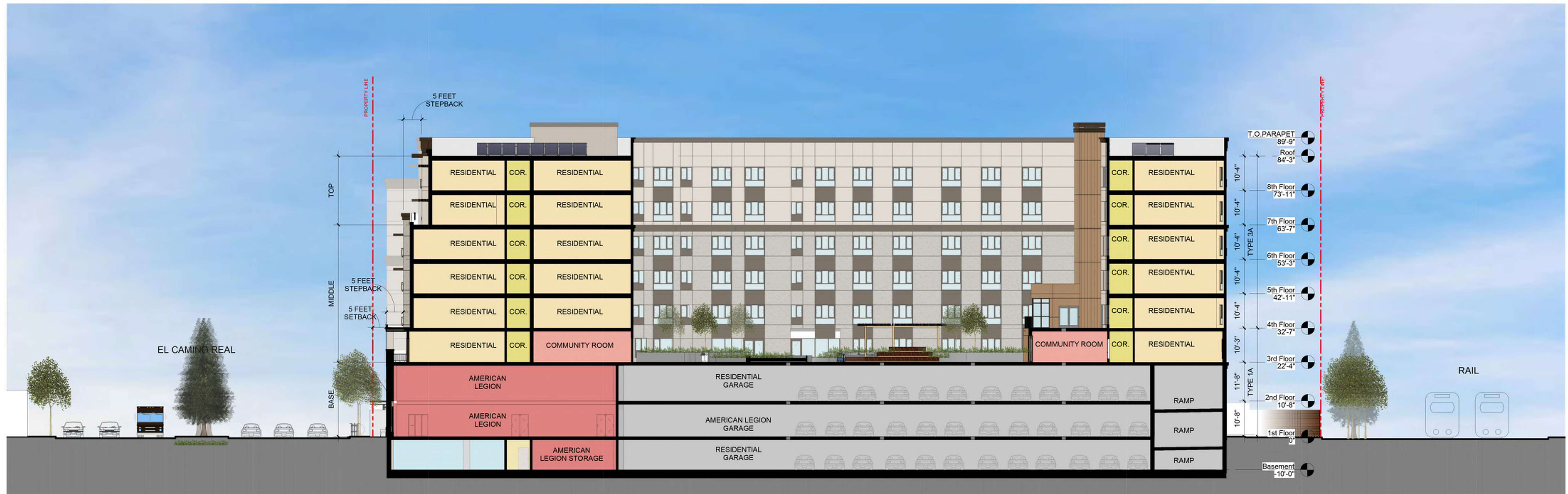
SCALEs indicated

**A3.05**

- STRUCTURAL ENGINEER  
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94105-2209
- CIVIL ENGINEER  
**BKF ENGINEERS**  
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**THE GUZZARDO  
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2 BUILDING SECTION NORTH/SOUTH  
A3.06 SCALE: 1/16" = 1'-0"



1 BUILDING SECTION EAST/WEST  
A3.06 SCALE: 1/16" = 1'-0"

Project:  
**REDWOOD  
CITY STATION:  
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VETERAN'S  
AFFORDABLE  
HOUSING**

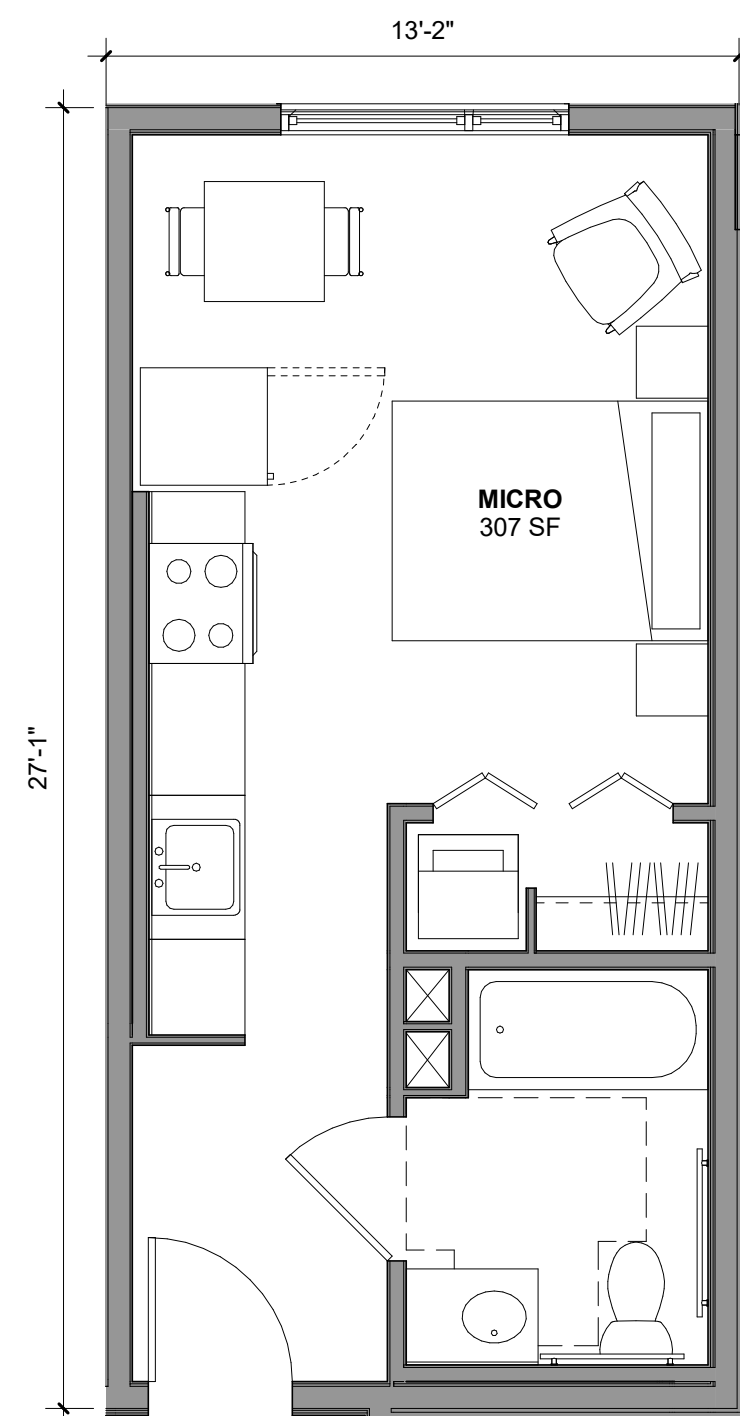
651 EL CAMINO REAL,  
REDWOOD CITY, CA 94061

