

**GENERAL NOTES**

**CLIENT RESPONSIBILITIES:**

1. THE CLIENT HAS THE SOLE RIGHTS TO DEVELOP THE PROPERTY LISTED ABOVE.
2. THE CLIENT IS RESPONSIBLE FOR SELECTING CONTRACTORS WHO ARE EXPERIENCED IN THE CONSTRUCTION OF RESIDENTIAL PROJECTS USING THE PROPER MEANS, METHODS, & MATERIALS.
3. THE CLIENT IS RESPONSIBLE FOR COMMUNICATING TO THE CONTRACTOR THE SCOPE OF WORK PROVIDED BY BUILDING IDEAS, LLC & ENSURING THAT THE CONTRACTOR UNDERSTANDS THE SCOPE OF WORK & RESPONSIBILITIES REQUIRED OF THE CONTRACTOR.
4. THE CLIENT IS RESPONSIBLE FOR GIVING THE CONTRACTOR THE CORRECT SET OF CONSTRUCTION DOCUMENTS & ALL OTHER CORRECT INFORMATION TO BE USED FOR CONSTRUCTION.
5. THE CLIENT'S CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING THE PROJECT & ALL OF ITS ELEMENTS SO THAT IT MEETS ALL BUILDING CODES, ALL ZONING CODES, & ALL PLANNING CODES.
6. THE CLIENT'S CONTRACTOR WILL COORDINATE ALL APPLIANCE & EQUIPMENT, PRODUCT SIZES, & UTILITY REQUIREMENTS.
7. THE CLIENT'S CONTRACTOR WILL COORDINATE & INSTALL ALL CABINETS/CASEWORK, INTERIOR TRIM, DOORS, & WINDOWS.
8. THE CLIENT'S CONTRACTOR WILL DESIGN, COORDINATE, & INSTALL ALL HVAC SYSTEMS, PLUMBING SYSTEMS, ELECTRICAL SYSTEMS, LANDSCAPING/SITEWORK/SITE DRAINAGE/SUB-SURFACE DRAINAGE SYSTEMS.
9. THE CLIENT'S CONTRACTOR WILL DESIGN, COORDINATE, & INSTALL ALL WEATHERPROOFING & WATERPROOFING SYSTEMS, FLASHING SYSTEMS, SURFACE DRAINAGE SYSTEMS, THERMAL INSULATION SYSTEMS, VENTILATION SYSTEMS, VAPOR BARRIER SYSTEMS, PEST PROTECTION.
10. THE CLIENT'S CONTRACTOR WILL DESIGN, COORDINATE & INSTALL ALL FOUNDATION, FLOOR, WALL, & ROOF STRUCTURAL SYSTEMS.
11. THE CLIENT'S CONTRACTOR WILL DESIGN, COORDINATE, & INSTALL A CRAWLSPACE SYSTEM THAT PROHIBITS MOISTURE INFILTRATION INTO THE HOUSE.
12. THE CLIENT, TOGETHER WITH THE CONTRACTOR, WILL SPECIFY ALL MATERIALS TO BE USED FOR CONSTRUCTION. BUILDING IDEAS, LLC ONLY NOTES THE GENERIC CLASS OF MATERIALS TO BE USED.

**EXCLUSIONS FROM THE SCOPE OF WORK PROVIDED BY BUILDING IDEAS, LLC:**

1. BUILDING IDEAS, LLC IS NOT RESPONSIBLE FOR ENSURING THAT ANYONE OTHER THAN THE CLIENT HAS THE CORRECT CONSTRUCTION DOCUMENTS OR ANY OTHER INFORMATION FOR CONSTRUCTION.
2. SELECTION OF APPLIANCES, EQUIPMENT, OR SYSTEMS.
3. REDESIGN OF ANY ITEM AFTER OWNER APPROVAL WITHOUT ADDITIONAL COMPENSATION.
4. CONSTRUCTION DETAIL DRAWINGS OR MATERIAL SPECIFICATIONS OF ANY KIND.
5. ENGINEERING-SURVEYOR, CIVIL, GEOTECHNICAL, STRUCTURAL, ELECTRICAL, MECHANICAL, PLUMBING ENGINEERING, & OTHER ENGINEERING OF ANY KIND.
6. COORDINATION WITH ANY CONSULTANTS, CONTRACTORS, SUPPLIERS, OR ENGINEERS.
7. CONSTRUCTION SITE VISITS, OBSERVATIONS, SUPERVISION, REPORTS.
8. PERMITTING OR OTHER REGULATORY MEETINGS, SUBMITTALS, OR REVIEWS.
9. ANY ITEM THAT IS NOT WRITTEN IN THE SCOPE OF WORK OF THE AGREEMENT IS EXCLUDED.

**DRAWING NOTES:**

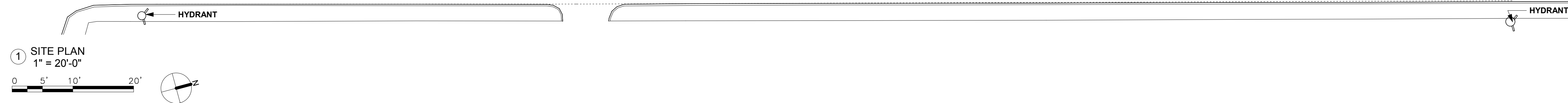
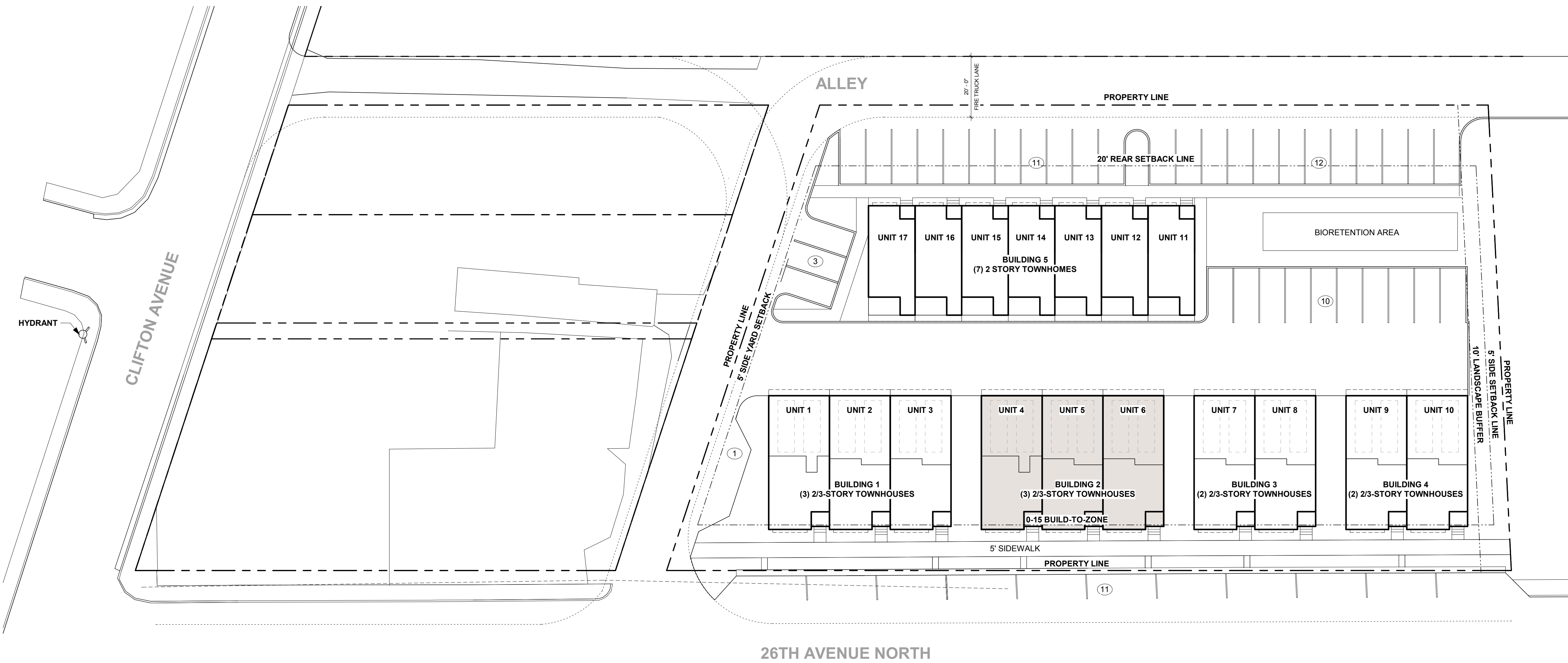
1. DRAWINGS DO NOT SHOW FLASHING, WATERPROOFING, INSULATION, VAPOR BARRIERS, SUB-SURFACE DRAINAGE, FOUNDATION STRUCTURE & REINFORCING, GRAVEL BASE, OR BACK FILL.
2. FOOTINGS, FOUNDATION WALL PROFILE, AND CRAWLSPACE HEIGHT-VERIFY EXISTING GRADE CONDITIONS & TOPOGRAPHY TO DETERMINE THE ELEVATIONS OF STEPPED FOOTINGS, STRUCTURAL REQUIREMENTS, AND DRAINAGE REQUIREMENTS. COORDINATE HVAC, PLUMB, AND ELECTRICAL WITH THE HEIGHT OF THE CRAWLSPACE.
3. ALL INTERIOR TRIM TBD BY OWNER & CONTRACTOR.
4. ELECTRICAL - COORDINATE QUANTITY, LOCATION, & HEIGHT OF ELECTRICAL DEVICES WITH APPLICABLE BUILDING CODE, APPLIANCES, EQUIPMENT, & COUNTERTOPS. COORDINATE THE LOCATIONS OF THE ELEC. SERVICE, PANEL AND METER LOCATIONS, VERIFY THE QUANTITY & LOCATION OF ALL LOW VOLTAGE DEVICES SUCH AS NETWORKING WIRING & OUTLETS.
5. ELECTRICAL OUTLETS - DRAWING SHOW SUGGESTED LOCATIONS OF OUTLETS. ADD OUTLET LOCATIONS AS REQUIRED TO COMPLY WITH CODES.
6. FIRE PROTECTION DEVICES - LOCATE SMOKE DETECTORS & OTHER LIFE SAFETY DEVICES AS REQUIRED TO COMPLY WITH CODES. COORDINATE LOCATIONS WITH OWNER.
7. HVAC - COORDINATE LOCATIONS OF SUPPLY AND RETURN GRILLS, DUCT SIZES, ROUTING, EQUIPMENT LOCATIONS, AND THERMOSTATS WITH FINAL HVAC DESIGN, PROVIDED BY OTHERS.
8. PLUMBING - COORDINATE THE LOCATIONS OF WATER & SEWER TAPS, SERVICE LINES, HOSE BIBS, AND CLEAN OUTS.
9. DIMENSIONS ARE TO FACE OF WOOD STUD OR FACE OF CMU UNLESS OTHERWISE NOTED.
10. CONTRACTOR TO PROVIDE ROOF & ATTIC VENTILATION AS REQUIRED BY CODES.
11. CONTRACTOR TO PROVIDE & DETERMINE SIZE & LOCATION OF ATTIC ACCESS PANEL AS REQUIRED BY CODES.
12. CONTRACTOR IS TO VERIFY THE SIZES OF APPLIANCES, EQUIPMENT & FIXTURES. VERIFY THE SPACE REQUIRED FOR THEIR INSTALLATION PRIOR TO THEIR ORDERING & INSTALLATION. CONTRACTOR IS TO COORDINATE THE INSTALLATION W/ ALL APPLIANCE SERVICES SUCH AS ELEC., PLUMB, ETC.

