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# NEW CONSTRUCTION: 2716 DELEWARE AVENUE

2716 Delaware Avenue  
Nashville, TN 37209

## AREA CALCULATIONS: GROSS (OUTSIDE FACE OF STUD)

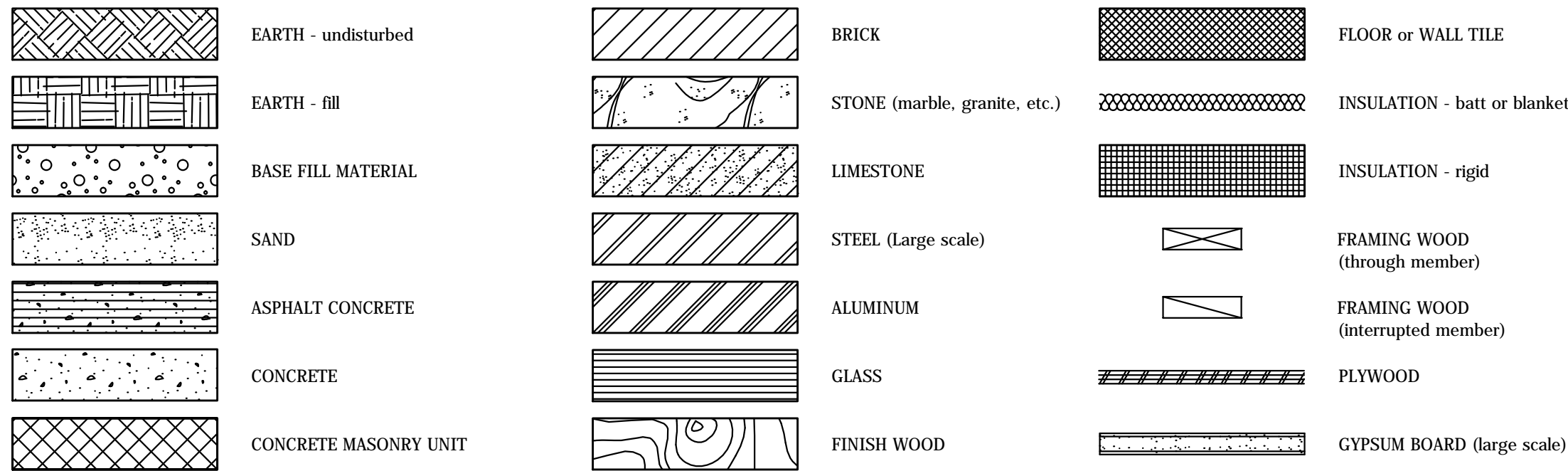
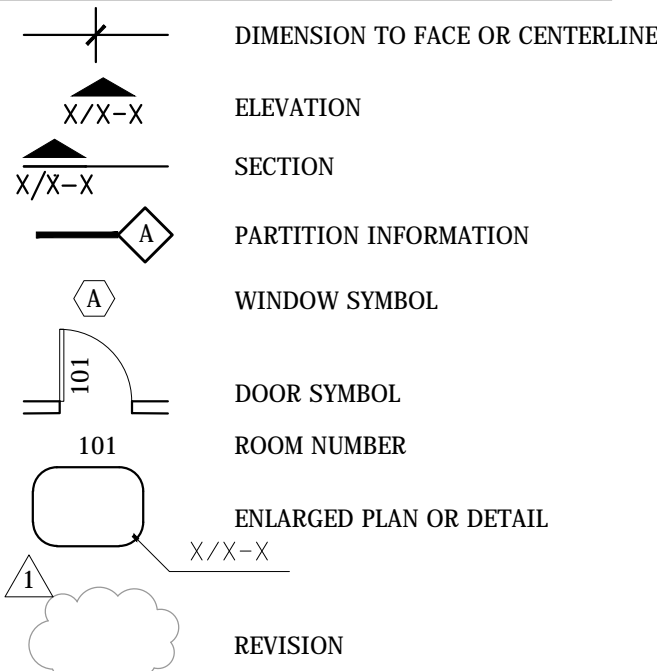
1ST FLOOR	438 S.F.	402 S.F.
2ND FLOOR	1029 S.F.	956 S.F.
3RD FLOOR	695 S.F.	904 S.F.

TOTAL HEATED	2,162 S.F.	2,262 S.F.
FRONT PORCH	37 S.F.	22 S.F.
GARAGE	511 S.F.	522 S.F.
ROOF DECK	598 S.F.	790 S.F.
TOTAL USABLE	3,308 S.F.	3,586 S.F.

## GENERAL NOTES:

- THE INFORMATION CONTAINED WITHIN THESE DOCUMENTS IS ISSUED TO SHOW DESIGN INTENT AND BASIC FRAMING DETAILS. BY ENTERING INTO A CONTRACT, THE GENERAL CONTRACTOR ASSUMES ALL RESPONSIBILITY TO PERFORM ALL WORK WITHIN STANDARD CONSTRUCTION PRACTICES THAT ENSURE PROPER STRUCTURAL DETAILING, WEATHERPROOF CONSTRUCTION, AND QUALITY WORKMANSHIP. ALL CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES AND STANDARDS. THE GENERAL CONTRACTOR SHALL NOTIFY OWNER IN WRITING OF ANY DISCREPANCIES OR PROBLEMS OBSERVED OR PERCEIVED WITHIN THESE DOCUMENTS PRIOR TO PROCEEDING WITH WORK. GENERAL CONTRACTOR SHALL PROVIDE DESIGN / BUILD STRUCTURAL (AS NEEDED), MECHANICAL, ELECTRICAL, PLUMBING AND SITE DRAINAGE, REVIEW AND COORDINATE WITH THE ARCHITECTURAL DRAWINGS, FOR OWNER(S) APPROVAL PRIOR TO PRECEEDING WITH CONSTRUCTION.
- THE ARCHITECT CANNOT IN ANY WAY BE HELD LIABLE FOR ANY DESIGN OR CONSTRUCTION RELATED PROBLEMS THAT MAY OCCUR THROUGHOUT CONSTRUCTION AND THE LIFE OF THE HOME. STRUCTURAL, CONSTRUCTION AND DESIGN ISSUES THAT MAY ARISE ARE ULTIMATELY THE LIABILITY OF THE HIRED GENERAL CONTRACTOR.
- CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE PRICING OF THIS PROJECT AND REVIEW ALL AREAS CONCERNED WITH THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR ACTS AND OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND OTHER PERSONS PERFORMING PORTIONS OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
- THE CONTRACTOR SHALL SECURE ANY LICENSES AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK. THE CONTRACTOR SHALL COMPLY WITH AND GIVE NOTICES REQUIRED BY LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON PERFORMANCE OF THE WORK.
- INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDED SPECIFICATIONS.
- USE ALL GIVEN DIMENSIONS ONLY; IF NOT SHOWN, VERIFY CORRECT DIMENSION(S) WITH ARCHITECT AND GIVEN DESIGNED DIMENSIONS. GENERAL CONTRACTOR SHALL VERIFY AND CHECK ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- FINISHED FLOOR ELEVATION(S) SHOWN ARE SUBJECT TO ACTUAL FIELD CONDITIONS; GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING GRADES, TREE LOCATIONS AND PROPOSED HOUSE LOCATION (IF APPLICABLE) AND SHALL ADVISE ARCHITECT OF ANY RECOMMENDED ADJUSTMENTS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- GENERAL CONTRACTOR SHALL COORDINATE ALL UTILITY SERVICE (WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE T.V. ETC.) CONNECTIONS, ALL CONNECTIONS, METERS, CLEAN OUTS ETC., SHALL BE LOCATED IN A NON-VISUAL OFFENSIVE AREA APPROVED BY ARCHITECT.
- ALL PLUMBING AND MECHANICAL VENTS SHALL BE GROUPED WITHIN THE HOUSE STRUCTURE OR ATTIC SPACE WHEN POSSIBLE TO MINIMIZE ROOF PENETRATIONS. ALL PLUMBING AND MECHANICAL VENTS WHICH EXTEND ABOVE THE ROOF SHALL BE LOCATED AWAY FROM PUBLIC VIEW (I.E. PLACE VENTS TOWARDS MIDDLE OF ROOF OR SHIELD PLACEMENT FROM STREET OR OUTDOOR LIVING AREAS. ALL METAL & PVC VENTS & PENETRATIONS SHALL BE PROPERLY PRIMED & PAINTED TO MATCH COLOR OF ROOF.

## SYMBOLS & MATERIALS:



## ABBREVIATIONS:

ARCH	ARCHITECT (URAL)	LVR	LOUVER
AUTO	AUTOMATIC	MAS	MASONRY
AV	AUDIO/VISUAL	MAT	MATERIAL
BD	BOARD	MAX	MAXIMUM
BLDG	BUILDING	MECH	MECHANICAL
BLK	BLOCK	MEP, MPE	MECH., ELEC. & PLUMB.
BLKG	BLOCKING	MTL	METAL
BM	BENCH MARK	MFR	MANUFACTURER
BO	BOTTOM OF	MIN	MINIMUM
BOM	BOTTOM OF MASONRY	MISC	MISCELLANEOUS
BOT	BOTTOM	MO	MASONRY OPENING
CAB	CABINET	MTD	MOUNT, MOUNTED
CEM	CEMENT	NIC	NOT IN CONTRACT
CLG	CEILING	NOM	NOMINAL
CIP	CAST IN PLACE	NTS	NOT TO SCALE
CIVIL	CIVIL ENGINEER(ING)	OC	ON CENTER
CJ	CONTROL JOINT	OD	OUTSIDE DIAMETER
CLR	CLEAR(ANCE)	OHD	OVERHEAD
CMU	CONCRETE MASONRY UNIT	OFCI	OWNER FURNISHED ITEM
CO	CASED OPENING	OPH	OPPOSITE HAND
COL	COLUMN	OPG	OPENING
CONC	CONCRETE	OPP	OPPOSITE
CONST	CONSTRUCTION	PL	PLASTIC LAMINATE
CONT	CONTINUOUS	PLAS	PLASTIC
COORD	COORDINATE	PLUMB	PLUMBING
CP	CARPET	PLYWD	PLYWOOD
CT	CERAMIC TILE	POLY	POLYURETHANE
CTR	CENTER	PT	PRESSURE TREATED
D	DEEP	PTD	PAINTED
DEMO	DEMOLITION	PVC	POLYVINYL CHLORIDE
DTL	DETAIL	QT	QUARRY TILE
DF	DRINKING FOUNTAIN	R	RISER, RADIUS
DIA	DIAMETER	RB	RUBBER BASE
DIM	DIMENSION	RD	ROOF DRAIN
DN	DOWN	REF	REFERENCE
DS	DOWN SPOUT	REFG	REFRIGERATOR
DWG	DRAWING	REQ	REQUIRED
EIFS	EXT. INSULATION FINISH SYS.	REV	REVISION
EJ	EXPANSION JOINT	RO	ROUGH OPENING
EL	ELEVATION	RT	RUBBER TILE
ELEC	ELECTRIC(AL)	RTU	ROOF TOP UNIT
EPXY	EPOXY	SCHD	SCHEDULE
EQ	EQUAL	SECT	SECTION
EQUIP	EQUIPMENT	SHT	SHEET
EXH	EXHAUST	SIM	SIMILAR
EXT	EXTERIOR	SPEC	SPECIFICATION
FD	FLOOR DRAIN	SQ	SQUARE
FE	FIRE EXTINGUISHER	SS	STAINLESS STEEL
FFE	FINISHED FLOOR ELEVATION	SSR	STANDING SEAM ROOF
FIN	FINISH(ED)	STD	STANDARD
FLG	FLASHING	STL	STEEL
FLR	FLOORING	STR	STAINED
FLU	FLUORESCENT	STR	STRUCTUR(AL)
FOF	FACE OF FINISH	SV	SHEET VINYL
FOM	FACE OF MASONRY	SYS	SYSTEM
FOS	FACE OF STUD	T	TREAD
FTG	FOOTING	TELE	TELEPHONE
GA	GAUGE	THR	THRESHOLD
GALV	GALVANIZED	TOC	TOP OF CONCRETE
GYP	GYPSUM BOARD	TOJ	TOP OF JOIST
HC	HANDICAP	TOM	TOP OF MASONRY
HGT	HEIGHT	TOP	TOP OF PLATE, BEARING HGT.
HIM	HOLLOW METAL	TOS	TOP OF STEEL
HOR	HORIZONTAL	TOW	TOP OF WALL
HVAC	HEATING VENTING AND COOLING	TYP	TYPICAL
INSUL	INSULATION	T&G	TONGUE AND GROVE
INT	INTERIOR	VCT	VINYL COMPOSITE TILE
JOINT	JOINT	VERT	VERTICAL
LAM	LAMINATE(D)	VIF	VERIFY IN FIELD
LAND	LANDSCAPE (ARCHITECT)	VLT	VINYL TILE
LAV	LAVATORY	WC	WATER CLOSET
LH	LEFT HAND	WD	WOOD
LL	LIVE LOAD	WHF	WATER HEATER
LT	LIGHT	WTH	WELDED WIRE FABRIC
LVL	LAMINATED VENEERED LUMBER	W/	WITH
		W/O	WITHOUT

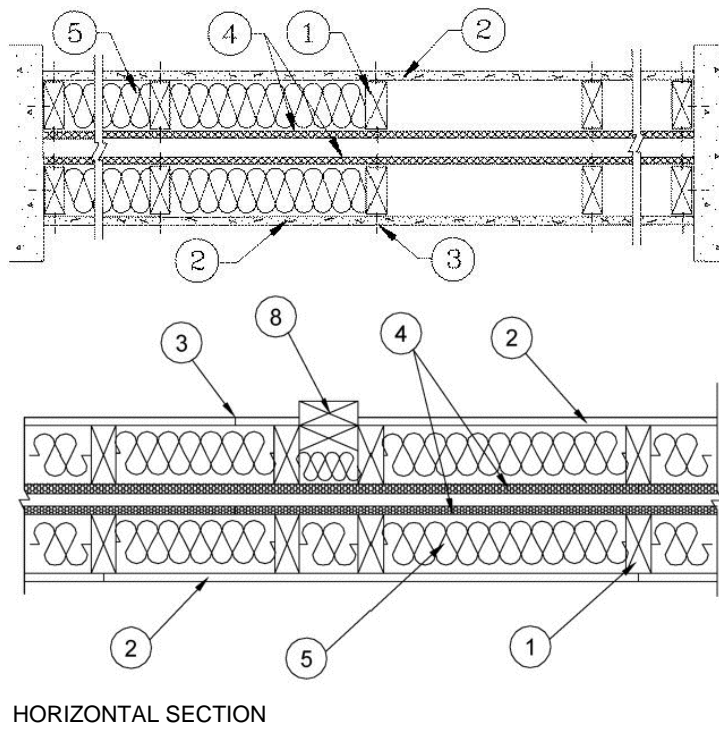
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GENERAL NOTE:  
THIS SITE PLAN IS DIAGRAMMATIC AND SHOULD BE USED FOR REFERENCE ONLY. EXACT LOCATIONS OF RESIDENCE, SETBACKS, EASEMENTS, BUFFERS, TOPOGRAPHIC INFORMATION AND PROPERTY DIMENSION SHOULD BE ASSIGNED AND VERIFIED BY A LICENSED SURVEYOR AND BY AUTHORIZED MUNICIPAL AGENCIES HAVING GOVERNMENTAL AUTHORITY.



Design No. U341  
July 14, 2016  
Bearing Wall Rating — 1 Hr.  
Finish Rating — Min 20 min.



- Wood Studs** — Nom 2 by 4 in., spaced 24 in. OC max. Cross braced at mid-height and effectively firestopped at top and bottom of wall. No min. air space between stud rows except to accommodate attachment of sheathing, where required. See Items 4 and 5.
- Gypsum Board** — 5/8 in. thick 4 ft wide. Gypsum board or lath applied horizontally or vertically, unless specified below, and nailed to studs and bearing plates 7 in. OC with 6d cement coated nails, 1-7/8 in. long, 0.0915 in. shank diam and 1/4 in. diam head. As an alternate, No. 6 bugle head drywall screws, 1-7/8 in. long, may be substituted for the 6d cement coated nails.

When used in widths other than 48 in., gypsum board to be installed horizontally.

2C. **Gypsum Board** — (As an alternate to Item 2, not shown) - 5/8 in. thick gypsum panels applied horizontally or vertically and covered with tape and joint compound. Nail heads of outer layer covered with joint compound. As an alternate, nom 3/32 in. thick gypsum veneer plaster may be applied to the entire surface of Classified veneer baseboard with joints reinforced with paper tape.

**AMERICAN GYPSUM CO.** - Types AGX-1, M-Glass, AC-C  
**CERTAINTED GYPSUM INC.** - Type C or Type X  
**CERTAINTED GYPSUM CANADA INC.** - Type C or Type X

3. **Joints and Nailheads** — Gypsum board joints of outer layer covered with tape and joint compound. As an alternate, nom 3/32 in. thick gypsum veneer plaster may be applied to the entire surface of Classified veneer baseboard with joints reinforced with paper tape.

4. **Sheathing** — Septum may be sheathed with min 7/16 in. thick wood structural panels min grade "C-D" or "Sheathing" or min 1/2 in. thick **Mineral and Fiber Boards**.

5. **Batts and Blankets** — 3-1/2 in. max thickness glass or mineral fiber batt insulation when sheathing (Item 4) is used on both halves of wall.

5D. **Fiber, Sprayed** — As an alternate to Batts and Blankets (Item 5) and Item 5A when Sheathing (Item 4) is used on both halves of wall - Spray applied cellulose fiber. The fiber is applied with water to completely fill the enclosed cavity in accordance with the application instructions supplied with the product. The minimum dry density shall be 4.30 lbs/ft3.

**INTERNATIONAL CELLULOSE CORP.** - Celbar-RL

8. **Non-Bearing Wall Partition Intersection** — (Optional) Two nominal 2 by 4 in. stud or nominal 2 by 6 in. stud nailed together with two 3in. long 10d nails spaced a max. 16 in. OC, vertically and fastened to one side of the minimum 2 by 4 in. stud with 3 in. long 10d nails spaced a max. 16 in. OC, vertically. Intersection between partition wood studs to be flush with the 2 by 4 in. studs. The wall partition wood studs are to be framed by with a second 2 by 4 in. wood stud fastened with 3 in. long 10d nails spaced a max. 16 in. OC, vertically. Maximum one non-bearing wall partition intersection per stud cavity. Non-bearing wall partition stud depth shall be at a minimum equal to the depth of the bearing wall.

\*Bearing the UL Classification Mark

FINISH FLOOR TABULATION				
UNIT #1 & 2				
ROOM #	ROOM NAME	AREA	FLOOR FINISH	BASEBOARD
114	BATH	44 SF	C.T.	28 LF
123	BATH	55 SF	C.T.	33 LF
136	BATHROOM	62 SF	C.T.	32 LF
137	MASTER BATHROOM	55 SF	C.T.	33 LF
CERAMIC TILE TOTAL:			216 SF	126 LF
111	ENTRY	93 SF	HWD.	47 LF
112	FLEX/OFFICE	185 SF	HWD.	56 LF
113	CLOSET	23 SF	HWD.	20 LF
121	PANTRY	11 SF	HWD.	14 LF
122	LINEN	11 SF	HWD.	14 LF
124	BEDROOM	147 SF	HWD.	49 LF
125	CLOSET	9 SF	HWD.	14 LF
126	KITCHEN	186 SF	HWD.	78 LF
127	DINING	193 SF	HWD.	56 LF
128	LIVING	292 SF	HWD.	69 LF
131	HALLWAY	70 SF	HWD.	47 LF
132	LAUNDRY	8 SF	HWD.	12 LF
133	LINEN	11 SF	HWD.	10 LF
134	MASTER BEDROOM	173 SF	HWD.	58 LF
135	MASTER CLOSET	68 SF	HWD.	34 LF
138	BEDROOM	124 SF	HWD.	45 LF
139	CLOSET	29 SF	HWD.	25 LF
141	HALLWAY	37 SF	HWD.	19 LF
142	MECH	14 SF	HWD.	15 LF
HARDWOOD TOTAL:			1,627 SF	648 LF
SHOE MOULD TOTAL:			648 LF	774 LF
BASEBOARD TOTAL:				774 LF

FINISH FLOOR TABULATION				
UNIT #3				
ROOM #	ROOM NAME	AREA	FLOOR FINISH	BASEBOARD
314	BATH	65 SF	C.T.	39 LF
322	BATH	48 SF	C.T.	29 LF
335	MASTER BATHROOM	88 SF	C.T.	43 LF
336	BATHROOM	57 SF	C.T.	33 LF
CERAMIC TILE TOTAL:			258 SF	144 LF
311	ENTRY	61 SF	HWD.	38 LF
312	FLEX/OFFICE	158 SF	HWD.	52 LF
313	CLOSET	20 SF	HWD.	20 LF
321	PANTRY	6 SF	HWD.	10 LF
323	BEDROOM	186 SF	HWD.	58 LF
324	CLOSET	19 SF	HWD.	19 LF
326	KITCHEN	251 SF	HWD.	93 LF
326	LIVING	341 SF	HWD.	84 LF
331	HALLWAY	66 SF	HWD.	43 LF
332	LAUNDRY	22 SF	HWD.	20 LF
333	MASTER BEDROOM	292 SF	HWD.	111 LF
334	MASTER CLOSET	43 SF	HWD.	30 LF
337	BEDROOM	154 SF	HWD.	55 LF
338	CLOSET	54 SF	HWD.	30 LF
341	HALLWAY	37 SF	HWD.	28 LF
342	MECH	14 SF	HWD.	15 LF
HARDWOOD TOTAL:			1,724 SF	706 LF
SHOE MOULD TOTAL:			706 LF	850 LF
BASEBOARD TOTAL:				850 LF

## INTERIOR MATERIALS:

### WALL TILE:

BATHROOM 114 TUB SURROUND: 72 SF  
BATHROOM 123 TUB SURROUND: 72 SF  
MSTR. BATH 136 SHOWER: 112 SF  
MSTR. BATH 136 BEHIND SINKS: 48 SF  
BATHROOM 137 TUB SURROUND: 72 SF  
BATHROOM 314 TUB SURROUND: 72 SF  
BATHROOM 322 TUB SURROUND: 72 SF  
BATHROOM 336 TUB SURROUND: 72 SF  
MSTR. BATH 335 SHOWER: 113 SF  
MSTR. BATH 335 BEHIND SINKS: 42 SF

BACKSPLASH: 138 SF (UNITS 1 & 2)  
266 SF (UNIT 3)

COUNTERTOP: 86 SF (UNITS 1 & 2)  
110 SF (UNIT 3)

STAIR RISERS INT.: (ALL UNITS)

FIRST FLOOR - 17 RISERS / 16 TREADS

SECOND FLOOR - 18 RISERS / 17 TREADS

THIRD FLOOR - 19 RISERS / 18 TREADS

WINDOW TRIM: 1,092 LF (UNITS 1 & 2)  
1,330 LF (UNIT 3)

DOOR TRIM: 1,653 LF (UNITS 1 & 2)  
1,515 LF (UNIT 3)

TOTAL TRIM 2,745 LF (UNITS 1 & 2)  
2,845 LF (UNIT 3)

DRYWALL ESTIMATE: 11,911 LF (UNITS 1 & 2)  
12,607 LF (UNIT 3)

## EXTERIOR MATERIALS:

### UNITS 1 & 2:

BRICK VENEER: 854 SF  
5" CEMENT BOARD LAP SIDING: 2110 SF  
CEDAR RAIN SCREEN SIDING: 282 SF  
UNIT 3:  
BRICK VENEER: 1288 SF  
5" CEMENT BOARD LAP SIDING: 3693 SF  
CEDAR RAIN SCREEN SIDING: 233 SF

GENERAL INFORMATION

#19421

NEW CONSTRUCTION:

2716 DELAWARE AVENUE

2716 DELAWARE AVENUE

NASHVILLE, TN 37209

root ARCH

ARCHITECTURE | INTERIORS

753 ALLOWAY STREET, NASHVILLE, TN 37203

T 615.292.2142

www.rootARCH.com

A0.01



**A7 FIRST FLOOR PLAN**  
1/4" = 1'-0"

**CRAWL SPACE NOTES:**

- AT ALL CRAWLSPACE AREAS, PROVIDE 10 MIL. VISQUEEN OVERLAPPED 12" MIN. AND TURNED UP BLOCK WALLS W/ 3" WASHED GRAVEL BALLAST.
- FRAMING AND FOUNDATION CONCEPT SHOWN FOR COORDINATION AND DESIGN INTENT ONLY. ACTUAL DESIGN MAY BE DIFFERENT PER HIRED STRUCTURAL.