Client:  
  
**ReMet**  
Republic Metropolitan  
REPUBLIC  
METROPOLITAN  
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T: 415.305.9313

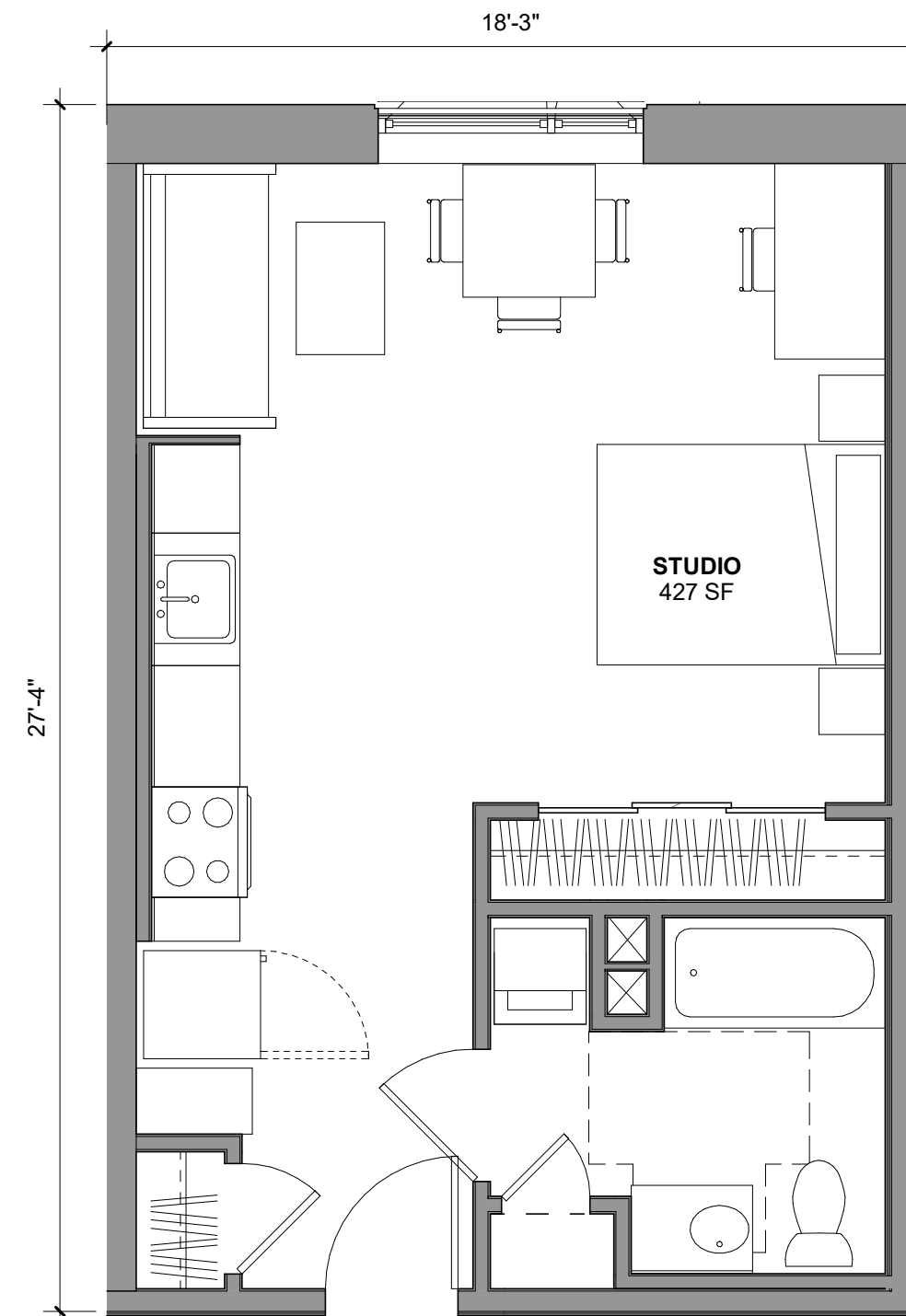
BUILDING SECTIONS

JOB #1916  
SCALE 1/16" = 1'-0"

