

OTHERWISE NOTED. 10. CONTRACTOR TO PROVIDE ROOF & ATTIC VENTILATION AS REQUIRED BY

CODES. 11. CONTRACTOR TO PROVIDE & DETERMINE SIZE & LOCATION OF ATTIC ACCESS PANEL AS REQUIRED BY CODES. 12. CONTRACTOR IS TO VERIFY THE SIZES OF APPLIANCES, EQUIPMENT & FIXTURES. VERIFY THE SPACE REQUIRED FOR THEIR INSTALLATION

PRIOR TO THEIR ORDERING & INSTALLATION. CONTRACTOR IS TO COORDINATE THE INSTALLATION W/ ALL APPLIANCE SERVICES SUCH AS ELEC., PLUMB, ETC.

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SITE NOTES:

1. UTILITIES-REFERENCE SURVEY & CIVIL SITE PLAN FOR AVAILABILITY, LOCATION, & SIZE OF UTILITIES.

2. RAINWATER DOWNSPOUT-COORDINATE THE DISCHARGE & CONNECTION OF DOWNSPOUTS WITH THE SURFACE & SUBSURFACE STORMWATER

SYSTEM DESIGNED BY OTHERS. 3. REFERENCE CIVIL SITE PLAN FOR DESIGN OF SITE DRAINAGE, RAINWATER, & SURFACE DRAINAGE RETENTION, & SUBSURFACE DRAINAGE.

4. REFERENCE CIVIL SITE PLAN FOR FINISH FLOOR ELEVATIONS & FINISH GRADE ELEVATIONS.

PROJECT DATA: 26TH AVENUE NASHVILLE, TN 37209

**ZONING INFORMATION:** ZONE RM-20 MAX. HEIGHT - 3 STORIES ACTUAL HEIGHT - 3 STORIES

TOTAL LOT AREA: 38,132 S.F. **BUILDING AREA CALCULATIONS:** 

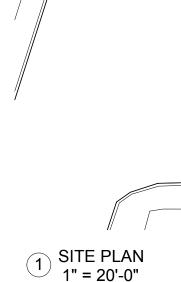
UNIT 4 FIRST FLOOR= 429 GSF SECOND FLOOR= 915 GSF THIRD FLOOR = 631 TOTAL AREA= 1,975 GSF EXTERIOR PORCHES= 28 GSF GARAGE= 416 GSF ROOF DECK = 274GSF

BUILDING COVERAGE = 890 GSF TOTAL BUILDING COVERAGE: 2,636 SF / 38,132 SF = 0.07

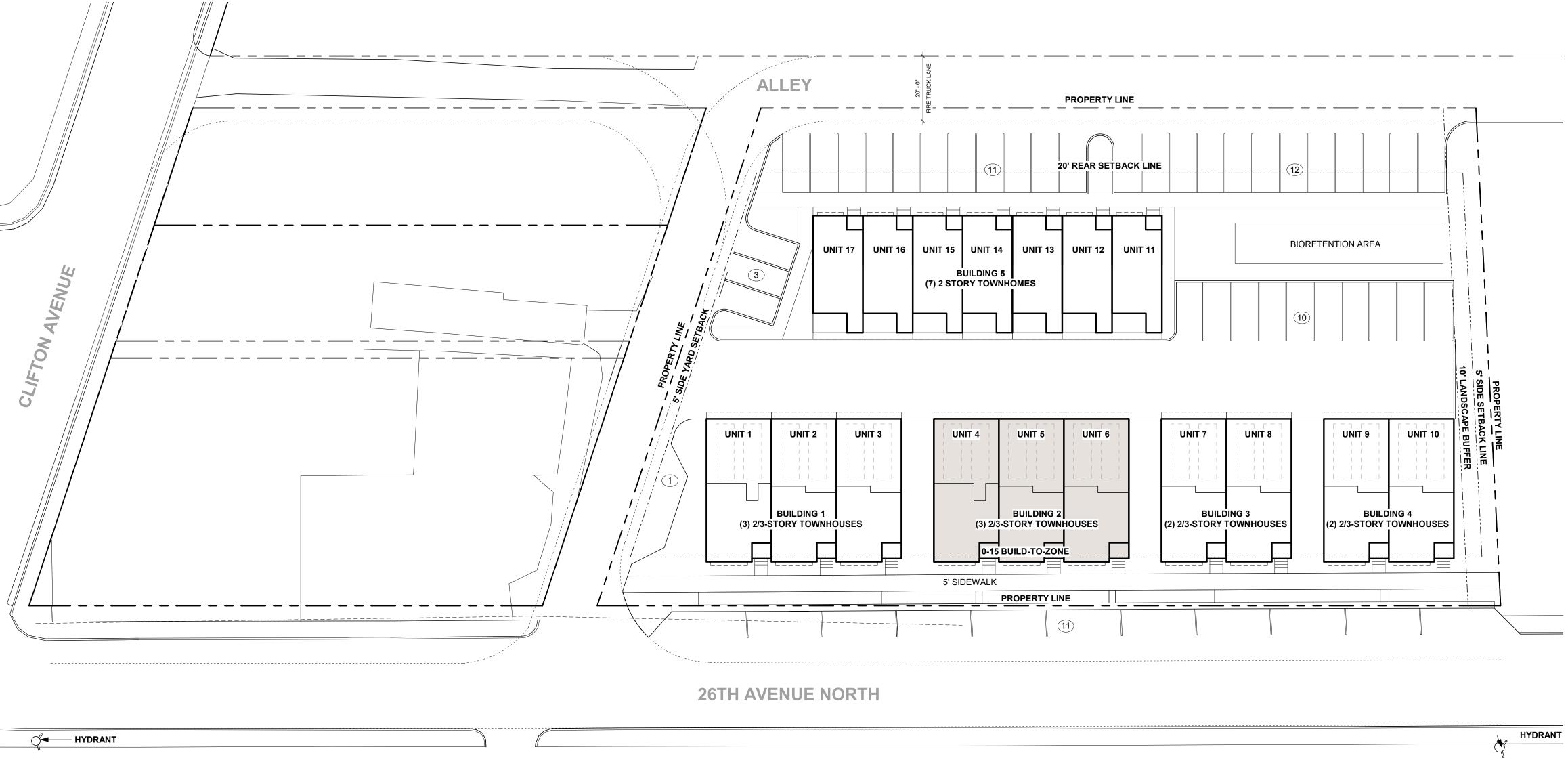
FIRST FLOOR= 412 GSF SECOND FLOOR= 916 GSF THIRD FLOOR = 632 TOTAL AREA= 1,960 GSF EXTERIOR PORCHES= 28 GSF GARAGE= 433 GSF ROOF DECK = 274GSF BUILDING COVERAGE = 873 GSF

UNIT 5

UNIT 6 FIRST FLOOR= 412 GSF SECOND FLOOR= 915 GSF THIRD FLOOR = 631 TOTAL AREA= 1,958 GSF EXTERIOR PORCHES= 28 GSF GARAGE= 433 GSF ROOF DECK = 274GSF BUILDING COVERAGE = 873 GSF



HYDRANT -



NOTE: REFER TO CIVIL ENGINEERING DRAWING FOR SITE **DESIGN & LOCATION OF BUILDING.** 



## **GENERAL NOTES:**

SUBCONTRACTORS AND OTHER PROFESSIONAL CONSULTANTS NOT RETAINED BY THE ARCHITECT. 2. CONSTRUCTION DOCUMENTS: THE SCOPE OF THIS SET OF PLANS IS TO PROVIDE A SET OF CONSTRUCTION DOCUMENTS AND GENERAL PROJECT AGES UNLESS PROPERLY AND ROUTINELY MAINTAINED. OWNER/CLIENT SHALL PROVIDE OR CAUSE THE DEVELOPMENT OF A PLAN TO KEEP THESE EXPOSED MATERIALS PROTECTED AND MAINTAINED. VIOLATION SHALL BEAR ALL COSTS OF REPAIR ARISING OUT OF THE NON-CONFORMING WORK. SHALL BE SECURED AND PAID FOR BY THE SUBCONTRACTOR DIRECTLY RESPONSIBLE. CONTRACTOR, SUBCONTRACTORS, DESIGNER AND ALL PROFESSIONAL CONSULTANTS. SERVICES AND/OR MATERIALS FOR THE WORK TO PURCHASE AND MAINTAIN GENERAL LIABILITY INSURANCE.

9. SCOPE: THE GENERAL CONTRACTORS AND SUBCONTRACTORS SHALL FURNISH ALL LABOR, EQUIPMENT AND MATERIAL INDICATED ON THE PLANS AND REASONABLY INFERRED OR REQUIRED BY THE APPLICABLE CODES. 10. SUBSTITUTION: SUBSTITUTIONS OF SPECIFIC MATERIALS OR PRODUCTS SHALL NOT BE MADE WITHOUT WRITTEN AUTHORIZATION BY OWNER/CLIENT. THE GENERAL CONTRACTOR AND ANY SUBCONTRACTOR SHALL NOT MAKE THE STRUCTURAL SUBSTITUTIONS OR CHANGES WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE STRUCTURAL ENGINEER AND OWNER. 11. CHANGES: ANY ADDITION. DELETION OR CHANGE IN THE SCOPE OF WORK DESCRIBED BY THE PLANS SHALL BE BY WRITTEN CHANGE ORDER ONLY. ANY APPROVAL FROM THE BUILDING OFFICIAL FOR A CHANGE IN THE WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

METHODS OF CONSTRUCTION.

CONSTRUCTION OF THE DETAILS, AND IN SOME CASES, MAY SUPERSEDE THE DETAILS. 15. APPROVED DRAWINGS: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK BETWEEN THE DIFFERENT SUBCONTRACTORS AND REQUIRING ALL SUBCONTRACTORS TO USE THE MOST CURRENT BUILDING DEPARTMENT APPROVED SET OF PLANS. 16. CUTTING AND PATCHING: ALL SUBCONTRACTORS SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC. TO MAKE THE MULTIPLE PARTS COME TOGETHER PROPERLY AND FIT IT TO RECEIVE THE WORK OF OTHER TRADES.

17. CLEAN-UP: ALL TRADES SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK. SUBCONTRACTORS SHALL REMOVE ALL RUBBISH, TOOLS, SCAFFOLDING AND SURPLUS MATERIALS AND LEAVE THE JOB IN A BROOM-CLEAN CONDITION. ALL FIXTURES, EQUIPMENT, GLAZING, FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.

GENERAL CONTRACTOR OR SUBCONTRACTOR WHO STORED THE LOST OR DAMAGED MATERIAL.

**ROUGH CARPENTRY:** 1. FRAMING:

A. BLOCKING AND BRIDGING: (1) STUD WALLS: PER APPLICABLE BUILDING CODE. FULL HEIGHT WALLS SHALL HAVE CONTINUOUS STUDS FROM BOTTOM TO TOP PLATE. (2) CEILING JOISTS: PER APPLICABLE BUILDING CODE. USE SOLID BRIDGING. (3) BACKING: PROVIDE SOLID BACKING AT ALL PENDANT OR SURFACE MOUNTED ELECTRICAL FIXTURES, RAILS, GRAB BARS, BATH ACCESSORIES, ETC. B. FIRE STOPPING: PER APPLICABLE BUILDING CODE

- OTHERWISE. STUDS TO BE SIZED PER REQUIREMENTS OF CODE. PRACTICES WATER DRAINAGE WITHOUT PONDING.
- WATER AWAY FROM VERTICAL SURFACES. H. USE MITERED JOINT AT FASCIA SPLICES. ALL DIMENSIONS TO INTERIOR PARTITIONS ARE GIVEN FROM FACE OF ROUGH FRAMING.

2. TRUSSES & JOISTS: REGISTERED ENGINEER TO THE BUILDING DEPARTMENT AND STRUCTURAL ENGINEER FOR THEIR REVIEW.

THF SAME ALLOWED BY CODE AND LOCAL JURISDICTION.