**NOTE:** COORDINATE PERFORATED PIPE OUTFLOW LOCATIONS PRIOR TO COMPLETING ALL FOOTING AND FOUNDATION WORK. ALSO COORDINATE DRAINS FOR AIR CONDITIONER EQUIPMENT, WATER HEATER, POSSIBLE SUMP PUMP, AND MAIN HOUSE SEWER DRAIN.

**NOTE:** THIS DOES NOT REPLACE THE NEED FOR AN ENGINEERED FOUNDATION PLAN. PROVIDE ADEQUATE AND CODE COMPLIANT ANCHOR & SHEAR CONNECTIONS AND VERTICAL/HORIZONTAL STEEL REINFORCEMENT WITHIN CMU WALLS THROUGHOUT.

**PROVIDE POSITIVE SLOPE TOWARDS GARAGE DOOR @ 1%**

**MIRROR DIMENSIONS & NOTES ACROSS UNITS**

**1-HOUR DEMISING WALL**

**PROVIDE 1/2" DIA. ANCHOR BOLTS @ 48" O.C. AND @ ALL CORNERS (TYPICAL U.N.O.)**

**PROVIDE RECESSED CHANNEL WITHIN SLAB FOR GARAGE DOOR SILL. REF. J13/A5.31**

**THICKEN CONC. SLAB ACROSS FULL LENGTH OF GARAGE @ MIDPOINT**

**5" REINFORCED CONC. SLAB OVER VAPOR BARRIER & GRAVEL FILL. TYP.**

**STEP FOUNDATION AS NECESSARY**

**COORDINATE FRAMING W/ PLUMBING FIXTURES ABOVE. TYP. REF. PLANS**

**TYP. 12X16 CONC. BLOCK PIERS GROUTED SOLID W/ (2) #6'S DOWN TO 2' X 1' DEEP CONC. FOOTING W/ (3) #6'S CONT. COORD. QUANTITY AND EXACT LOCATIONS WITH STRUCTURAL**

**8X16 FOUNDATION VENTS W/ INSECT SCREEN, TYP.**

**4" REINFORCED CONC. PORCH SLAB OVER GRAVEL FILL. FINAL ELEVATION TO BE 1" BELOW F.F.E.**

**COOR. WATERPROOFING AND FOUNDATION DRAIN LOCATIONS PER CIVIL**

**FACE OF CMU**

**PROVIDE FOOTING AS REQUIRED FOR STEPS TO GRADE**

**4" CMU. REF. G13/A5.32**

**2'-6" BRICK**

**4" CMU. REF. G13/A5.32**

**NOTE: PROVIDE CLEAN-OUT @ BASE OF INTERIOR D.S.**

**NOTE: PROVIDE CLEAN-OUT @ BASE OF INTERIOR D.S.**

**28'-0" EXTENT OF MASONRY, BOTH SIDES OF UNIT**

**28'-0"**

**51'-6"**

**52'-0"**

**39'-0"**

**19'-5"**

**2" GAP**

**18'-4" +/- GARAGE DOOR**

**EQ.**

**6'-4"**

**8'-10"**

**4'-3"**

**4'-8"**

**9'-0"**

**15'-0"**

**28'-0"**

**4'-0"**

**6'-0"**

**17'-0"**

**4'-0"**

**2'-4"**

**8**

**12**

**12**

**12**

**8**

**4**

**2**

**2'-7"**

**9'-1"**

**7'-9"**

**7'-9"**

**9'-1"**

**2'-7"**

**19'-5" UNIT 2**

**39'-0"**

**19'-5" UNIT 1**

**40'-0"**

**OUTSIDE FACE OF STUD TO OUTSIDE FACE OF STUD**

**OUTSIDE FACE OF BRICK TO OUTSIDE FACE OF BRICK**

**A1/A4.11**

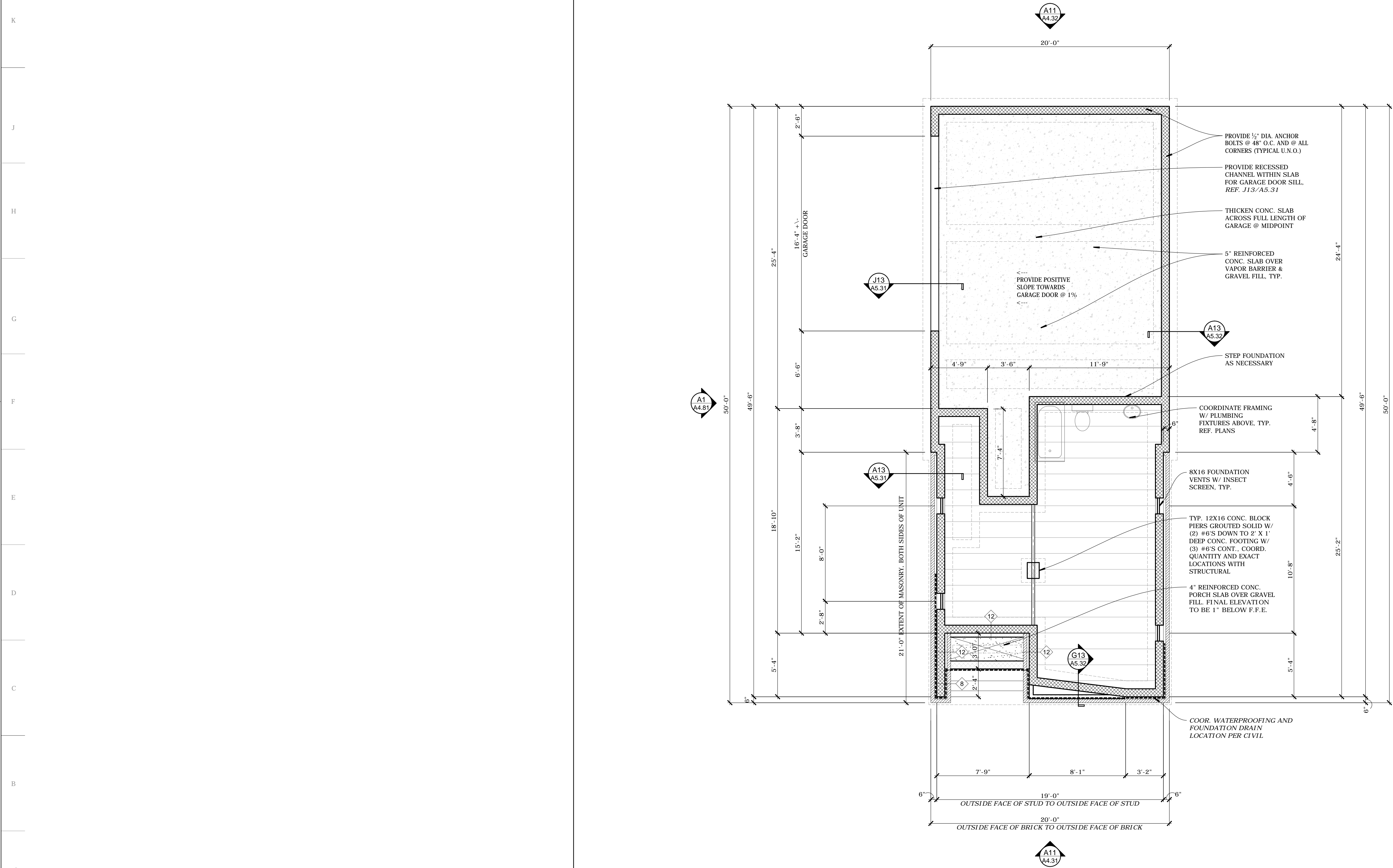
**A13/A5.31**

**A13/A5.32**

**G13/A5.32**

**A9/A4.11**

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**A7** FOUNDATION PLAN  
1/4" = 1'-0"

FOUNDATION PLAN (UNITS 3)

#19421

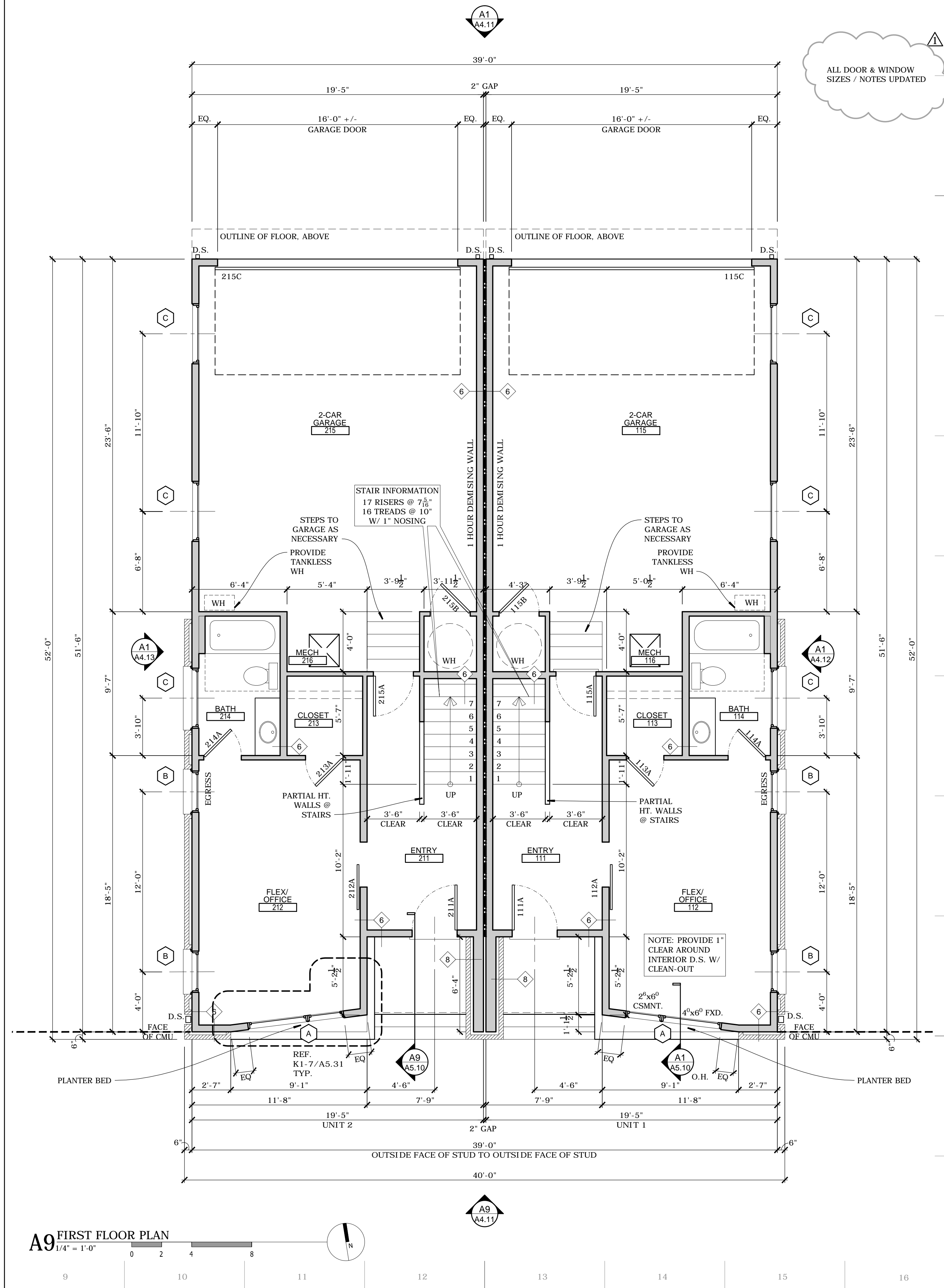
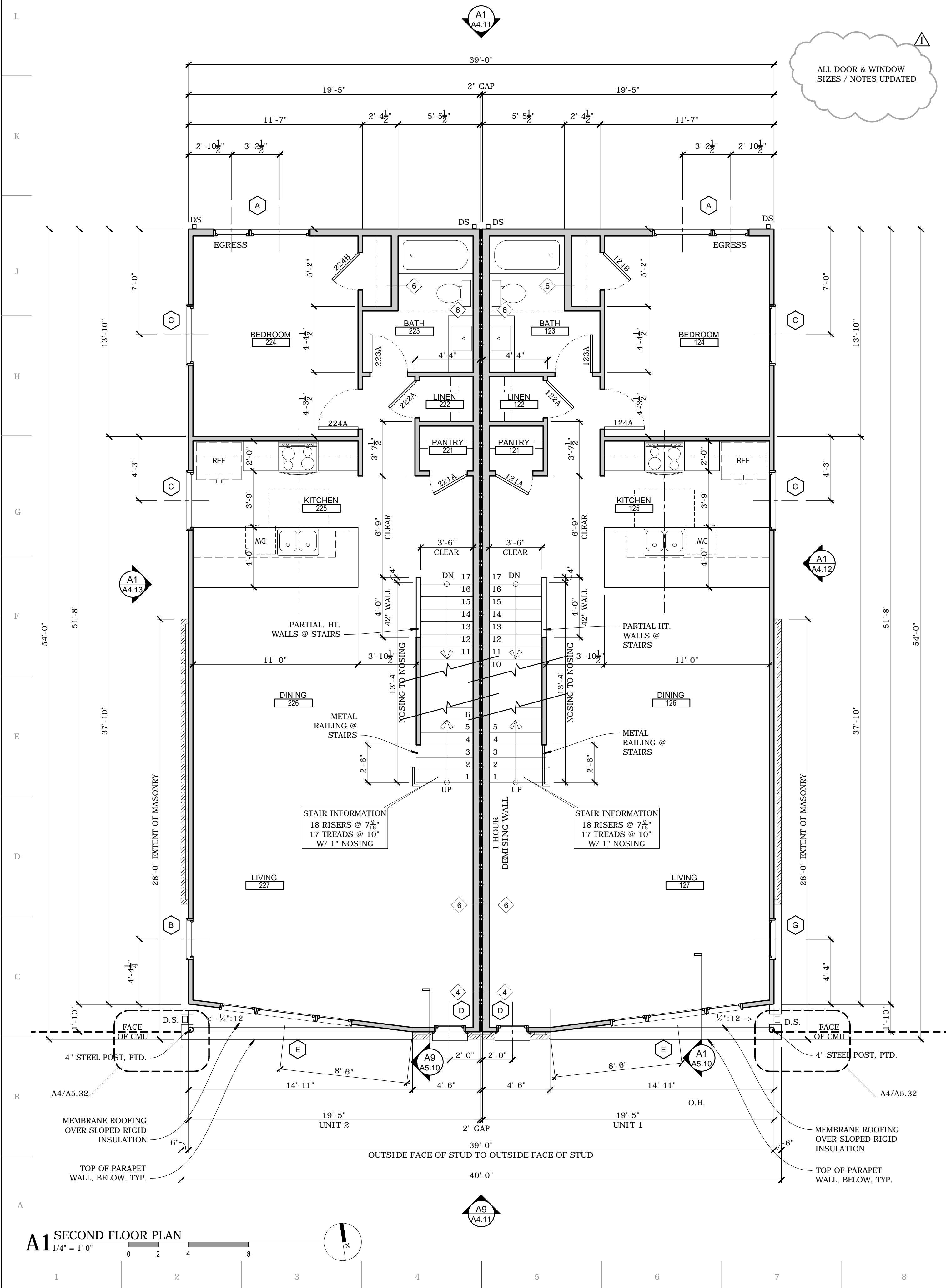
NEW CONSTRUCTION:

**2716 DELAWARE AVENUE**

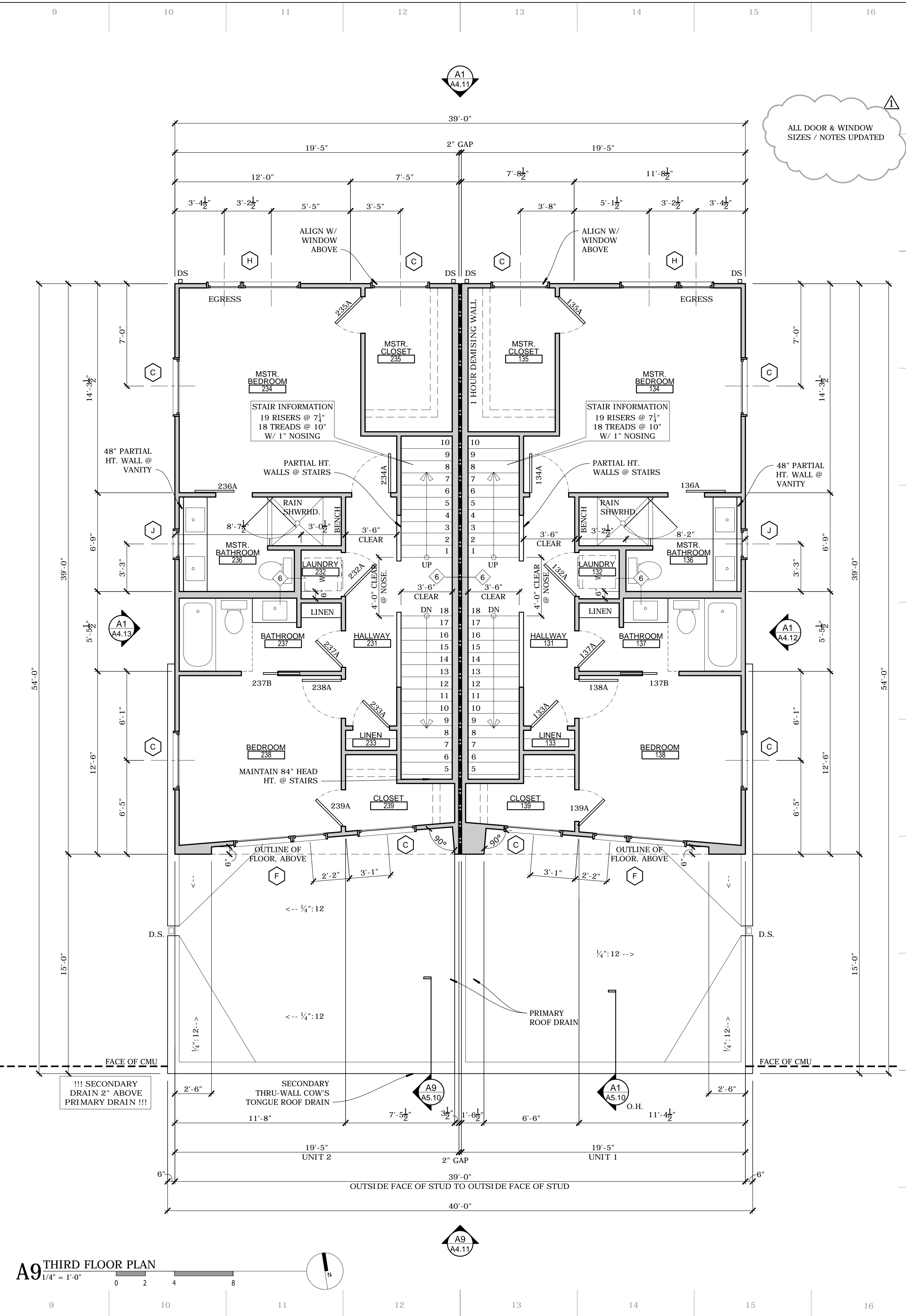
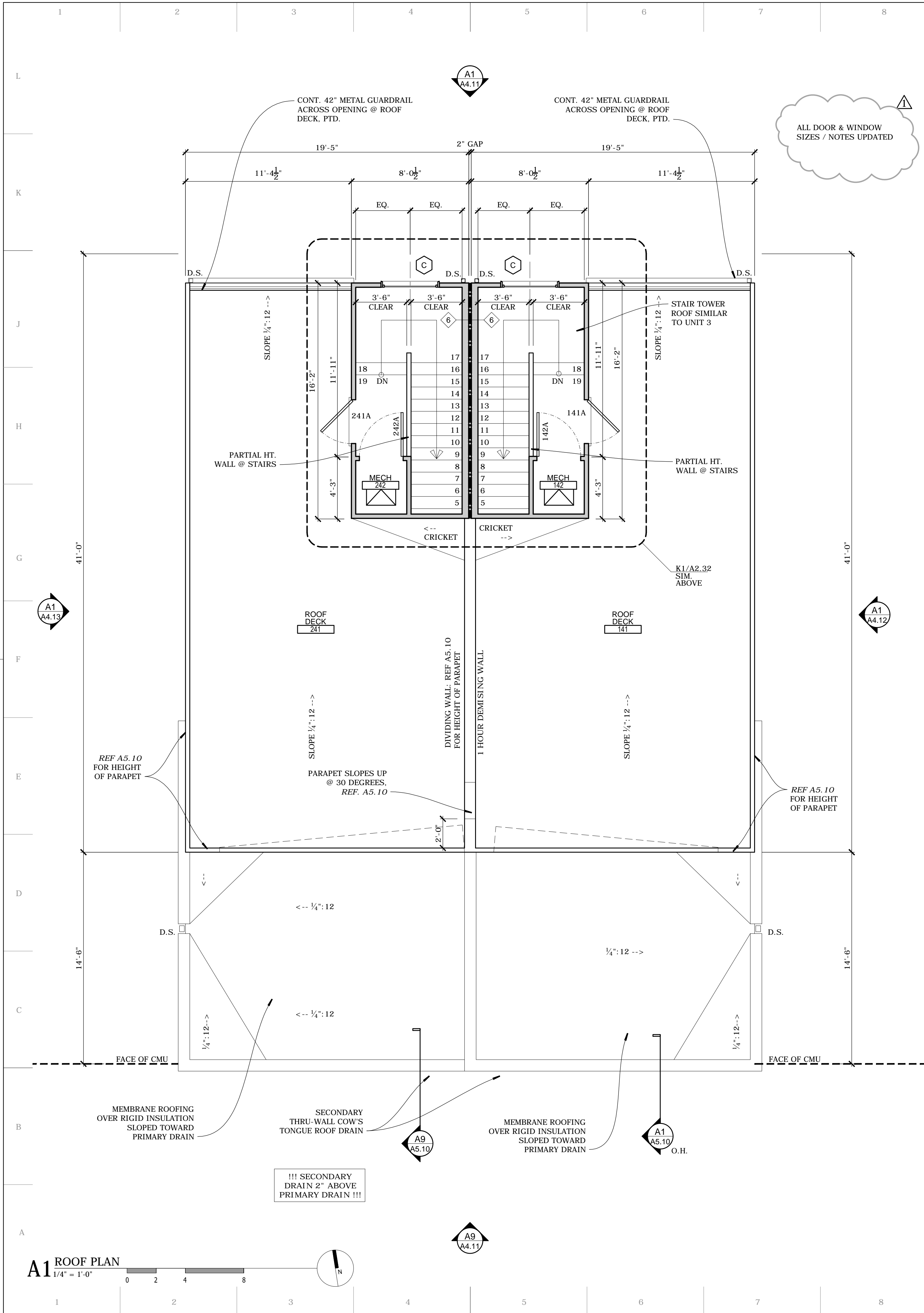
2716 DELAWARE AVENUE  
NASHVILLE, TN 37209