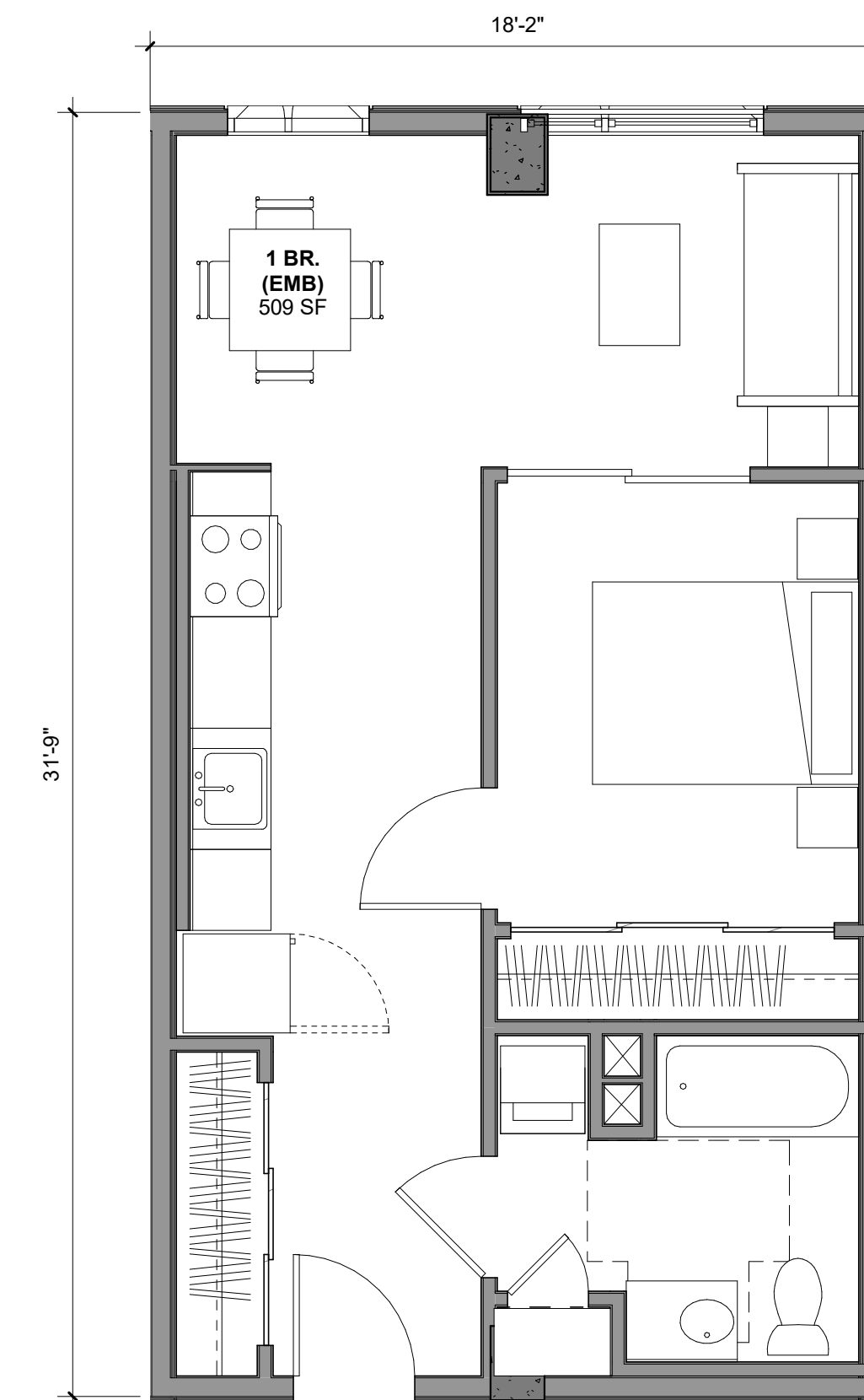
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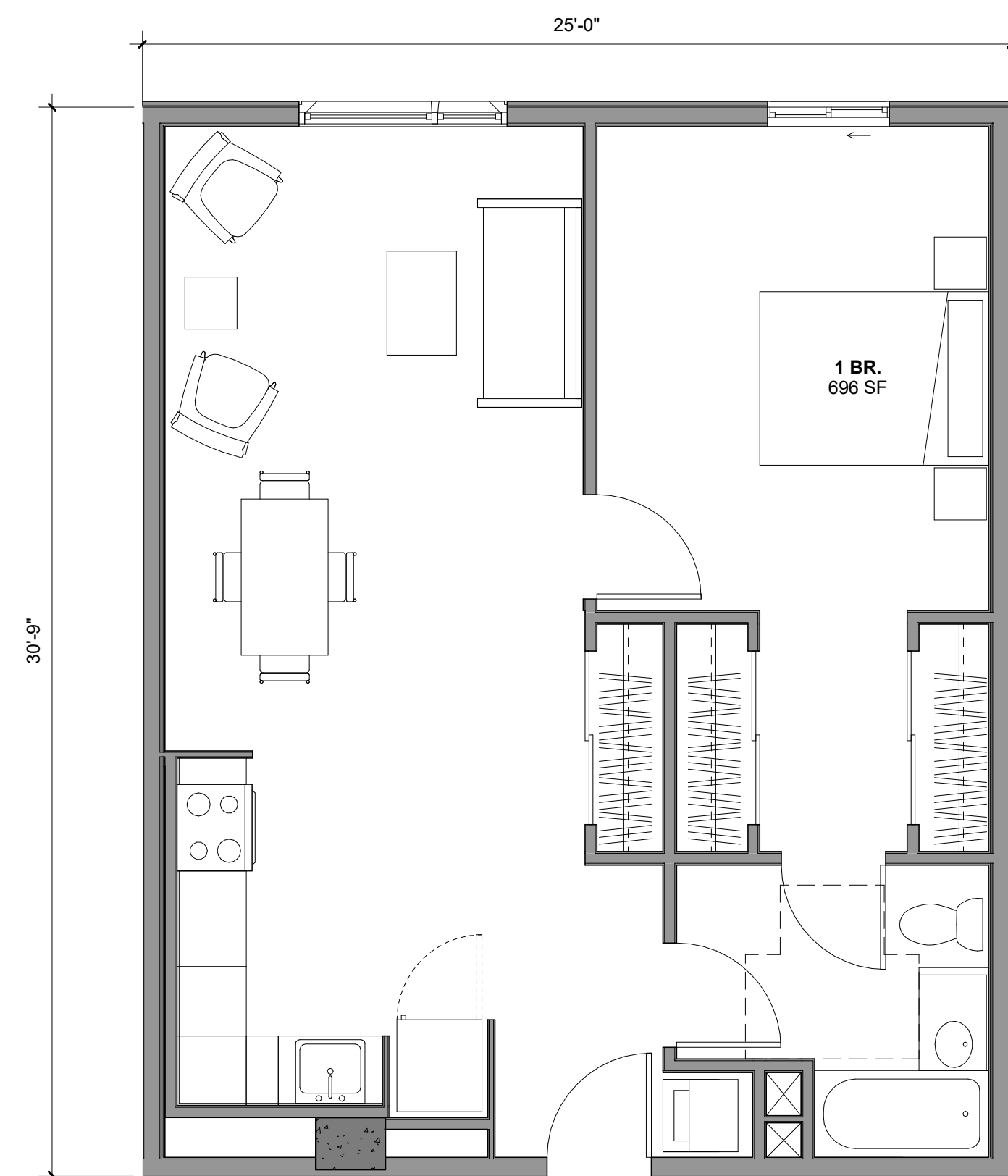
1 UNIT PLAN - TYPICAL MICRO  
A4.01 SCALE: 1/4" = 1'-0"