NUM.	SHEET INDEX	SHEET NAME
A0.01	SITE PLAN, PROJECT DATA, & SHEET INDEX	
A0.02	NOTES & LEGENDS	
A1.01	FOUNDATION PERIMETER LAYOUT PLAN & FIRST FLOOR PLAN	
A1.02	SECOND AND THIRD FLOOR PLAN	
A1.05	ROOF PLAN	
A2.00	EXTERIOR ELEVATIONS	
A3.00	BUILDING SECTIONS	
A3.01	BUILDING SECTIONS	
A3.03	WALL SECTIONS	
A3.04	WALL SECTIONS	
A4.00	3D VIEWS	
A4.01	3D VIEWS	

**SITE NOTES:**

1. UTILITIES-REFERENCE SURVEY & CIVIL SITE PLAN FOR AVAILABILITY, LOCATION, & SIZE OF UTILITIES.
2. RAINWATER DOWNSPOUT-COORDINATE THE DISCHARGE & CONNECTION OF DOWNSPOUTS WITH THE SURFACE & SUBSURFACE STORMWATER SYSTEM DESIGNED BY OTHERS.
3. REFERENCE CIVIL SITE PLAN FOR DESIGN OF SITE DRAINAGE, RAINWATER, & SURFACE DRAINAGE RETENTION, & SUBSURFACE DRAINAGE.
4. REFERENCE CIVIL SITE PLAN FOR FINISH FLOOR ELEVATIONS & FINISH GRADE ELEVATIONS.

PROJECT DATA:		
26TH AVENUE NASHVILLE, TN 37209		
ZONING INFORMATION:		
ZONE RM-20		
MAX HEIGHT - 3 STORIES		
ACTUAL HEIGHT - 3 STORIES		
TOTAL LOT AREA: 38,132 S.F.		
BUILDING AREA CALCULATIONS:		
<b>UNIT 4</b>	<b>UNIT 5</b>	<b>UNIT 6</b>
FIRST FLOOR= 429 GSF	FIRST FLOOR= 412 GSF	FIRST FLOOR= 412 GSF
SECOND FLOOR= 915 GSF	SECOND FLOOR= 916 GSF	SECOND FLOOR= 915 GSF
THIRD FLOOR= 631 GSF	THIRD FLOOR= 632 GSF	THIRD FLOOR= 631 GSF
TOTAL AREA= 1,975 GSF	TOTAL AREA= 1,960 GSF	TOTAL AREA= 1,968 GSF
EXTERIOR PORCHES= 28 GSF	EXTERIOR PORCHES= 28 GSF	EXTERIOR PORCHES= 28 GSF
GARAGE= 416 GSF	GARAGE= 433 GSF	GARAGE= 433 GSF
ROOF DECK= 274 GSF	ROOF DECK= 274 GSF	ROOF DECK= 274 GSF
<b>BUILDING COVERAGE = 890 GSF</b>	<b>BUILDING COVERAGE = 873 GSF</b>	<b>BUILDING COVERAGE = 873 GSF</b>
<b>TOTAL BUILDING COVERAGE:</b> 2,636 SF / 38,132 SF = 0.07		



**NOTE: REFER TO CIVIL ENGINEERING DRAWING FOR SITE DESIGN & LOCATION OF BUILDING.**

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Designed For:  
**E3 CONSTRUCTION SERVICES, LLC**

**26TH AVENUE TOWNHOMES**  
**BUILDING 2**  
3 UNIT TOWNHOMES



REVISIONS		
NUM.	DESCRIPTION	DATE

Project Phase:  
**CONSTRUCTION DOCUMENTS**

Project Number: **2600**

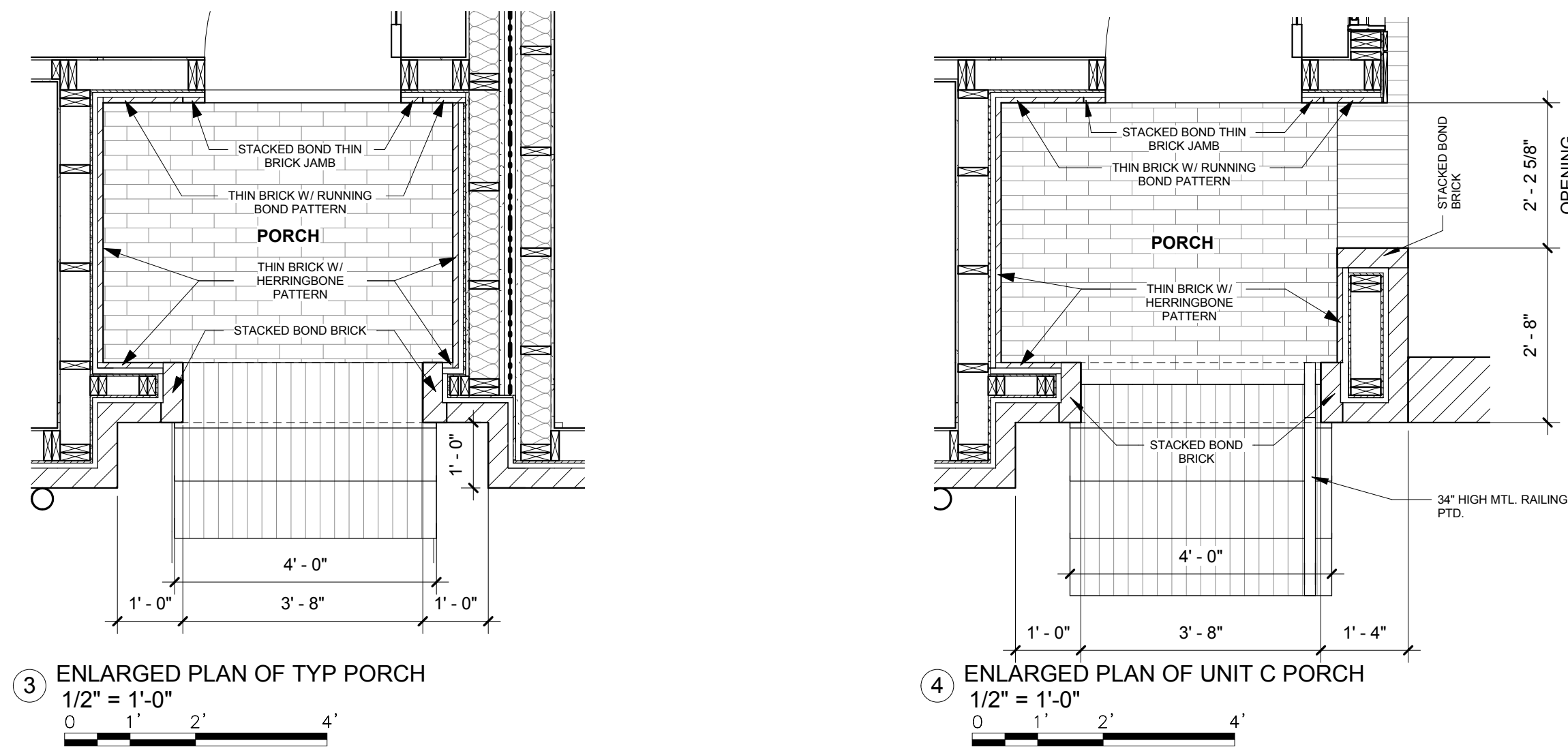
Date: **1.29.2019**

**SITE PLAN, PROJECT DATA, & SHEET INDEX**

**A0.01**

PRINT FULL SIZE @ 30" X 42"





3 ENLARGED PLAN OF TYP PORCH  
1/2" = 1'-0"

4 ENLARGED PLAN OF UNIT C PORCH  
1/2" = 1'-0"

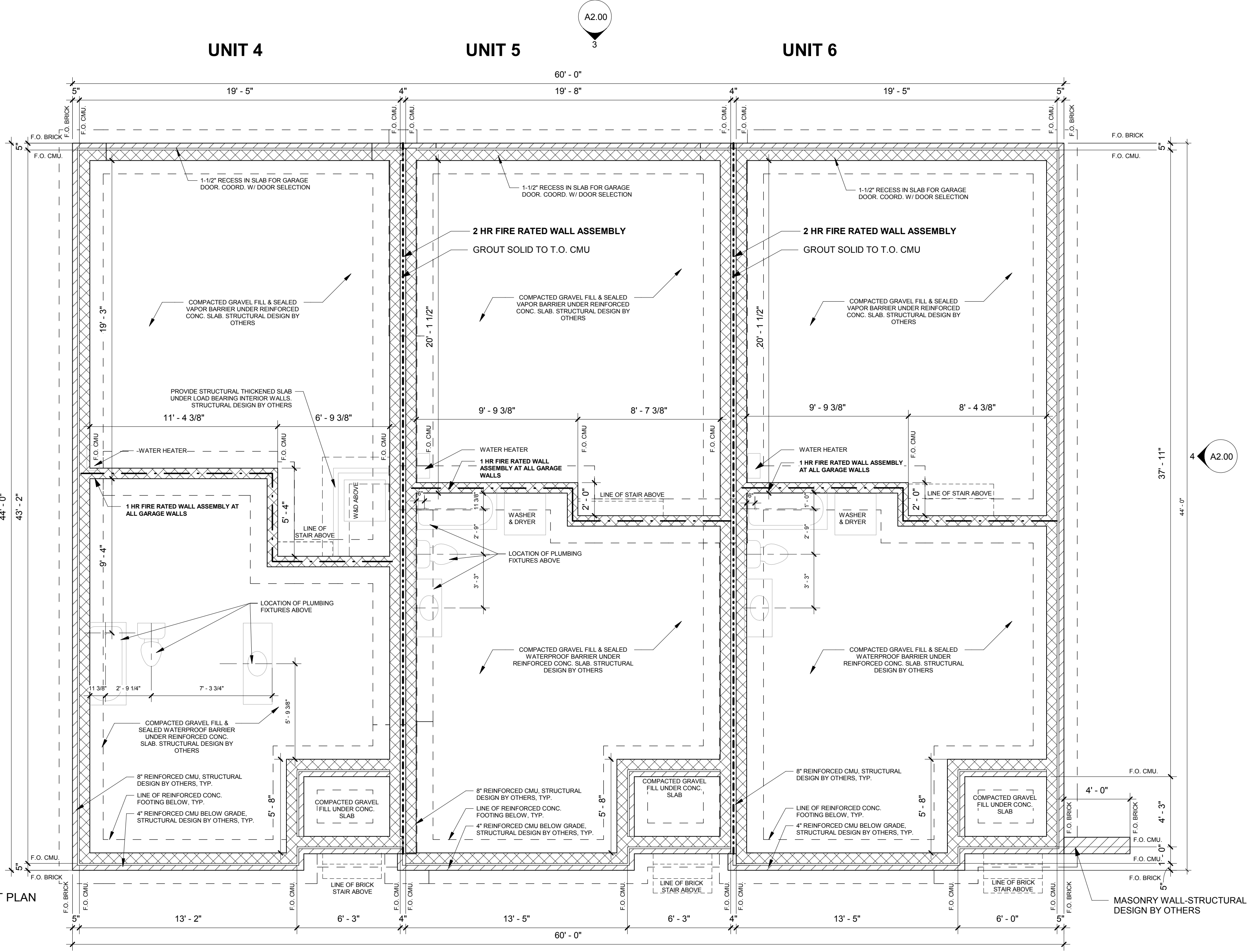
**NOTE: USE THIS PLAN TO LAYOUT THE BUILDING FOUNDATION. REFER TO THE SITE PLAN ON SHEET A0.01 TO LOCATE THE BUILDING ON THE SITE.**

DIMENSIONS: DIMENSIONS ARE TO FACE OF WOOD STUD OR FACE OF CMU UNLESS OTHERWISE NOTED.