# GRAPHIC SYMBOL LEGEND

S	SWITCH
S <sup>3</sup>	SWITCH - THREE WAY
\$ <b>4</b>	SWITCH - FOUR WAY
SD	DIMMER SWITCH
<del>0</del> -	ELEC. OUTLET - DUPLEX
Ø	ELEC. OUTLET - FLOOR DUPLEX
GFI	ELEC. OUTLET - GFI DUPLEX
WP	ELEC. OUTLET - WATERPROOF GFI DUPLEX
GFI ⊉≣ 220	ELEC. OUTLET - 220 VOLT
$\bigcirc$	LIGHT - RECESSED
$\Diamond$	LIGHT - RECESSED - DIRECTIONAL
오 오	LIGHT - WALL MOUNTED
	LIGHT - CEILING - FLUSH/SEMI-FLUSH
	LIGHT - PENDANT

### 1. OWNER CLIENT RESPONSIBILITIES: REFERENCE IS MADE THROUGHOUT THESE GENERAL NOTES TO RESPONSIBILITIES AND STANDARDS OF CARE TO BE FULFILLED BY THOSE PROVIDING SERVICES IN THE DEVELOPMENT AND CONSTRUCTION OF THIS PROJECT. OWNER/CLIENT SHALL BE RESPONSIBLE FOR ADHERENCE TO THOSE REQUIREMENTS BY THE OWNER, BUILDER, DEVELOPER, GENERAL CONTRACTOR,

NOTES HEREINAFTER REFERRED TO AS 'PLANS'. THIS SET OF PLANS IS SUFFICIENT TO OBTAIN A BUILDING PERMIT; HOWEVER, ALL MATERIALS AND MEANS AND METHODS NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED. THE PLANS DELINEATE AND DESCRIBE ONLY LOCATIONS, DIMENSIONS, TYPES OF MATERIALS AND GENERAL METHODS OF ASSEMBLING OR FASTENING. THE IMPLEMENTATION OF THESE PLANS REQUIRES AN OWNER/CLIENT/CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE APPLICATION OF BUILDING CODES AND MEANS AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PROJECT TYPE AND TYPE OF CONSTRUCTION. 3. BUILDING MAINTENANCE: THE EXPOSED MATERIALS USED IN THE CONSTRUCTION OF THIS PROJECT WILL DETERIORATE AS THE COMPLETED

4. CODES: ALL CONSTRUCTION SHALL COMPLY WITH THE MOST STRINGENT REQUIREMENTS OF ALL CURRENT APPLICABLE CITY, COUNTY, STATE AND FEDERAL LAWS, RULES, CODES ORDINANCES AND REGULATIONS. IF THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR PERFORMS ANY WORK IN CONFLICT WITH THE ABOVE MENTIONED LAWS, RULES, CODES, ORDINANCES AND REGULATIONS, THEN THE CONTRACTOR IN

5. PERMITS: THE GENERAL BUILDING PERMIT AND PLANS CHECK SHALL BE SECURED AND PAID FOR BY OWNER/CLIENT. ALL OTHER PERMITS

6. INSURANCE: THE GENERAL CONTRACTOR AND EVERY SUBCONTRACTOR PERFORMING WORK OR PROVIDING SERVICES AND/OR MATERIALS FOR THE WORK ARE REQUIRED TO PURCHASE AND MAINTAIN IN FORCE "ALL RISK" BUILDER INSURANCE PRIOR TO COMMENCEMENT OF THE WORK AND/OR FURNISHING LABOR, SERVICES AND MATERIALS. EACH "ALL RISK" POLICY SHALL BE IN AN AMOUNT TO BE SUFFICIENT TO COVER THE REPLACEMENT VALUE OF THE WORK BEING PERFORMED AND/OR THE LABOR, SERVICES AND MATERIALS BEING SUPPLIED BY THE GENERAL

7. INSURANCE: OWNER/CLIENT SHALL CAUSE THE GENERAL CONTRACTOR AND EVERY SUBCONTRACTOR PERFORMING WORK OR PROVIDING 8. NAMED PRODUCTS: THE DESIGNER MAKES NO GUARANTEE FOR PRODUCT IDENTIFIED BY TRADE NAME OR MANUFACTURER.

12. INTENTION: THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL LABOR, MATERIALS, EQUIPMENT AND TRANSPORTATION SHALL BE INCLUDED IN THE WORK FOR COMPLETE EXECUTION OF THE PROJECT. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE MEANS AND

13. REVIEW OF DRAWINGS: THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL REVIEW THE FULL CONTENT OF THE PLANS FOR DISCREPANCIES AND OMISSIONS PRIOR TO COMMENCEMENT OF WORK. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ANY WORK NOT IN CONFORMANCE WITH THE PLANS OR IN CONFLICT WITH ANY CODE.

14. USE OF THE DRAWINGS: DIMENSIONS TAKE PRECEDENCE OVER SCALED MEASUREMENTS. DETAILS AND SECTIONS ON THE DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. DETAILS NOTED 'TYPICAL' IMPLY ALL LIKE CONDITIONS TREATED SIMILARLY, UNLESS NOTED OTHERWISE. THE ARCHITECTURAL DETAILS SHOWN ARE INTENDED TO FURTHER ILLUSTRATE THE VISUAL DESIGN CONCEPT. BUILDING CODE REQUIREMENTS, STRUCTURAL CONSIDERATIONS, TRADE ASSOCIATION MANUALS AND PUBLICATIONS AND PRODUCT MANUFACTURE'S WRITTEN INSTRUCTIONS SHALL ALSO BE CONSIDERED IN ORDER TO COMPLETE THE

18. STORAGE OF MATERIALS: THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR STORING THE MATERIAL ON THE SITE ACCORDING TO MATERIAL SUPPLIERS' OR MANUFACTURERS' INSTRUCTIONS. MATERIALS SHALL BE KEPT SECURE AND PROTECTED FROM MOISTURE, PESTS AND VANDALS. ANY LOSS ARISING OUT OF MATERIALS STORED AT THE SITE SHALL BE THE RESPONSIBILITY OF THE

C. STUD WALLS: PER APPLICABLE BUILDING CODE. ALL STUDS HAVE FULL BEARING ON PLATE. ALL STUDS TO BE AT 16" O.C. UNLESS NOTED D. USE CONTINUOUS, FULL HEIGHT STUDS IN ACCORDANCE WITH THE HIGHEST STANDARD OF CONSTRUCTION AND FRAMING E. BUILT UP ROOFS, WATERPROOF BALCONY DECKS AND EXTERIOR HORIZONTAL AREAS ARE TO BE FRAMED WITH SLOPE TO ENSURE F. PROVIDE CRICKETS AS INDICATED AND AS NECESSARY FOR PROPER WATER DRAINAGE AND TO REDIRECT CHANNELED OR RUN- OFF G. PROVIDE BLOCKING WHERE REQUIRED TO PROVIDE UNIFORM SURFACE WHERE FLUSH JOISTS AND BEAMS ARE DIFFERENT DEPTHS.

I. UNLESS OTHERWISE NOTED, ALL DIMENSIONS TO EXTERIOR WALLS ARE GIVEN FROM INSIDE OR OUTSIDE FACE OF ROUGH FRAMING. J. ALIGN TOP OF ALL ADJACENT WINDOW AND DOOR HEADERS, UNLESS NOTED OTHERWISE ON THE WINDOW SCHEDULE. A. THE GENERAL CONTRACTOR SHALL HAVE CODES DEPARTMENT APPROVED TRUSS OR JOIST PLANS ON THE JOB SITE. THE TRUSS OR

JOIST MANUFACTURER SHALL SUBMIT CALCULATIONS, SHOP DRAWINGS, DETAILS, BRIDGING AND ERECTION BRACING SIGNED BY A B. TRUSS OR JOIST MANUFACTURERS SHALL PROVIDE MEMBERS OF ADEQUATE BEARING AREA IN SUCH A WIDTH TO INSURE AGAINST OVER- STRESSING OF SUPPORTING TIMBER, MULTIPLE JOISTS, GIRDERS AND PLATES OR PROVIDE BEARING PLATES AND DETAILS TO DO C. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE TRUSS OR JOIST MANUFACTURER, FRAMING, ELECTRICAL, PLUMBING AND MECHANICAL CONTRACTORS AT THE FIRE PROTECTED AREAS TO MAINTAIN REQUIRED FIRE PROTECTION WITHOUT PENETRATIONS UNLESS

# FINISH CARPENTRY:

- A. FURNISH AND INSTALL ALL FINISH CARPENTRY COMPLETE, INCLUDING TRIM, DOOR FRAMES, PANELING AND SHELVING. B. INSTALLATION OF FINISH HARDWARE, BATH ACCESSORIES, CABINET PULLS, ETC. 2. WORKMANSHIP:
- A. ALL JOINTS SHALL BE TIGHT AND TRUE AND SECURELY FASTENED. CORNERS SHALL BE NEATLY MITERED, BUTTED OR COPED, WITH NAILS SET AND SURFACES FREE OF TOOL MARKS. B. WOOD WORK SHALL BE ACCURATELY SCRIBED TO FIT ADJOINING SURFACES. C. ALL WORK SHALL BE MACHINED OR HAND SANDED, SHARP EDGES AND SPLINTERS REMOVED, AND COMPLETELY PREPARED FOR D. FULL LENGTH CONTINUOUS BOARDS SHALL BE USED WHENEVER APPLICABLE OR SPECIFICALLY NOTED.
- 3. FITTING AND HANGING DOORS: A. EACH DOOR SHALL BE ACCURATELY CUT, TRIMMED AND FITTED TO ITS RESPECTIVE FRAME AND HARDWARE WITH DUE ALLOWANCE FOR PAINTERS FINISH B. CLEARANCE AT THE LOCK AND HANGING STILES AND AT THE TOP SHALL NOT EXCEED 1/8". CLEARANCE AT THE BOTTOM SHALL BE
- ADJUSTED FOR FINISH FLOOR COVERING. C. LOCK STILE EDGES SHALL BE BEVELED. D. DOOR SHALL OPERATE FREELY, BUT NOT LOOSELY WITHOUT STICKING OR BINDING, WITHOUT HINGE BOUND CONDITIONS AND WITH ALL HARDWARE PROPERLY ADJUSTED AND FUNCTIONING.
- 4. MATERIALS: A. DOOR FRAMES: FRAMES SHALL BE SET PLUMB AND TRUE, RIGIDLY SECURED, AND PROTECTED DURING THE COURSE OF CONSTRUCTION. B. DOOR STOPS AND CASING: SIZE AND PROFILE AS SELECTED BY OWNER/CLIENT.
- C. EXTERIOR TRIM: REFER TO DRAWINGS FOR EXTERIOR TRIM MATERIAL AND SIZES. FOR WOOD, MEDIUM DENSITY OVERLAY (MDO) OR FIBER CEMENT, ALL CUT SIDES/ FACES/EDGES MUST BE PRIMED AND PAINTED. IF SPECIFIC PRODUCT BRAND IS SPECIFIED ON DRAWINGS, SEE MANUFACTURERS SPECIFICATIONS AND INSTALLATION INSTRUCTIONS. D. INTERIOR TRIM:
- (1) INTERIOR RAILS: CLEAR MATERIAL, FINISHED TO MATCH CASEWORK. (2) WINDOW TRIM: 1X CLEAR WOOD TO MATCH CASEWORK OR AS NOTED IN DRAWINGS (VERIFY WITH OWNER/CLIENT) (3) BASE BOARDS: AS NOTED IN DRAWINGS OR APPROVED BY OWNER/CLIENT

### INSULATION: 1. INSTALLATION

A. THERMAL INSULATION: INSTALL INSULATION BETWEEN JOISTS. BELOW ALL ROOF SURFACES AND AREAS INCLUDING ANY VERTICAL WALL AREAS SEPARATING LIVING SPACES FROM UNCONDITIONED SPACE AND BETWEEN STUDS AT ALL EXTERIOR WALLS. INSULATION SHALL BE SECURELY INSTALLED AND TIGHTLY FITTED WITHOUT COMPRESSING THE NORMAL LOFT THICKNESS. PROVIDE INSULATION STOPS/BAFFLES AS REQUIRED TO PREVENT OBSTRUCTION OF VENTS. B. SOUND INSULATION: INSTALL INSULATION BETWEEN STUDS, SECURELY AND TIGHTLY FITTED AT WALLS AS INDICATED ON DRAWINGS. C. PLUMBING INSULATION: ALL DOMESTIC HOT WATER PIPING SHALL HAVE R-4 INSULATION. INSULATION SHALL BE PROPERLY INSTALLED ON ALL PLUMBING ELBOWS TO ADEQUATELY INSULATE THE 90 DEGREE BEND. D. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR STORING THE MATERIALS ON THE SITE ACCORDING TO MATERIAL SUPPLIER'S OR MANUFACTURERS' INSTRUCTIONS. THE MATERIALS SHALL BE KEPT SECURE AND PROTECTED

FROM MOISTURE.