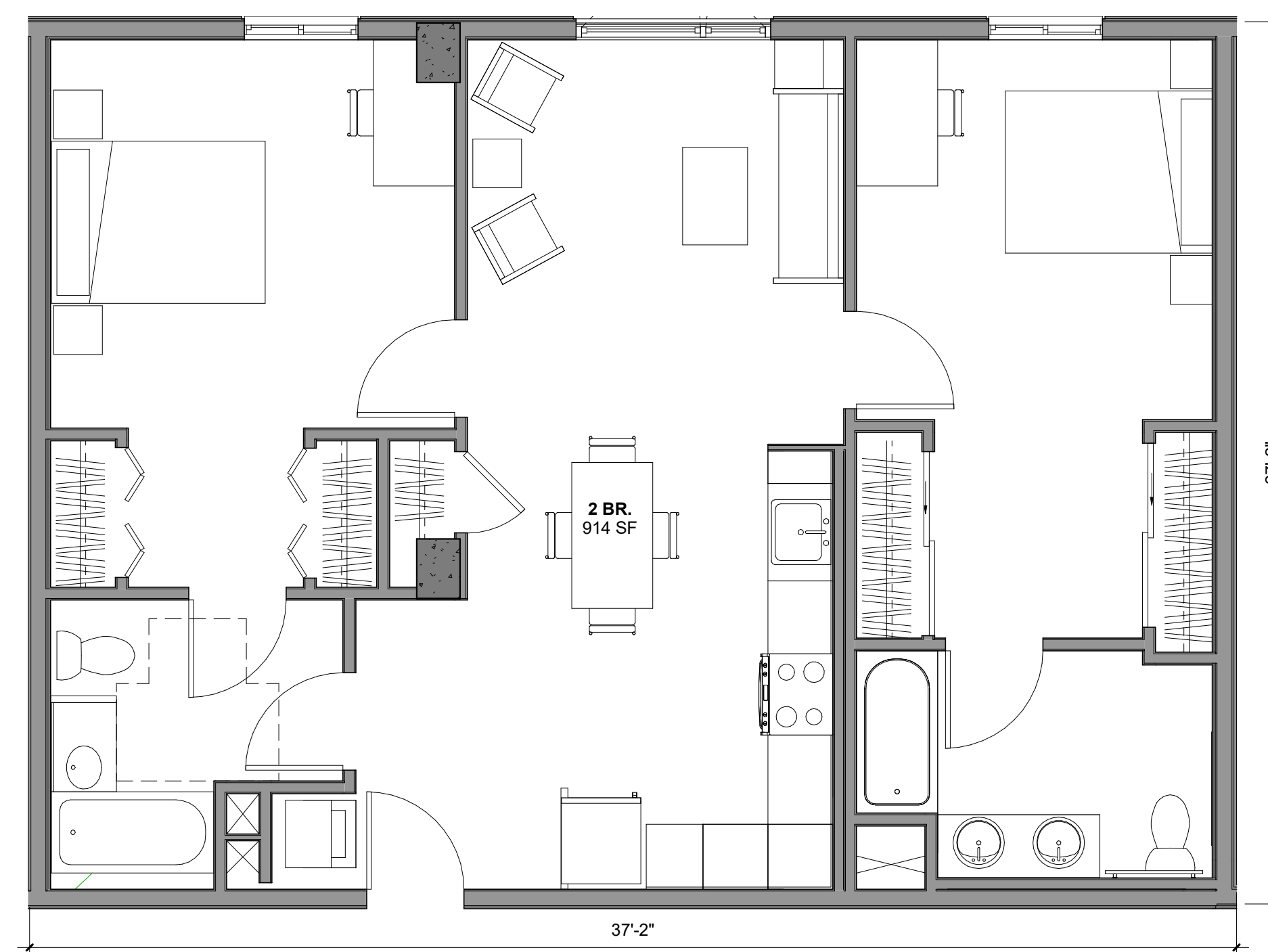
2 UNIT PLAN - TYPICAL STUDIO  
A4.01 SCALE: 1/4" = 1'-0"



3 UNIT PLAN - TYPICAL 1BR. (EMB)  
A4.01 SCALE: 1/4" = 1'-0"



4 UNIT PLAN - TYPICAL 1BR.  
A4.01 SCALE: 1/4" = 1'-0"



5 UNIT PLAN - TYPICAL 2BR.  
A4.01 SCALE: 1/4" = 1'-0"

- **STRUCTURAL ENGINEER**  
**KPFF**  
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94105-2209
- **CIVIL ENGINEER**  
**BKF ENGINEERS**  
255 SHORELINE DRIVE,  
SUITE 200,  
REDWOOD CITY, CA 94065
- **LANDSCAPE ARCHITECT**  
**THE GUZZARDO  
PARTNERSHIP INC.**  
181 GREENWICH STREET,  
SAN FRANCISCO, CA 94111