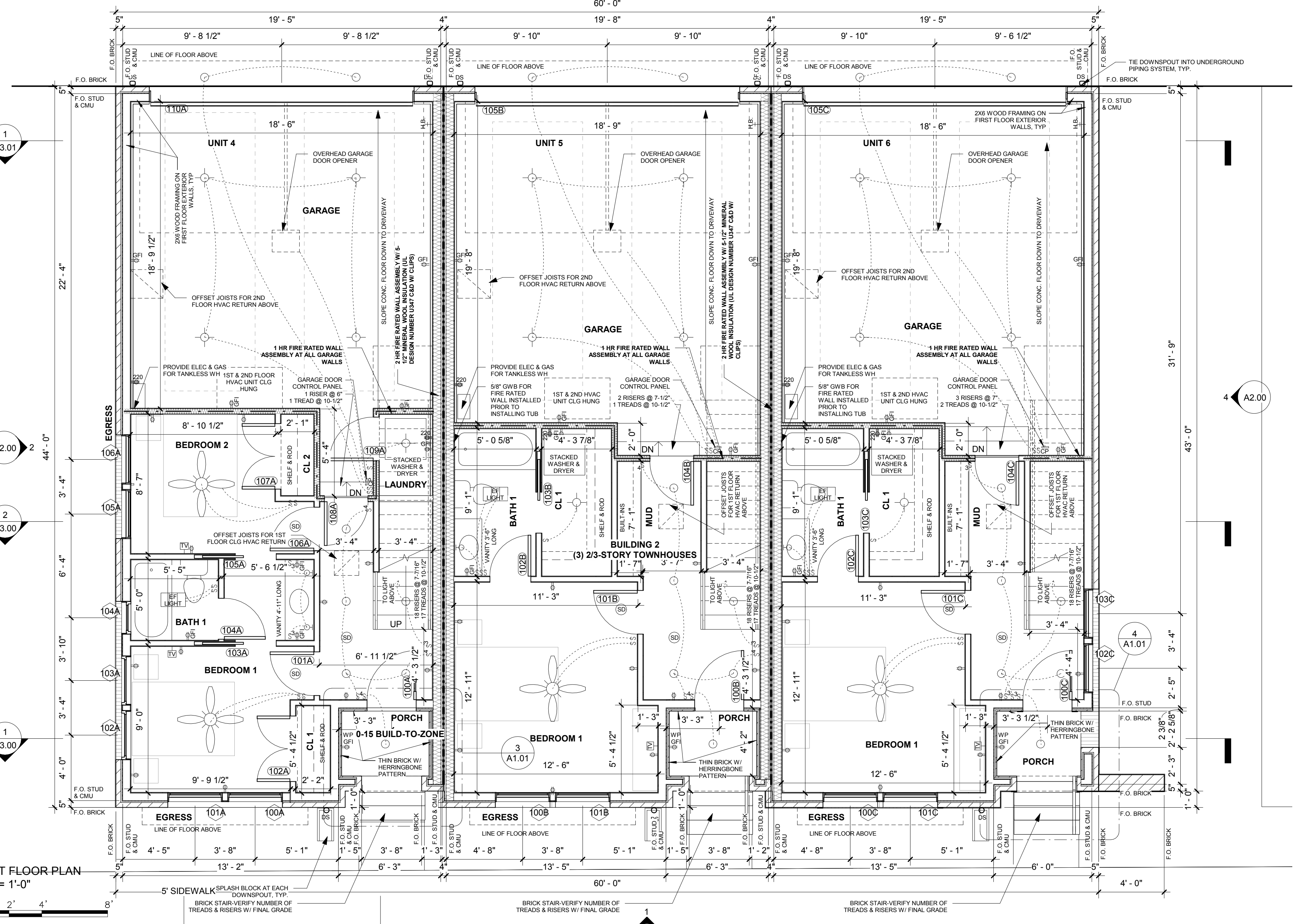
FOOTINGS & FOUNDATION WALL PROFILE: VERIFY EXISTING GRADE CONDITIONS TO DETERMINE THE SLOPE OF THE EXISTING GRADE, THE HEIGHT OF EXPOSED CMU WALLS, THE ELEVATIONS OF STEPPED FOOTINGS, STRUCTURAL REQUIREMENTS, AND SURFACE & SUBSURFACE DRAINAGE REQUIREMENTS.

FIRE RATED MATERIALS: USE FIRE RETARDANT MATERIALS & RATED ASSEMBLIES WHERE REQ'D BY CODES.

WOOD FRAMING ENGINEERING: THE DESIGN OF ALL WOOD FRAMING, INCLUDING FLOORS, WALLS, ROOFS, POSTS, BEAMS, ETC. IS THE RESPONSIBILITY OF THE OWNER & CONTRACTOR. ANY WOOD FRAMING, SHEATHING & PANEL SIZES SHOWN GRAPHICALLY OR NOTED ON THE DRAWINGS ARE ASSUMED SIZES THAT HAVE NOT BEEN ENGINEERED AND ARE FOR REFERENCE ONLY.



1 FOUNDATION PERIMETER LAYOUT PLAN  
1/4" = 1'-0"



2 FIRST FLOOR PLAN  
1/4" = 1'-0"

UNIT 4 FIRST FLOOR DOOR SCHEDULE			
NUM.	TYPE	WIDTH	HEIGHT
100A	EXTERIOR ALUM. CLAD DOOR	3'-0"	8'-0"
101A	SOLID CORE FLUSH	2'-8"	6'-8"
102A	PAIR - SOLID CORE FLUSH	2'-0"	6'-8"
103A	POCKET-SOLID CORE FLUSH	2'-6"	6'-8"
104A	SOLID CORE FLUSH	2'-6"	6'-8"
105A	POCKET-SOLID CORE FLUSH	2'-6"	6'-8"
106A	SOLID CORE FLUSH	2'-8"	6'-8"
107A	PAIR - SOLID CORE FLUSH	2'-0"	6'-8"
108A	RATED-SOLID CORE FLUSH	2'-8"	6'-8"
109A	SOLID CORE FLUSH	2'-8"	6'-8"
110A	INSULATED MTL. GARAGE DOOR & FRAME	16'-0"	8'-0"

UNIT 5 FIRST FLOOR DOOR SCHEDULE			
NUM.	TYPE	WIDTH	HEIGHT
100B	EXTERIOR ALUM. CLAD DOOR	3'-0"	8'-0"
101B	SOLID CORE FLUSH	2'-8"	6'-8"
102B	PAIR - SOLID CORE FLUSH	2'-6"	6'-8"
103B	POCKET-SOLID CORE FLUSH	2'-6"	6'-8"
104B	RATED-SOLID CORE FLUSH	2'-8"	6'-8"
105B	INSULATED MTL. GARAGE DOOR & FRAME	16'-0"	8'-0"

UNIT 6 FIRST FLOOR DOOR SCHEDULE			
NUM.	TYPE	WIDTH	HEIGHT
100C	EXTERIOR ALUM. CLAD DOOR	3'-0"	8'-0"
101C	SOLID CORE FLUSH	2'-8"	6'-8"
102C	SOLID CORE FLUSH	2'-6"	6'-8"
103C	POCKET-SOLID CORE FLUSH	2'-6"	6'-8"
104C	RATED-SOLID CORE FLUSH	2'-8"	6'-8"
105C	INSULATED MTL. GARAGE DOOR & FRAME	16'-0"	8'-0"

UNIT 4 FIRST FLOOR WINDOW SCHEDULE				
NUM.	TYPE	WIDTH	HEIGHT	HEAD HEIGHT
100A	DOUBLE HUNG	3'-4"	6'-0"	7'-0"
101A	DOUBLE HUNG	3'-4"	6'-0"	7'-0"
102A	FIXED	3'-0"	2'-0"	7'-0"
103A	FIXED	3'-0"	2'-0"	7'-0"
104A	FIXED - PRIVACY WINDOW GLASS	2'-0"	2'-0"	7'-0"
105A	DOUBLE HUNG	3'-0"	6'-0"	7'-0"
106A	DOUBLE HUNG	3'-0"	6'-0"	7'-0"

UNIT 5 FIRST FLOOR WINDOW SCHEDULE				
NUM.	TYPE	WIDTH	HEIGHT	HEAD HEIGHT
100B	DOUBLE HUNG	3'-4"	6'-0"	7'-0"
101B	DOUBLE HUNG	3'-4"	6'-0"	7'-0"

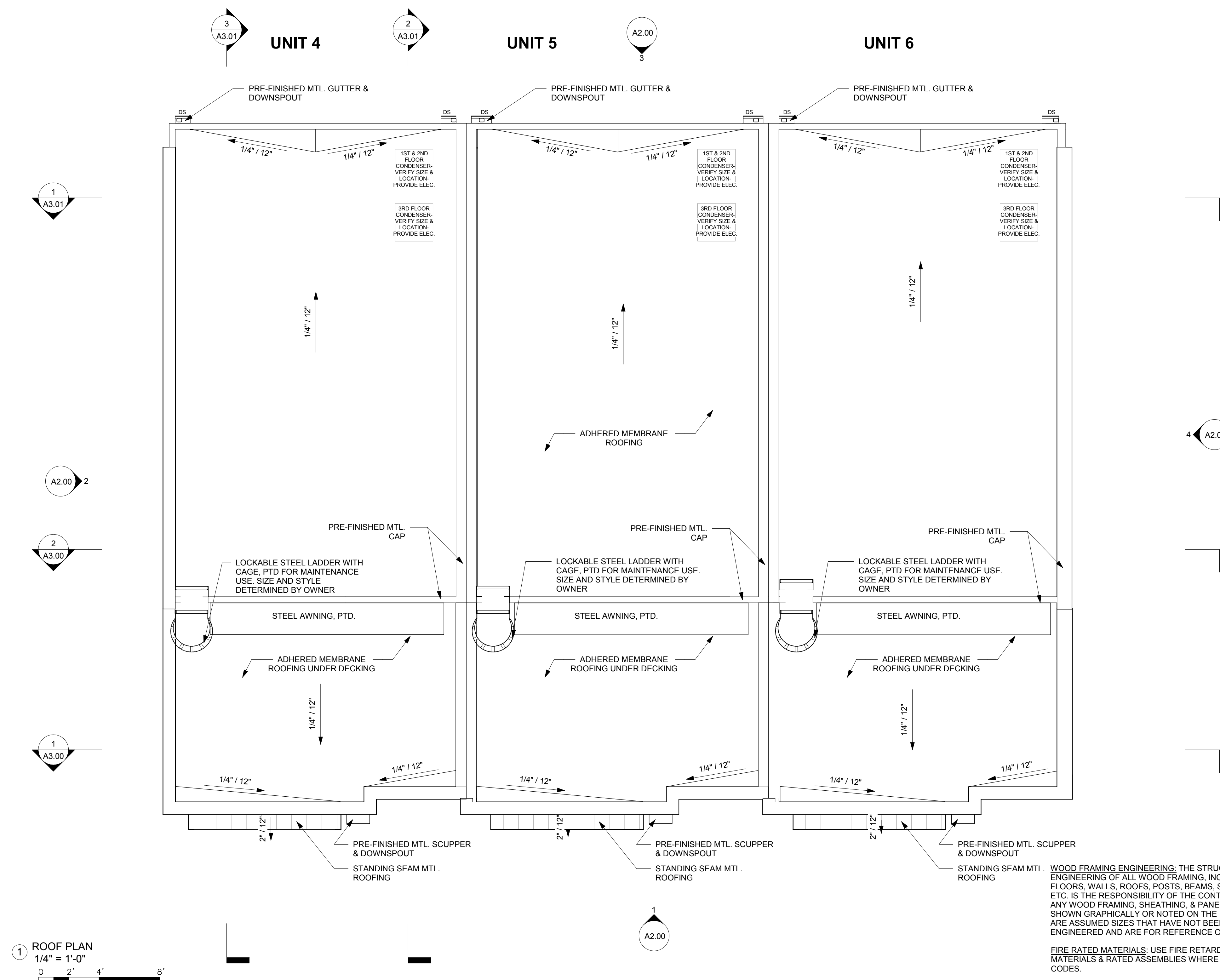
UNIT 6 FIRST FLOOR WINDOW SCHEDULE				
NUM.	TYPE	WIDTH	HEIGHT	HEAD HEIGHT
100C	DOUBLE HUNG	3'-4"	6'-0"	7'-0"
101C	DOUBLE HUNG	3'-4"	6'-0"	7'-0"
102C	DOUBLE HUNG	3'-0"	4'-0"	8'-0"
103C	DOUBLE HUNG	3'-0"	4'-0"	8'-0"