2. MATERIALS: A. AT A MINIMUM, ALL INSULATION SPECIFIED FOR THIS HOUSE MEETS OR EXCEEDS THE R-VALUE REQUIREMENTS LISTED IN THE ADOPTED INTERNATIONAL ENERGY CONSERVATION CODE. B. A PRE-DRYWALL THERMAL BYPASS INSPECTION MUST BE PERFORMED BY AN ENERGY RATER IF REQUIRED BY THE OWNER.

# THERMAL + MOISTURE PROTECTION:

- 1. FOUNDATIONS & CONCRETE SLABS: A. PROVIDE ADEQUATE DRAINAGE AWAY FROM WALLS AND FOUNDATIONS. B. SEAL ALL PLUMBING. ELECTRICAL AND OTHER PENETRATIONS OF WALLS AND FLOORS AND SEAL JOINTS. C. SLOPE FINAL GRADE AWAY FROM FOUNDATION. D. PROVIDE CAPILLARY BREAK AT ALL CONCRETE SLABS
- E. EXTERIOR SURFACE OF BELOW GRADE WALLS ARE TO BE WATERPROOFED. F. SLOPE GARAGE FLOOR TOWARDS MAIN VEHICLE ENTRY. G. FOUNDATION CONTINUOUS FOOTING DRAIN, STONE COVERED WITH FILTER FABRIC, DRAINED TO DAYLIGHT
- H. BASEMENT FOUNDATION WALLS USE POROUS BACKFILL MATERIAL. I. PROVIDE CONTINUOUS CRUSHED STONE UNDER FOOTINGS. J. PROVIDE RIGID INSULATION AS SPECIFIED DIRECTLY UNDER SLAB OF CONDITIONED SPACES. K. PROVIDE A CONTINUOUS & SEALED VAPOR BARRIER UNDER ALL CONCRETE BUILDING SLABS
- 2. WALLS: A. INSTALL WINDOWS, DOORS, EXTERIOR CLADDING, FLASHINGS AND SEALANTS PRE MANUFACTURER'S RECOMMENDATIONS. PROVIDE TEMPERED GLASS & LATCHES AS REQUIRED BY CODES. B. ALL DECK LEDGERS MUST BE PRESSURE TREATED MATERIAL C. ALL PENETRATIONS THAT PASS THROUGH EXTERIOR CLADDING INTO STRUCTURE MUST BE FULLY SEALED. D. INSTALL MATERIALS WITH PROPER DETAILING TO CONTROL DEGRADATION FROM MOISTURE.
- 3. ROOFS: A. ICE FLASHING OVER SHEATHING AT EAVES. B. METAL DRIP EDGE AT ALL EXPOSED ROOF DECKING
- C. BITUMINOUS MEMBRANE AT ALL EAVES, VALLEYS AND PENETRATIONS. D. STEP FLASHING AT ALL ROOF/WALL INTERSECTIONS AND TERMINATED WITH 'KICKOUT' FLASHING E. INSTALLED SYSTEM FOR DIVERTING ROOF WATER FROM HOUSE (E.G. GUTTERS) F. NO. 30 ROOF FELT UNDERLAYMENT MINIMUM UNLESS ICE AND WATER SHIELD IS NOTED G. REDUCE ICE DAMS: NO NON-AIRTIGHT RECESSED LIGHT FIXTURES IN INSULATED CEILINGS.
- H. ROOF INSULATION AS REQUIRED BY THE OWNER TO MEET CODES. 4. WET ROOMS: A. INSTALL DRAINS OR DRAIN PANS TO CAPTURE LEAKS UNDER WATER HEATERS OR USE TANKLESS WATER HEATERS.
- B. PROPERLY INSTALL WATER HEATER AND WASHER DRAIN PANS. C. USE HIGHLY DURABLE MATERIALS IN WET AREAS. D. USE NON-PAPER FACED BACKER BOARD ON WALLS IN TUB, SHOWER AND SPA AREAS
- 5. AIR INFILTRATION: A. INSTALL 'IC' AIRTIGHT RATED RECESSED LIGHTS IN INSULATED CEILINGS. B. COMPLETE AIR BARRIER BETWEEN ATTIC AND CONDITIONED SPACE AND ALL PENETRATIONS SEALED. C. AIR FILTER HOUSINGS MUST BE AIRTIGHT TO PREVENT BYPASS OR LEAKAGE. D. AIR SEAL VENTILATION DUCTWORK.
- 6. INTERSTITIAL CONDENSATION: A. CLOTHES DRYERS VENTED OUTDOORS. B. INSULATE ALL COLD WATER PIPES AND AVOID PLUMBING IN EXTERIOR WALLS C. >1 PERM FINISH ON INSIDE OF EXTERIOR WALLS (ONLY REQ. IN HOT/HUMID & MIXED/HUMID CLIMATES) 7. HEAT LOSS:
- A. INSULATE ALL VENTILATION EXHAUST DUCTWORK (MIN R-8) OUTSIDE OF THE INSULATED ENVELOPE. B. R-5 SLAB EDGE INSULATION BREAK AT FOUNDATION WALL INTERSECTION & R-10 SLAB EDGE INSULATION OUTWARD OF ANY WALK-OUT SLAB EDGE
- 8. UI TRAVIOI FT RADIATION: A. INSTALL MATERIALS WITH PROPER DETAILING TO CONTROL DEGRADATION FROM THE SUN. 9. OTHER:
- A. MINIMUM 25-YR. EXPECTED LIFETIME ROOF WARRANTY B. DEFINE 'PROPER REFRIGERANT CHARGE' TO BE WITHIN 10% OF MANUFACTURER RECOMMENDATIONS C. MECHANICAL EQUIPMENT MUST BE ACCESSIBLE FOR SERVICE, INCLUDING AC CONDENSATE DRAIN PAN AND TRAP. D. USE RIGID DUCT OR OTHER METHODS TO KEEP FAN BACK-PRESSURE BELOW .02" FOR EOV SYSTEMS

	CEILING FAN	WALL CLG -2	LIGHT - 48" FLUORESCENT STRIP - WALL MOUNTED LIGHT - 48" FLUORESCENT STRIP - CEILING MOUNTED TV OUTLET - 42" A.F.F.
	CEILING FAN WITH LIGHT KIT		GARAGE DOOR CONTROL PANEL THERMOSTAT HVAC SUPPLY GRILLE - CEILING HVAC SUPPLY GRILLE - FLOOR
	LIGHT - CHANDELIER	(SD) (SD)	SMOKE DETECTOR DOUBLE HEAD "EAVE LIGHT"
EF LIGHT LIGHT	EXHAUST FAN EXHAUST FAN AND LIGHT COMBO - ROUND OR RECTANGULAR	\$P 	SPEAKER VOLUME CONTROL SWITCH

### HEATING, VENTILATION AND AIR CONDITIONING:

A. SUPPLY ALL LABOR, TRANSPORT. MATERIAL, ETC., FOR INSTALLATION OF A COMPLETE HEATING AND AIR CONDITIONING SYSTEM TO OPERATE ACCORDING TO ALL APPLICABLE STANDARDS AND BEST PRACTICES OF THE TRADE INCLUDING, BUT NOT LIMITED TO: MECHANICAL UNITS, DUCTS, REGISTERS, CATWALKS, GRILLES, BOOTS, VENT PIPES, DAMPERS, COMBUSTION AIR, FANS, VENTILATORS, REFRIGERANT, ETC. ALL MATERIALS, WORK, ETC. TO COMPLY WITH ALL REQUIREMENTS OF ALL LEGALLY CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION INCLUDING ALL COUNTY AND STATE ORDINANCES. FURNISH AND INSTALL ALL EQUIPMENT COMPLETE AND OPERABLE. VERIFY ALL MATERIAL AND INSTALLATION REQUIREMENTS AND LIMITATIONS AT FIRE AND SOUND ASSEMBLIES. B. PROVIDE RUBBERIZED ASPHALTIC MEMBRANE MATERIALS AT ALL PENETRATIONS OF THE WATER-RESISTIVE MEMBRANE AT EXTERIOR WALLS.

2. INSTALLATION: A. PROVIDE REQUIRED CLEARANCES FOR DUCT WORK AND TO COMBUSTIBLES. B. PROVIDE A PERMANENT ELECTRICAL OUTLET AND SWITCHED LIGHT FIXTURE WHEREVER EQUIPMENT IS INSTALLED. C. NO ALTERATIONS TO THE STRUCTURAL FRAME, DIAPHRAGMS, CONNECTIONS OR SHEAR PANELS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER. D. ALL COMBUSTION EQUIPMENT SHALL BE DIRECTLY VENTED WITH AN OUTDOOR COMBUSTION AIR SUPPLY E. ALL PENETRATIONS OF FIRE ASSEMBLIES SHALL MEET THE REQUIREMENTS OF THE BUILDING CODE AND SECTION 7D

F. ALL HVAC EQUIPMENT SHALL BE APPROVED PRIOR TO INSTALLATION PER NATIONALLY RECOGNIZED STANDARDS AND EVIDENCED BY LISTING AND LABEL OF AN APPROVED AGENCY. G. COMBUSTION AIR FROM OUTSIDE SHALL BE SUPPLIED TO ALL FUEL BURNING APPLIANCES. H. INSTALL AIR FILTERS WITH A MINIMUM EFFICIENCY REPORTING VALUE (MERV) > OR EQUAL TO 10 AND ENSURE THAT AIR HANDLERS CAN MAINTAIN ADEQUATE PRESSURE AND AIR FLOW. AIR FILTER HOUSINGS MUST BE AIR TIGHT TO PREVENT BYPASS OR LEAKAGE. I. ALL FIXED APPLIANCES ARE REQUIRED TO BE SECURELY FASTENED IN PLACE. PROVIDE SEISMIC BRACING OR ANCHOR UNIT TO PLATFORM WHERE APPROPRIATE.

J. INSTALL CENTRALIZED HVAC SYSTEM EQUIPPED WITH ADDITIONAL CONTROLS TO OPERATE IN DEHUMIDIFIED MODE. K. CONDENSOR PAD OR COMPRESSOR FROM GROUND MUST NOT BE LESS THAN 3" ABOVE GRADE. L. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR STORING THE MATERIALS ON THE SITE ACCORDING TO MATERIAL SUPPLIERS' OR MANUFACTURERS' INSTRUCTIONS. THE MATERIALS SHALL BE KEPT SECURE AND PROTECTED FROM MOISTURE.

## ELECTRICAL:

A. SUPPLY ALL LABOR, TRANSPORTATION, MATERIALS, ETC., FOR INSTALLATION OF COMPLETE ELECTRICAL SYSTEM TO OPERATE ACCORDING TO THE BEST PRACTICES OF THE TRADE AND INCLUDING, BUT NOT LIMITED TO: FIXTURES, APPLIANCES, WIRING, SWITCHES, OUTLETS, TELEVISION JACKS, SERVICES, GROUNDS, TEMPORARY POWER, JUNCTION BOXES, CONDUIT, SUB-PANELS, ETC. ALL MATERIALS, WORK, ETC. TO COMPLY WITH ALL REQUIREMENTS OF AL LEGALLY CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION INCLUDING ALL COUNTY AND STATE ORDINANCES. FURNISH AND INSTALL ALL ELECTRICAL WORK COMPLETE AND OPERABLE. VERIFY ALL MATERIAL AND INSTALLATION REQUIREMENTS AND LIMITATIONS AT FIRE AND SOUND ASSEMBLIES. B. PROVIDE RUBBERIZED ASPHALTIC MEMBRANE MATERIALS AT ALL PENETRATIONS OF THE WATER-RESISTIVE MEMBRANE AT EXTERIOR WALLS.