Project:  
**REDWOOD  
CITY STATION:  
MULTI-FAMILY/  
VETERAN'S  
AFFORDABLE  
HOUSING**

651 EL CAMINO REAL,  
REDWOOD CITY, CA 94061

Client:



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Republic Metropolitan  
**REPUBLIC  
METROPOLITAN**

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UNIT PLANS - MARKET  
RATE

JOB #1916

SCALE 1/4" = 1'-0"

**A4.01**

STRUCTURAL ENGINEER

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BKF ENGINEERS

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LANDSCAPE ARCHITECT

THE GUZZARDO

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181 GREENWICH STREET,  
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Project:

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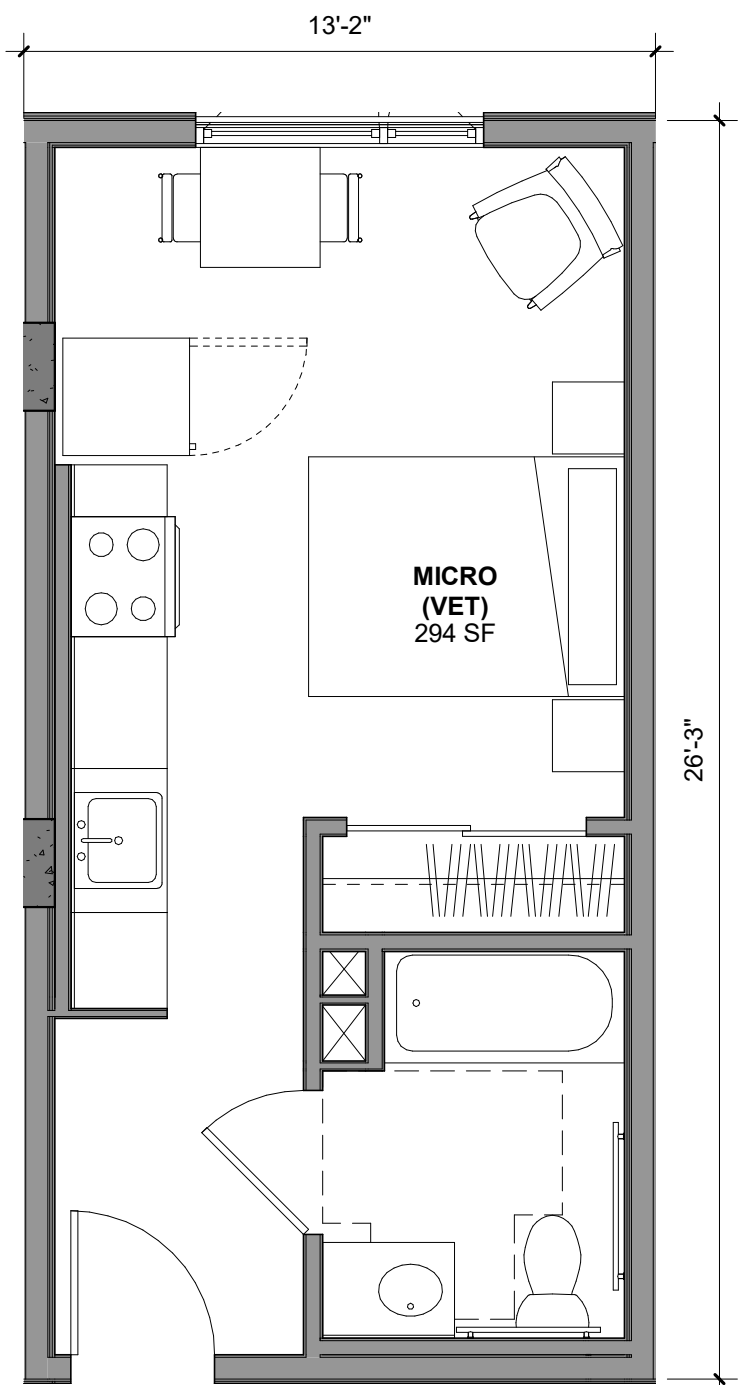
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UNIT PLANS -  
VETERAN'S