**NOTES:**  
1. WINDOW SPECIFICATIONS: OWNER TO VERIFY WINDOW SIZES FOR EGRESS, TEMPERED GLASS REQUIREMENTS AND SAFETY LOCK REQUIREMENTS WITH THE MANUFACTURER SELECTED TO SUPPLY WINDOWS.  
2. WINDOW SIZES: THE SIZES LISTED ARE GENERIC. CONFIRM THE CLOSEST WINDOW SIZE WITH THE BUILDER PRIOR TO ORDERING.



REVISIONS		
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1 ROOF PLAN  
1/4" = 1'-0"  
0 2' 4' 8'

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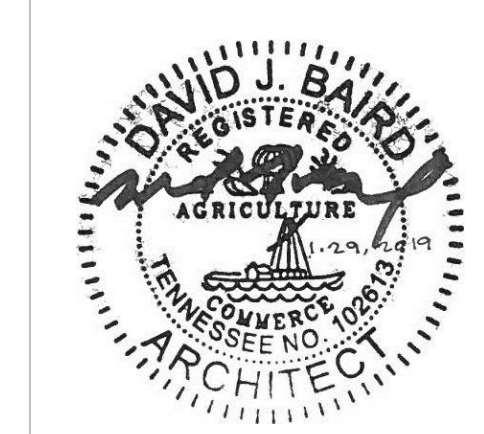
DIMENSIONS: DIMENSIONS ARE TO FACE OF WOOD STUD OR FACE OF CMU UNLESS OTHERWISE NOTED.

ROOF VENTILATION: CONTRACTOR TO PROVIDE ROOF VENTING AS REQ'D BY CODES.

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**26TH AVENUE TOWNHOMES**  
**BUILDING 2**  
3 UNIT TOWNHOMES



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Project Phase:  
**CONSTRUCTION DOCUMENTS**

Project Number: **2600**  
Date: **1.29.2019**

PRINT FULL SIZE @ 30" X 42"  
**ROOF PLAN**  
**A1.05**

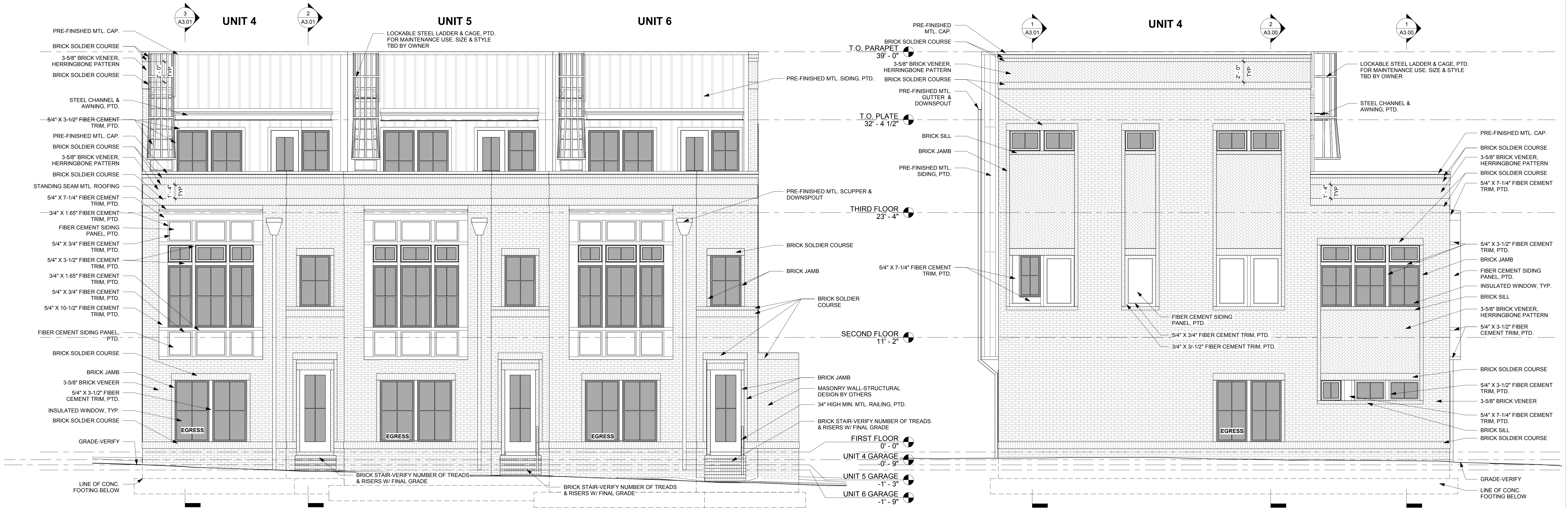
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- EXTERIOR MATERIALS:**
1. ALL SIDING & TRIM ARE COMPOSITE ROT RESISTANT MATERIALS.
  2. ALL SIDING & TRIM MATERIALS ARE TO HAVE A SMOOTH FINISH.
  3. BRICK MASONRY, BUILDER IS TO DETERMINE THE LOCATION OF VERTICAL AND HORIZONTAL CONTROL JOINTS, SIZE & TYPE OF ALL STEEL LINTELS, & STRUCTURAL SUPPORT OF LINTELS & BRICK VENEER.

**FIRE RATING:** USE FIRE RETARDANT MATERIALS & RATED ASSEMBLIES WHERE REQ'D BY CODES.

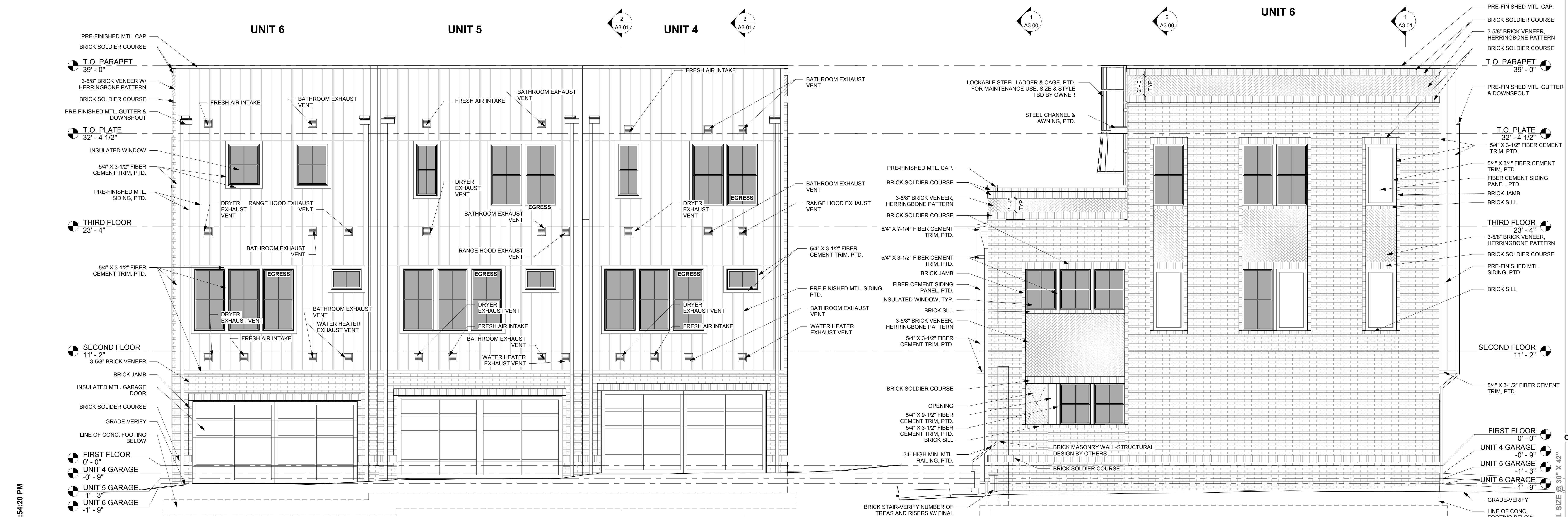
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**CONCRETE SLAB & STAIRS:** STRUCTURAL ENGINEERING OF CONCRETE SLABS & STAIRS, INCLUDING THICKNESS, REINFORCING, EDGE PROFILES, STRENGTH MIX DESIGN, AND FINISH IS BY THE CONTRACTOR. CONCRETE THICKNESS & EDGE PROFILES ARE FOR REFERENCE ONLY.