REV.	DATE	DESC.
0	01.13.20	FOR PERMIT





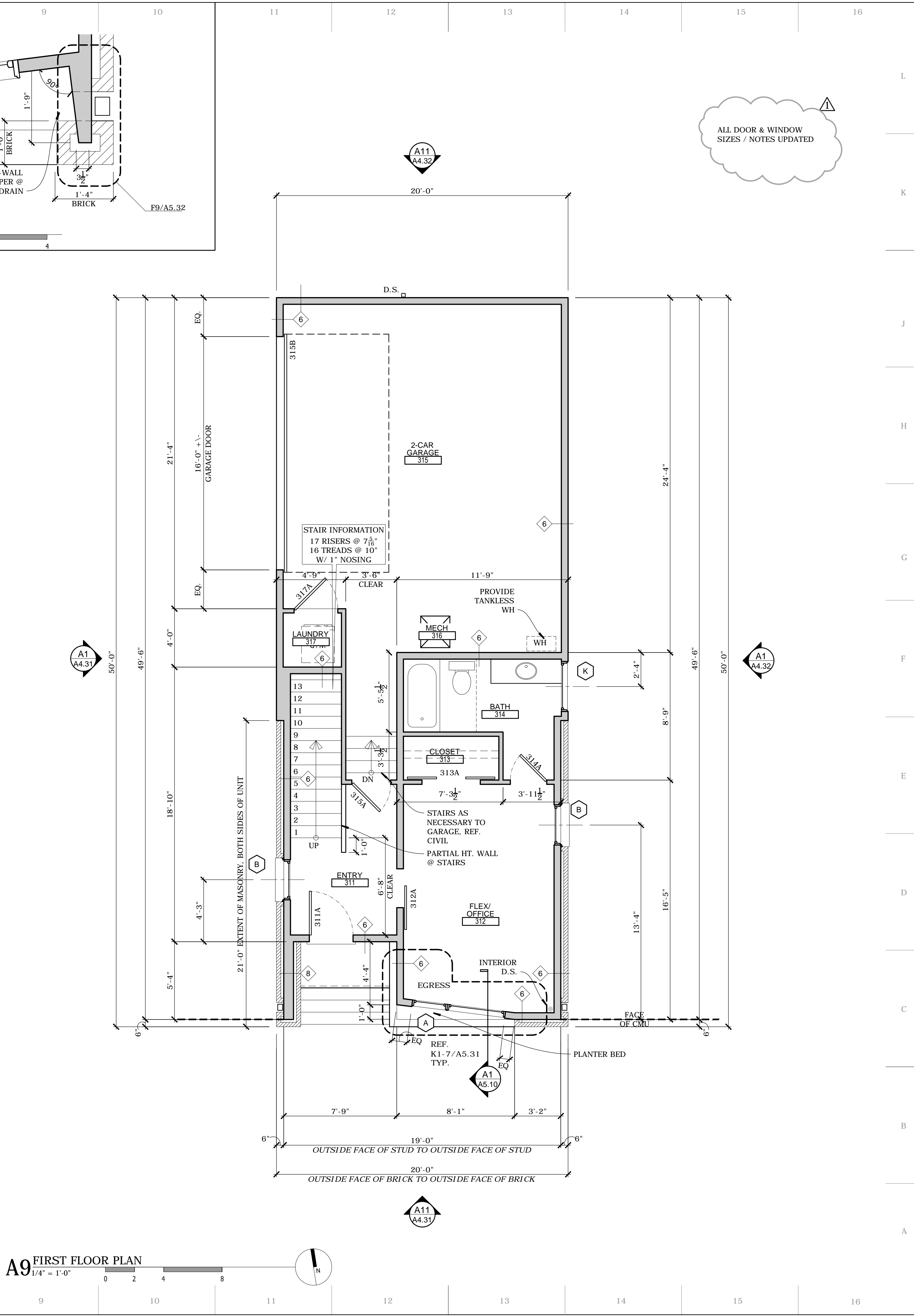
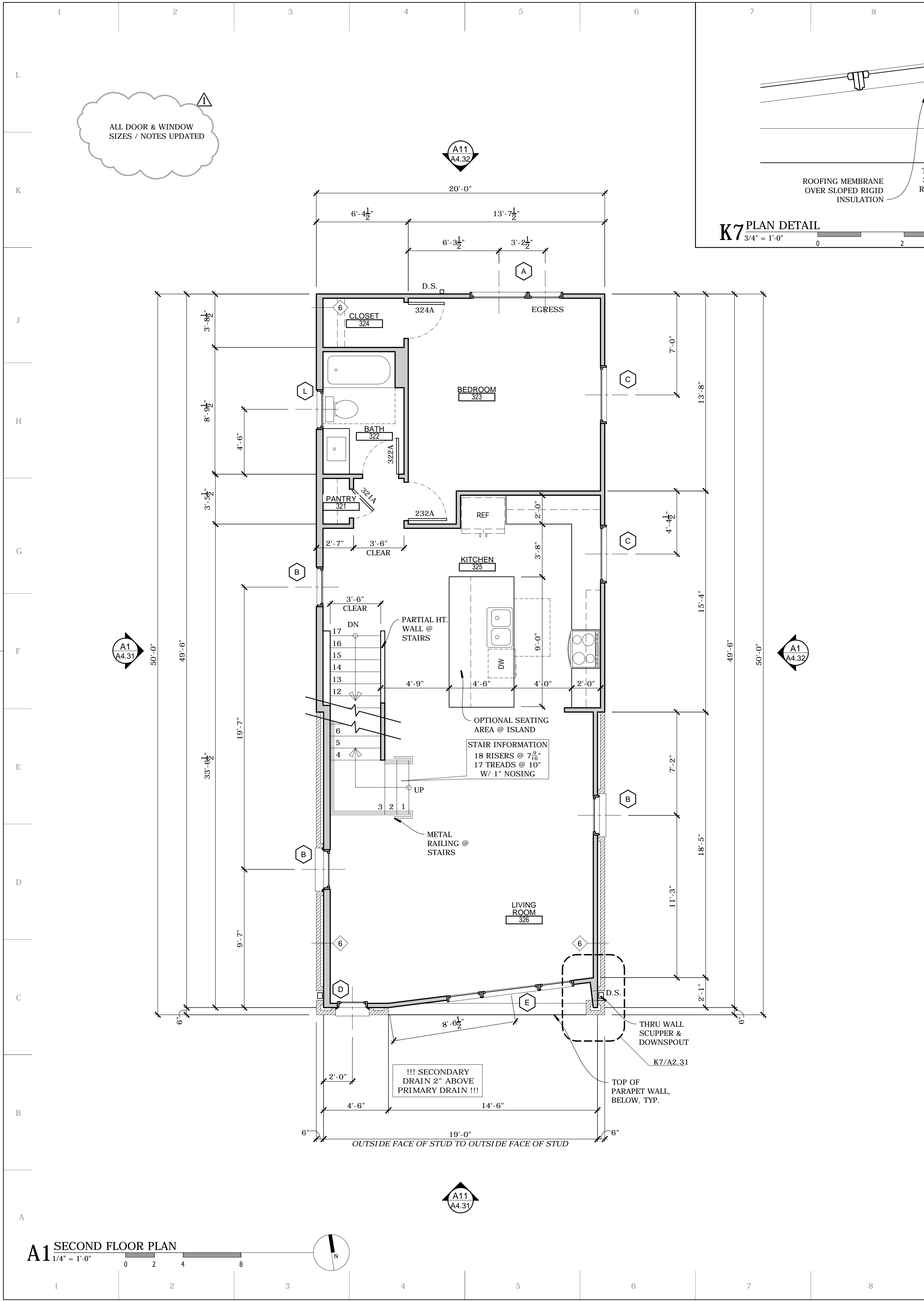
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REV.	DATE	DESC.
0	01.13.20	FOR PERMIT
1	01.22.20	DOOR & WIND. SCHEDULE



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CONSTRUCTION PLAN (UNITS 3)

REV.	DATE	DESC.
0	01.13.20	FOR PERMIT
1	01.22.20	DOOR & WIND. SCHEDULE

#19421  
NEW CONSTRUCTION:  
**2716 DELAWARE AVENUE**  
2716 DELAWARE AVENUE  
NASHVILLE, TN 37209

**A2.31**

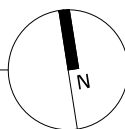
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A1 ROOF PLAN

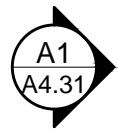
1/4" = 1'-0"

0 2 4 8



K1 ROOF PLAN

NTS

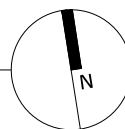


ALL DOOR & WINDOW  
SIZES / NOTES UPDATED

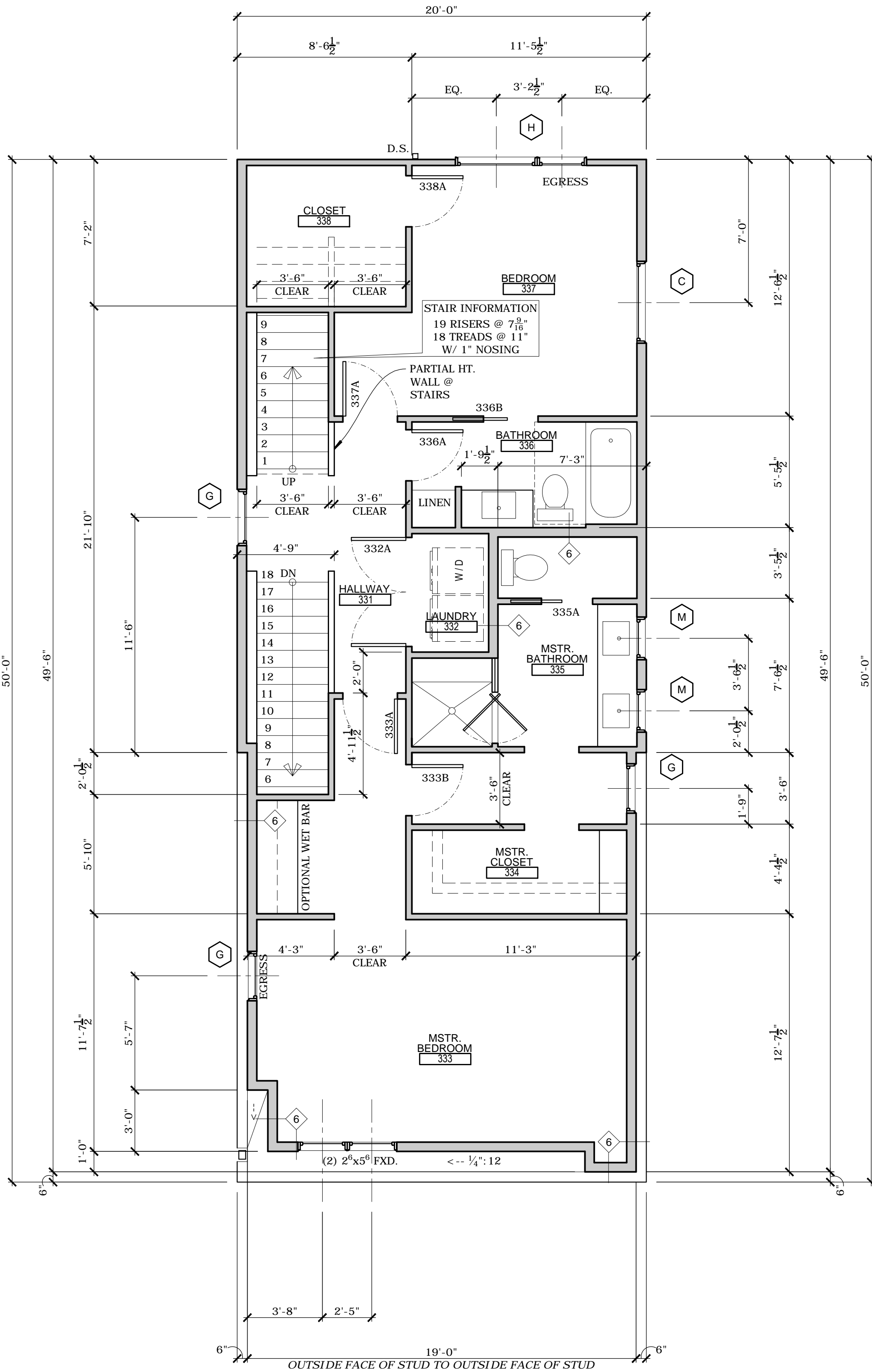
A9 THIRD FLOOR PLAN

1/4" = 1'-0"

0 2 4 8



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CONSTRUCTION PLAN (UNITS 3)

#19421

NEW CONSTRUCTION:

2716 DELAWARE AVENUE

2716 DELAWARE AVENUE

NASHVILLE, TN 37209

REV: DATE: DESC:

0 01.13.20 FOR PERMIT

01.22.20 DOOR & WIND. SCHEDULE

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753 ALLOWAY STREET, NASHVILLE, TN 37203

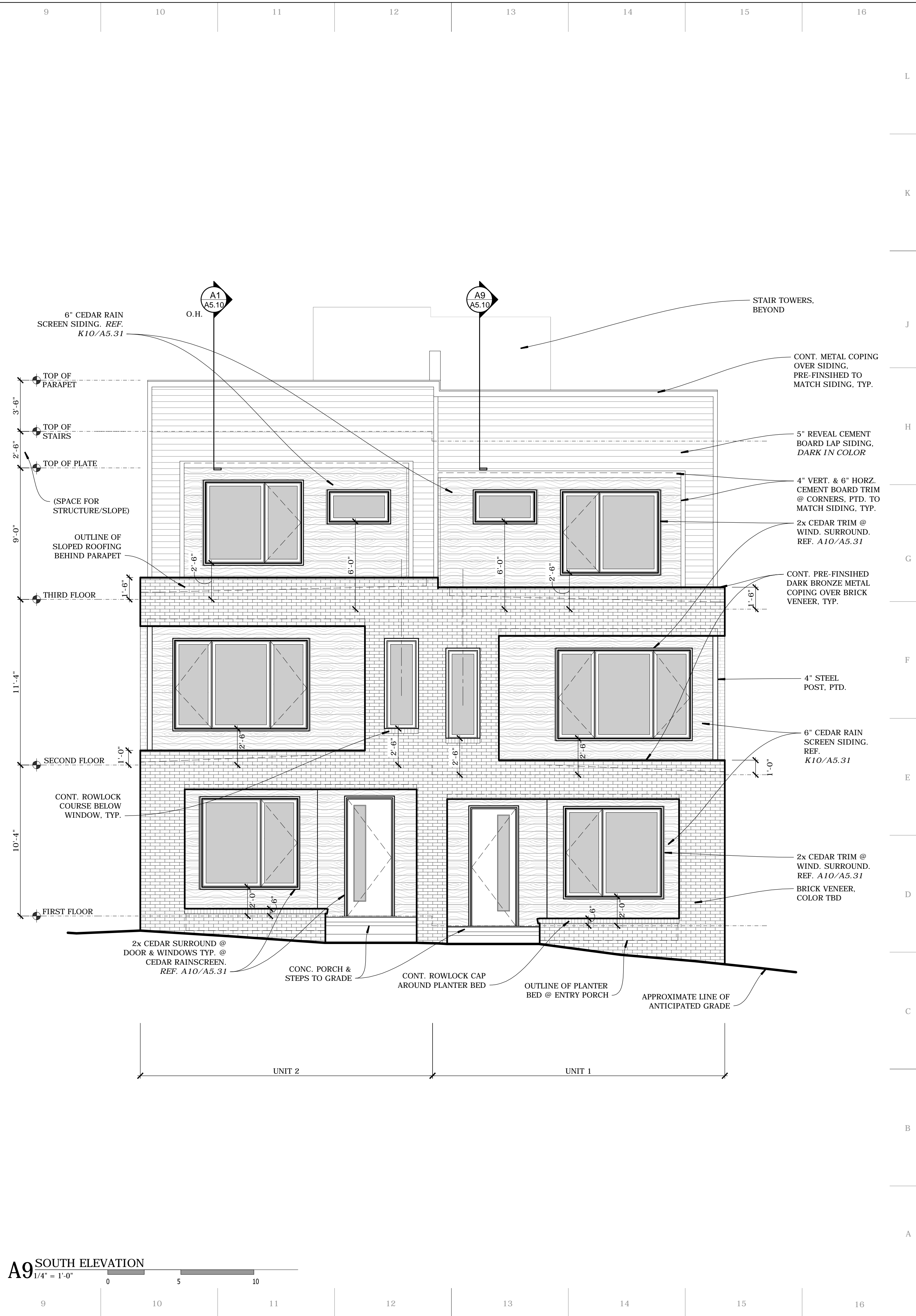
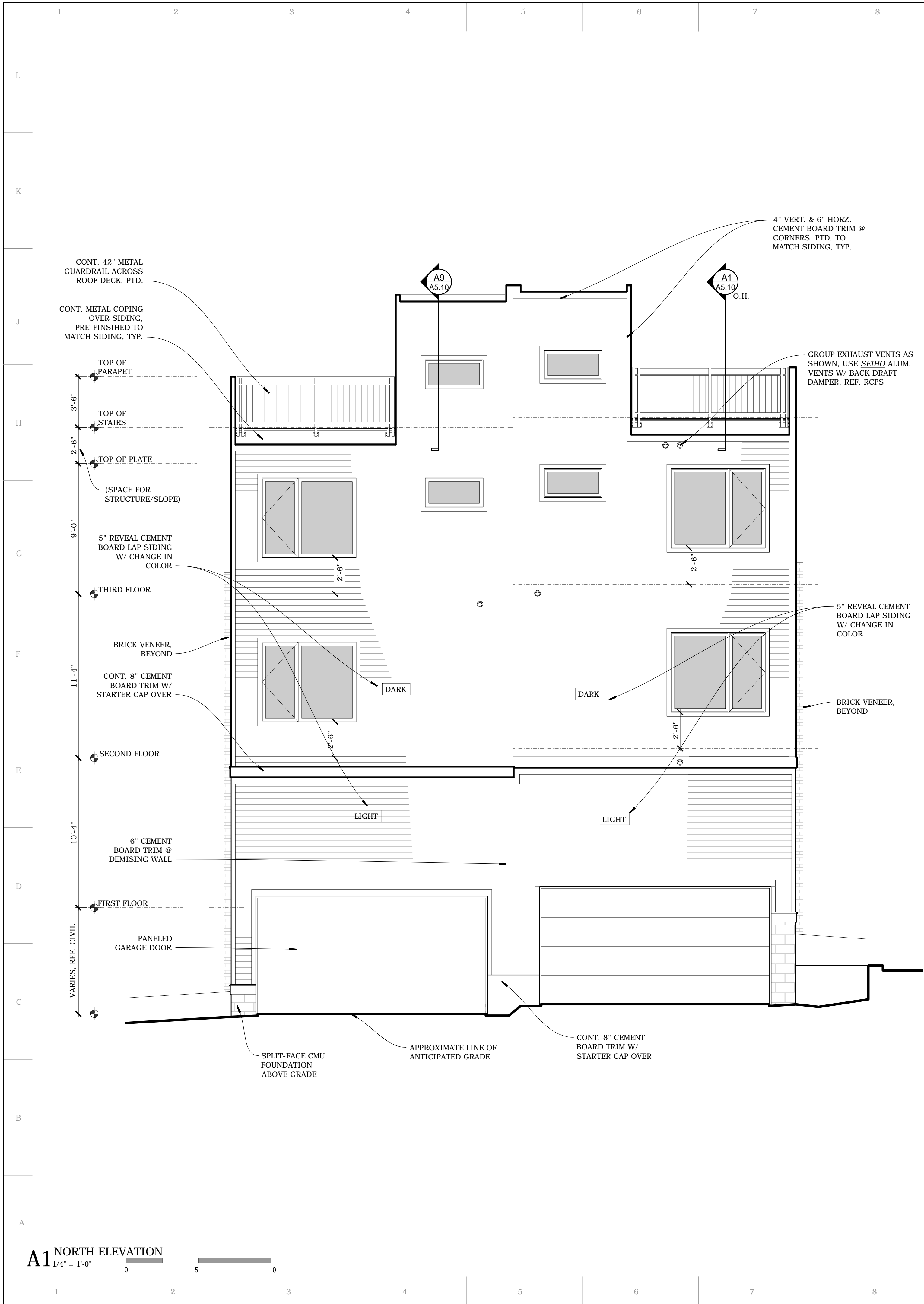
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A2.32



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EXTERIOR ELEVATIONS

#19421

NEW CONSTRUCTION:

2716 DELAWARE AVENUE

NASHVILLE, TN 37209

REV: 0  
DATE: 01.13.20  
DESC: FOR PERMIT

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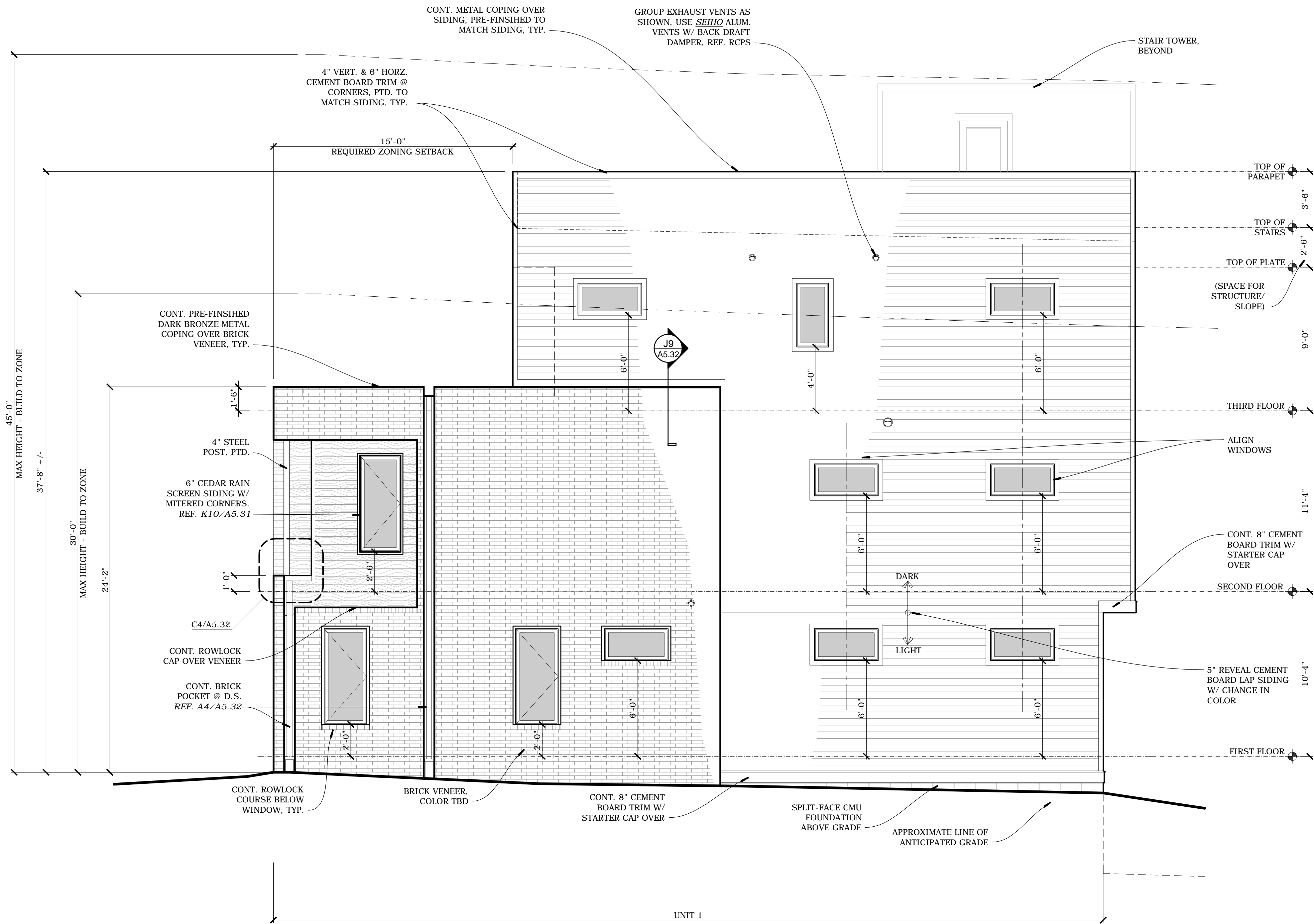
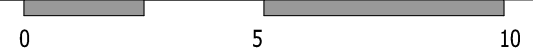
A4.11



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A1 EAST ELEVATION

1/4" = 1'-0"



EXTERIOR ELEVATIONS

#19421

NEW CONSTRUCTION:

2716 DELAWARE AVENUE

2716 DELAWARE AVENUE

NASHVILLE, TN 37209

REV: 0  
DATE: 01.13.20  
DESC: FOR PERMIT

root ARCH

ARCHITECTURE | INTERIORS

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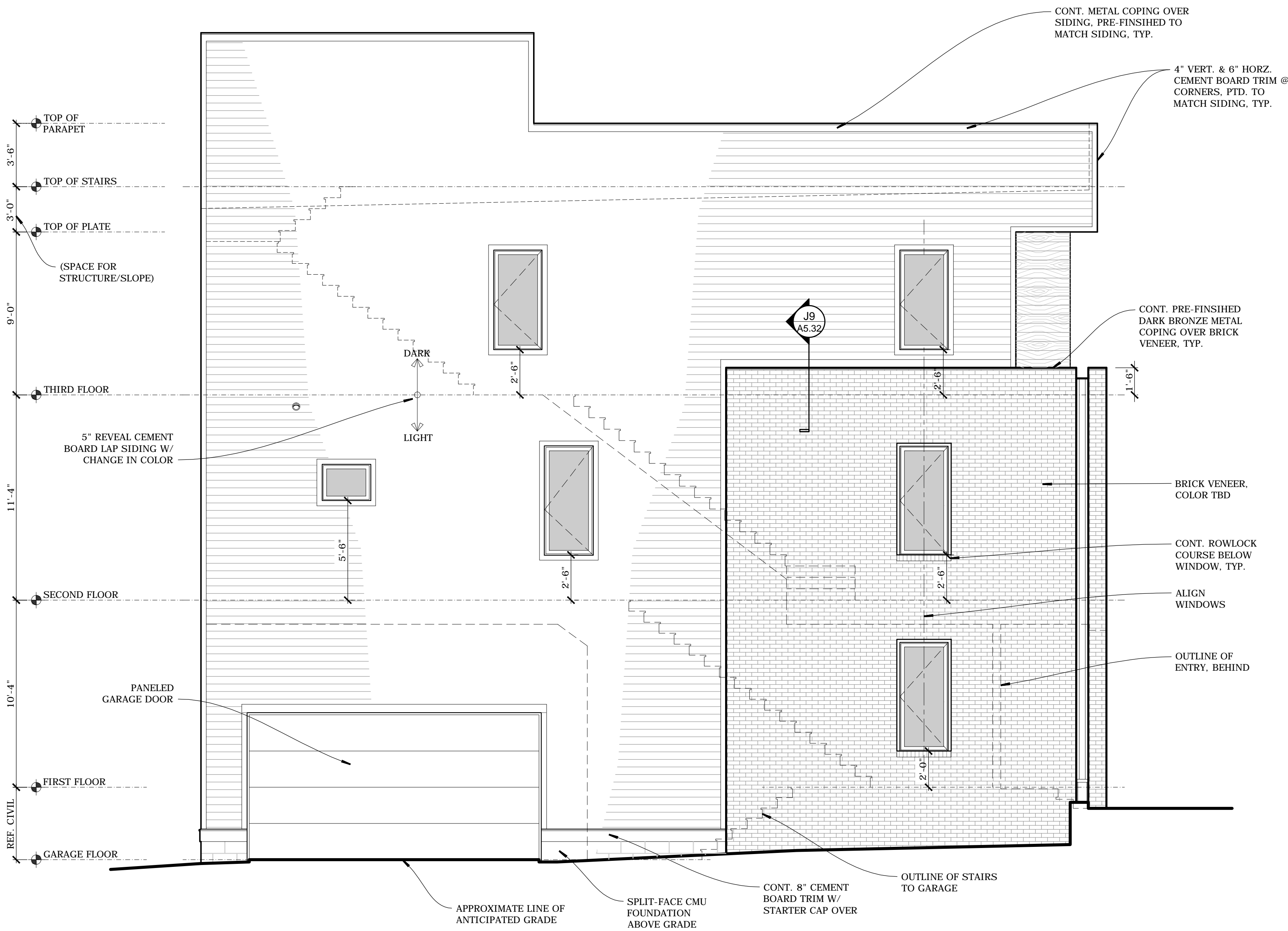




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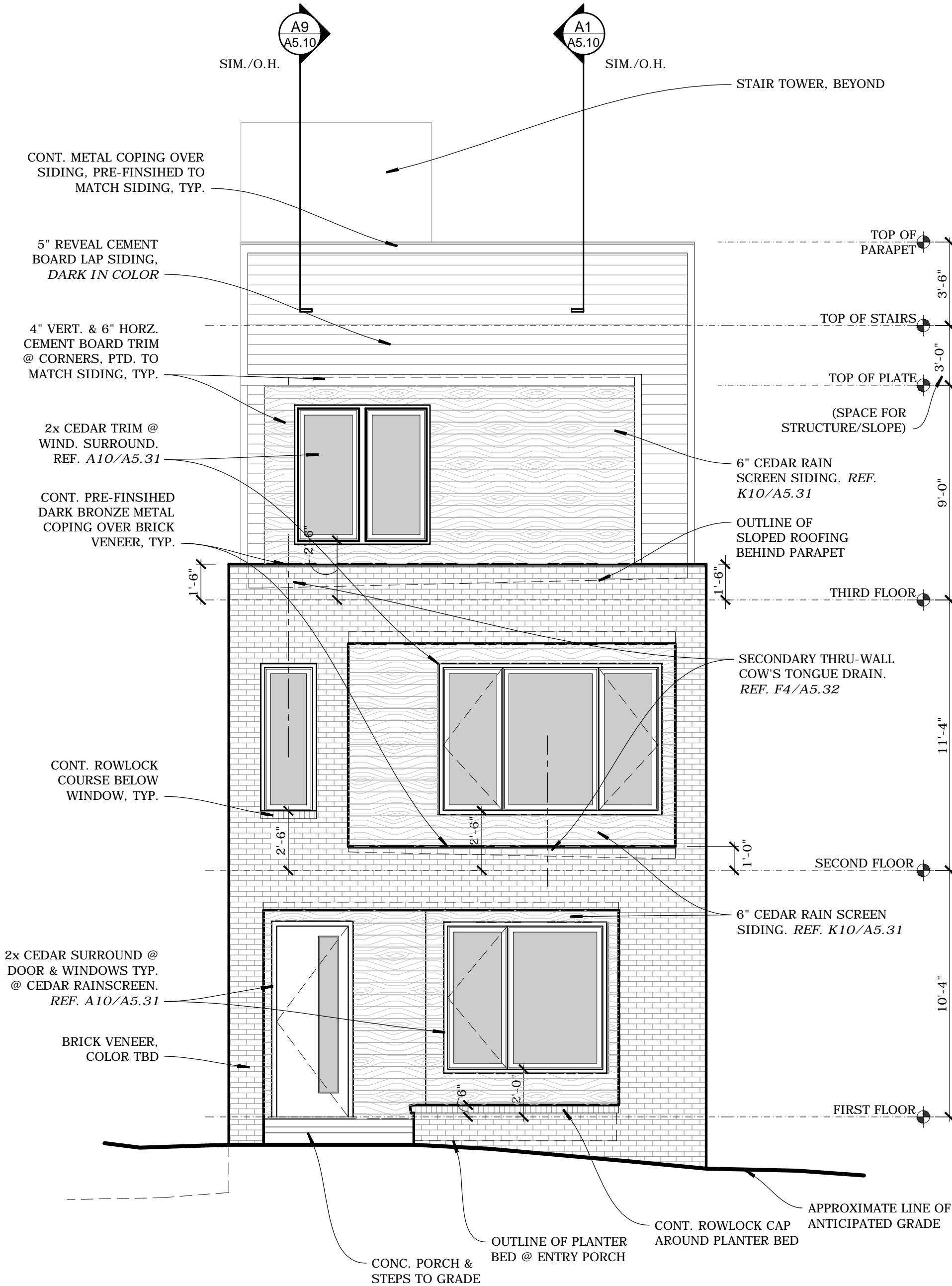
A1 WEST ELEVATION

1/4" = 1'-0"



A11 SOUTH ELEVATION

1/4" = 1'-0"



EXTERIOR ELEVATIONS

#19421

NEW CONSTRUCTION:

2716 DELAWARE AVENUE

2716 DELAWARE AVENUE

NASHVILLE, TN 37209

REV: 0

DATE: 01.13.20

DESC: FOR PERMIT

0

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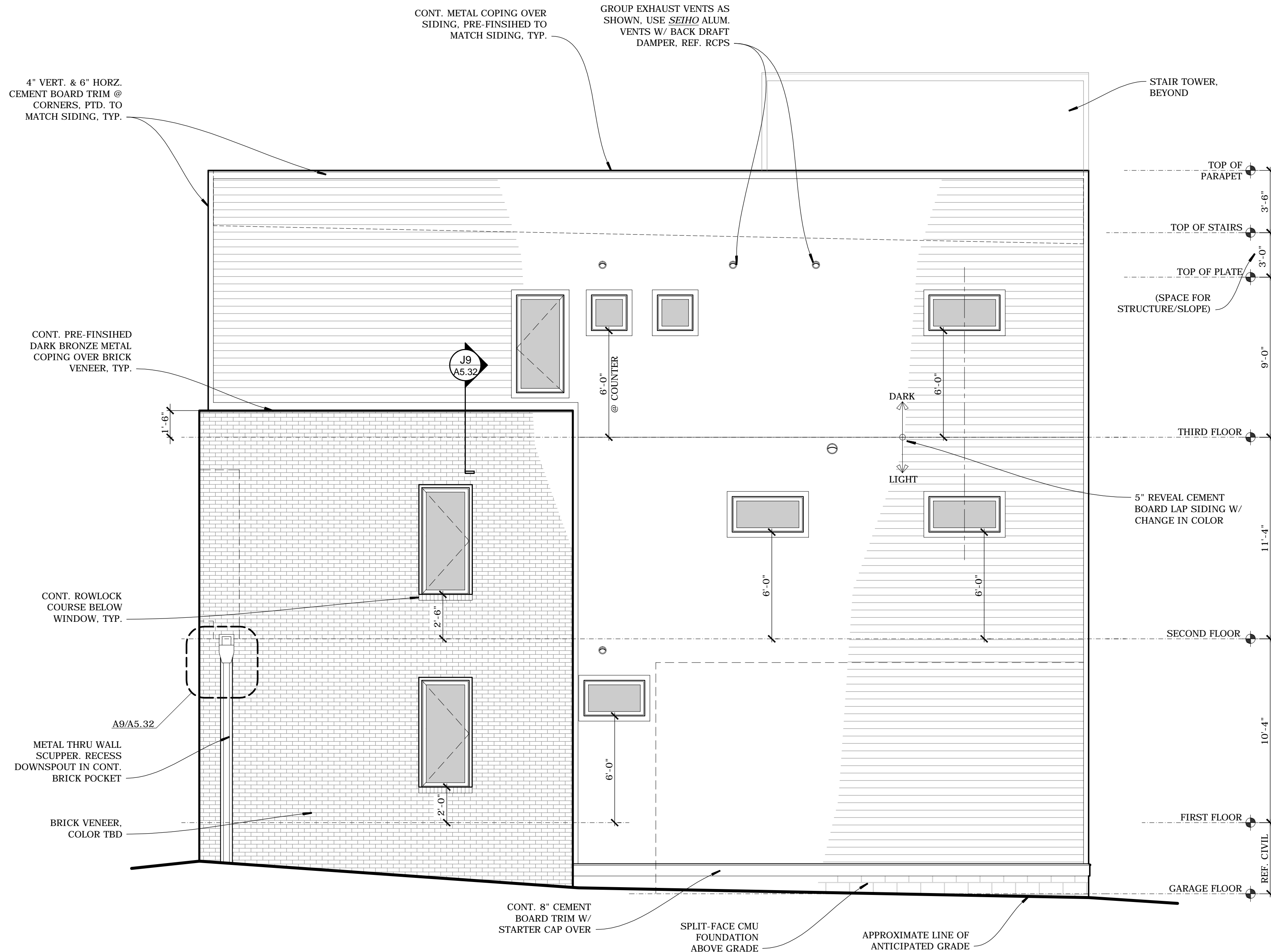
A4.31



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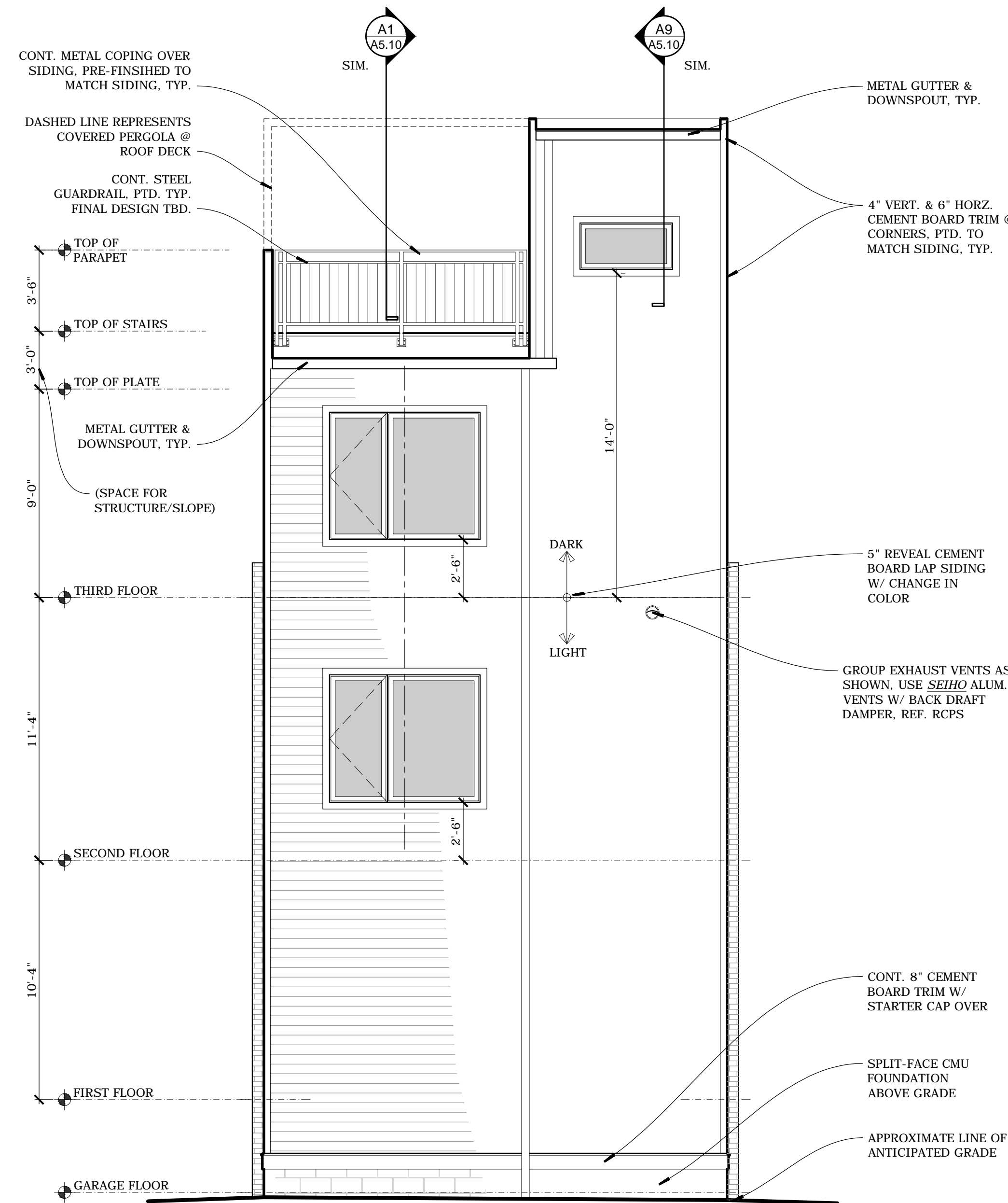
A1 EAST ELEVATION

1/4" = 1'-0"



A11 NORTH ELEVATION

1/4" = 1'-0"



EXTERIOR ELEVATIONS

#19421

NEW CONSTRUCTION:

2716 DELAWARE AVENUE

2716 DELAWARE AVENUE

NASHVILLE, TN 37209

REV: DATE: DESC:

0 01.13.20 FOR PERMIT

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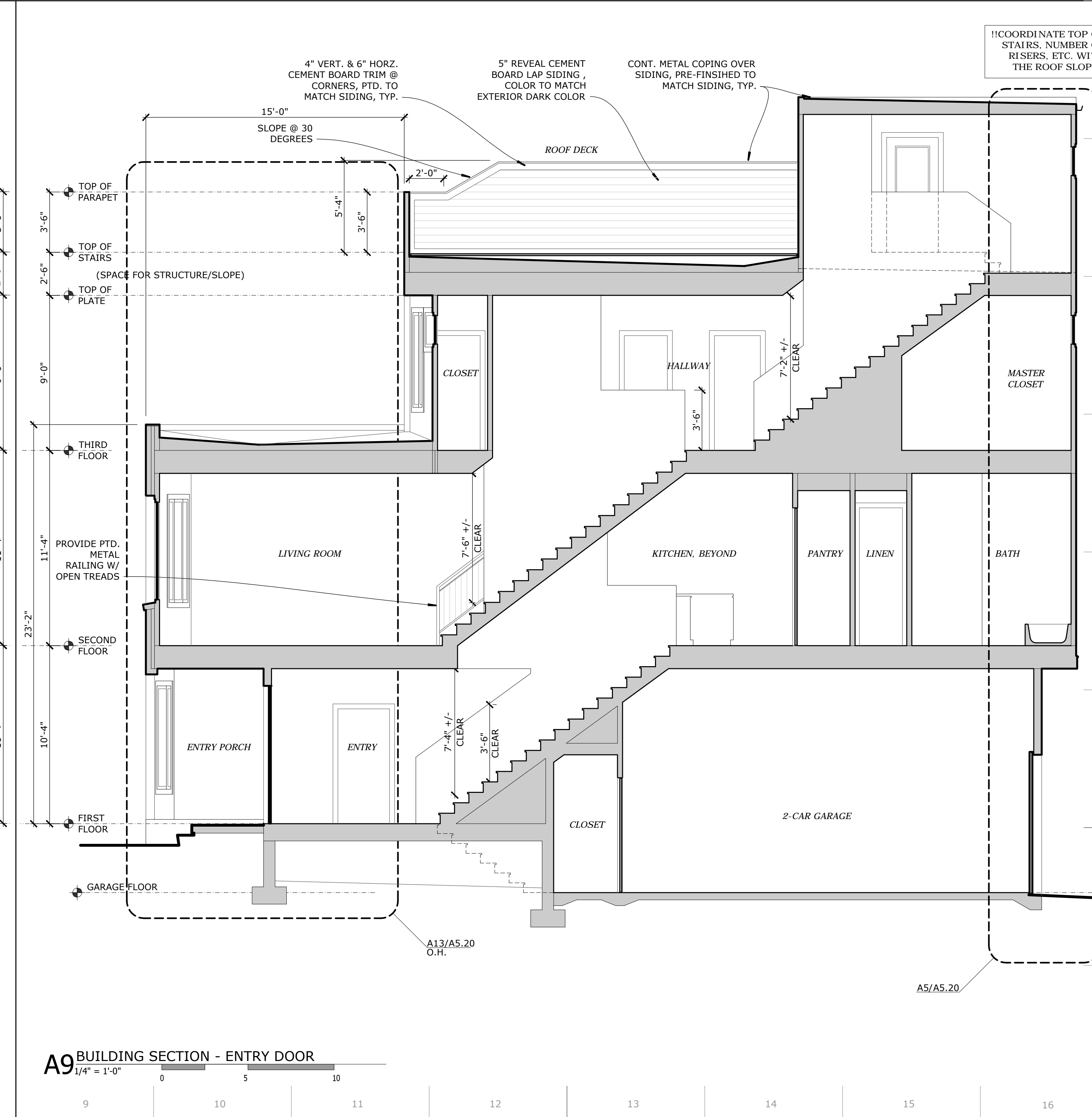
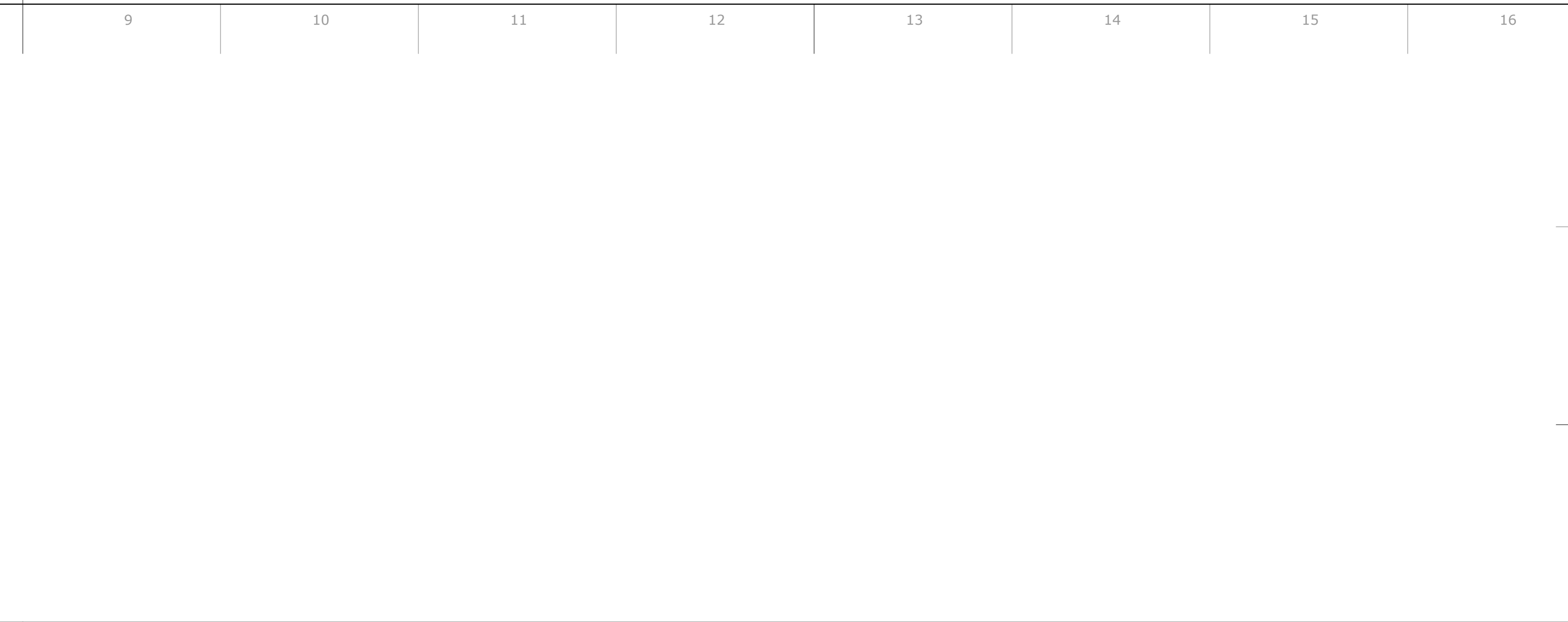
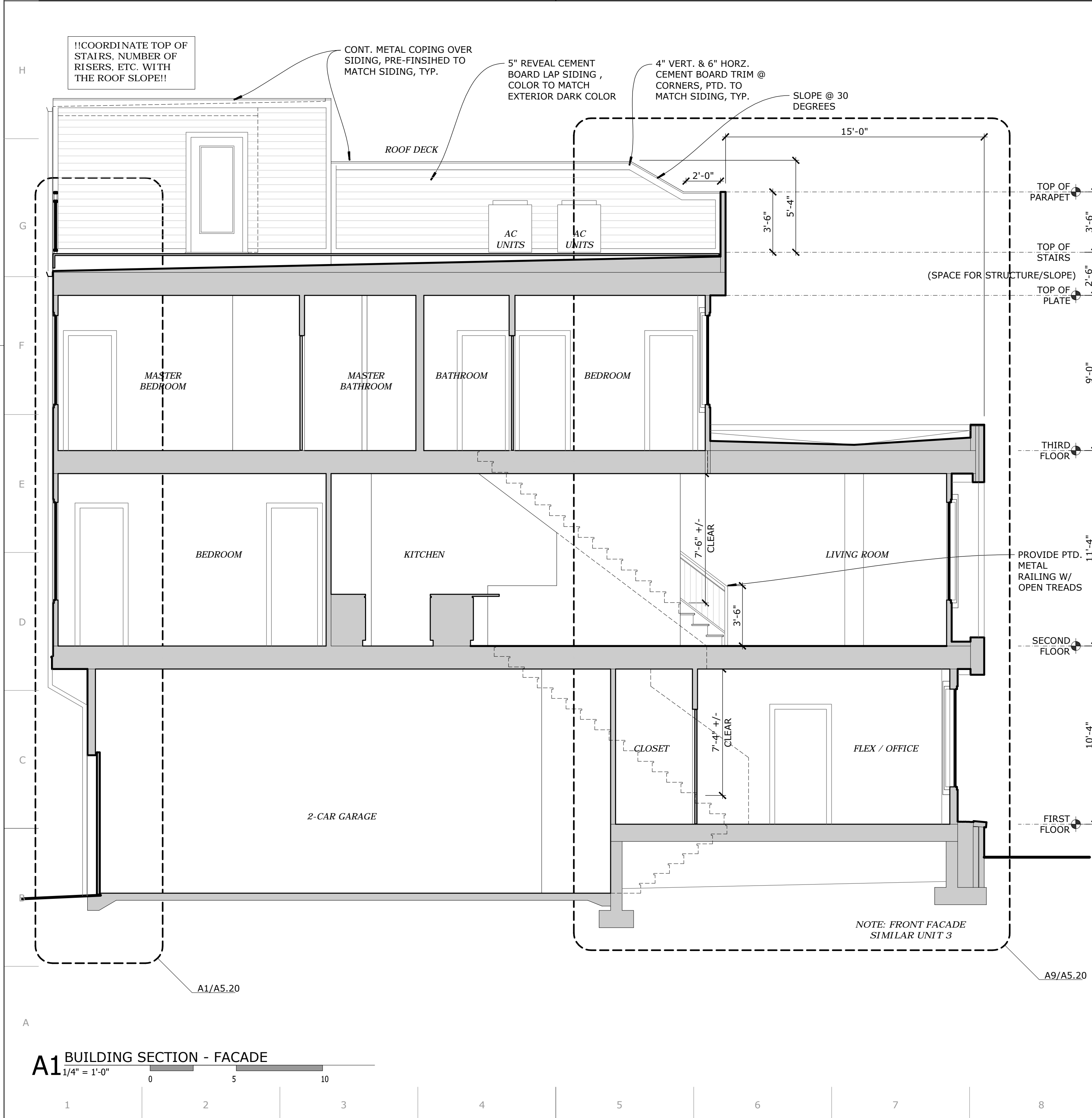
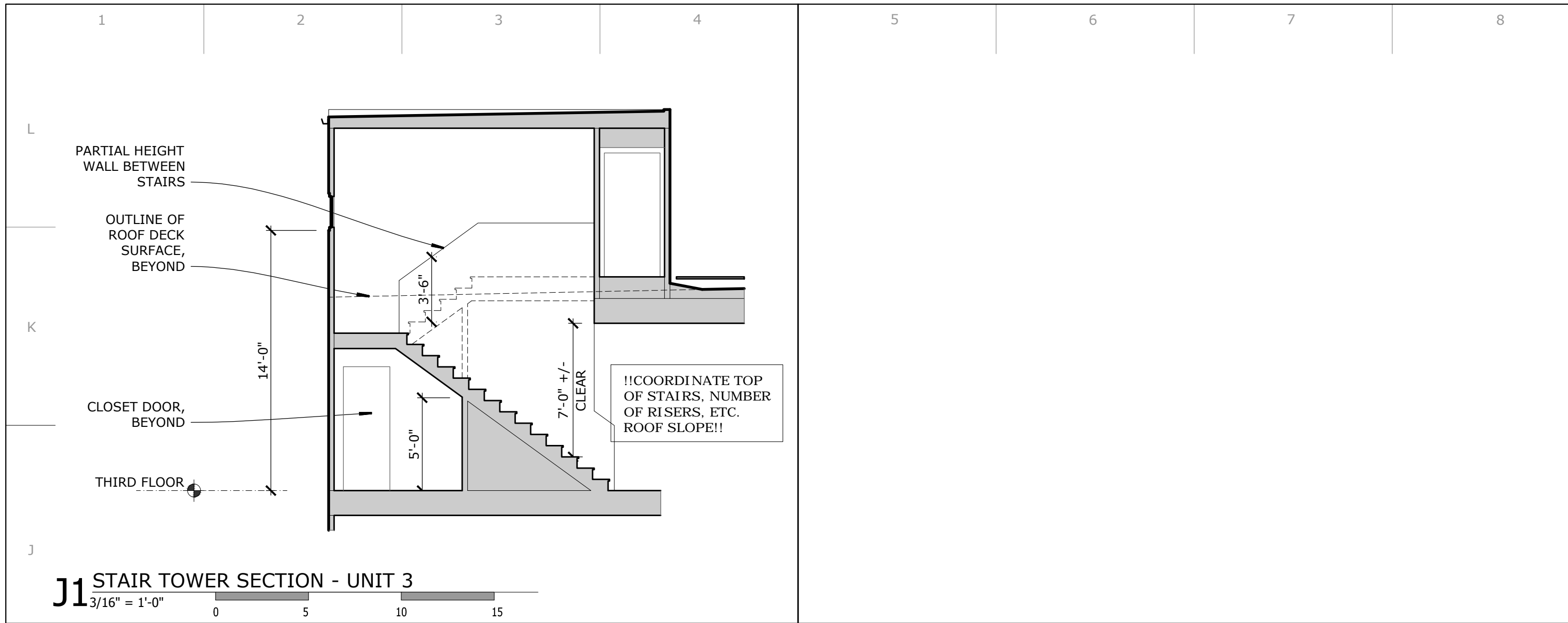
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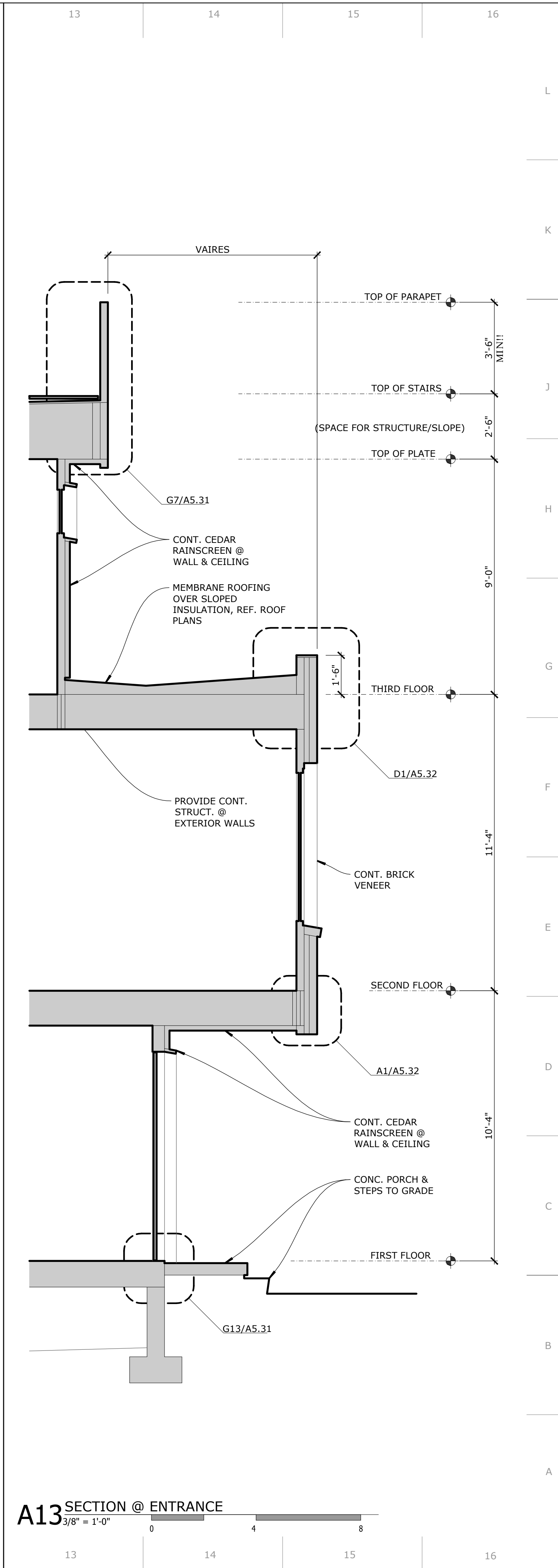
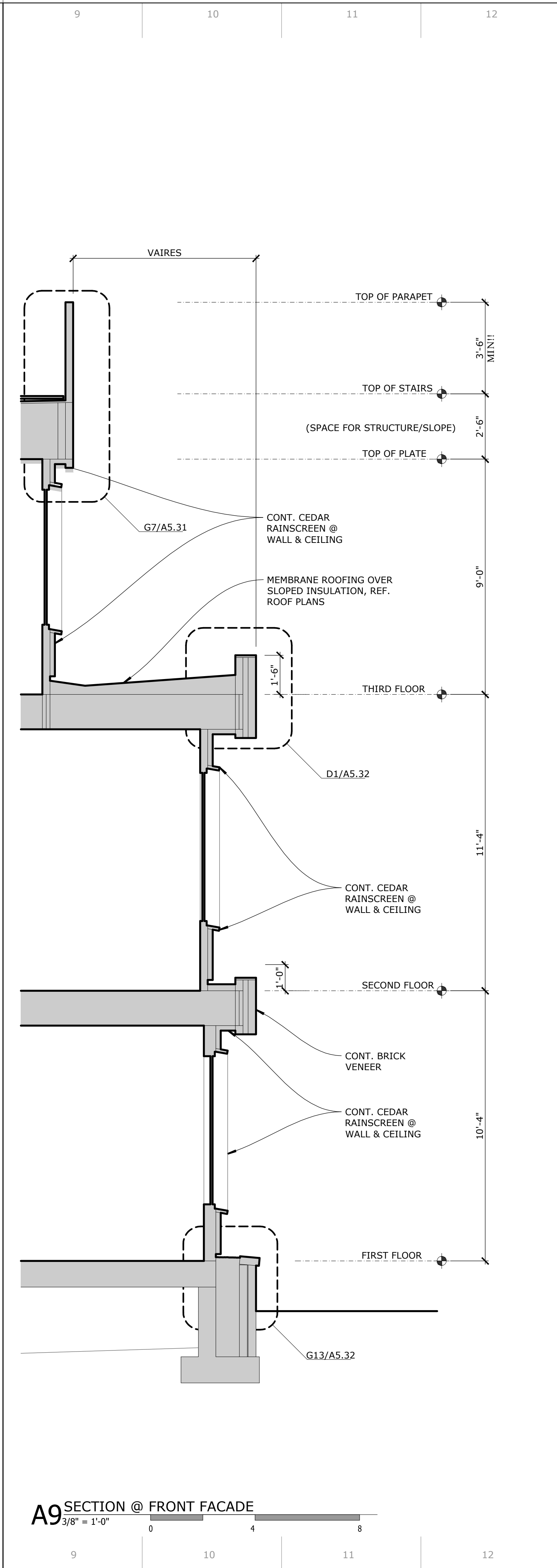
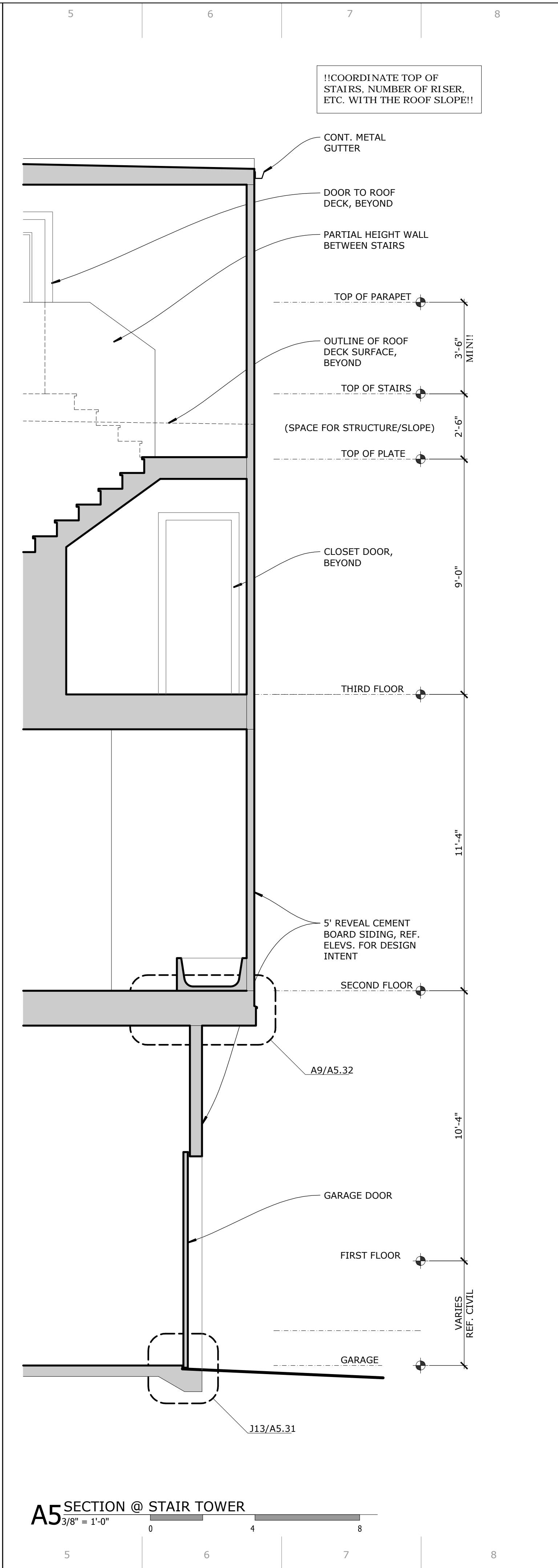
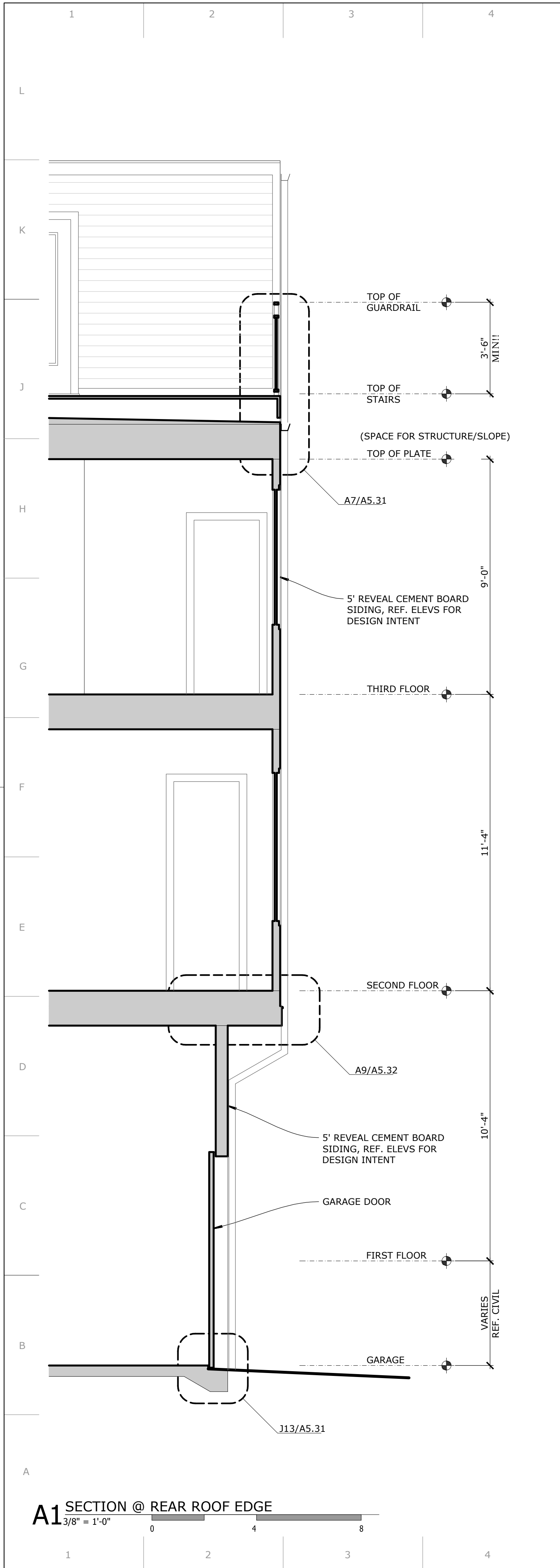


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WALL SECTIONS

#19421

NEW CONSTRUCTION:

2716 DELAWARE AVENUE

NASHVILLE, TN 37209

REV: DATE: DESC:

0 01.13.20 FOR PERMIT

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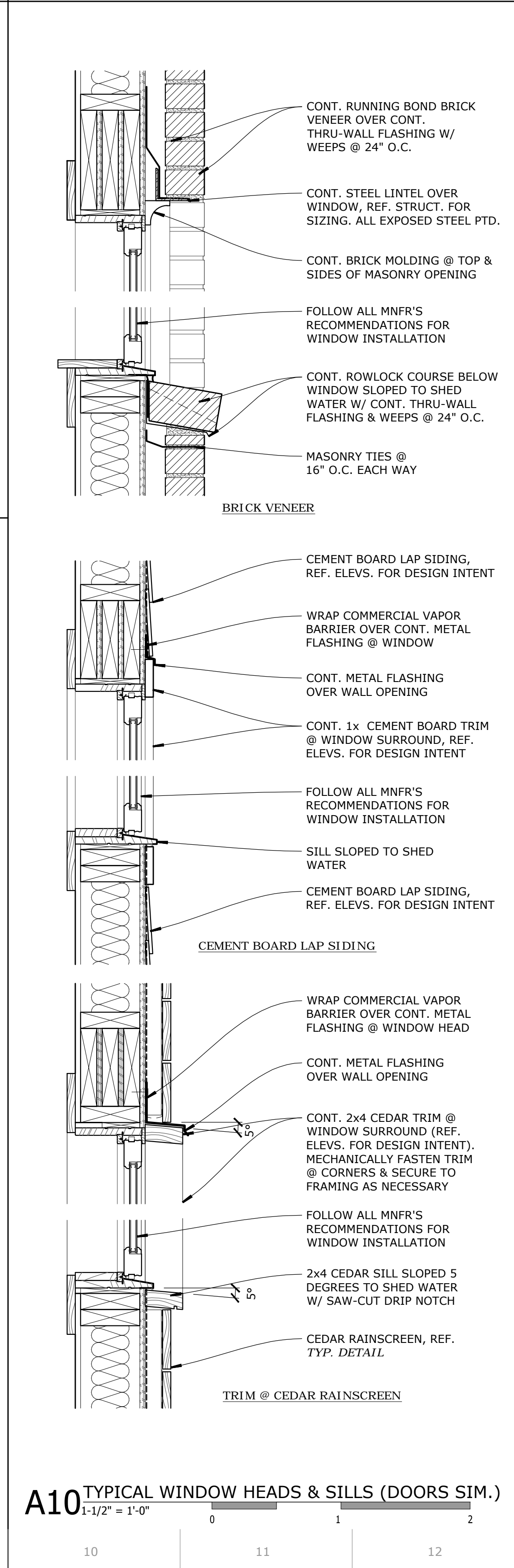
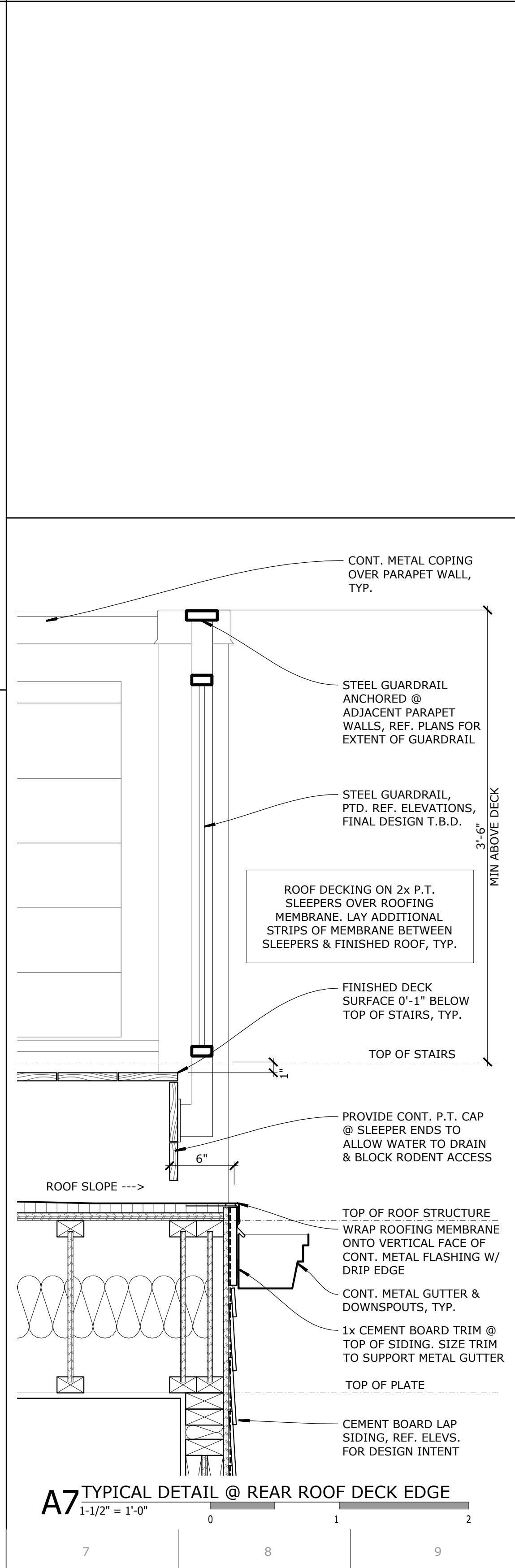
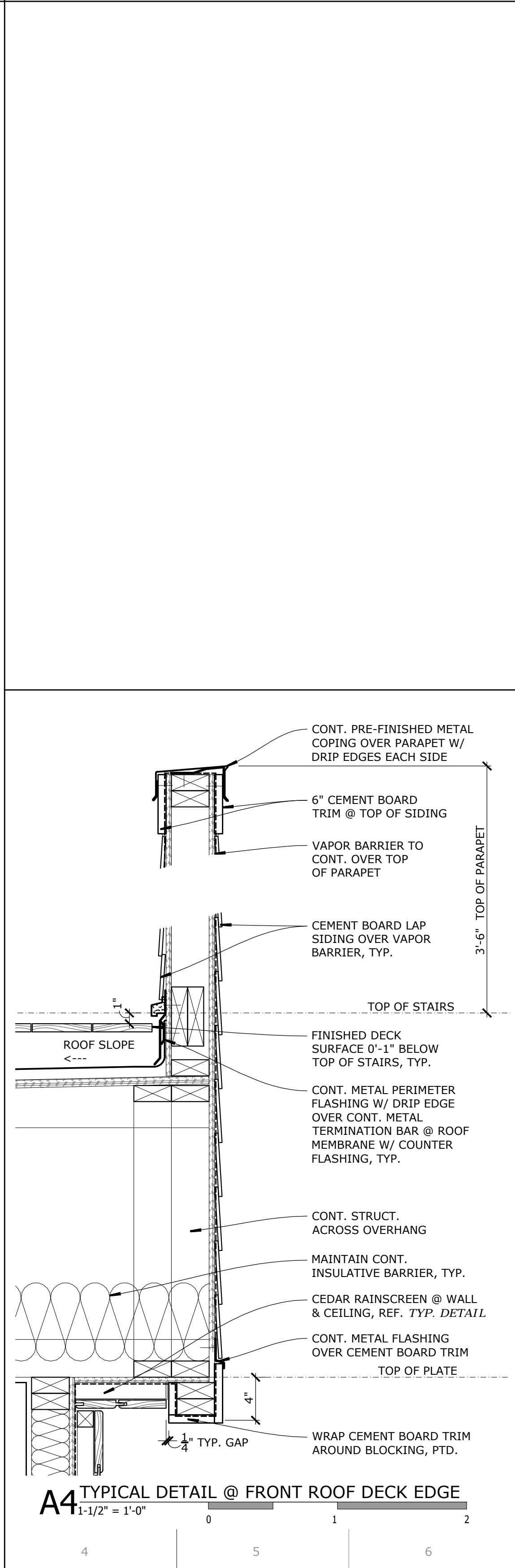
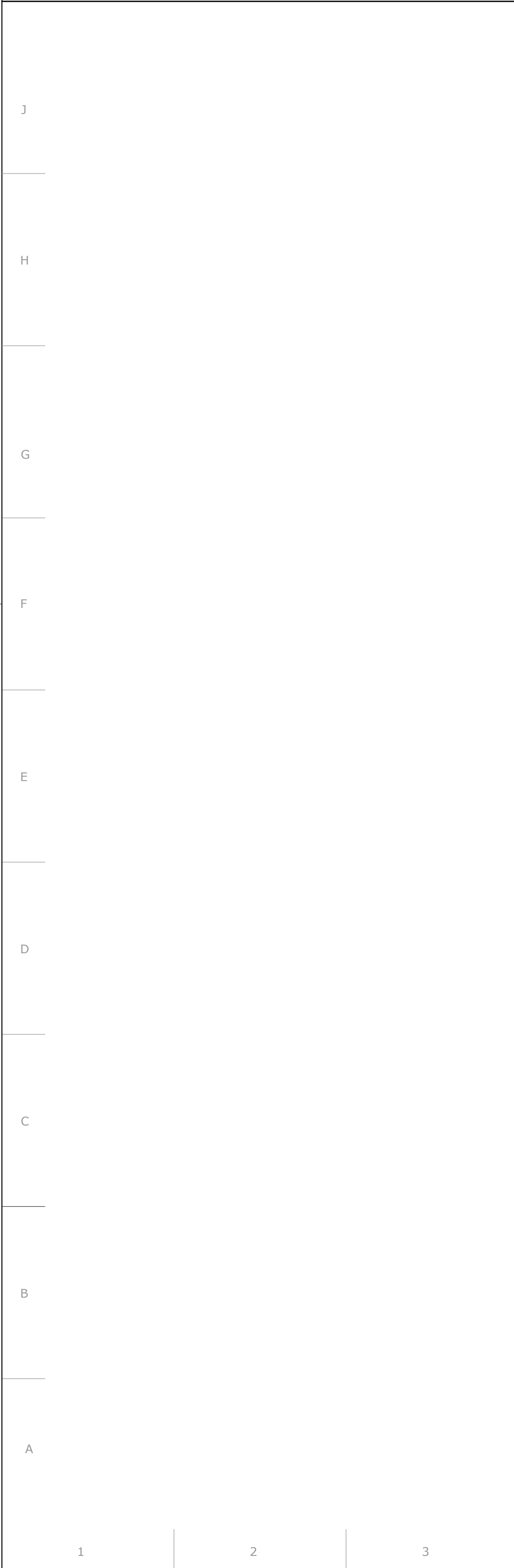
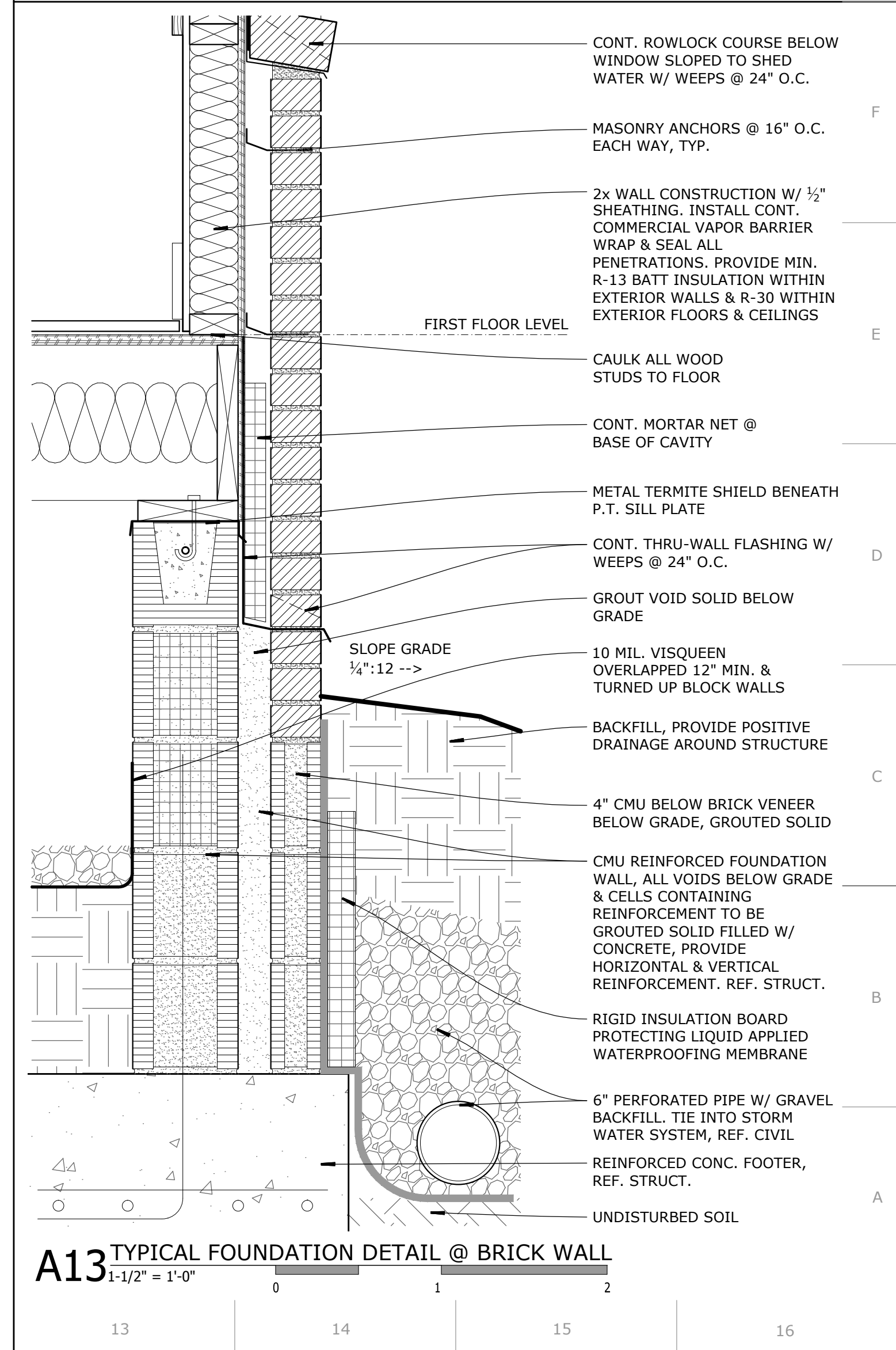
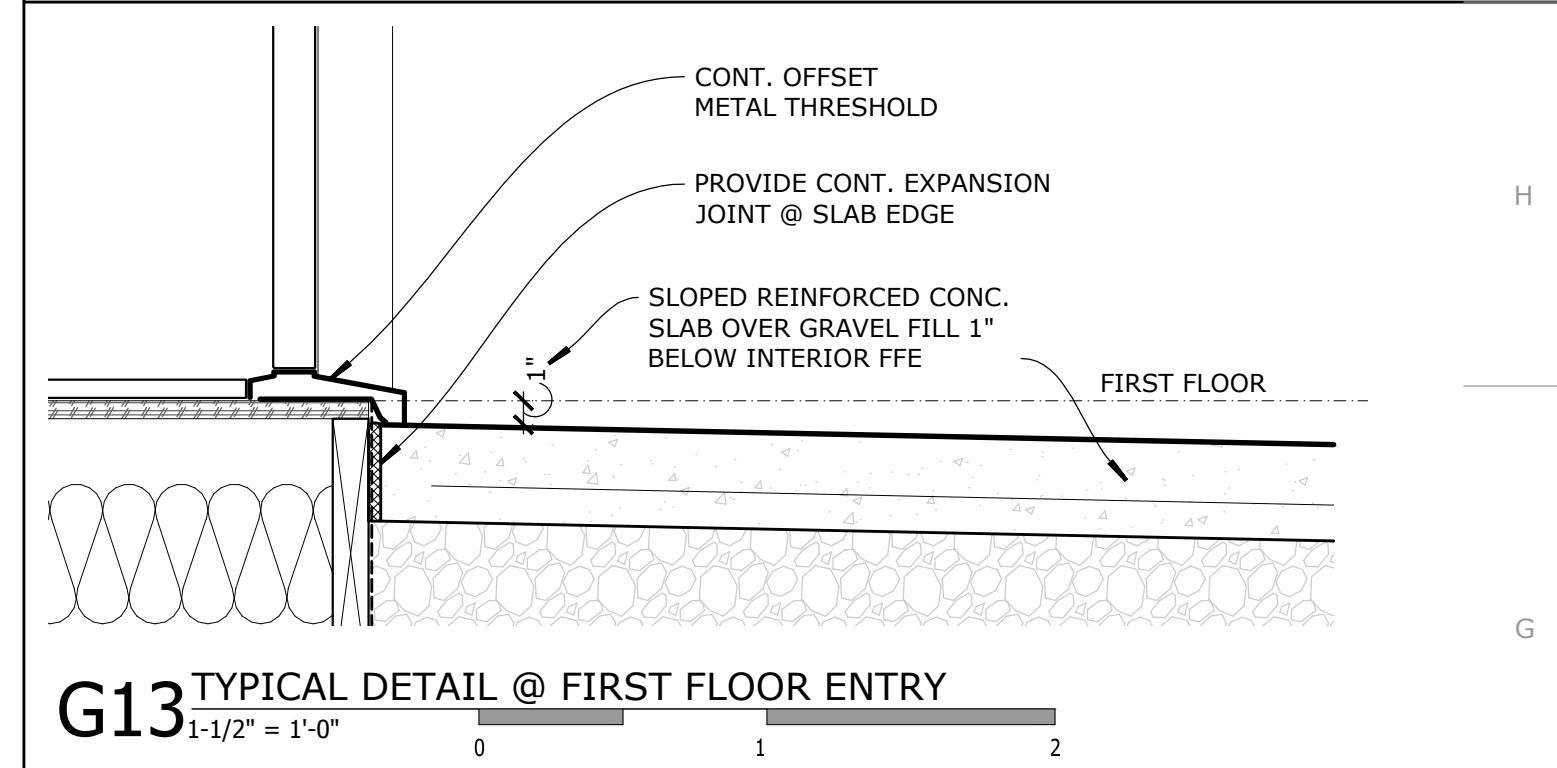
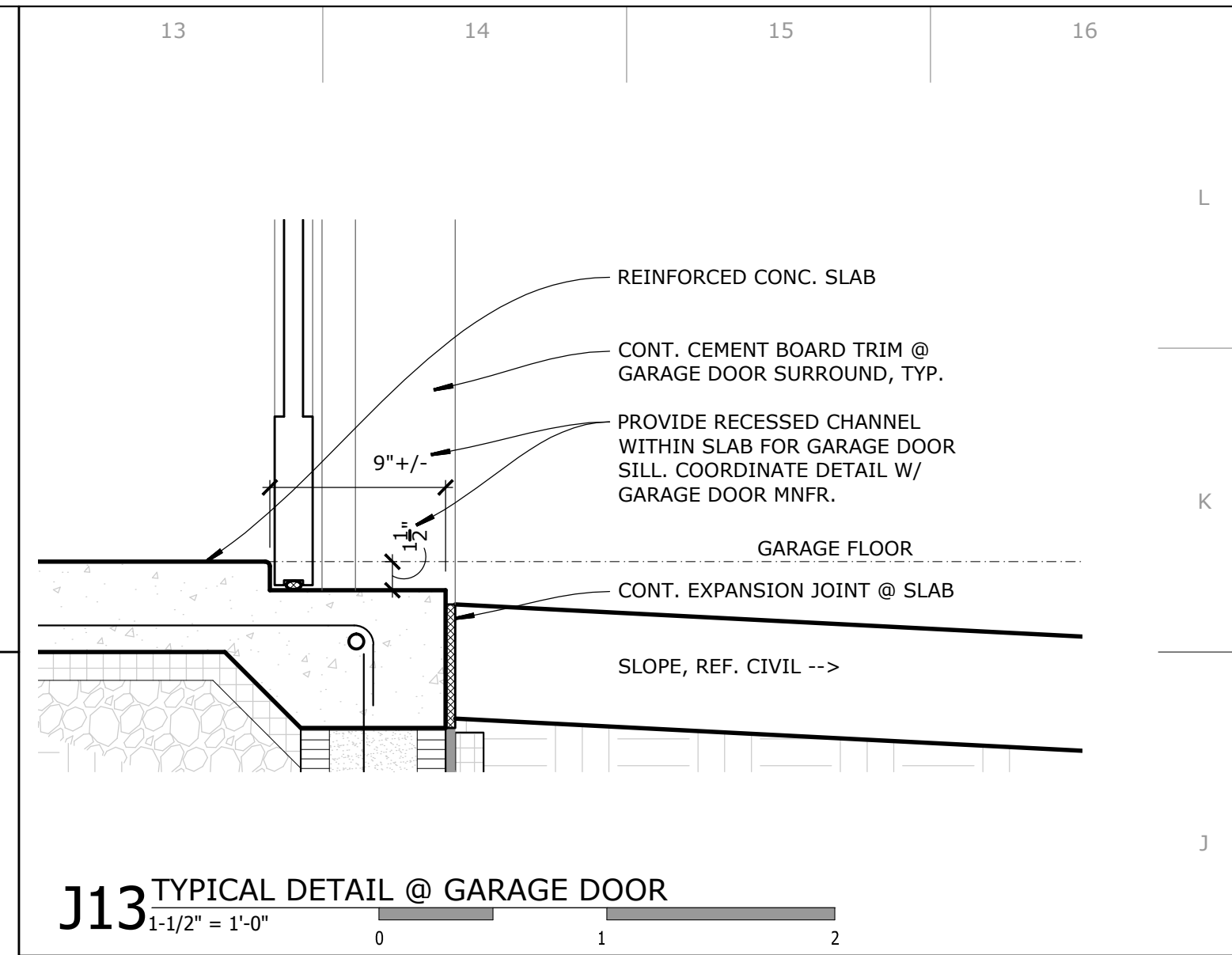
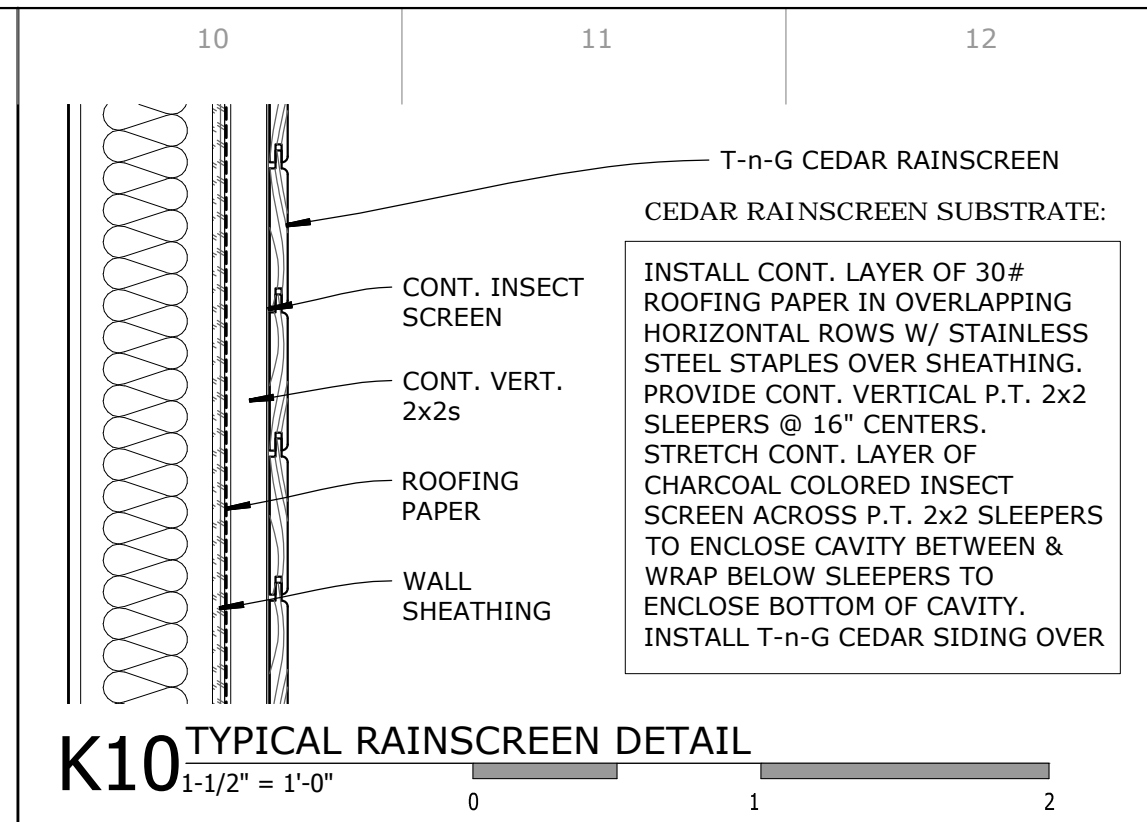
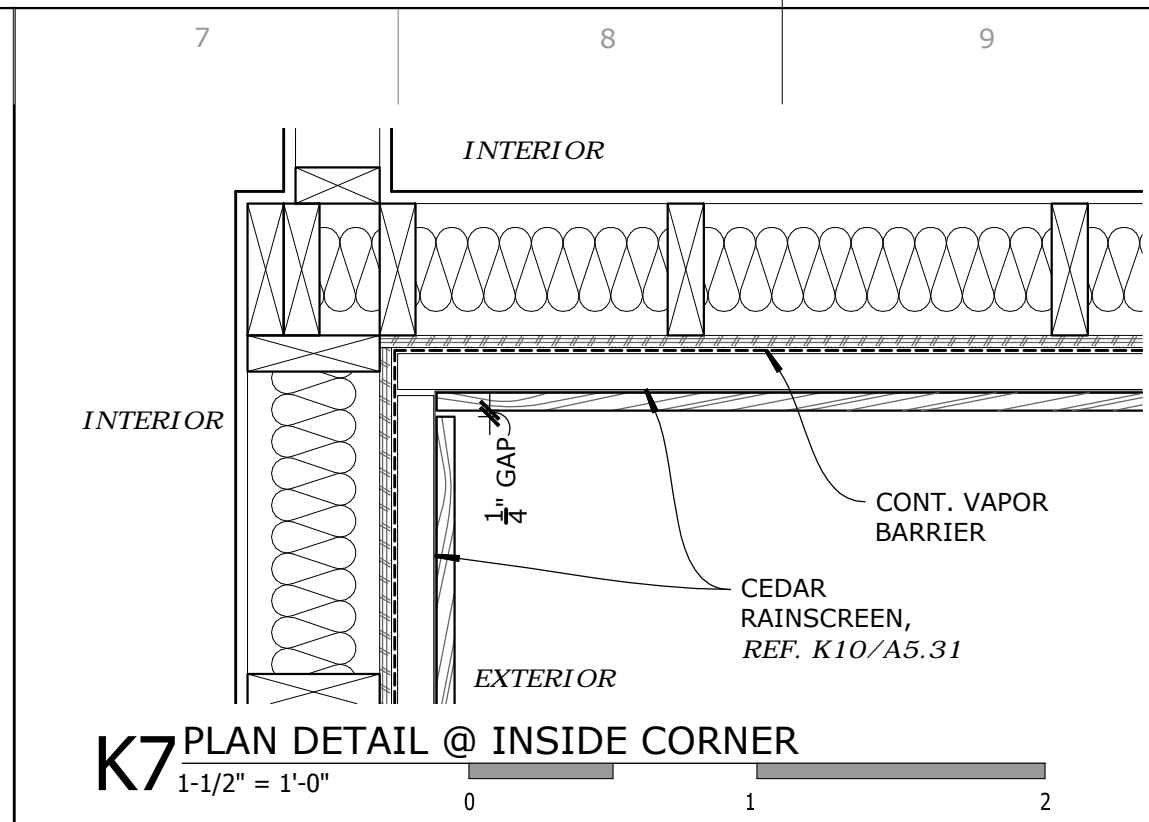
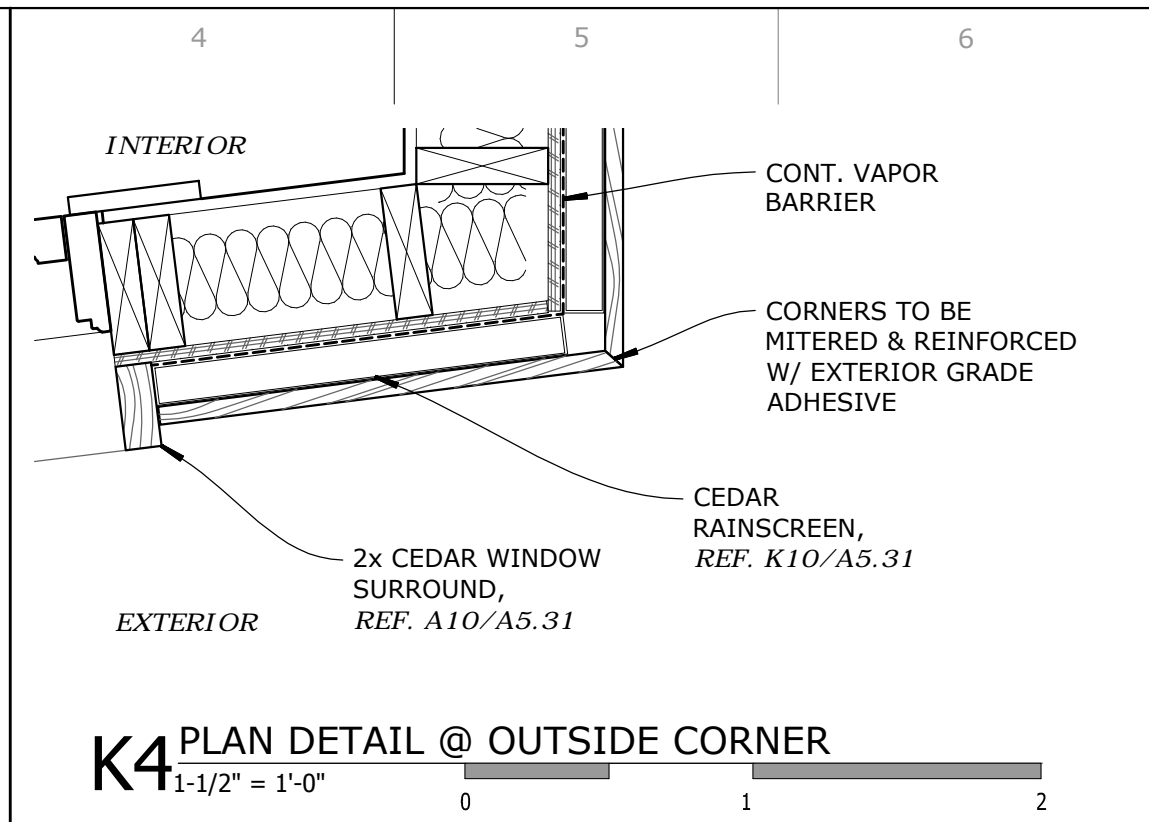
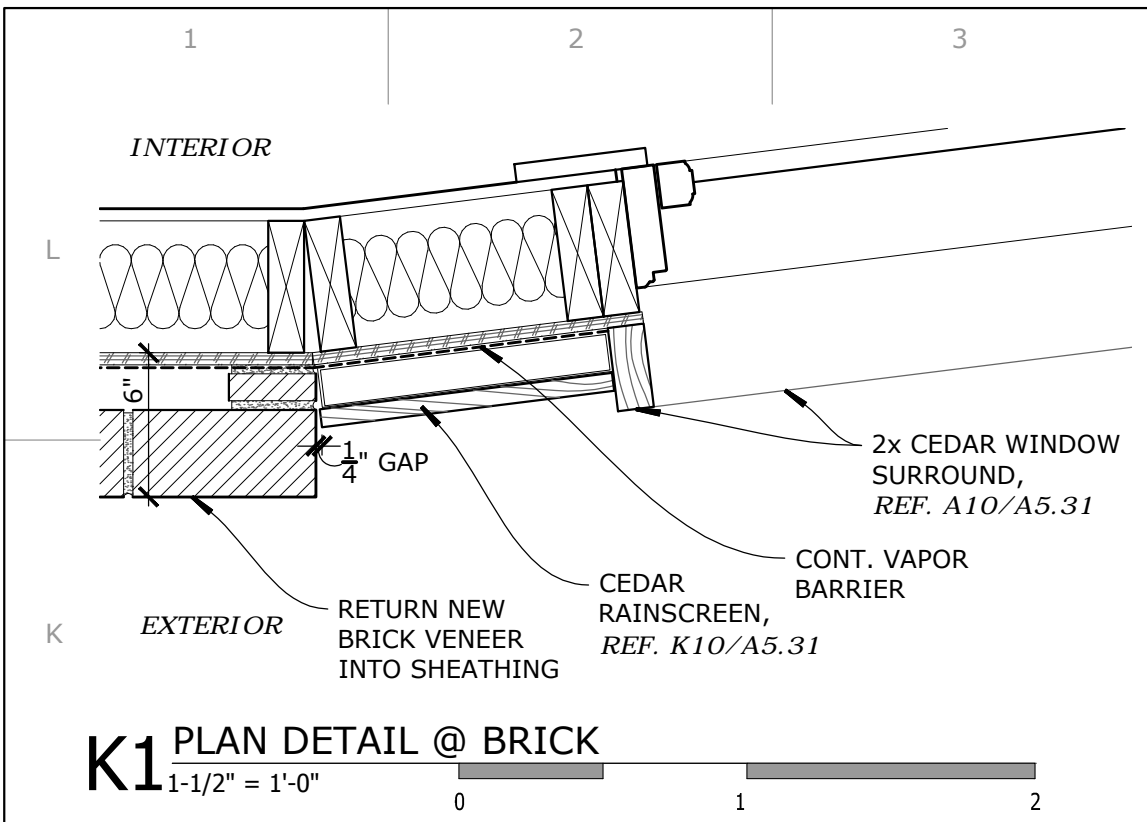
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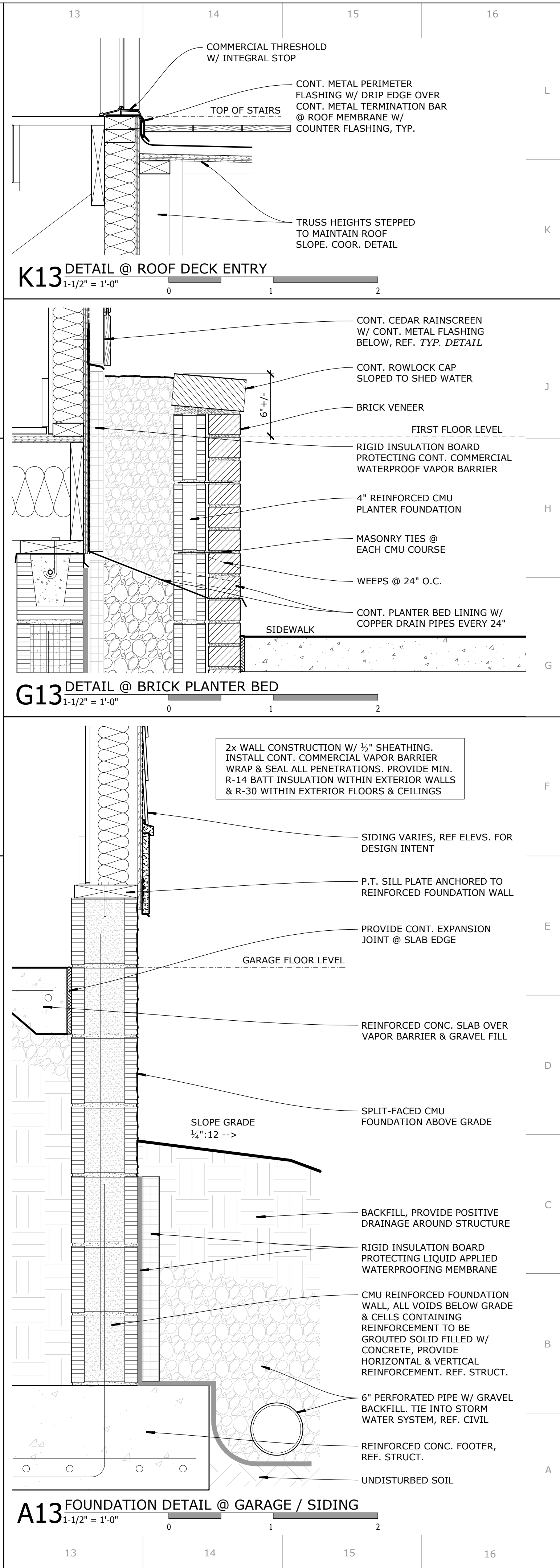
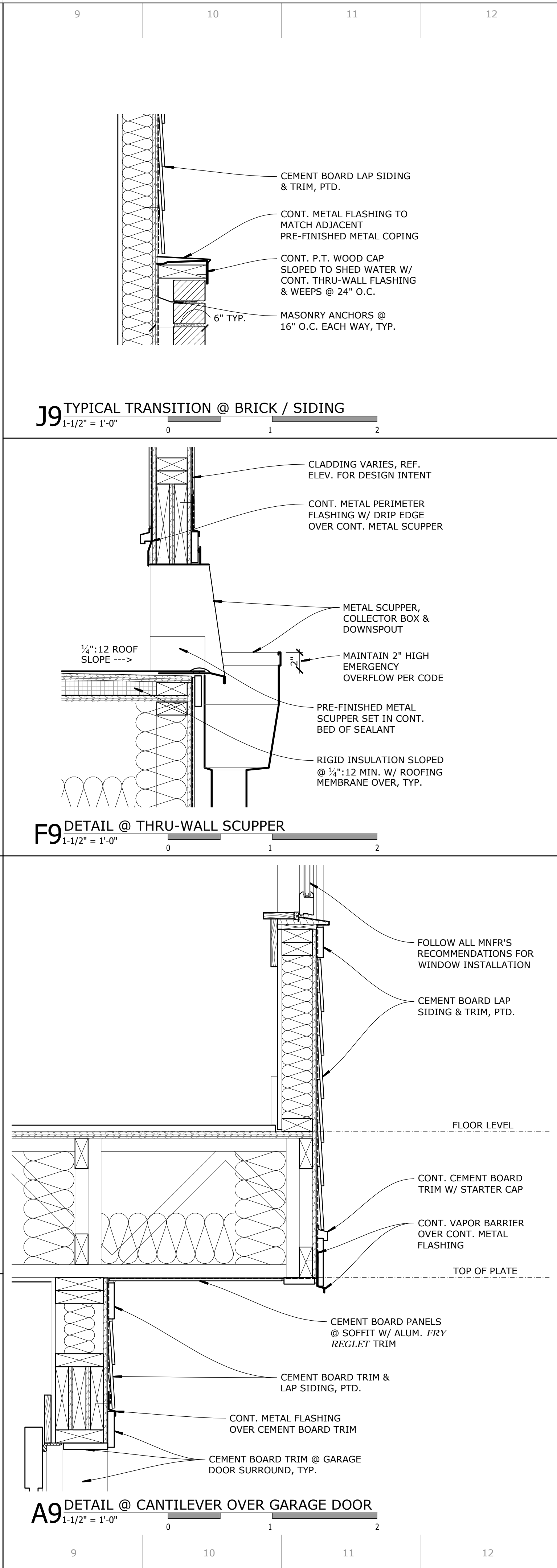
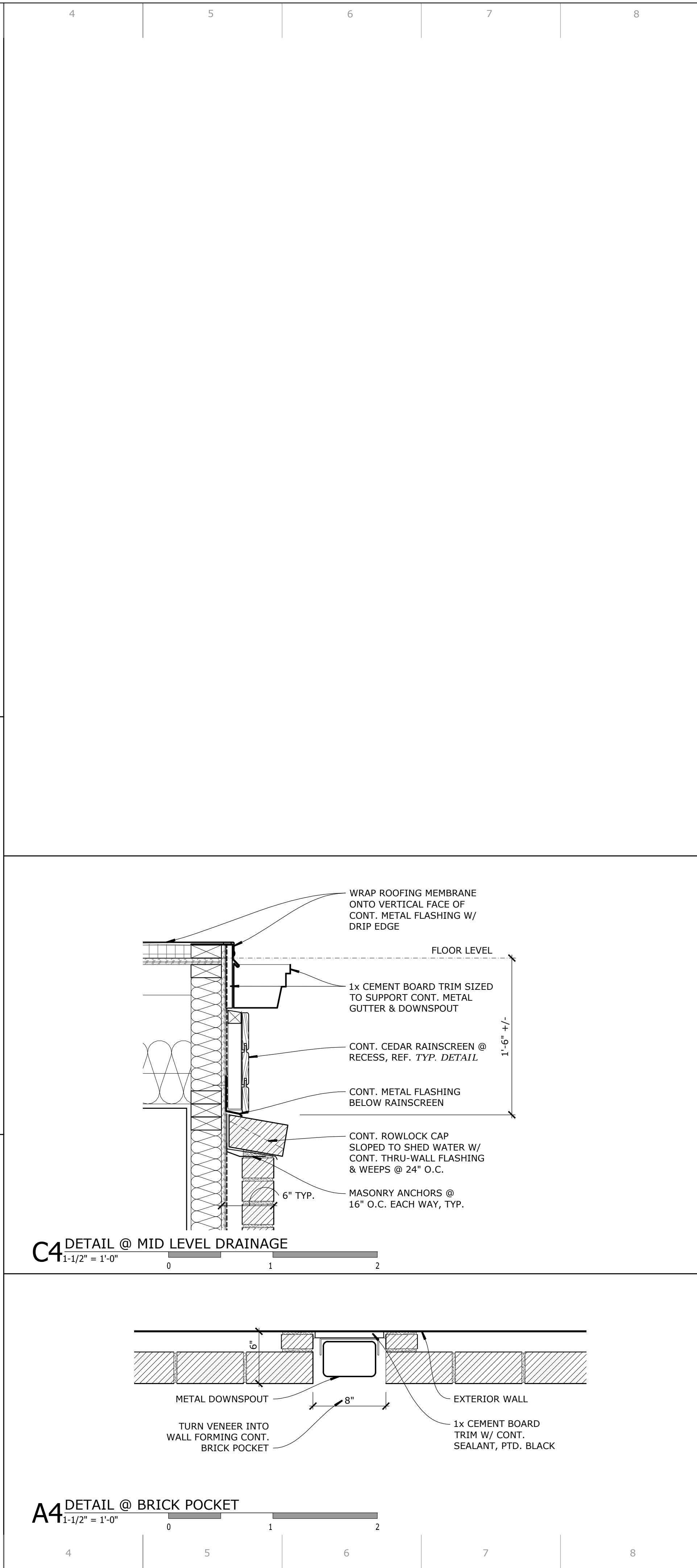
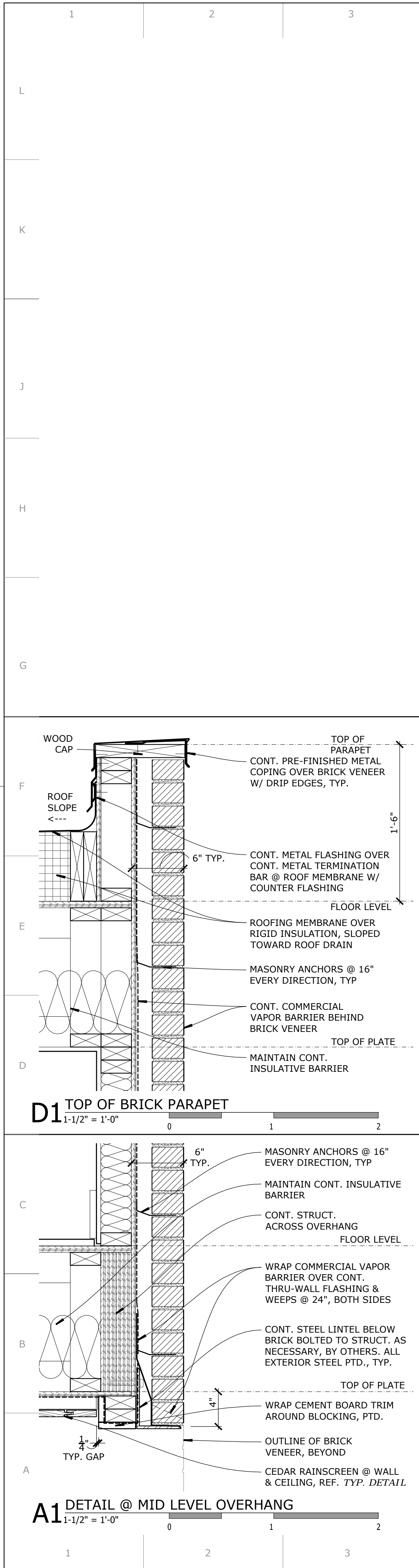