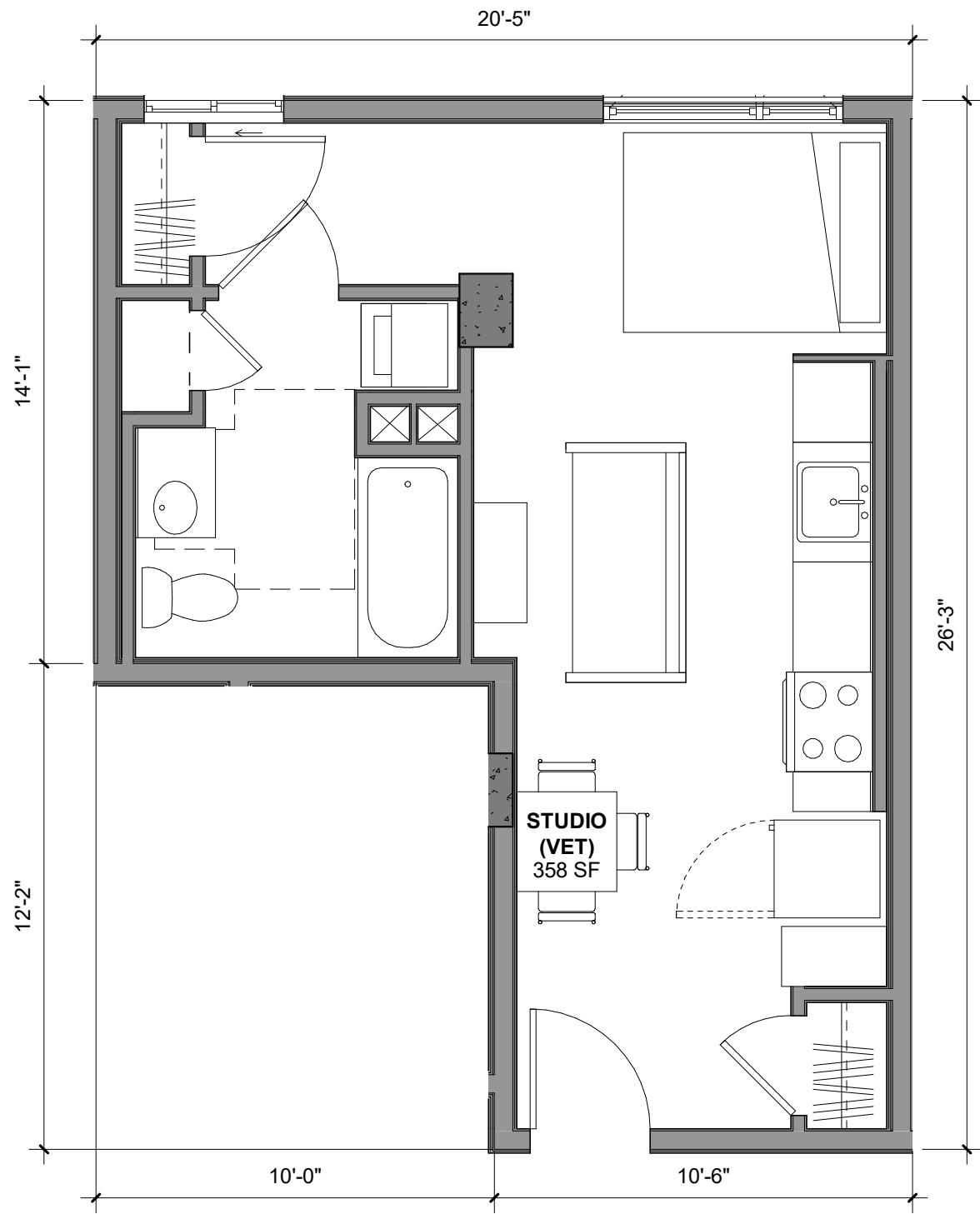
JOB #1916

SCALE 1/4" = 1'-0"