2. INSTALLATION: A. ELECTRICAL SYSTEM INSTALLED ACCORDING TO LATEST VERSION OF N.E.C. OR LOCAL CODE, WHICHEVER IS MORE STRINGENT. B. PROVIDE SEPARATE CIRCUITS EACH FRO DISHWASHER, GARBAGE DISPOSAL, REFRIGERATOR, WASHER, DRYER, F.A.U. AND MICROWAVE C. SWITCHED OUTLETS SHALL BE 1/2 HOT

D. BATHROOMS AND KITCHEN FANS: INSTALL LOCAL EXHAUST SYSTEMS IN ALL BATHROOMS AND IN THE KITCHEN TO MEET THE CODES. E, FOR EVERY BATHROOM EXHAUST FAN, INSTALL AN OCCUPANCY SENSOR OR AN AUTOMATIC HUMIDISTAT CONTROLLER OR AN AUTOMATIC TIMER TO OPERATE THE FAN FOR A TIMED INTERVAL AFTER OCCUPANT LEAVES THE ROOM OR A CONTINUOUSLY OPERATING EXHAUST FAN, UNLESS A CENTRAL EXHAUST SYSTEM IS USED. F. ALL FIXTURES, OUTLETS, RECEPTACLES, ETC. PENETRATING FIRE ASSEMBLIES SHALL BE RATED AND INSTALLED TO MEET THE

REQUIREMENTS OF THE BUILDING CODE. OUTLET BOXES ON OPPOSITE SIDES OF FIRE ASSEMBLY WALLS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF AT LEAST 24". G. ALL EQUIPMENT INSTALLED OUTDOORS AND EXPOSED TO WEATHER SHALL BE WEATHERPROOF. H. PROVIDE GROUND FAULT CIRCUIT INTERRUPTERS, G.F.C.I., AT ALL BATHS,

GARAGES, OUTDOOR AND WET AREA OUTLETS, ALL BRANCH CIRCUITS THAT SUPPLY 125 - VOLT SINGLE - PHASE, 15 AND 20 AMPERE RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC FAULT CIRCUIT INTERRUPTER(S). I. EACH CONDUCTOR OF EVERY SYSTEM SHALL BE PERMANENTLY TAGGED IN COMPLIANCE WITH O.S.H.A J. THE COMPLETE ELECTRICAL SYSTEM SHALL BE GROUNDED IN ACCORDANCE

WITH THE PRESENTLY ADOPTED EDITION OF THE N.E.C. ART. #250. PROPER GROUND REQUIRES #4 COPPER WIRE, 20'-0" LONG, EMBEDDED INTO CONCRETE AND PROVIDE BOND TO GAS OR WATER LINE. K. USE ONLY COMPETENT AND SKILLED PERSONNEL AND PERFORM ALL WORK, INCLUDING AESTHETIC AS WALL AS ELECTRICAL AND MECHANICAL ASPECTS TO STANDARDS CONSISTENT WITH THE BEST PRACTICES OF THE TRADE. L. NO ALTERATIONS TO THE STRUCTURAL FRAME, DIAPHRAGMS, CONNECTIONS OR SHEAR PANELS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER.

## PLUMBING:

1. SCOPE: A. SUPPLY ALL LABOR, TRANSPORT. MATERIAL, ETC., FOR INSTALLATION OF A COMPLETE PLUMBING SYSTEM TO OPERATE ACCORDING TO ALL APPLICABLE STANDARDS AND BEST PRACTICES OF THE TRADE INCLUDING, BUT NOT LIMITED TO: FIXTURES, HOT AND COLD WATER PIPING, EXHAUST FLUES, COMBUSTION AIR, GAS PIPING, LOG LIGHTERS, DRAINS, SOIL AND VENT PIPING, HOT WATER HEATERS, PIPE INSULATION, METERS, VALVES, VAULTS, ETC, ALL MATERIALS, WORK, ETC, TO COMPLY WITH ALL REQUIREMENTS OF ALL LEGALLY CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION INCLUDING ALL COUNTY AND STATE ORDINANCES. FURNISH AND INSTALL ALL PLUMBING WORK COMPLETE AND OPERABLE, INCLUDING TRENCHING AND BACKFILLING. VERIFY ALL MATERIAL AND INSTALLATION REQUIREMENTS AND LIMITATIONS AT FIRE AND SOUND ASSEMBLIES B. PROVIDE RUBBERIZED ASPHALTIC MEMBRANE MATERIALS AT ALL PENETRATIONS OF THE WATER-RESISTIVE MEMBRANE AT EXTERIOR WALLS. C. PROTECT PIPES FROM FREEZING. PLACE ALL WATER LINES AND WASTE LINES WITHIN 'CONDITIONED SPACE' AND WHERE APPROVED THERMAL INSULATION IS BETWEEN 'LINE' AND UNHEATED AREA. 2. INSTALLATION: A. ROUGHING- IN SHALL BE COMPLETED, TESTED AND INSPECTED AS REQUIRED BY CODE BEFORE CLOSING-IN WITH OTHER WORK. B. OPENINGS IN PIPES, DRAINS AND FITTINGS SHALL BE KEPT COVERED DURING CONSTRUCTION.

C. PROVIDE SOLID BACKING FOR SECURING FIXTURES. ALL FIXTURES TO BE SET LEVEL. D. PROVIDE CLEANOUTS AT ENDS OF ALL LINES AND WHERE REQUIRED BY CODE. E. COPPER TUBING SHALL BE FULLY SWEATED TO FITTINGS. F. BLACK IRON AND GALVANIZED STEEL PIPE JOINTS SHALL BE MADE WITH APPROVED PIPE THREAD COMPOUND.

G. PROVIDE SHUT-OFF VALVES AT EACH FIXTURE

H. PROVIDE CONDENSATE LINE AT EACH F.A.U. LOCATION. PROVIDE PRIMARY AND SECONDARY CONDENSATE LINE TO AN APPROVED DRAINAGE RECEPTACLE AT ATTIC F.A.U. LOCATIONS. INSTALL CONDENSATE LINE FOR EACH PIECE OF CONDENSATING HVAC EQUIPMENT PER MANUFACTURER'S SPECIFICATIONS. I. PROVIDE COLD WATER LINE TO REFRIGERATOR SPACE IN RECESSED BOX OR IN CABINET IMMEDIATELY ADJACENT TO REFRIGERATOR SPACE. J. ISOLATE ALL PIPING FROM STRUCTURE WITH FIBER PADDING AND AT ALL PENETRATIONS WITH ELASTIC CAULKING OR SOUND ISOLATORS.

K. ALL VENTS TO LEAD TO OUTSIDE AIR. WHERE POSSIBLE, LOCATE ALL ROOF VENTS TO REAR SIDE OR RIDGES. VENTS TO TERMINATE A MINIMUM OF 3'-0" FROM WINDOWS L. ALL HORIZONTAL A.B.S. PIPING SHALL BE HUNG WITH APPROVED HANGERS AT 4'-0" ON CENTER MINIMUM AND SPACED TO PERMIT EXPANSION

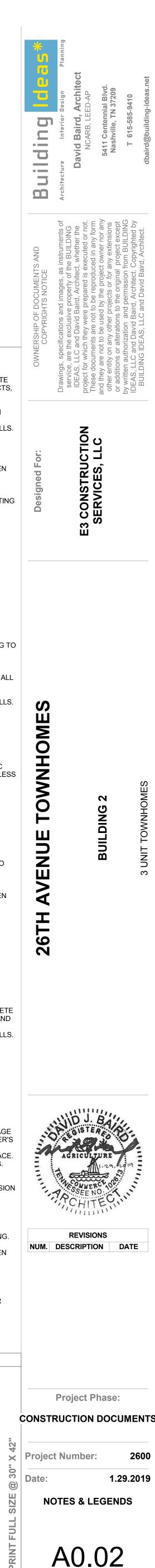
AND CONTRACTION WITHOUT HITTING ADJOINING PIPE. VERTICAL PIPING SHALL BE SUPPORTED AT 8'-0" ON CENTER WITH WROUGHT STEEL 'U' STRAPS SECURELY FASTENED TO BUILDING STRUCTURE M. PROVIDE AIR CHAMBERS AT LAVATORY, DISHWASHER AND CLOTHES WASHER WATER CONNECTIONS. SET VERTICALLY AS CLOSE TO FIXTURE AS POSSIBLE. N. PROVIDE 3/4" TEE FOR IRRIGATION AT MAIN SHUT-OFF.

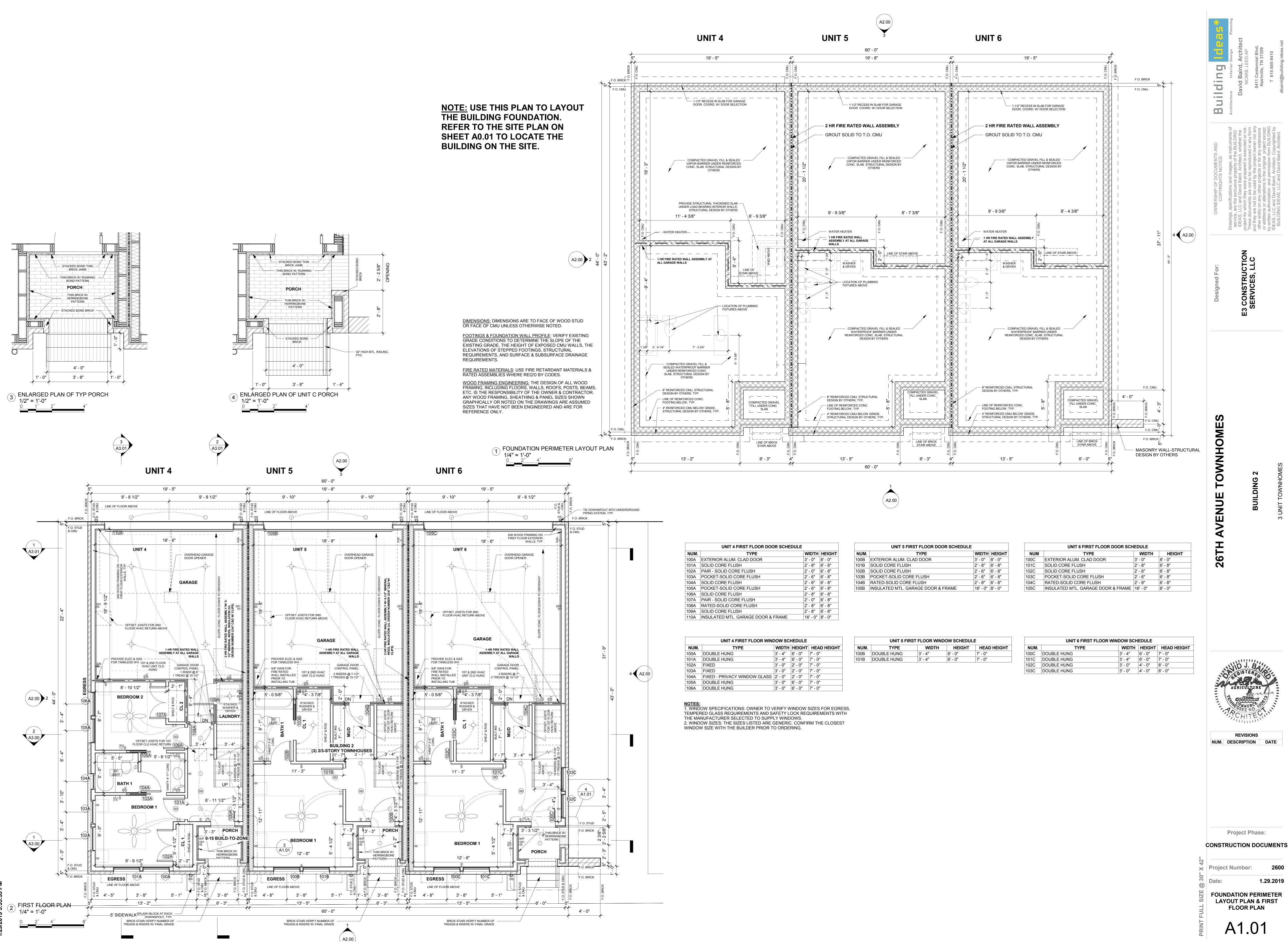
O. PROVIDE WATER HEATER WITH PRESSURE/TEMPERATURE RELIEF VALVE AND PAN AND DRAIN LINE PIPED TO THE EXTERIOR OF THE BUILDING. P. ALL COMBUSTION EQUIPMENT SHALL BE DIRECTLY VENTED. Q. NO ALTERATIONS TO THE STRUCTURAL FRAME, DIAPHRAGMS, CONNECTIONS OR SHEAR PANELS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER. R. PROVIDE NON-REMOVABLE BACKFLOW DEVICE ON ALL EXTERIOR HOSE BIBS.