1 26TH ELEVATION  
1/4" = 1'-0"

2 LEFT SIDE ELEVATION  
1/4" = 1'-0"



3 ALLEY ELEVATION  
1/4" = 1'-0"

4 RIGHT SIDE ELEVATION  
1/4" = 1'-0"

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**26TH AVENUE TOWNHOMES**  
BUILDING 2  
3 UNIT TOWNHOMES



NUM.	REVISIONS DESCRIPTION	DATE

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**CONSTRUCTION DOCUMENTS**  
Project Number: 2600  
Date: 1.29.2019  
EXTERIOR ELEVATIONS

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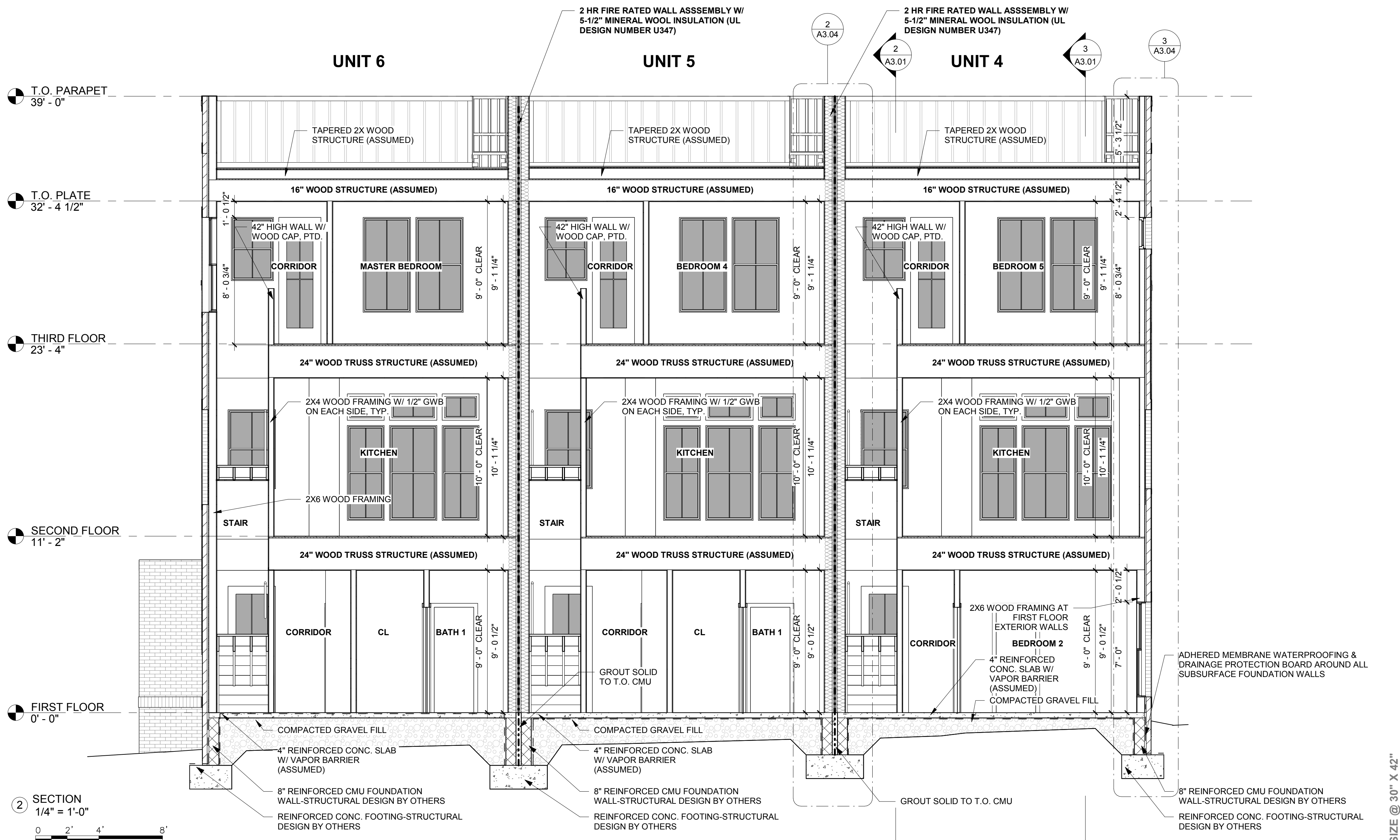
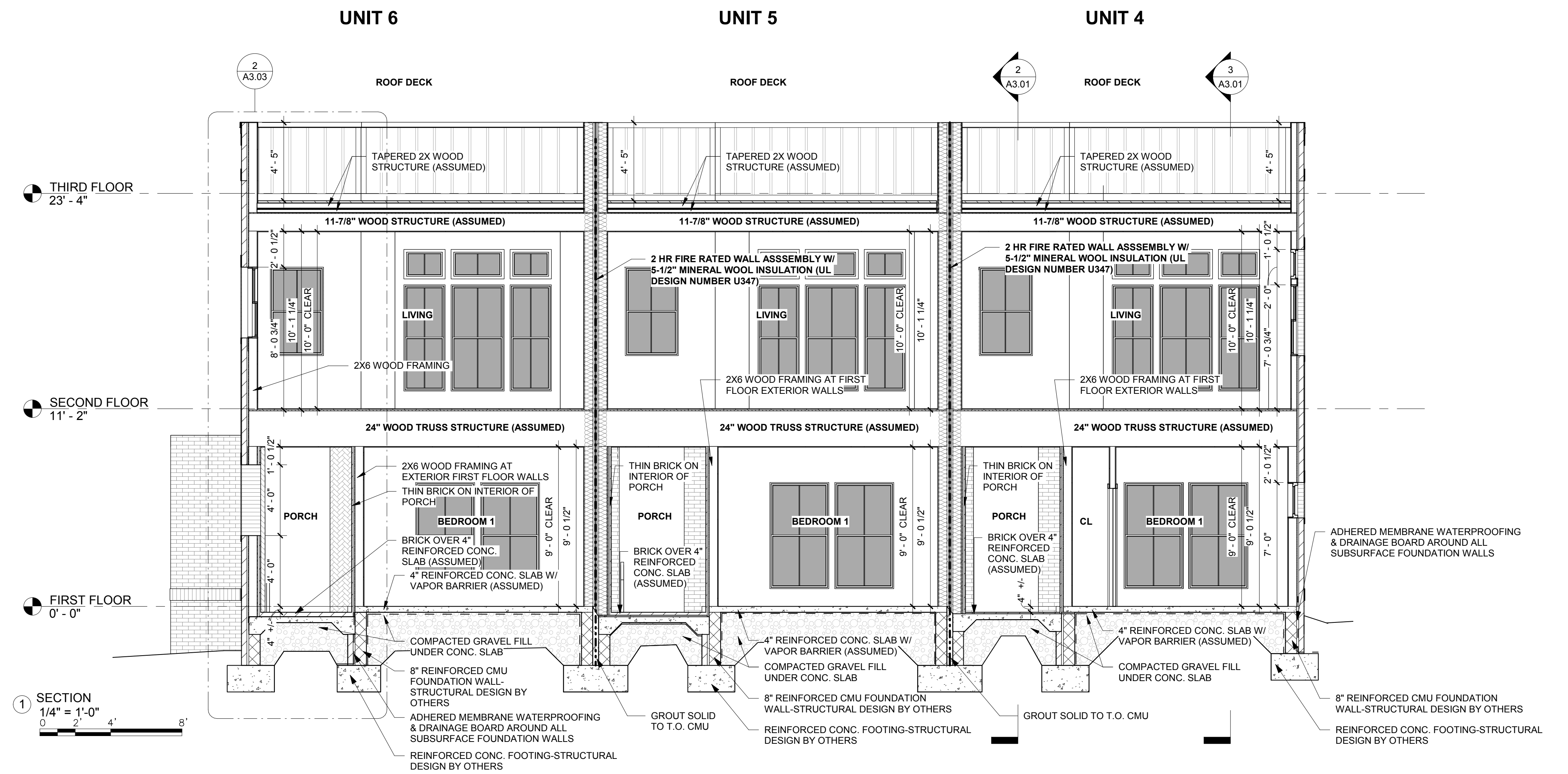
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Project Number: **2600**

Date: **1.29.2019**

**BUILDING SECTIONS**

**A3.00**

FOOTINGS AND FOUNDATION WALL PROFILE: VERIFY EXISTING GRADE CONDITIONS TO DETERMINE THE SLOPE OF THE EXISTING GRADE, THE HEIGHT OF EXPOSED CMU WALLS, THE ELEVATIONS OF STEPPED FOOTINGS, STRUCTURAL REQUIREMENTS, AND SURFACE & SUBSURFACE DRAINAGE REQUIREMENTS. STRUCTURAL ENGINEERING OF CONCRETE FOOTING SIZES & REINFORCING IS BY CONTRACTOR. STRUCTURAL ENGINEERING OF CMU FOUNDATION WALL SIZES & REINFORCEMENT IS BY CONTRACTOR.

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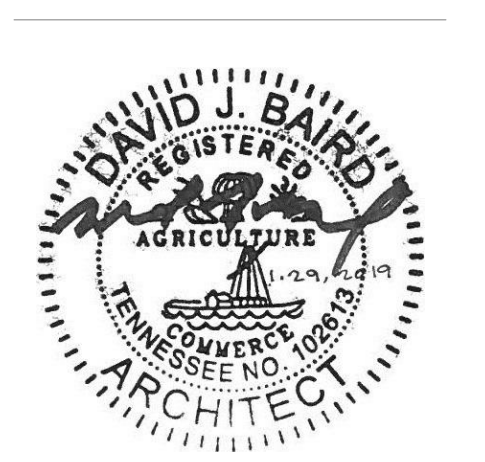
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**E3 CONSTRUCTION SERVICES, LLC**