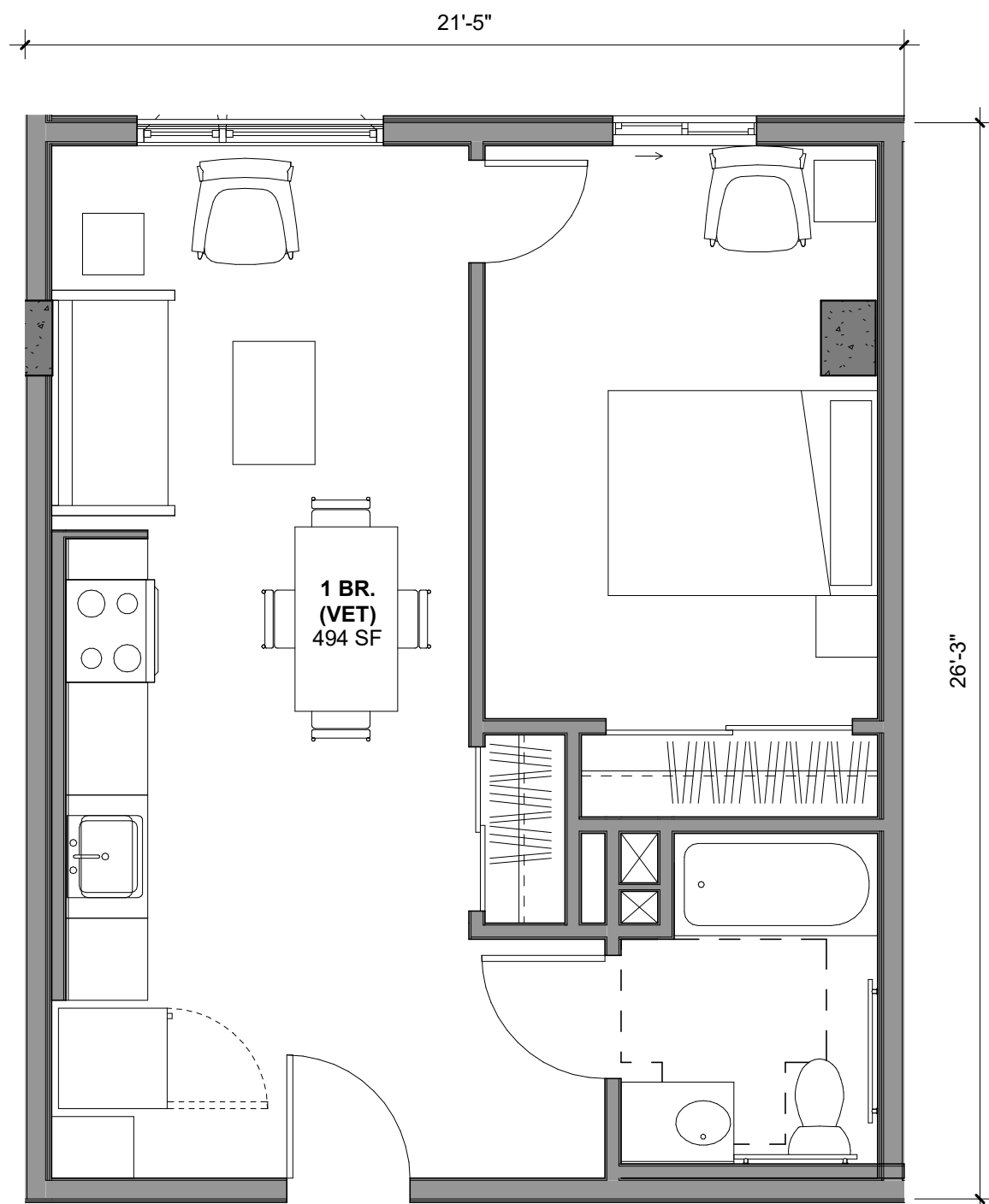
A4.02



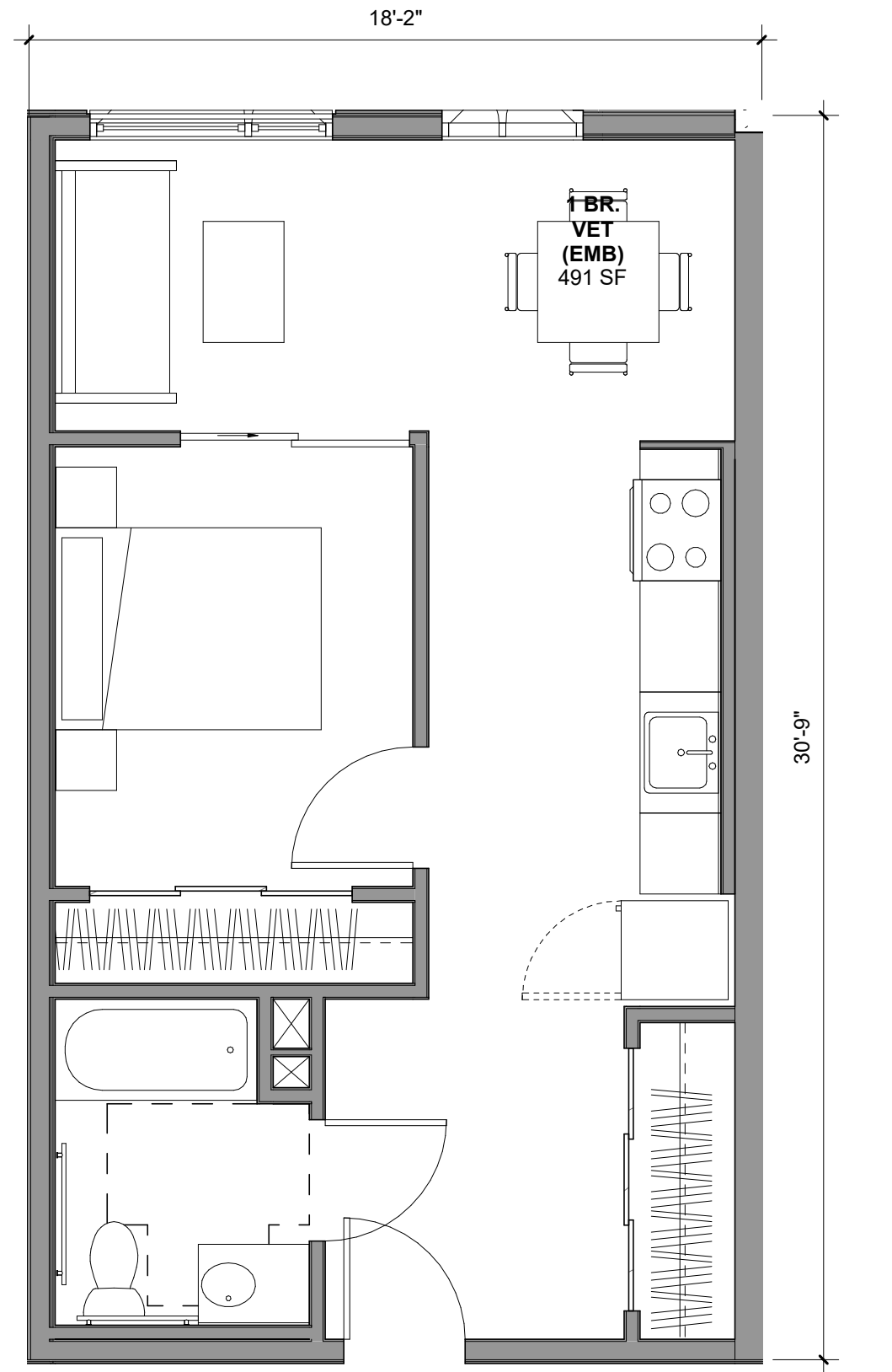
1 UNIT PLAN - TYPICAL VETERAN'S MICRO  
A4.02 SCALE: 1/4" = 1'-0"



2 UNIT PLAN - VETERAN'S STUDIO  
A4.02 SCALE: 1/4" = 1'-0"



3 UNIT PLAN - TYPICAL VETERAN'S 1BR.  
A4.02 SCALE: 1/4" = 1'-0"



4 UNIT PLAN - VETERAN'S 1BR. EMB  
A4.02 SCALE: 1/4" = 1'-0"

- ☐ **STRUCTURAL ENGINEER**  
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- ☐ **CIVIL ENGINEER**  
**BKF ENGINEERS**  
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SAN FRANCISCO, CA 94111

3  
A7.01  
PROPOSED COLOR SELECTION



KEY NOTES

COMPONENTS

- 1 HORIZONTAL METAL SUNSHADE - SOLID PANEL
- 2 METAL GRILLE AT GARAGE
- 3 RECESSED METAL / FIBER CEMENT PANELS
- 4 METAL COPING BAND
- 5 METAL RAILING
- 6 METAL AWNINGS
- 7 METAL STOREFRONTS
- 8 VINYL WINDOWS
- 9 STUCCO
- 10 CONCRETE COLUMNS
- 11 CONCRETE BASE
- 12 GARAGE ROLLING DOOR
- 13 EYEBROW AWNINGS (FRAMED)
- 14 ALUMINUM SIDING (LONGBOARD OR SIM.)
- 15 METAL FRAMED SUNSHADE WITH WOOD SLATS