S. A 12" MINIMUM ACCESS PANEL TO BATHTUB TRAP CONNECTION IS REQUIRED. T. PROVIDE PRESSURE REGULATOR FOR WATER SERVICE WHERE PRESSURE EXCEEDS 80 PSI

U. PROVIDE DRAIN PAN UNDER WASHER WITH DRAIN IN LAUNDRY ROOM AND SHUT OFF VALVE IF WASHER IS LOCATED ABOVE LIVING SPACE V. PROVIDE SOLID METAL PIPE FOR DRYER VENT TO EXTERIOR. DO NOT INSTALL SCREEN ON DRYER VENT. PROVIDE ENERGY EFFICIENT DRYER VENT (WITH FLOATING SHUTTLE)

		ABBREVIAT	IONS LEGEND		
M.S.	MOTION SENSOR	A.F.F.	ABOVE FINISHED FLOOR	GWB	GYPSUM WALL BOARD
	MOTION SENSOR	CONC.	CONCRETE	R.O.	ROUGH OPENING
н.в. †	HOSE BIB	CMU	CONCRETE MASONRY UNIT	B.O.	BOTTOM OF
		DS	DOWNSPOUT	TBD	TO BE DETERMINED
		HVAC	HEATING AND AIR CONDITIONING	WP	WATERPROOF / WET LOCATION
		Т.О.	TOP OF	PTD.	PAINTED
		WH	WATER HEATER	РТ	PRESSURE TREATED
		GALV	GALVANIZED		
		MTL.	METAL		
		H.M.	HOLLOW METAL		





OOR DOOR SCHEDULE				
	WIDTH	HEIGHT		
OR	3' - 0"	8' - 0"		
	2' - 8"	6' - 8"		
	2' - 0"	6' - 8"		
SH	2' - 6"	6' - 8"		
	2' - 6"	6' - 8"		
SH	2' - 6"	6' - 8"		
	2' - 8"	6' - 8"		
	2' - 0"	6' - 8"		
1	2' - 8"	6' - 8"		
	2' - 8"	6' - 8"		
DOOR & FRAME	16' - 0"	8' - 0"		

OR WINDOW SCHEDULE					
	WIDTH	HEIGHT	HEAD HEIGHT		
	3' - 4"	6' - 0"	7' - 0"		
	3' - 4"	6' - 0"	7' - 0"		
	3' - 0"	2' - 0"	7' - 0"		
	3' - 0"	2' - 0"	7' - 0"		
GLASS	2' - 0"	2' - 0"	7' - 0"		
	3' - 0"	6' - 0"	7' - 0"		
	3' - 0"	6' - 0"	7' - 0"		

ER TO VERIFY WINDOW SIZES FOR EGRESS,
AND SAFETY LOCK REQUIREMENTS WITH
D SUPPLY WINDOWS.
D ARE GENERIC, CONFIRM THE CLOSEST

UNIT 5 FIRST FLOOR DOOR SCHEDULE					
NUM.	ТҮРЕ	WIDTH	HEIGHT		
100B	EXTERIOR ALUM. CLAD DOOR	3' - 0"	8' - 0"		
101B	SOLID CORE FLUSH	2' - 8"	6' - 8"		
102B	SOLID CORE FLUSH	2' - 6"	6' - 8"		
103B	POCKET-SOLID CORE FLUSH	2' - 6"	6' - 8"		
104B	RATED-SOLID CORE FLUSH	2' - 8"	6' - 8"		
105B	INSULATED MTL. GARAGE DOOR & FRAME	16' - 0"	8' - 0"		

ТҮРЕ	WIDTH				
EXTERIOR ALUM. CLAD DOOR	3' - 0"				
SOLID CORE FLUSH	2' - 8"				
SOLID CORE FLUSH	2' - 6"				
POCKET-SOLID CORE FLUSH	2' - 6"				
RATED-SOLID CORE FLUSH	2' - 8"				
INSULATED MTL. GARAGE DOOR & FRAME	16' - 0"				
	TYPE EXTERIOR ALUM. CLAD DOOR SOLID CORE FLUSH SOLID CORE FLUSH POCKET-SOLID CORE FLUSH RATED-SOLID CORE FLUSH				

	UNIT 5 FIRST FLOOR WINDOW SCHEDULE						
JM.	TYPE	WIDTH	HEIGHT	HEAD HEIGHT			
В	DOUBLE HUNG	3' - 4"	6' - 0"	7' - 0"			
В	DOUBLE HUNG	3' - 4"	6' - 0"	7' - 0"			

UNIT 6 FIRST FLOOR WINDOW SCHEDULE					
NUM.	ТҮРЕ	WIDTH	HEIGHT		
100C	DOUBLE HUNG	3' - 4"	6' - 0"		
101C	DOUBLE HUNG	3' - 4"	6' - 0"		
102C	DOUBLE HUNG	3' - 0"	4' - 0"		
103C	DOUBLE HUNG	3' - 0"	4' - 0"		
			-		

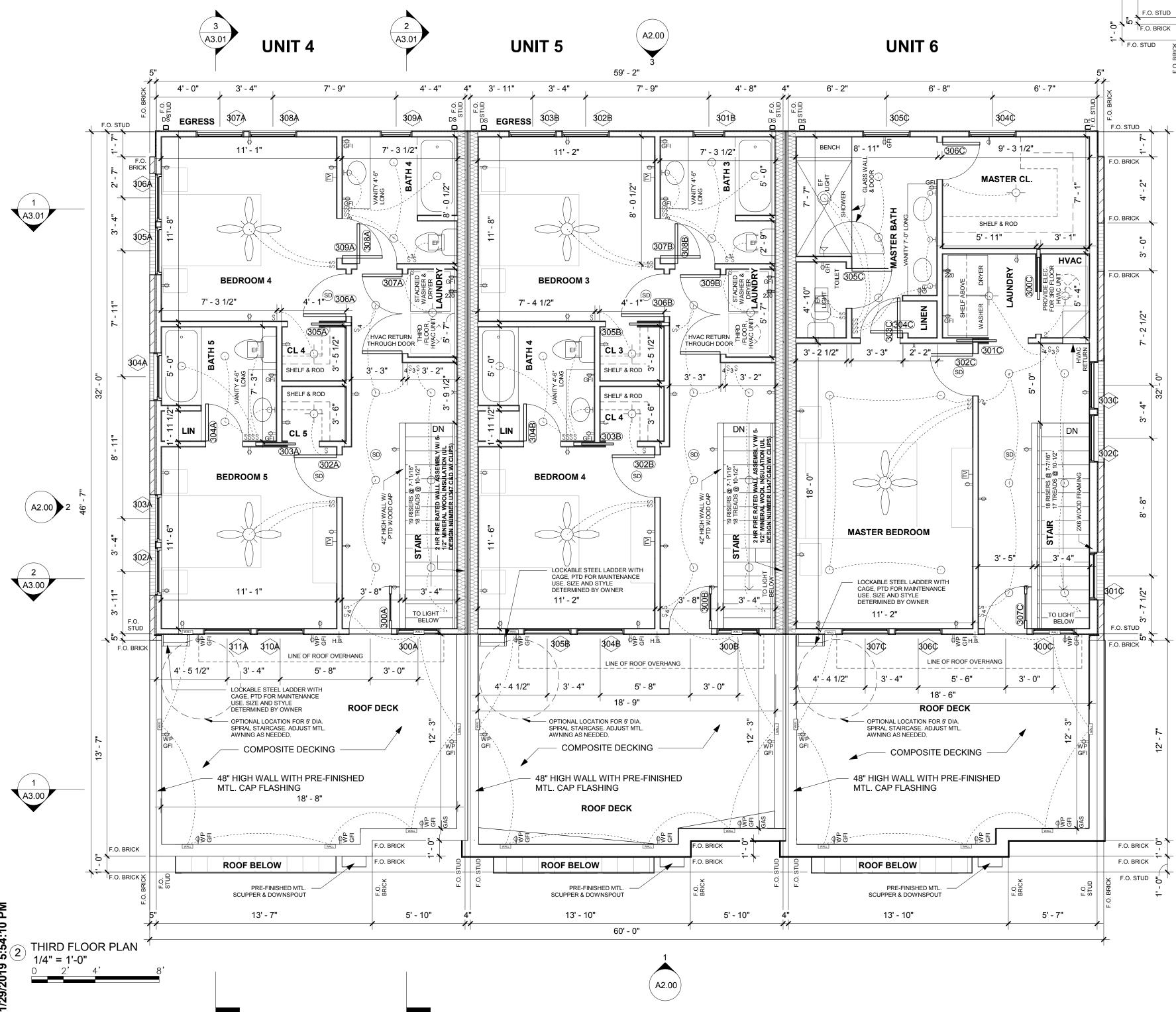
UNIT 4 SECOND FLOOR DOOR SCHEDULE					
NUM.	TYPE	WIDTH	HEIGHT		
200A	PANELED	2' - 0"	8' - 0"		
201A	SOLID CORE FLUSH	2' - 4"	8' - 0"		
202A	POCKET-SOLID CORE FLUSH	2' - 6"	8' - 0"		
203A	SOLID CORE FLUSH	2' - 6"	8' - 0"		
204A	SOLID CORE FLUSH	2' - 8"	8' - 0"		
205A	POCKET-SOLID CORE FLUSH	2' - 6"	8' - 0"		

	UNIT 4 SECOND FLOOR WINDOW SCHEDULE					
NUM.	ТҮРЕ	WIDTH	HEIGHT	HEAD HEIGHT		
200A	DOUBLE HUNG	3' - 0"	5' - 0"	8' - 0"		
201A	DOUBLE HUNG	2' - 4"	6' - 0"	7' - 0"		
202A	FIXED	2' - 4"	1' - 8"	9' - 0"		
203A	DOUBLE HUNG	3' - 0"	6' - 0"	7' - 0"		
204A	FIXED	3' - 0"	1' - 8"	9' - 0"		
205A	DOUBLE HUNG	2' - 4"	6' - 0"	7' - 0"		
206A	FIXED	2' - 4"	1' - 8"	9' - 0"		
207A	DOUBLE HUNG	3' - 0"	4' - 0"	7' - 0"		
208A	FIXED	3' - 0"	1' - 8"	9' - 0"		
209A	DOUBLE HUNG	3' - 0"	4' - 0"	7' - 0"		
210A	FIXED	3' - 0"	1' - 8"	9' - 0"		
211A	DOUBLE HUNG	3' - 0"	4' - 0"	7' - 0"		
212A	FIXED	3' - 0"	1' - 8"	9' - 0"		
213A	DOUBLE HUNG	2' - 0"	4' - 0"	8' - 0"		
214A	FIXED - PRIVACY WINDOW GLASS	3' - 0"	2' - 0"	8' - 0"		
215A	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"		
216A	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"		
217A	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"		

UNIT 5 SECOND FLOOR DOOR SCHEDULE					
NUM. TYPE WIDTH HEIGHT					
200B	SOLID CORE FLUSH	2' - 0"	8' - 0"		
201B	SOLID CORE FLUSH	2' - 8"	8' - 0"		
202B	SOLID CORE FLUSH	2' - 4"	8' - 0"		
203B	POCKET-SOLID CORE FLUSH	2' - 6"	8' - 0"		
204B	SOLID CORE FLUSH	2' - 6"	8' - 0"		
205B	POCKET-SOLID CORE FLUSH	2' - 6"	8' - 0"		