**26TH AVENUE TOWNHOMES**  
 BUILDING 2  
 3 UNIT TOWNHOMES



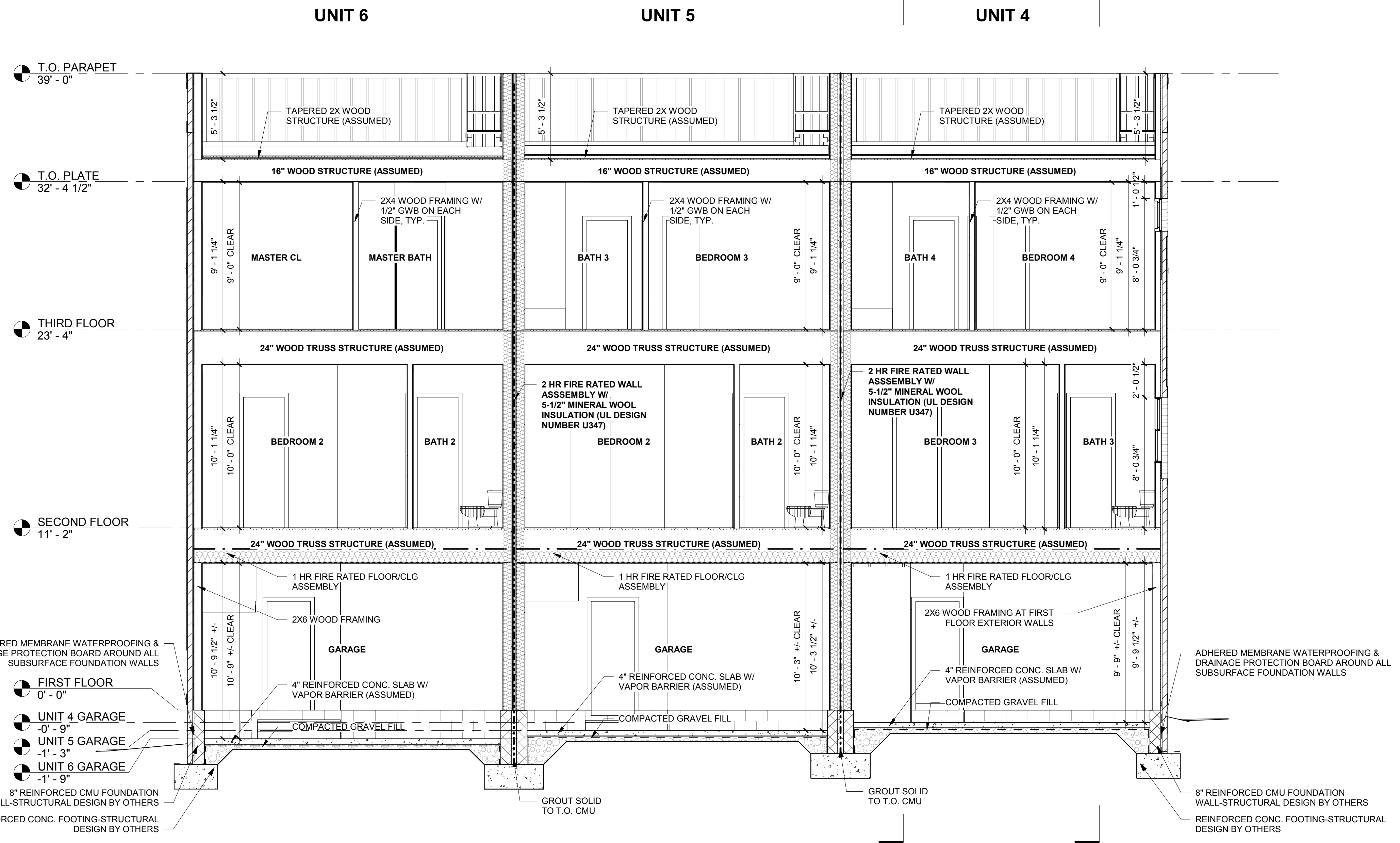
NUM.	DESCRIPTION	DATE

Project Phase:  
**CONSTRUCTION DOCUMENTS**

Project Number: **2600**  
 Date: **1.29.2019**

**BUILDING SECTIONS**

**A3.01**

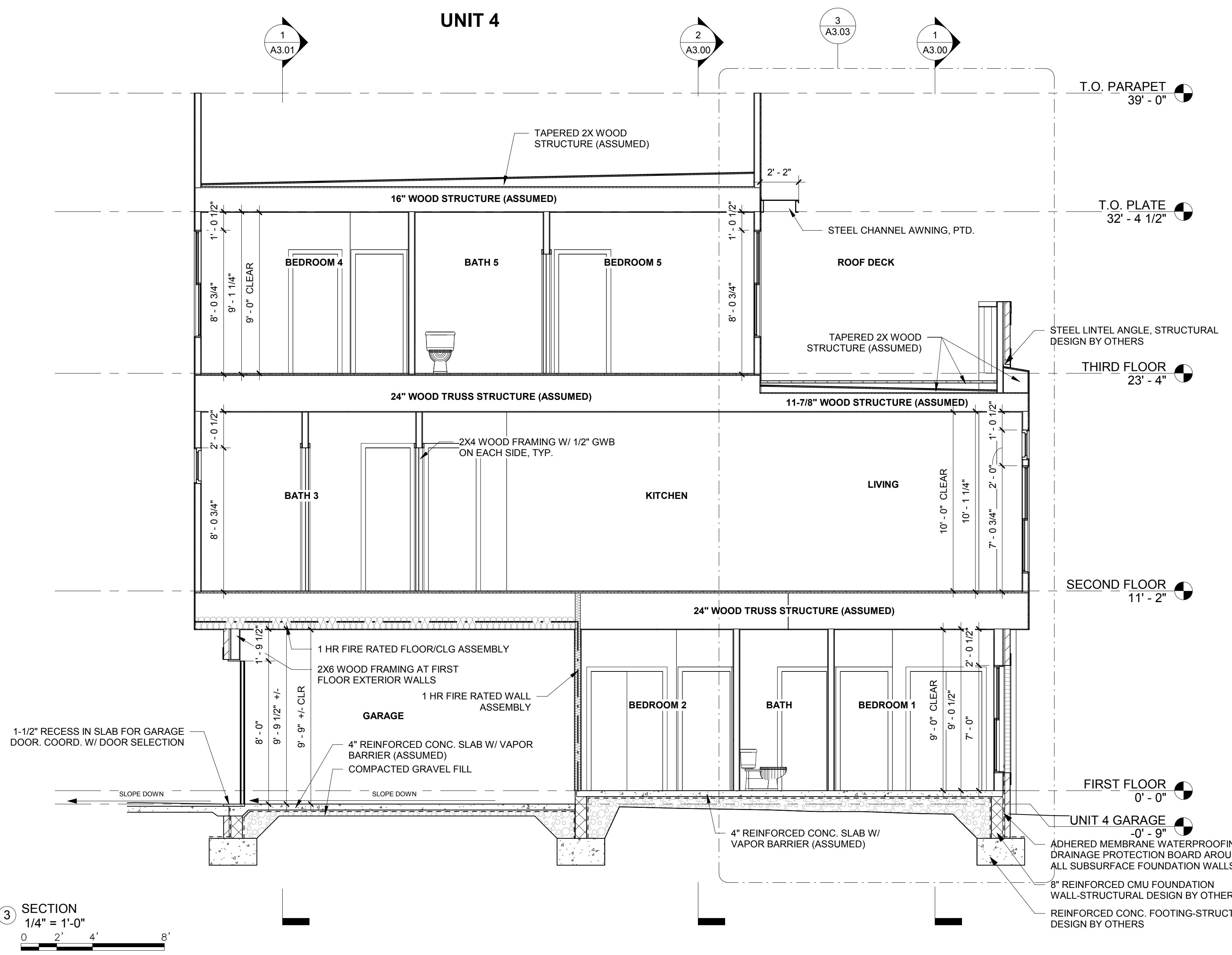


1 SECTION  
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 0 2' 4' 8'

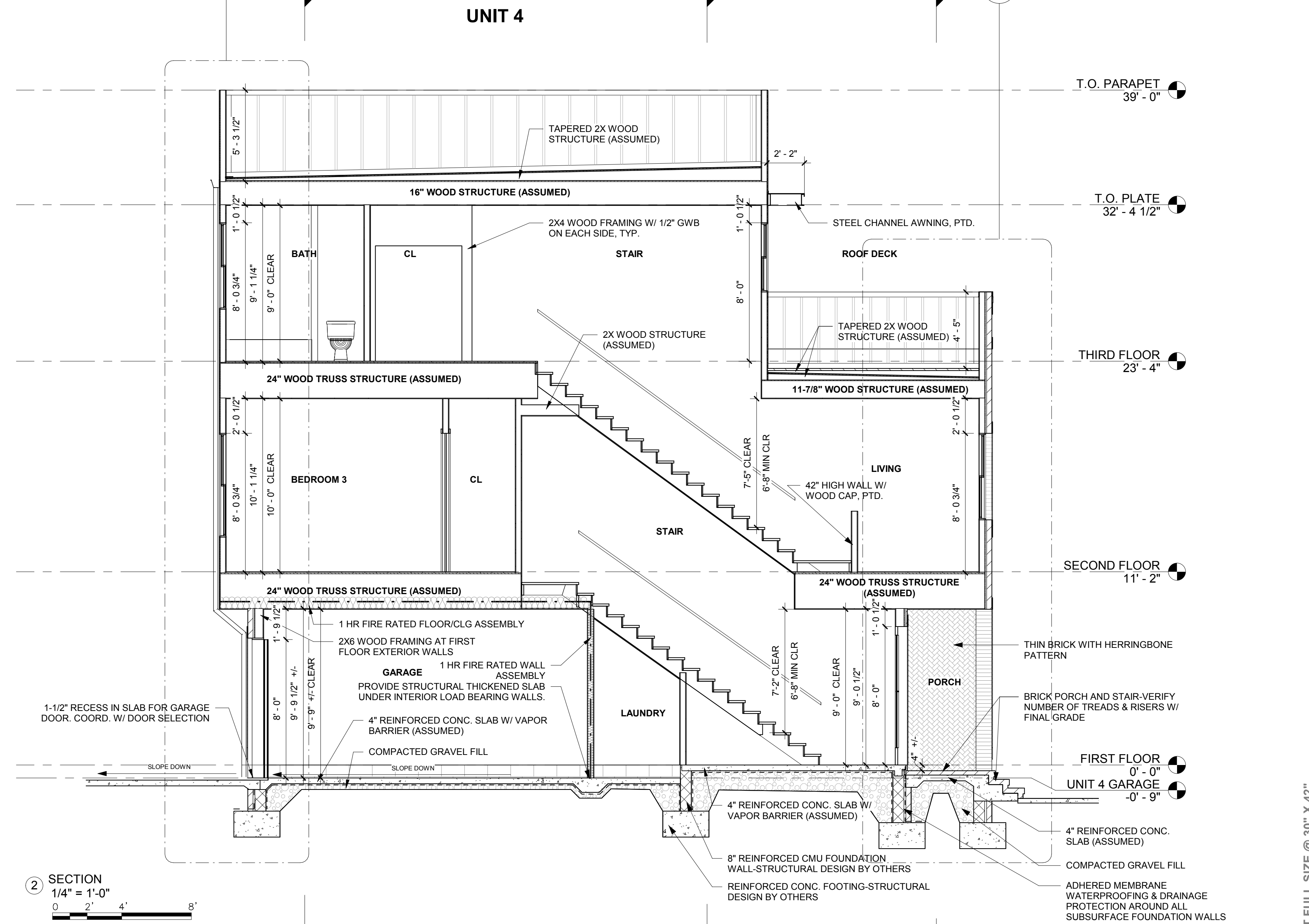
1 SECTION  
 1/4" = 1'-0"  
 0 2' 4' 8'