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	1	2	3	4	5	6	7	8
L								
K								
J								
H								
G								
F								
E								
D								
C	<div>GLAZING SCHEDULE</div> <div><div><div>CT</div><div>1/4" TEMPERED CLEAR GLAZING</div></div><div>GLAZING NOTES: 1. ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO INSTALLATION. 2. ALL GLAZING IN HAZARDOUS LOCATIONS AND AREAS SUBJECT TO HUMAN IMPACT LOADS SHALL BE SAFETY GLASS AS DEFINED PER 2012 IRC 2406.1</div></div>			<div>DOOR TYPE</div> <div><div><div><div><div></div><div>W1</div></div><div>ENTRY</div></div><div><div><div><div></div><div>V2</div></div><div>FULL LITE</div></div><div><div><div><div></div><div>V3</div></div><div>FIVE PANEL</div></div><div><div><div><div></div><div>V4</div></div><div>LOUVERED</div></div><div><div><div><div></div><div>V5</div></div><div>SLAB</div></div></div></div></div><div>OPTIONAL DOOR DESIGN FIVE PANEL DOOR CAN BECOME ONE-PANEL DOOR</div><div>NOTE LOUVERED DOORS REQUIRED AT ALL MECH CLOSETS</div></div></div></div>				
B								
A	1	2	3	4	5	6	7	8

DOOR SCHEDULE AND NOTES UNIT 1	DOOR																FRAME				HARDWARE		REMARKS
	NUMBER	ROOM NAME	WIDTH	HEIGHT	THICK	MATERIAL	FINISH	GLAZ	TYPE	LABEL	MATERIAL	FINISH	TYPE	LABEL	SET	NOTE							
	111A	FRONT ENTRY DOOR	3'-0"	8'-0"	1-3/4"	WOOD	STAINED	CT	W1		WOOD	PAINTED	P1		1	LH							
	112A	FLEX/OFFICE	3'-0"	*	1-3/8"	WOOD	PAINTED	-			WOOD	PAINTED	P1		3	-	'BARN DOOR						
	113A	CLOSET	2'-6"	6'-8"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		4	LHR							
	114A	BATHROOM	2'-6"	6'-8"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		3	RH							
	115A	ENTRY FROM GARAGE	2'-8"	6'-8"	1-3/4"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		2	LH							
	115B	GARAGE CLOSET	2'-8"	6'-8"	1-3/4"	WOOD	PAINTED		W5		WOOD	PAINTED	P1		4	RHR							
	115C	GARAGE DOOR	16'-0"	8'-0"	-	-	-	-	-	-	-	-	-	-	-	-	OVERHEAD GARAGE DOOR						
	121A	PANTRY	2'-6"	8'-0"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		4	LHR							
	122A	LINEN	2'-6"	8'-0"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		4	RHR							
	123A	BATH	2'-6"	8'-0"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		3	RH							
	124A	BEDROOM	2'-8"	8'-0"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		3	RH							
	124B	CLOSET	2'-6"	8'-0"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		4	RHR							
	132A	LAUNDRY	3'-0"	6'-8"	1-3/8"	WOOD	PAINTED		W4		WOOD	PAINTED	P1		4	RHR							
	133A	LINEN	2'-6"	6'-8"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		4	RHR							
	134A	MASTER BEDROOM	2'-8"	6'-8"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		3	LH							
	135A	MASTER CLOSET	2'-6"	6'-8"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		4	RHR							
	136A	MASTER BATH	2'-8"	*	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		3	-	'BARN DOOR						
	137A	BATHROOM	2'-6"	6'-8"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		3	RH							
	137B	BATHROOM	2'-6"	6'-8"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		3	-	POCKET DOOR						
	138A	BEDROOM	2'-8"	6'-8"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		3	LH							
	139A	CLOSET	2'-6"	6'-8"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		4	LHR							
	141A	ROOF DECK DOOR	3'-0"	6'-8"	1-3/4"	WOOD	STAINED	CT	W2		WOOD	PAINTED	P1		2	RHR							
142A	MECH	2'-8"	6'-8"	1-3/8"	WOOD	PAINTED		W4		WOOD	PAINTED	P1		4	RHR								

DOOR SCHEDULE AND NOTES UNIT 2	DOOR																FRAME				HARDWARE		REMARKS
	NUMBER	ROOM NAME	WIDTH	HEIGHT	THICK	MATERIAL	FINISH	GLAZ	TYPE	LABEL	MATERIAL	FINISH	TYPE	LABEL	SET	NOTE							
	211A	FRONT ENTRY DOOR	3'-0"	8'-0"	1-3/4"	WOOD	STAINED	CT	W1		WOOD	PAINTED	P1		1	RH							
	212A	FLEX/OFFICE	3'-0"	*	1-3/8"	WOOD	PAINTED	-			WOOD	PAINTED	P1		3	-	'BARN DOOR						
	213A	CLOSET	2'-6"	6'-8"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		4	RHR							
	214A	BATHROOM	2'-6"	6'-8"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		3	LH							
	215A	ENTRY FROM GARAGE	2'-8"	6'-8"	1-3/4"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		2	RH							
	215B	GARAGE CLOSET	2'-8"	6'-8"	1-3/4"	WOOD	PAINTED		W5		WOOD	PAINTED	P1		4	LHR							
	215C	GARAGE DOOR	16'-0"	8'-0"	-	-	-	-	-	-	-	-	-	-	-	-	OVERHEAD GARAGE DOOR						
	221A	PANTRY	2'-6"	8'-0"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		4	RHR							
	222A	LINEN	2'-6"	8'-0"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		4	LHR							
	223A	BATH	2'-6"	8'-0"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		3	LH							
	224A	BEDROOM	2'-8"	8'-0"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		3	LH							
	224B	CLOSET	2'-6"	8'-0"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		4	LHR							
	232A	LAUNDRY	3'-0"	6'-8"	1-3/8"	WOOD	PAINTED		W4		WOOD	PAINTED	P1		4	LHR							
	233A	LINEN	2'-6"	6'-8"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		4	LHR							
	234A	MASTER BEDROOM	2'-8"	6'-8"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		3	RH							
	235A	MASTER CLOSET	2'-6"	6'-8"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		4	LHR							
	236A	MASTER BATH	2'-8"	*	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		3	-	'BARN DOOR						
	237A	BATHROOM	2'-6"	6'-8"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		3	LH							
	237B	BATHROOM	2'-6"	6'-8"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		3	-	POCKET DOOR						
	238A	BEDROOM	2'-8"	6'-8"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		3	RH							
	239A	CLOSET	2'-6"	6'-8"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		4	RHR							
	241A	ROOF DECK DOOR	3'-0"	6'-8"	1-3/4"	WOOD	STAINED	CT	W2		WOOD	PAINTED	P1		2	LHR							
242A	MECH	2'-8"	6'-8"	1-3/8"	WOOD	PAINTED		W4		WOOD	PAINTED	P1		4	LHR								

DOOR SCHEDULE AND NOTES UNIT 3	DOOR																FRAME				HARDWARE		REMARKS
	NUMBER	ROOM NAME	WIDTH	HEIGHT	THICK	MATERIAL	FINISH	GLAZ	TYPE	LABEL	MATERIAL	FINISH	TYPE	LABEL	SET	NOTE							
	311A	FRONT ENTRY DOOR	3'-0"	8'-0"	1-3/4"	WOOD	STAINED	CT	W1		WOOD	PAINTED	P1		1	LH							
	312A	FLEX/OFFICE	3'-0"	*	1-3/8"	WOOD	PAINTED	-			WOOD	PAINTED	P1		3	-	'BARN DOOR						
	313A	CLOSET	(2) 2'-6"	6'-8"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		4	-	POCKET						
	314A	BATHROOM	2'-6"	6'-8"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		3	RH							
	315A	ENTRY FROM GARAGE	2'-8"	6'-8"	1-3/4"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		2	RH							
	315B	GARAGE DOOR	16'-0"	8'-0"	-	-	-	-	-	-	-	-	-	-	-	-	OVERHEAD GARAGE DOOR						
	317A	LAUNDRY	3'-0"	6'-8"	1-3/4"	WOOD	PAINTED		W5		WOOD	PAINTED	P1		4	RHR							
	321A	PANTRY	2'-0"	8'-0"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		4	RHR							
	322A	BATH	2'-6"	8'-0"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		3	RH							
	323A	BEDROOM	2'-8"	8'-0"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		3	RH							
	324A	CLOSET	2'-6"	8'-0"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		4	RHR							
	332A	LAUNDRY	(2) 2'-8"	6'-8"	1-3/8"	WOOD	PAINTED		W4		WOOD	PAINTED	P1		4	-							
	333A	MASTER BEDROOM	2'-8"	6'-8"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		3	LH							
	333B	MASTER BEDROOM	2'-8"	6'-8"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		3	LH							
	335A	MASTER BATH	2'-6"	6'-8"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		3	-	POCKET DOOR						
	336A	BATHROOM	2'-6"	6'-8"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		3	LH							
	336B	BATHROOM	2'-6"	6'-8"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		3	-	POCKET DOOR						
	337A	BEDROOM	2'-8"	6'-8"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		3	LH							
	338A	CLOSET	2'-6"	6'-8"	1-3/8"	WOOD	PAINTED		W3		WOOD	PAINTED	P1		4	RHR							
	341A	ROOF DECK DOOR	3'-0"	6'-8"	1-3/4"	WOOD	STAINED	CT	W2		WOOD	PAINTED	P1		2	RHR							
	342A	MECH	2'-8"	6'-8"	1-3/8"	WOOD	PAINTED		W4		WOOD	PAINTED	P1		4	LHR							

FRAME TYPE

P1

PRE-HUNG FRAME  
WITH WOOD CASING

P2

HOLLOW  
METAL FRAME

HARDWARE SET

1. MAIN ENTRY DOOR  
2. EXTERIOR W/ DEADBOLT  
(GARAGE / ROOF)  
3. PRIVACY FUNCTION  
4. CLOSET FUNCTION

HARDWARE NOTE

RH

INSIDE

OUTSIDE (KEYSIDE)

LH

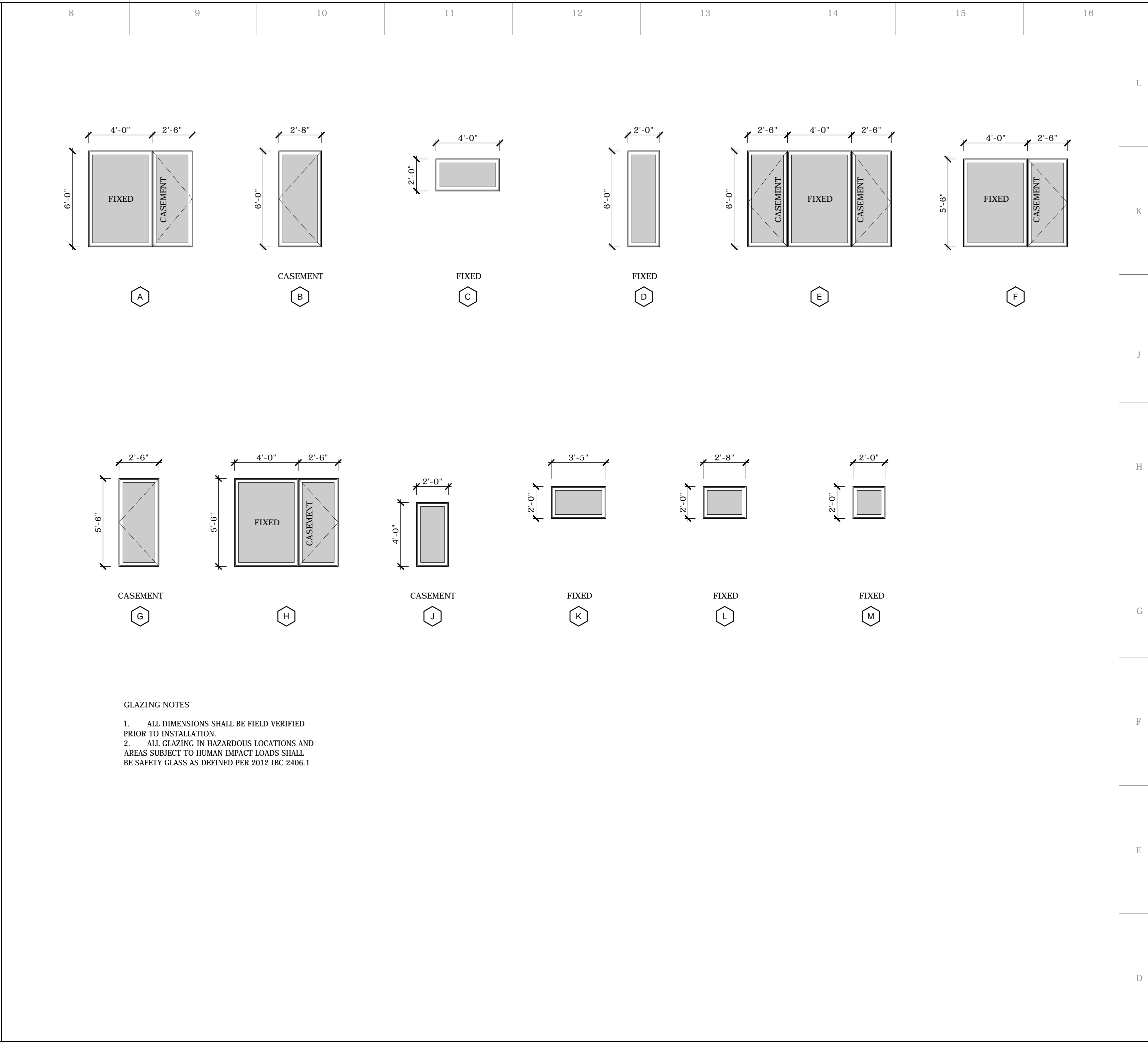
RHR

INSIDE

OUTSIDE (KEYSIDE)

LHR





**WINDOW GENERAL NOTES**

1. OPENINGS TO HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ FT (821 SQ IN) TO MEET REQUIREMENTS FOR RESCUE ASSISTANCE. NET CLEAR OPENING TO BE RESULT OF NORMAL WINDOW OPERATION.
2. ALL WINDOW SILLS TO BE INSTALLED A MINIMUM 24" ABOVE FINISH FLOOR. IF CONFLICT EXISTS INFORM ARCHITECT BEFORE FRAMING OPENING.
3. FLASHING AND CONFIGURATIONS ILLUSTRATE GENERAL CONDITIONS AND EXPECTATIONS. REFERENCE MANUFACTURER'S LITERATURE FOR BUILDING WRAP DETAILS AND WARRANTY CONDITIONS. REFERENCE WINDOW DETAILS FOR SPECIFIC HEAD, SILL, AND JAMB CONDITIONS.