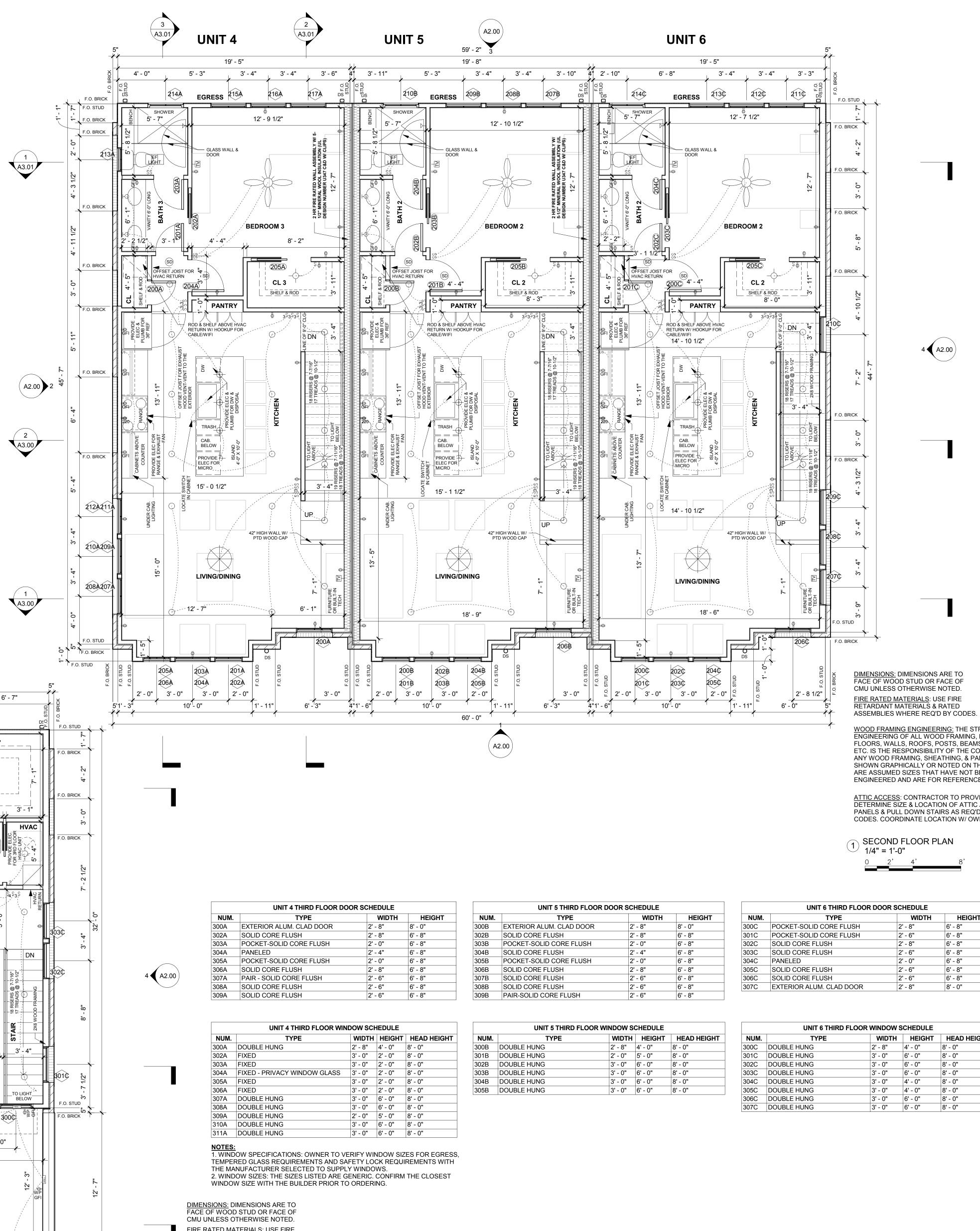
UNIT 4 SECOND FLOOR WINDOW SCHEDULE					
NUM.	ТҮРЕ	WIDTH	HEIGHT	HEAD HEIGHT	
200A	DOUBLE HUNG	3' - 0"	5' - 0"	8' - 0"	
201A	DOUBLE HUNG	2' - 4"	6' - 0"	7' - 0"	
202A	FIXED	2' - 4"	1' - 8"	9' - 0"	
203A	DOUBLE HUNG	3' - 0"	6' - 0"	7' - 0"	
204A	FIXED	3' - 0"	1' - 8"	9' - 0"	
205A	DOUBLE HUNG	2' - 4"	6' - 0"	7' - 0"	
206A	FIXED	2' - 4"	1' - 8"	9' - 0"	
207A	DOUBLE HUNG	3' - 0"	4' - 0"	7' - 0"	
208A	FIXED	3' - 0"	1' - 8"	9' - 0"	
209A	DOUBLE HUNG	3' - 0"	4' - 0"	7' - 0"	
210A	FIXED	3' - 0"	1' - 8"	9' - 0"	
211A	DOUBLE HUNG	3' - 0"	4' - 0"	7' - 0"	
212A	FIXED	3' - 0"	1' - 8"	9' - 0"	
213A	DOUBLE HUNG	2' - 0"	4' - 0"	8' - 0"	
214A	FIXED - PRIVACY WINDOW GLASS	3' - 0"	2' - 0"	8' - 0"	
215A	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"	
216A	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"	
217A	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"	

**NOTES:** 1. WINDOW SPECIFICATIONS: OWNER TO VERIFY WINDOW SIZES FOR EGRESS, TEMPERED GLASS REQUIREMENTS AND SAFETY LOCK REQUIREMENTS WITH THE MANUFACTURER SELECTED TO SUPPLY WINDOWS. 2. WINDOW SIZES: THE SIZES LISTED ARE GENERIC. CONFIRM THE CLOSEST WINDOW SIZE WITH THE BUILDER PRIOR TO ORDERING.



	UNIT 6 SECOND FLOOR DOOR SCHEDULE				
NUM.	ТҮРЕ	WIDTH	HEIGHT		
00C	SOLID CORE FLUSH	2' - 8"	8' - 0"		
01C	SOLID CORE FLUSH	2' - 0"	8' - 0"		
02C	SOLID CORE FLUSH	2' - 6"	8' - 0"		
03C	POCKET-SOLID CORE FLUSH	2' - 6"	8' - 0"		
04C	SOLID CORE FLUSH	2' - 6"	8' - 0"		
05C	POCKET-SOLID CORE FLUSH	2' - 6"	8' - 0"		

	UNIT 6 SECOND FLOOR WINDOW SCHEDULE					
NUM.	TYPE	WIDTH	HEIGHT	HEAD HEIGHT		
200C	DOUBLE HUNG	2' - 4"	6' - 0"	7' - 0"		
201C	FIXED	2' - 4"	1' - 8"	9' - 0"		
202C	DOUBLE HUNG	3' - 0"	6' - 0"	7' - 0"		
203C	FIXED	3' - 0"	1' - 8"	9' - 0"		
204C	DOUBLE HUNG	2' - 4"	6' - 0"	7' - 0"		
205C	FIXED	2' - 4"	1' - 8"	9' - 0"		
206C	DOUBLE HUNG	3' - 0"	5' - 0"	8' - 0"		
207C	DOUBLE HUNG	3' - 0"	4' - 0"	8' - 0"		
208C	DOUBLE HUNG	3' - 0"	4' - 0"	8' - 0"		
209C	DOUBLE HUNG	3' - 0"	4' - 0"	8' - 0"		
210C	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"		
211C	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"		
212C	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"		
213C	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"		
214C	FIXED - PRIVACY WINDOW GLASS	3' - 0"	2' - 0"	8' - 0"		



FIRE RATED MATERIALS: USE FIRE RETARDANT MATERIALS & RATED ASSEMBLIES WHERE REQ'D BY CODES.

WOOD FRAMING ENGINEERING: THE STRUCTURAL ENGINEERING OF ALL WOOD FRAMING, INCLUDING FLOORS, WALLS, ROOFS, POSTS, BEAMS, STAIRS, ETC. IS THE RESPONSIBILITY OF THE CONTRACTOR ANY WOOD FRAMING, SHEATHING, & PANEL SIZES SHOWN GRAPHICALLY OR NOTED ON THE DRAWINGS ARE ASSUMED SIZES THAT HAVE NOT BEEN ENGINEERED AND ARE FOR REFERENCE ONLY.

ATTIC ACCESS: CONTRACTOR TO PROVIDE & DETERMINE SIZE & LOCATION OF ATTIC ACCESS PANELS & PULL DOWN STAIRS AS REQ'D BY CODES. COORDINATE LOCATION W/ OWNER.



ANY WOOD FRAMING, SHEATHING, & PANEL SIZES SHOWN GRAPHICALLY OR NOTED ON THE DRAWINGS ARE ASSUMED SIZES THAT HAVE NOT BEEN ENGINEERED AND ARE FOR REFERENCE ONLY. ATTIC ACCESS: CONTRACTOR TO PROVIDE &

4 A2.00

### DETERMINE SIZE & LOCATION OF ATTIC ACCESS PANELS & PULL DOWN STAIRS AS REQ'D BY CODES. COORDINATE LOCATION W/ OWNER.

SECOND FLOOR PLAN / 1/4" = 1'-0"

WIDTH	HEIGHT
2' - 8"	8' - 0"
2' - 8"	6' - 8"
2' - 0"	6' - 8"
2' - 4"	6' - 8"
2' - 0"	6' - 8"
2' - 8"	6' - 8"
2' - 6"	6' - 8"
2' - 6"	6' - 8"
2' - 6"	6' - 8"

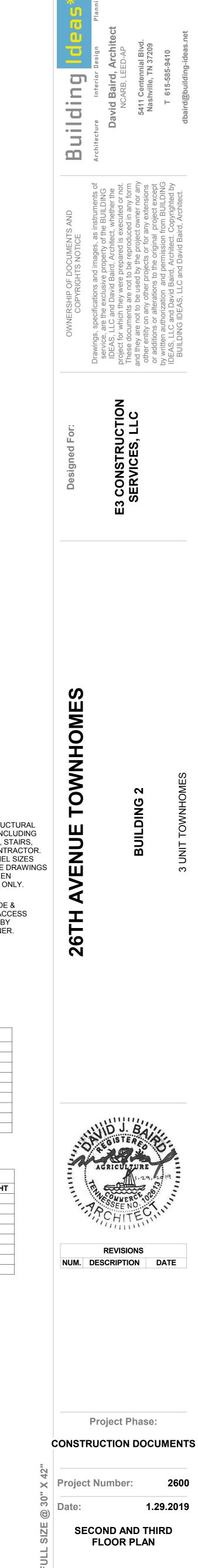
		UNIT 5 THIRD FLOOR DO	OR SCHED
IEIGHT	NUM.	ТҮРЕ	W
"	300B	EXTERIOR ALUM. CLAD DOOR	2' - 8"
	302B	SOLID CORE FLUSH	2' - 8"
"	303B	POCKET-SOLID CORE FLUSH	2' - 0"
."	304B	SOLID CORE FLUSH	2' - 4"
	305B	POCKET-SOLID CORE FLUSH	2' - 0"
	306B	SOLID CORE FLUSH	2' - 8"
	307B	SOLID CORE FLUSH	2' - 6"
	308B	SOLID CORE FLUSH	2' - 6"
	309B	PAIR-SOLID CORE FLUSH	2' - 6"

	UNIT 5 THIRD FLOOR WINDOW SCHEDULE					
UM.	IM. TYPE WIDTH HEIGHT HEAD HEIGH					
ЭB	DOUBLE HUNG	2' - 8"	4' - 0"	8' - 0"		
1B	DOUBLE HUNG	2' - 0"	5' - 0"	8' - 0"		
2B	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"		
3B	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"		
4B	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"		
5B	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"		