2 SECTION  
 1/4" = 1'-0"  
 0 2' 4' 8'

1 SECTION  
 1/4" = 1'-0"  
 0 2' 4' 8'

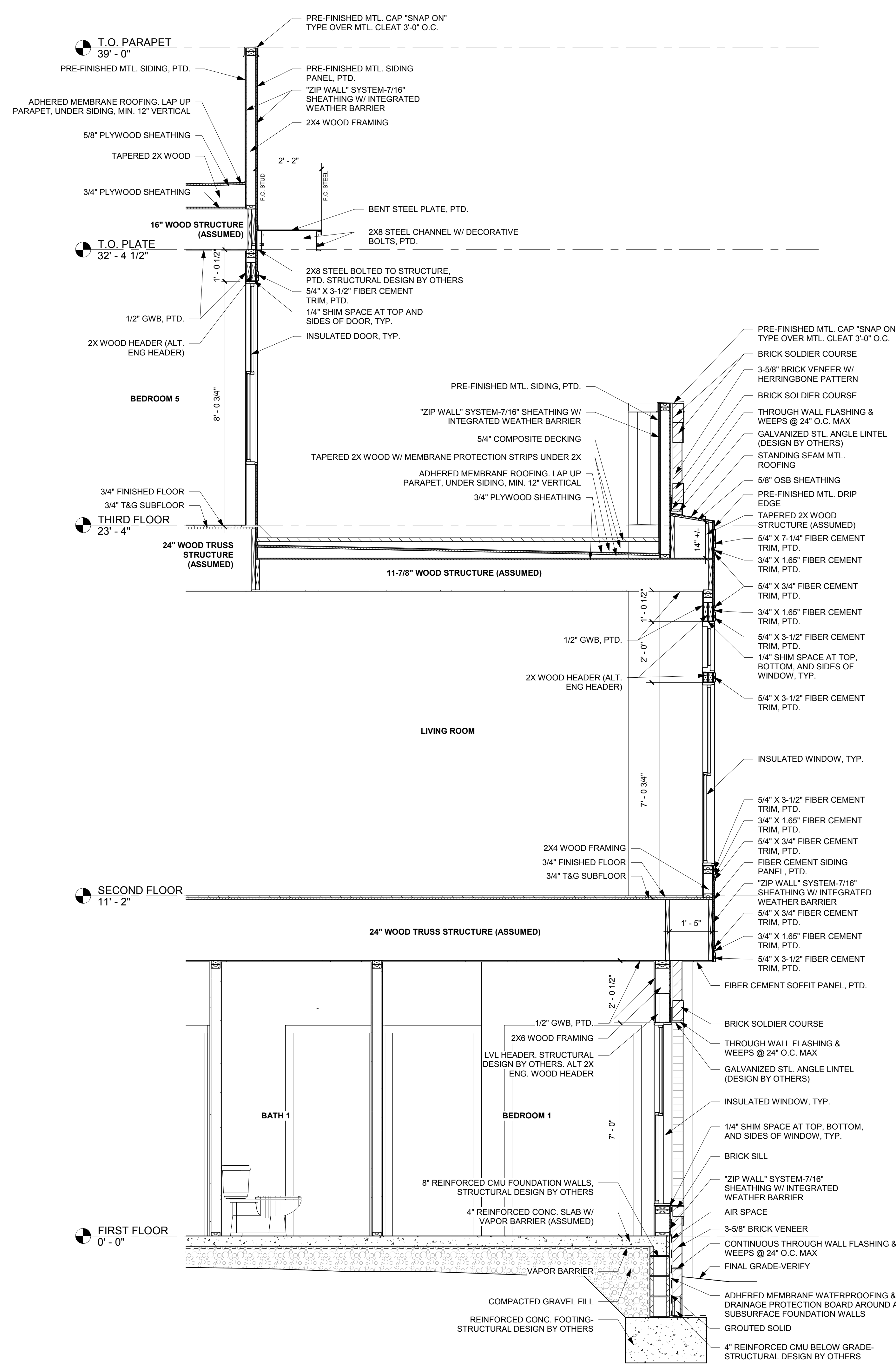


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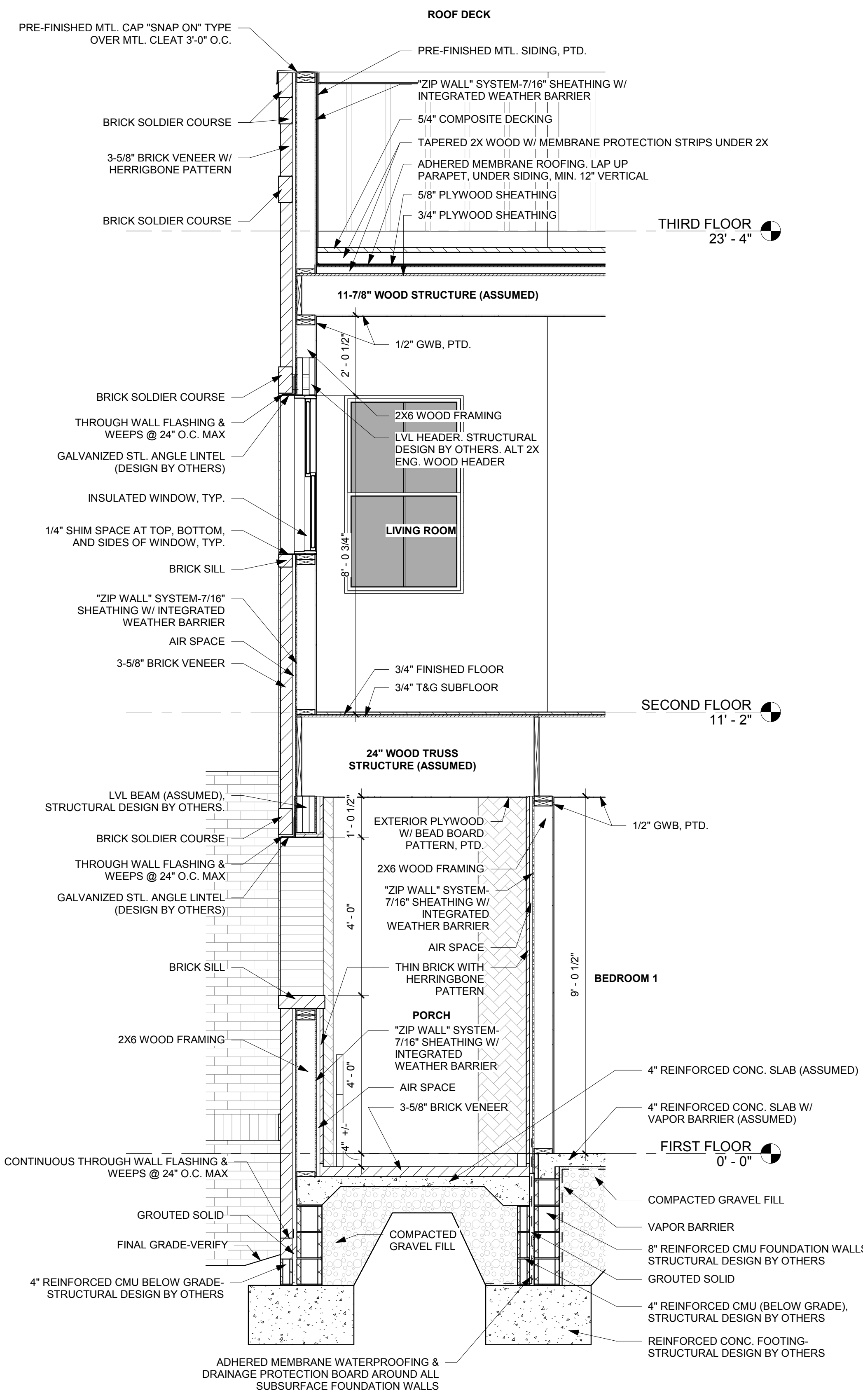


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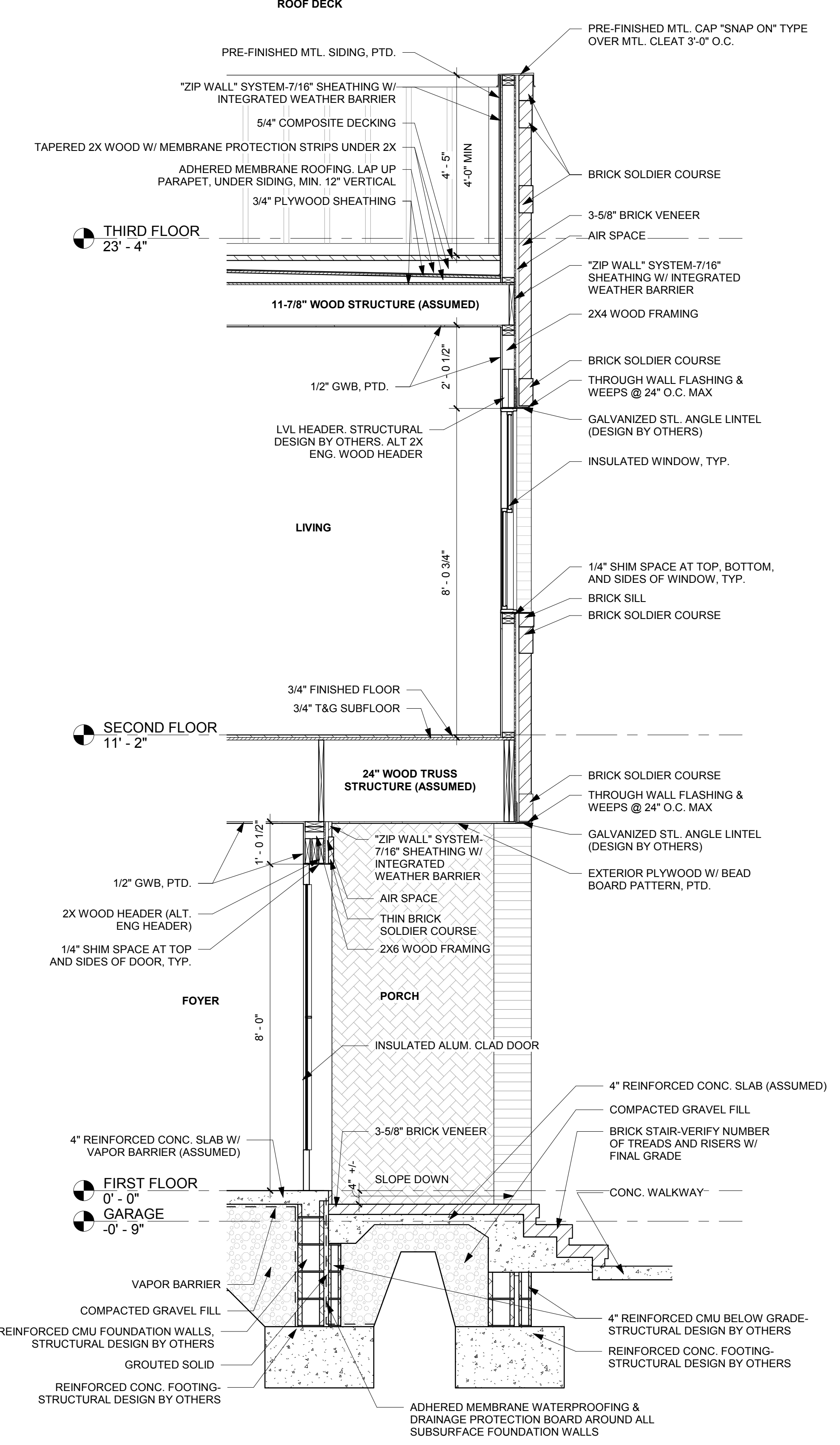




1 WALL SECTION  
1/2" = 1'-0"  
0 1' 2' 4'



2 WALL SECTION  
1/2" = 1'-0"  
0 1' 2' 4'



3 WALL SECTION  
1/2" = 1'-0"  
0 1' 2' 4'

**FOOTINGS AND FOUNDATION WALL PROFILE:** VERIFY EXISTING GRADE CONDITIONS TO DETERMINE THE SLOPE OF THE EXISTING GRADE. THE HEIGHT OF EXPOSED CMU WALLS, THE ELEVATIONS OF STEPPED FOOTINGS, STRUCTURAL REQUIREMENTS, AND SURFACE & SUBSURFACE DRAINAGE REQUIREMENTS. STRUCTURAL ENGINEERING OF CONCRETE FOOTING SIZES & REINFORCING IS BY CONTRACTOR. STRUCTURAL ENGINEERING OF CMU FOUNDATION WALL SIZES & REINFORCEMENT IS BY CONTRACTOR.

**EXTERIOR MATERIALS:**  
1. ALL SIDING & TRIM ARE COMPOSITE ROT RESISTANT MATERIALS.  
2. ALL SIDING & TRIM MATERIALS ARE TO HAVE A SMOOTH FINISH.  
3. BRICK MASONRY BUILDER IS TO DETERMINE THE LOCATION OF VERTICAL AND HORIZONTAL CONTROL JOINTS, SIZE & TYPE OF ALL STEEL LINTELS, & STRUCTURAL SUPPORT OF LINTELS & BRICK VENER.

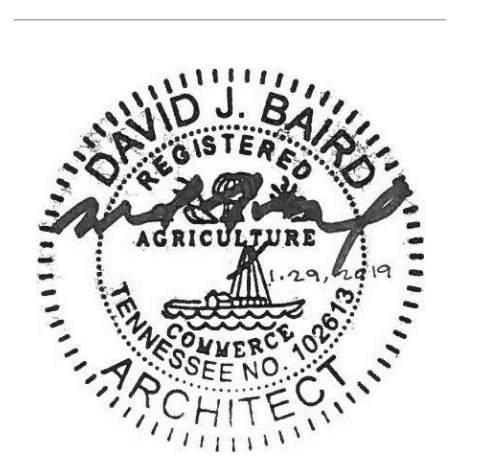
**FIRE RATING:** USE FIRE RETARDANT MATERIALS & RATED ASSEMBLIES WHERE REG'D BY CODES.  
**WOOD FRAMING ENGINEERING:** THE STRUCTURAL ENGINEERING OF ALL WOOD FRAMING, INCLUDING FLOORS, WALLS, ROOFS, POSTS, BEAMS, STAIRS, ETC. IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY WOOD FRAMING, SHEATHING, & PANEL SIZES SHOWN GRAPHICALLY OR NOTED ON THE DRAWINGS ARE ASSUMED SIZES THAT HAVE NOT BEEN STRUCTURALLY ENGINEERED OR COORDINATED WITH MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS AND ARE FOR REFERENCE ONLY.