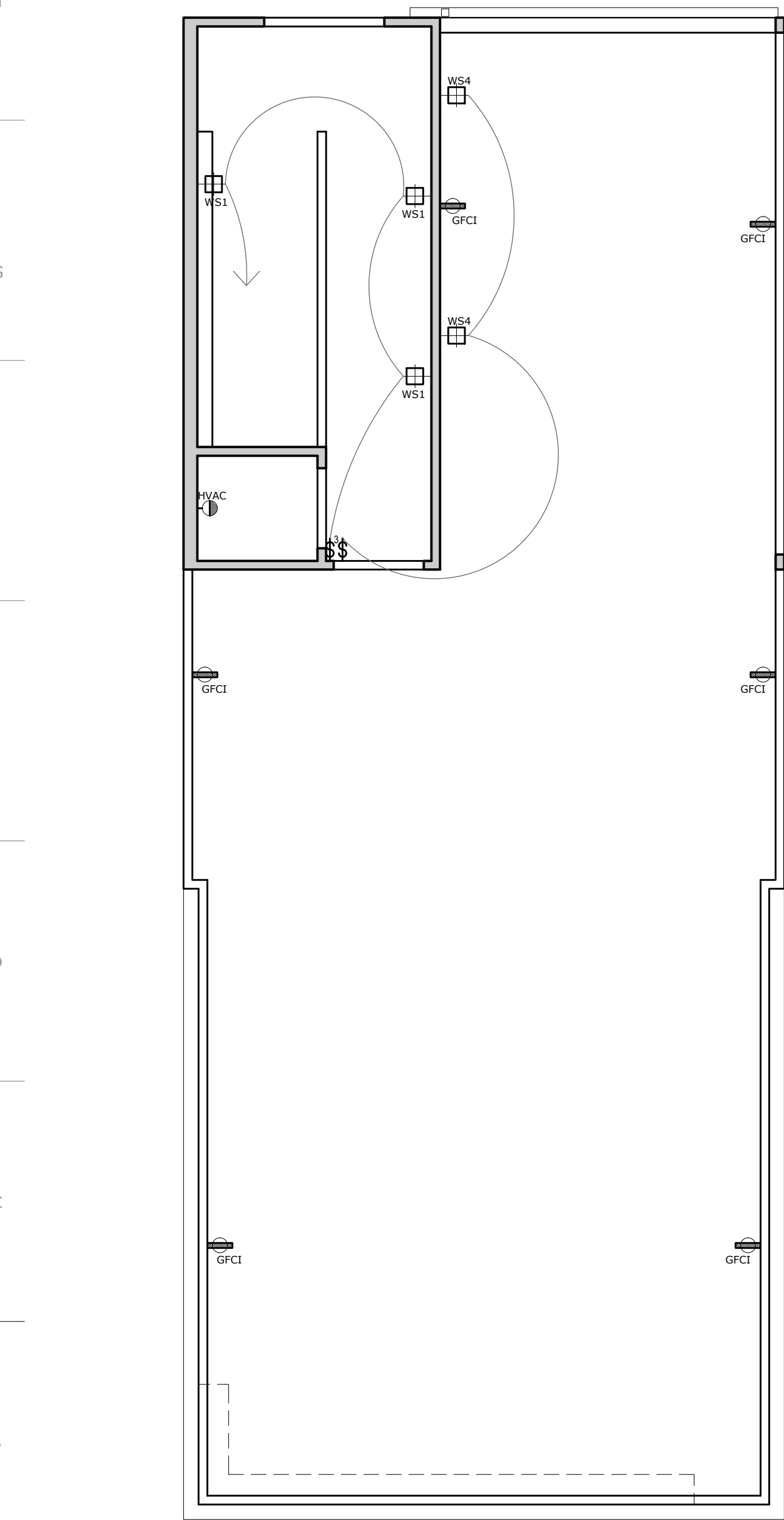
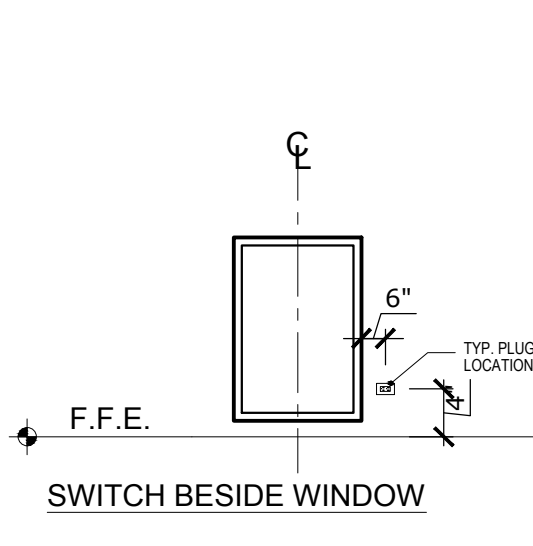
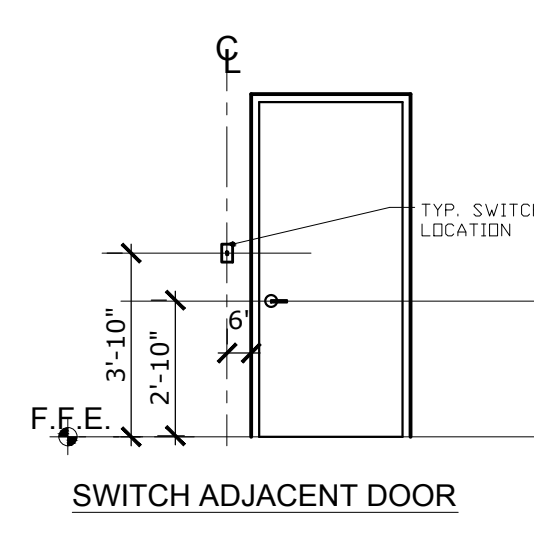
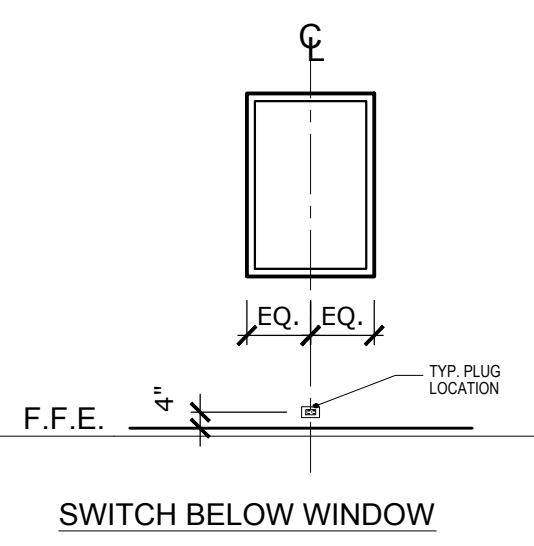
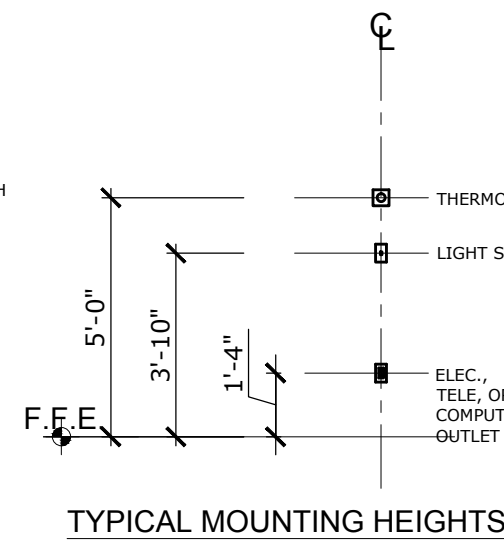
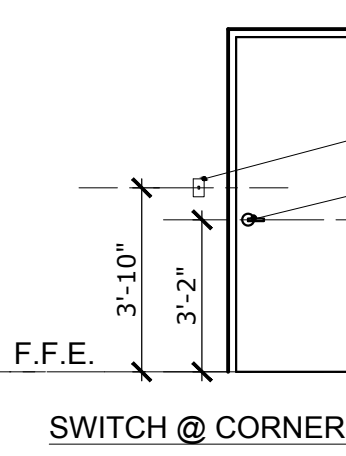
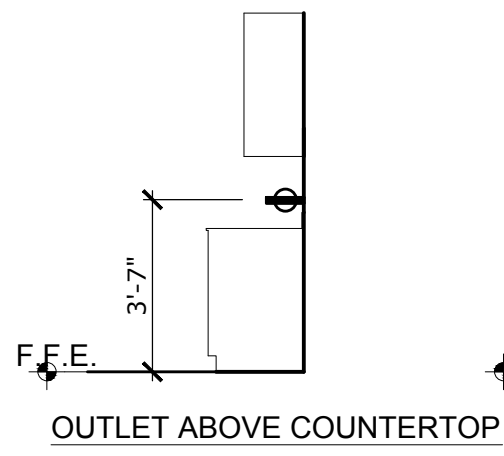
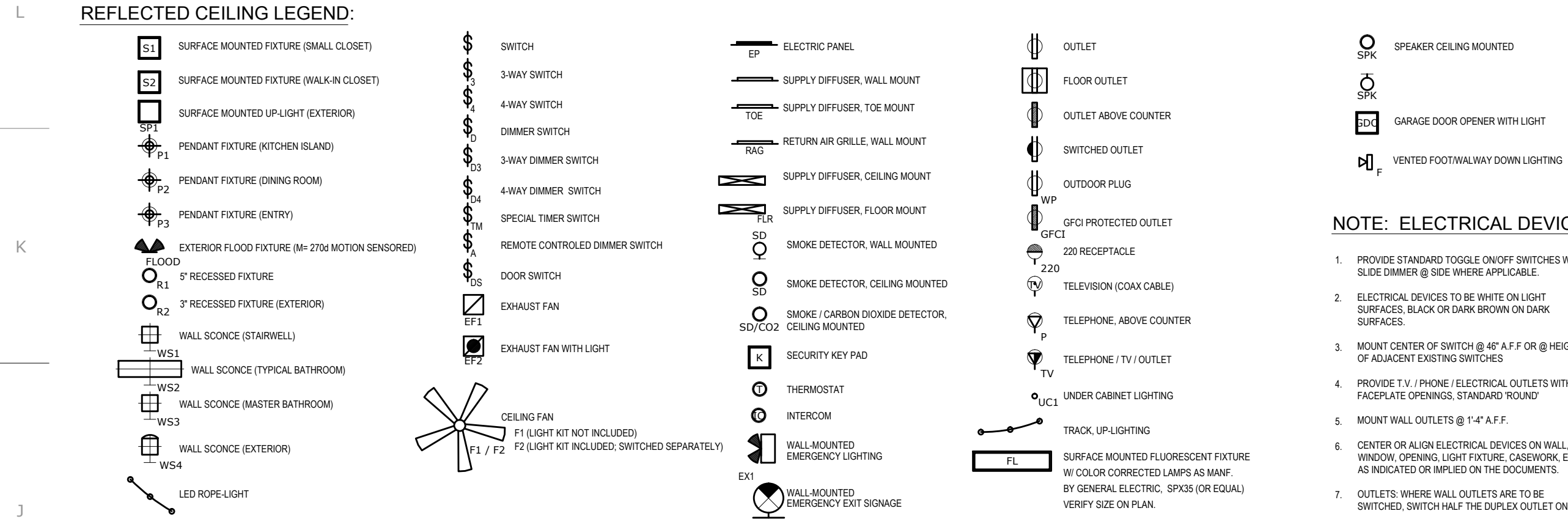
WINDOW SCHEDULE & NOTES			
# 19421			
NEW CONSTRUCTION:			
2716 DELAWARE AVENUE			
2716 DELAWARE AVENUE			
NASHVILLE, TN 37209			
	REV:	DATE:	DESC:
	0	01.13.20	FOR PERMIT
	1	01.22.20	DOOR & WIND SCHEDULE



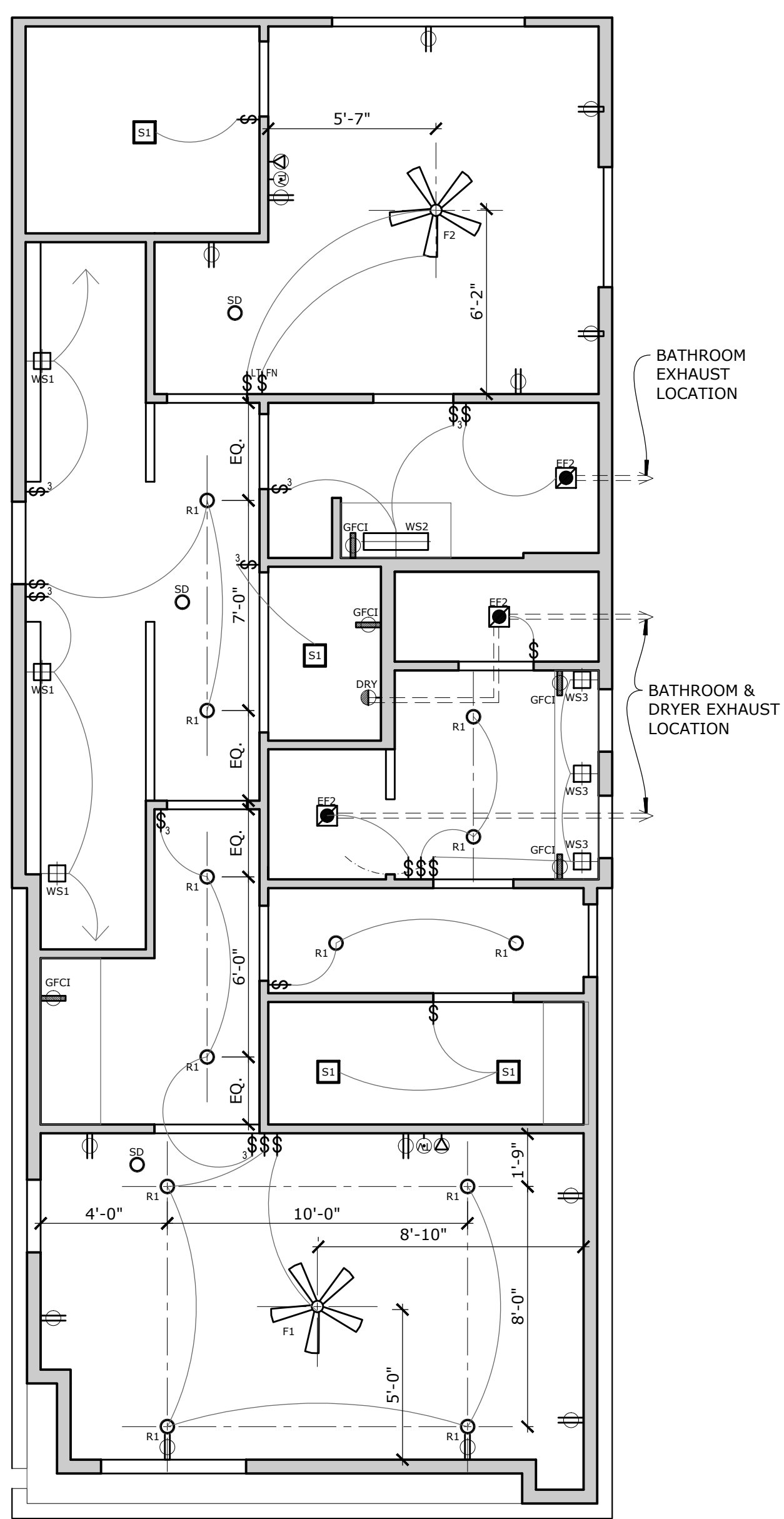




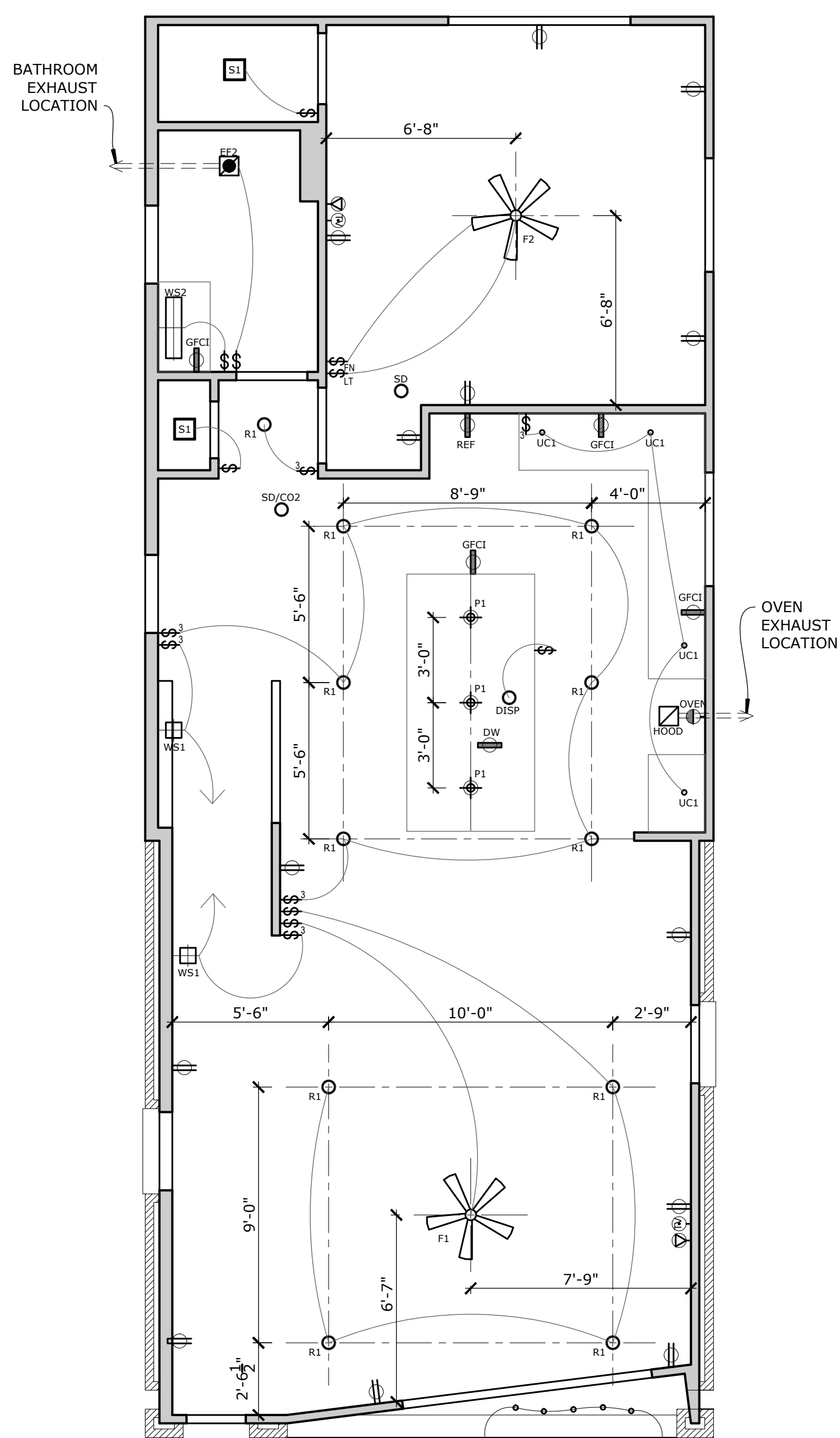
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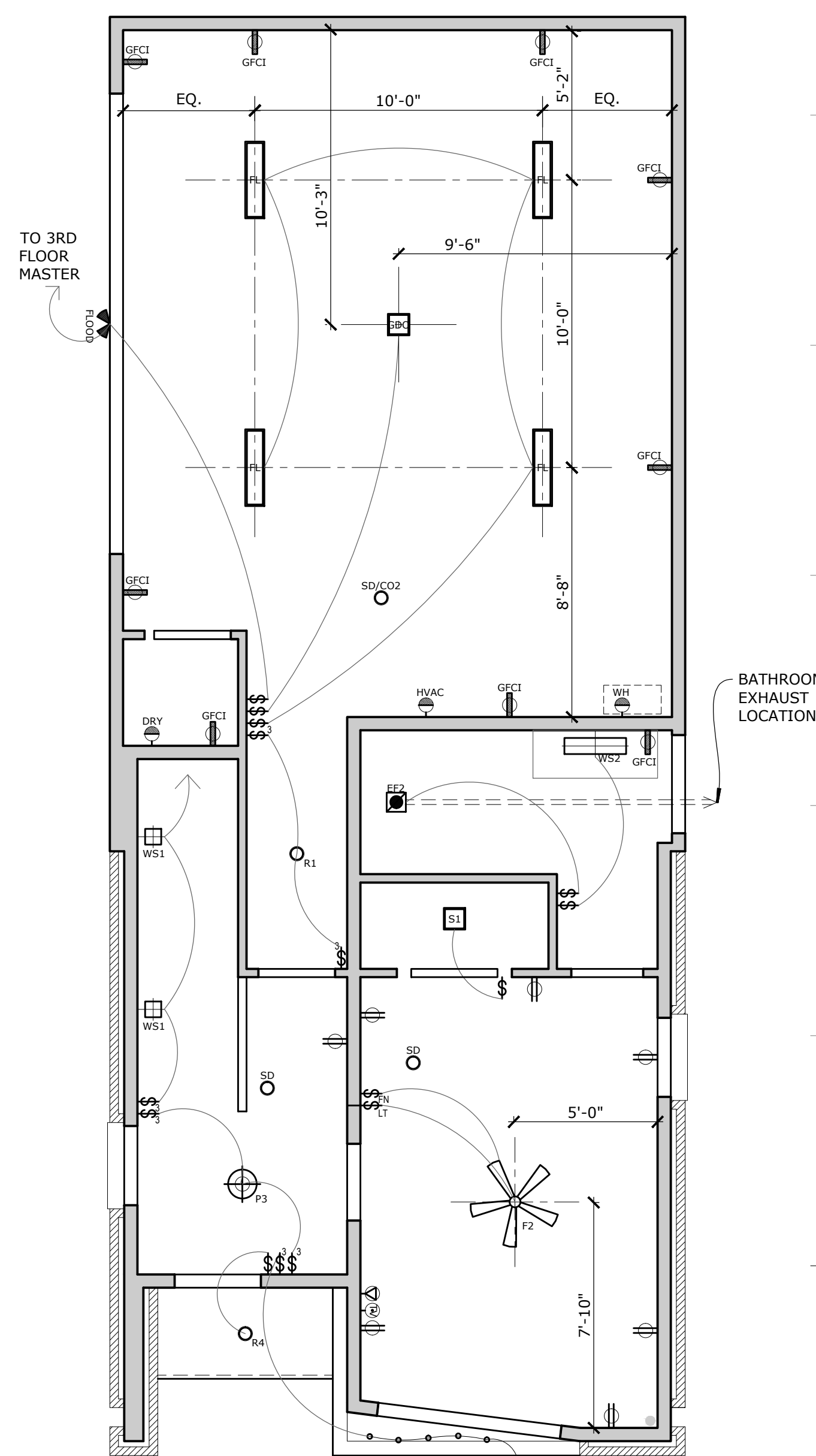
## A1 ROOF CEILING PLANS



**A5** THIRD FLOOR CEILING PLANS



## A9 SECOND FLOOR CEILING PLANS



### A13 FIRST FLOOR CEILING PLANS