UNIT 6 THIRD FLOOR DOOR SCHEDULE				
NUM.	ТҮРЕ	WIDTH	HEIGHT	
300C	POCKET-SOLID CORE FLUSH	2' - 8"	6' - 8"	
301C	POCKET-SOLID CORE FLUSH	2' - 6"	6' - 8"	
302C	SOLID CORE FLUSH	2' - 8"	6' - 8"	
303C	SOLID CORE FLUSH	2' - 6"	6' - 8"	
304C	PANELED	2' - 0"	6' - 8"	
305C	SOLID CORE FLUSH	2' - 6"	6' - 8"	
306C	SOLID CORE FLUSH	2' - 6"	6' - 8"	
307C	EXTERIOR ALUM. CLAD DOOR	2' - 8"	8' - 0"	

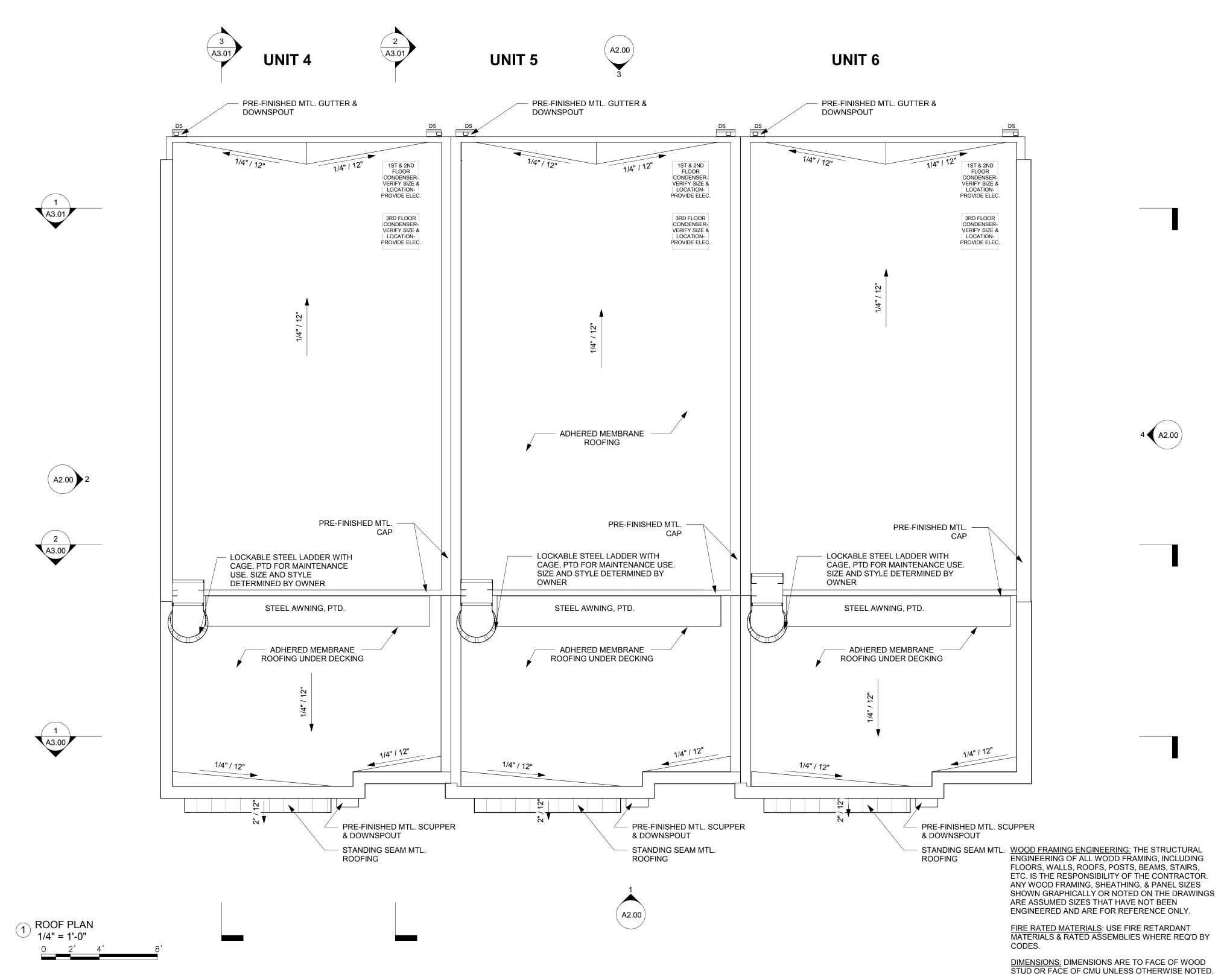
UNIT 6 THIRD FLOOR	WINDOW S	CHEDULE

UNIT 6 THIRD FLOOR WINDOW SCHEDULE					
NUM.	TYPE	WIDTH	HEIGHT	HEAD HEIGHT	
300C	DOUBLE HUNG	2' - 8"	4' - 0"	8' - 0"	
301C	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"	
302C	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"	
303C	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"	
304C	DOUBLE HUNG	3' - 0"	4' - 0"	8' - 0"	
305C	DOUBLE HUNG	3' - 0"	4' - 0"	8' - 0"	
306C	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"	
307C	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"	



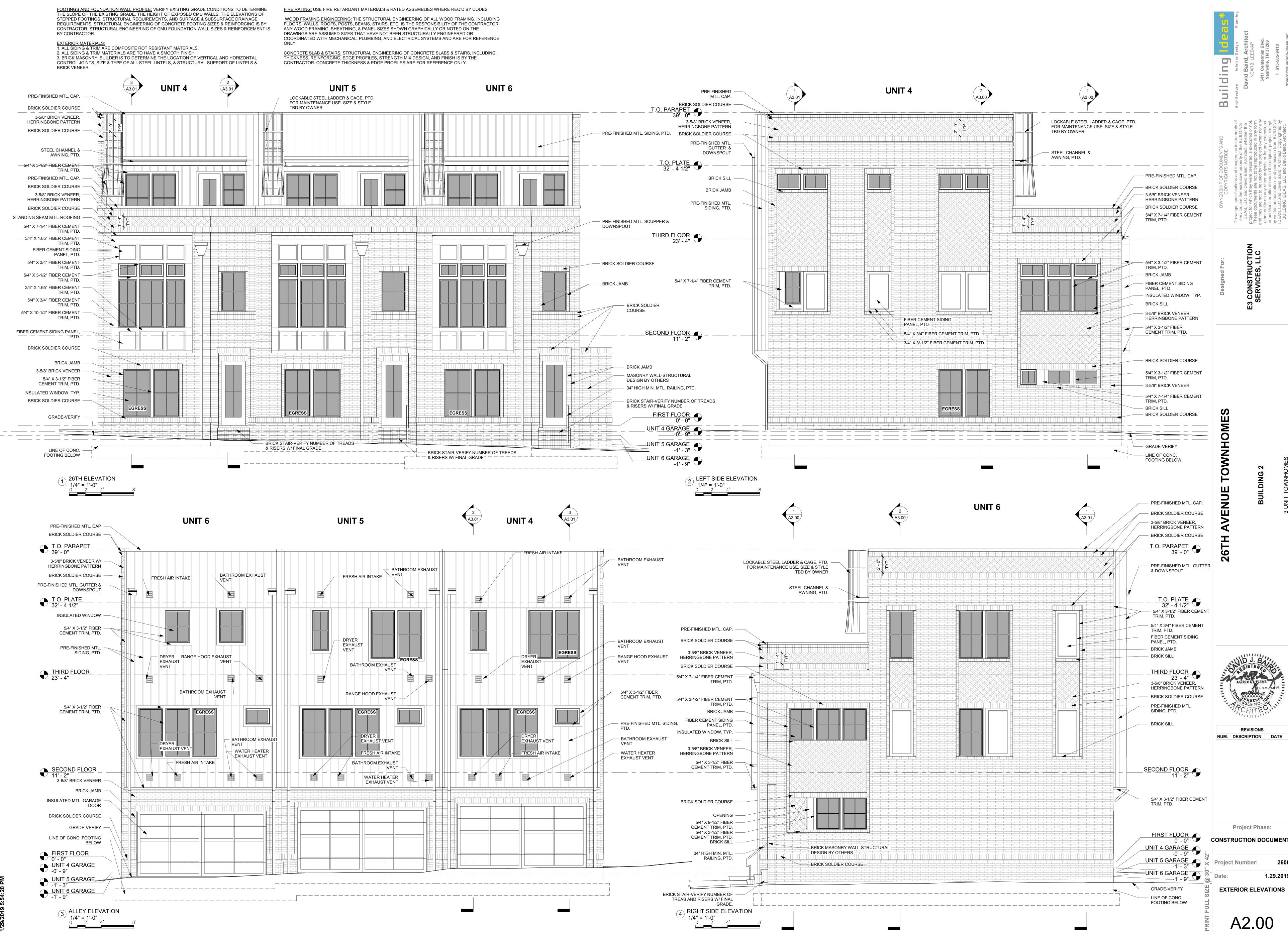
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WOOD FRAMING ENGINEERING: THE STRUCTURAL ENGINEERING OF ALL WOOD FRAMING, INCLUDING FLOORS, WALLS, ROOFS, POSTS, BEAMS, STAIRS, ETC. IS THE RESPONSIBILITY OF THE CONTRACTOR.

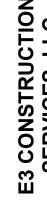


ROOF VENTILATION: CONTRACTOR TO PROVIDE ROOF VENTING AS REQ'D BY CODES.











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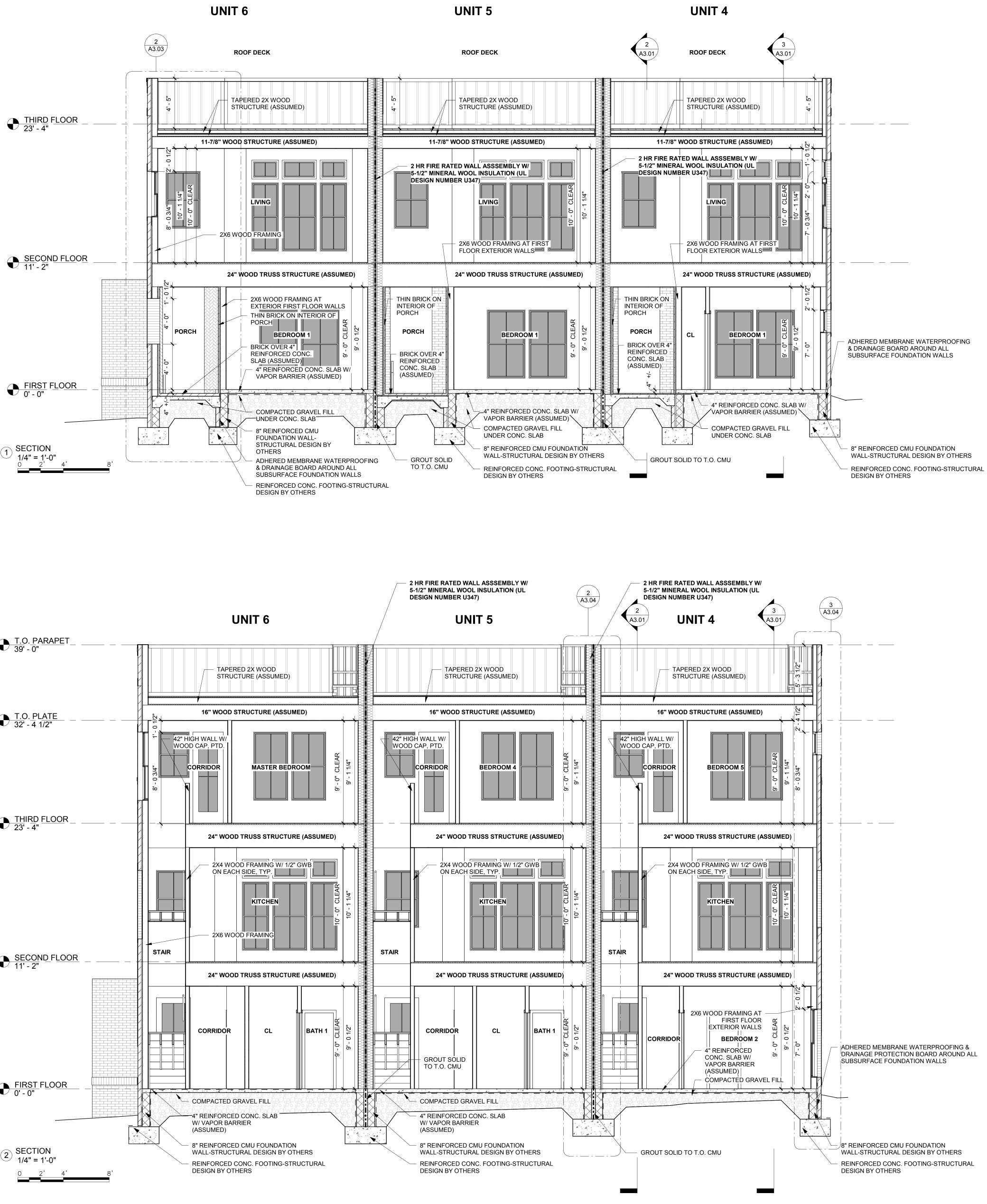
FOOTINGS AND FOUNDATION WALL PROFILE: VERIFY EXISTING GRADE CONDITIONS TO DETERMINE THE SLOPE OF THE EXISTING GRADE, THE HEIGHT OF EXPOSED CMU WALLS, THE ELEVATIONS OF STEPPED FOOTINGS, STRUCTURAL REQUIREMENTS, AND SURFACE & SUBSURFACE DRAINAGE REQUIREMENTS. STRUCTURAL ENGINEERING OF CONCRETE FOOTING SIZES & REINFORCING IS BY CONTRACTOR. STRUCTURAL ENGINEERING OF CMU FOUNDATION WALL SIZES & REINFORCEMENT IS BY CONTRACTOR.