COLORS

- |   |                            |
|---|----------------------------|
| A | PARISIAN CASHMERE - KM5787 |
| B | BIG BAND - KM5828          |
| C | NORTHPOINTE - KM 5791      |
| D | SANDSTONE VENEER           |
| E | GREY                       |
| F | DARK BRONZE                |

2  
A7.01  
MATERIAL BUILDING ELEVATION - WEST  
SCALE: 1/16" = 1'-0"



EXAMPLE OF PROPOSED  
GARAGE OPENINGS



SANDSTONE VENEER AT ENTRY



EXAMPLE OF PROPOSED SUNSHADES



EXAMPLE OF METAL FENCE

Project:  
**REDWOOD  
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Client:



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Republic Metropolitan  
**REPUBLIC  
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**COLORS AND  
MATERIALS**

JOB #1916

SCALEs indicated

A7.01



DETAIL SECTION AT THE CORNER ELEMENTS

- 4' TALL METAL CAP - TOP
- STUCCO WALL (COLOR: NORTHPOINTE)
- METAL SUNSHADE
- STUCCO WALL (COLOR: PARISIAN CASHMERE)
- STUCCO WALL (COLOR: BIG BAND)
- VINYL WINDOWS
- RECESSED METAL/ FIBER CEMENT PANELS
- 3' TALL METAL CAP - MIDDLE
- STUCCO WALL (COLOR: NORTHPOINTE)
- 2' TALL METAL CAP - BASE
- CONCRETE COLUMN WITH STUCCO FINISH
- METAL RAILING
- SANDSTONE VENEER
- STUCCO WALL (COLOR: NORTHPOINTE)
- EXTERIOR LIGHT SCONCE
- CONCRETE BASE
- METAL STOREFRONTS



DETAIL SECTION AT THE EVENT SPACE ENTRANCE

- 4' TALL METAL CAP - TOP
- METAL RAILING
- FRAMED EYEBROW SUNSHADE
- STUCCO WALL (COLOR: PARISIAN CASHMERE)
- METAL SUNSHADE
- 3' TALL METAL CAP - MIDDLE
- METAL RAILING
- VINYL WINDOWS
- STUCCO WALL (COLOR: NORTHPOINTE)
- STUCCO WALL (COLOR: BIG BAND)
- RECESSED METAL / FIBER CEMENT PANELS
- 2' TALL METAL CAP - BASE
- CONCRETE COLUMN WITH STUCCO FINISH
- METAL RAILING
- SANDSTONE VENEER
- STUCCO WALL (COLOR: NORTHPOINTE)
- METAL AWNINGS
- METAL LETTERING
- METAL STOREFRONTS
- CONCRETE BASE

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**BKF ENGINEERS**  
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SUITE 200,  
REDWOOD CITY, CA 94065
- ☐ **LANDSCAPE ARCHITECT**  
**THE GUZZARDO  
PARTNERSHIP INC.**  
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SAN FRANCISCO, CA 94111

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DETAIL SECTIONS

JOB #1916  
SCALE:



STREET VIEW LOOKING NORTH

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STREET VIEW  
LOOKING NORTH

JOB #1916  
SCALE:



STREET VIEW LOOKING SOUTH

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STREET VIEW  
LOOKING SOUTH

JOB #: 1916

SCALE:

**A7.11**



STREET VIEW LOOKING TOWARDS THE AMERICAN LEGION ENTRY

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PARTNERSHIP INC.**  
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**AMERICAN LEGION  
ENTRY**

JOB # 1916  
SCALE:

**A7.12**



AERIAL VIEW LOOKING NORTH



AERIAL VIEW LOOKING SOUTH

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RENDERINGS -  
AERIAL VIEWS

JOB # 1916

SCALE:

A7.13



COURTYARD VIEW LOOKING TOWARDS THE COMMUNITY ROOM

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PARTNERSHIP INC.**  
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VETERAN'S  
AFFORDABLE  
HOUSING**

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REDWOOD CITY, CA 94061

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Republic Metropolitan  
**REPUBLIC  
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RENDERING -  
COURTYARD

JOB # 1916  
SCALE:



COURTYARD VIEW LOOKING TOWARDS THE FITNESS LOUNGE

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SAN FRANCISCO, CA  
94105-2209
- ☐ **CIVIL ENGINEER**  
**BKF ENGINEERS**  
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SUITE 200,  
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- ☐ **LANDSCAPE ARCHITECT**  
**THE GUZZARDO  
PARTNERSHIP INC.**  
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SAN FRANCISCO, CA 94111

Project:  
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VETERAN'S  
AFFORDABLE  
HOUSING**

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Client:

  
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RENDERING -  
COURTYARD

JOB # 1916  
SCALE:

A7.15

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COURTYARD VIEW LOOKING TOWARDS THE FITNESS LOUNGE

Project:

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RENDERING -  
COURTYARD

JOB # 1916

SCALE:

A7.16



COURTYARD VIEW LOOKING FROM THE FITNESS LOUNGE ROOF DECK

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RENDERING -  
COURTYARD

JOB #1916  
SCALE:



STREET VIEW: ALDEN AND ARGUELLO (LOOKING SOUTH-WEST)



STREET VIEW: BREWSTER AND ARGUELLO (LOOKING WEST)



STREET VIEW: SAMSON AND ARGUELLO (LOOKING SOUTH)



STREET VIEW: BREWSTER (LOOKING NORTH-WEST)



STREET VIEW: ARCH STREET (LOOKING NORTH-EAST)



STREET VIEW: ARCH STREET (LOOKING NORTH-EAST)

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**SURROUNDING AREA  
VIEWS**

JOB # 1916

SCALE:

**A7.18**