**CONCRETE SLAB & STAIRS:** STRUCTURAL ENGINEERING OF CONCRETE SLABS & STAIRS, INCLUDING THICKNESS, REINFORCING, EDGE PROFILES, STRENGTH MIX DESIGN, AND FINISH IS BY THE CONTRACTOR. CONCRETE THICKNESS & EDGE PROFILES ARE FOR REFERENCE ONLY.

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Designed For:  
**E3 CONSTRUCTION SERVICES, LLC**

**26TH AVENUE TOWNHOMES**  
BUILDING 2  
3 UNIT TOWNHOMES



REVISIONS	NUM.	DESCRIPTION	DATE

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**CONSTRUCTION DOCUMENTS**

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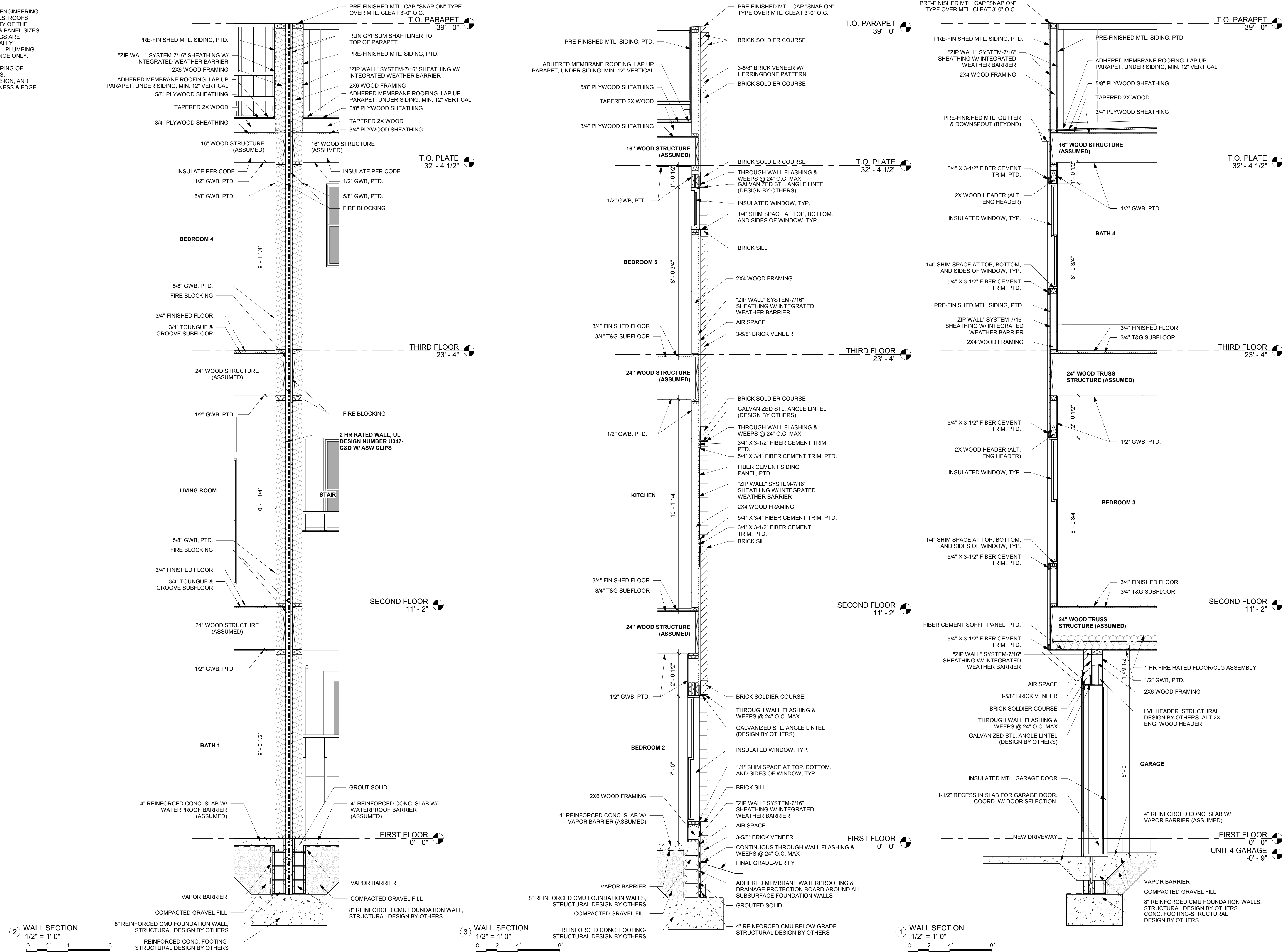
FOOTINGS AND FOUNDATION WALL PROFILE: VERIFY EXISTING GRADE CONDITIONS TO DETERMINE THE SLOPE OF THE EXISTING GRADE, THE HEIGHT OF EXPOSED CMU WALLS, THE ELEVATIONS OF STEPPED FOOTINGS, STRUCTURAL REQUIREMENTS, AND SURFACE & SUBSURFACE DRAINAGE REQUIREMENTS. STRUCTURAL ENGINEERING OF CONCRETE FOOTING SIZES & REINFORCING IS BY CONTRACTOR. STRUCTURAL ENGINEERING OF CMU FOUNDATION WALL SIZES & REINFORCEMENT IS BY CONTRACTOR.

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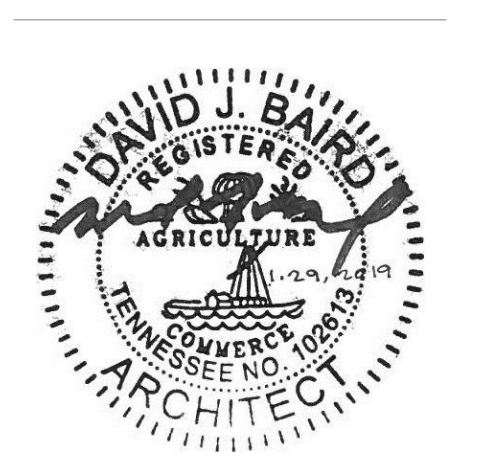
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2 WALL SECTION  
 1/2" = 1'-0"  
 0 2 4 8'

3 WALL SECTION  
 1/2" = 1'-0"  
 0 2 4 8'

1 WALL SECTION  
 1/2" = 1'-0"  
 0 2 4 8'



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② FRONT LEFT 3D VIEW



① FRONT RIGHT 3D VIEW



④ REAR RIGHT 3D VIEW



③ REAR LEFT 3D VIEW

1/29/2019 5:55:34 PM

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 3 UNIT TOWNHOMES



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**3D VIEWS**

**A4.00**

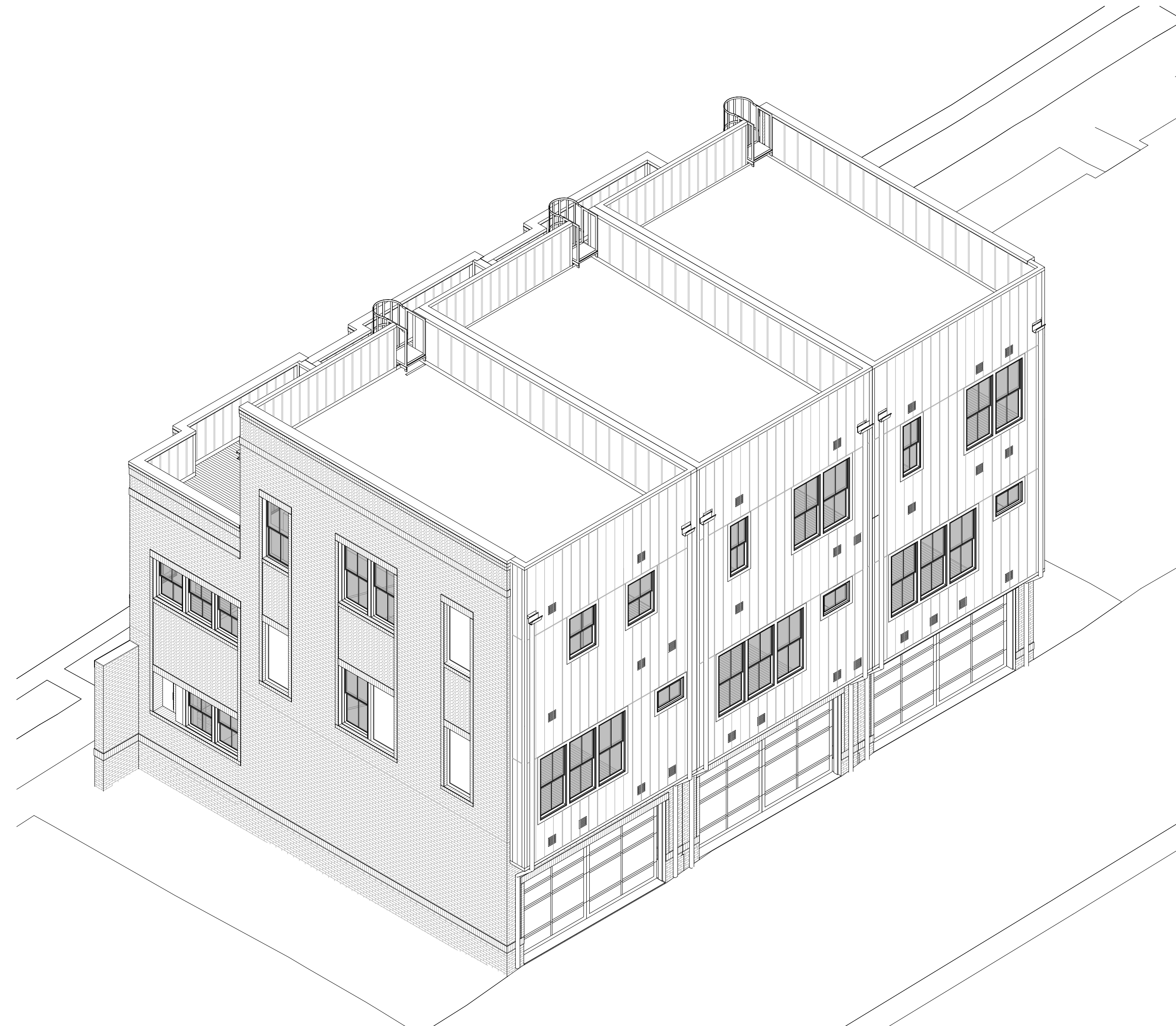
PRINT FULL SIZE @ 30" X 42"



1 FRONT LEFT BIRD'S EYE VIEW



2 FRONT RIGHT BIRD'S EYE VIEW



4 REAR RIGHT BIRD'S EYE VIEW



3 REAR LEFT BIRD'S EYE VIEW



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**3D VIEWS**