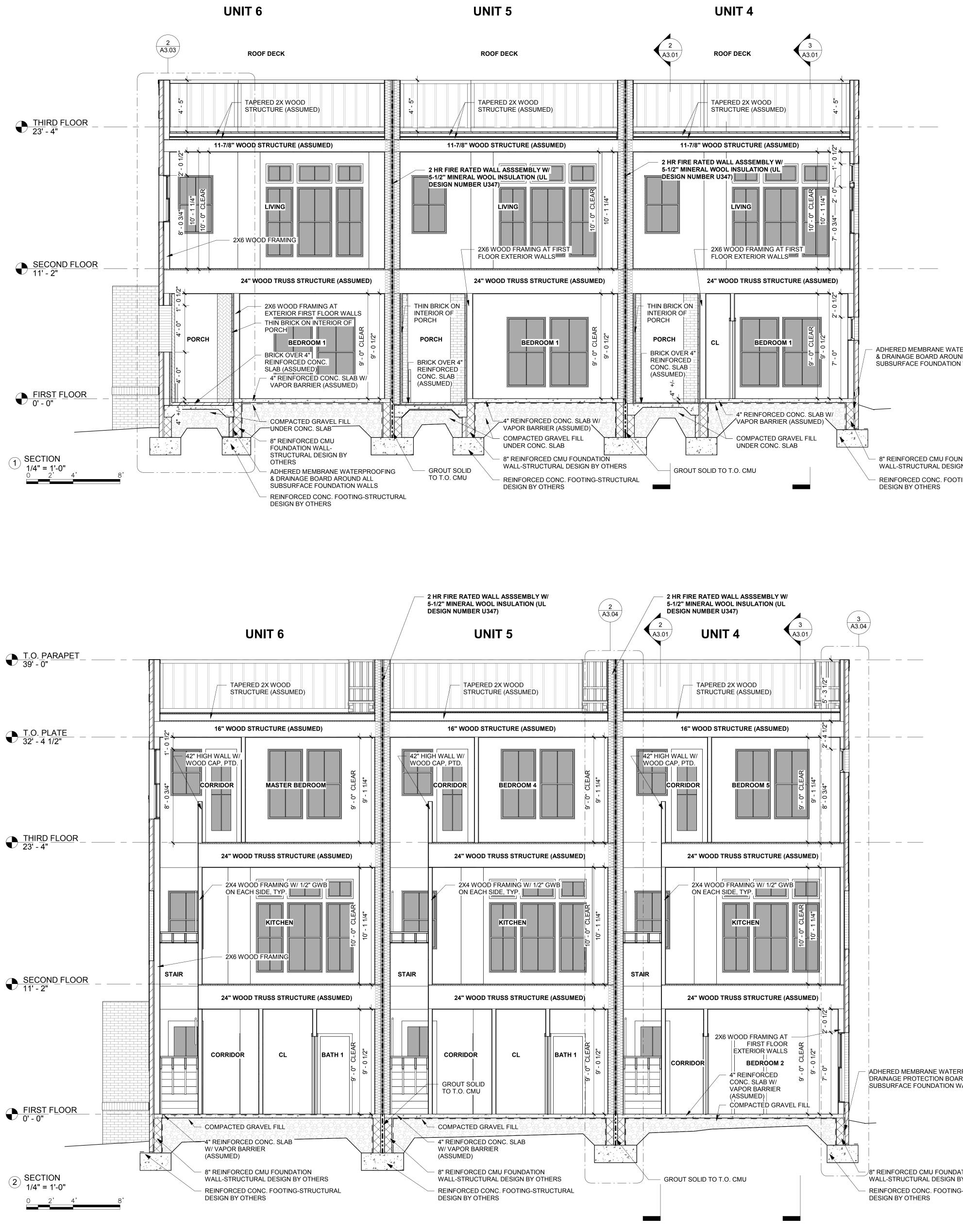
EXTERIOR MATERIALS: 1. ALL SIDING & TRIM ARE COMPOSITE ROT RESISTANT MATERIALS. ALL SIDING & TRIM MATERIALS ARE TO HAVE A SMOOTH FINISH.
BRICK MASONRY: BUILDER IS TO DETERMINE THE LOCATION OF VERTICAL AND HORIZONTAL CONTROL JOINTS, SIZE & TYPE OF ALL STEEL LINTELS, & STRUCTURAL SUPPORT OF LINTELS & BRICK VENEER

FIRE RATING: USE FIRE RETARDANT MATERIALS & RATED ASSEMBLIES WHERE REQ'D BY CODES.

WOOD FRAMING ENGINEERING: THE STRUCTURAL ENGINEERING OF ALL WOOD FRAMING, INCLUDING FLOORS, WALLS, ROOFS, POSTS, BEAMS, STAIRS, ETC. IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY WOOD FRAMING, SHEATHING, & PANEL SIZES SHOWN GRAPHICALLY OR NOTED ON THE DRAWINGS ARE ASSUMED SIZES THAT HAVE NOT BEEN STRUCTURALLY ENGINEERED OR COORDINATED WITH MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS AND ARE FOR REFERENCE ONLY.

<u>CONCRETE SLAB & STAIRS:</u> STRUCTURAL ENGINEERING OF CONCRETE SLABS & STAIRS, INCLUDING THICKNESS, REINFORCING, EDGE PROFILES, STRENGTH MIX DESIGN, AND FINISH IS BY THE CONTRACTOR. CONCRETE THICKNESS & EDGE PROFILES ARE FOR REFERENCE ONLY.



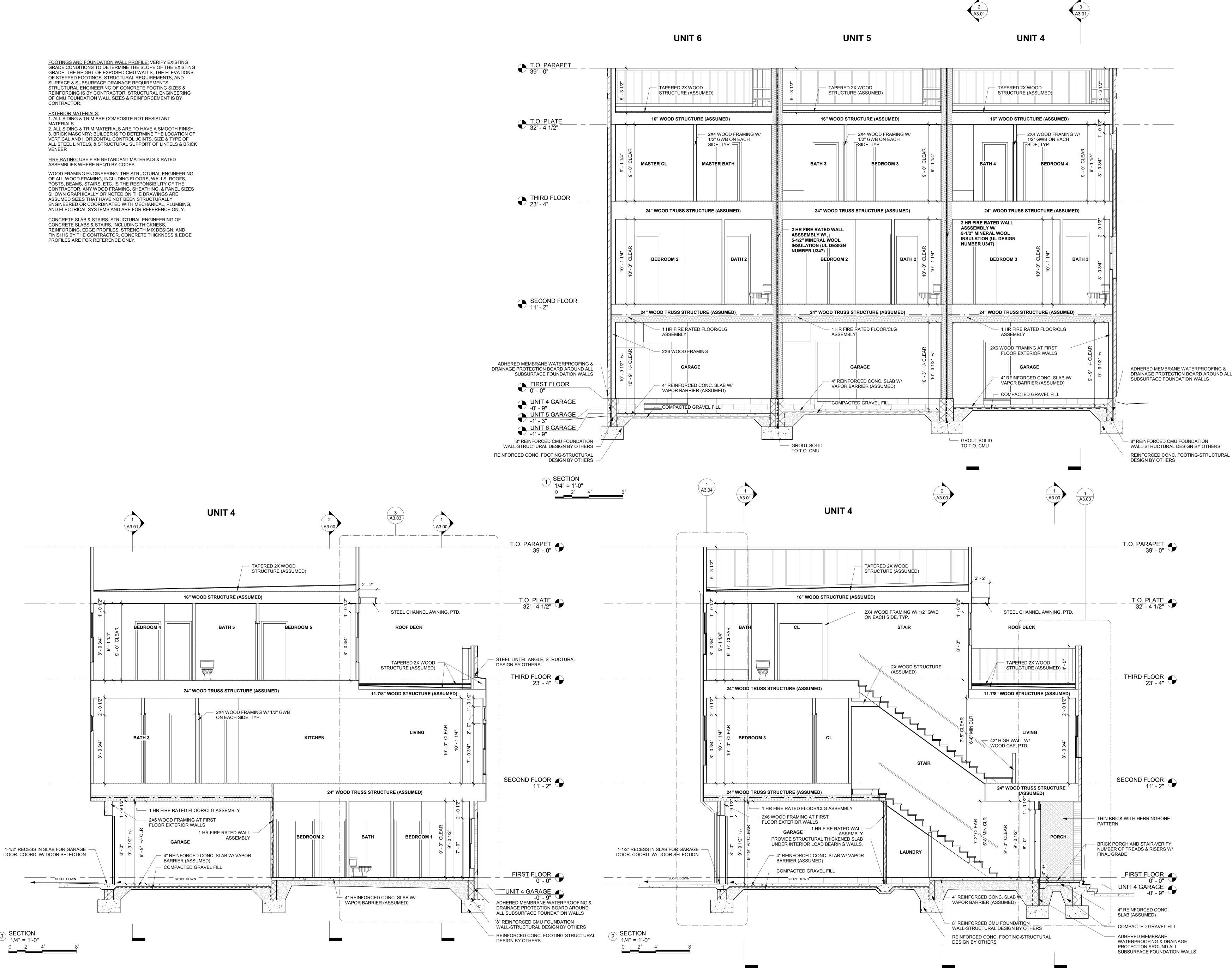


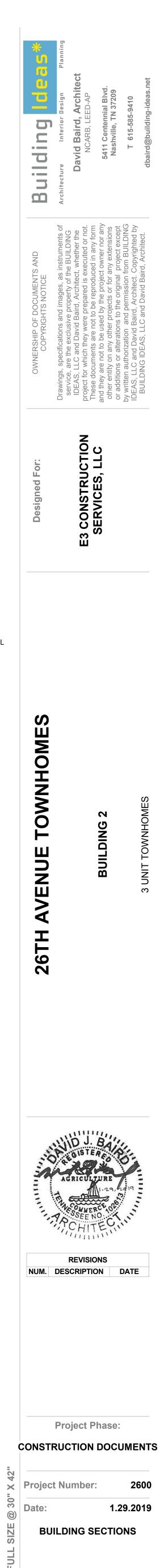


OF STEPPED FOOTINGS, STRUCTURAL REQUIREMENTS, AND SURFACE & SUBSURFACE DRAINAGE REQUIREMENTS. STRUCTURAL ENGINEERING OF CONCRETE FOOTING SIZES &

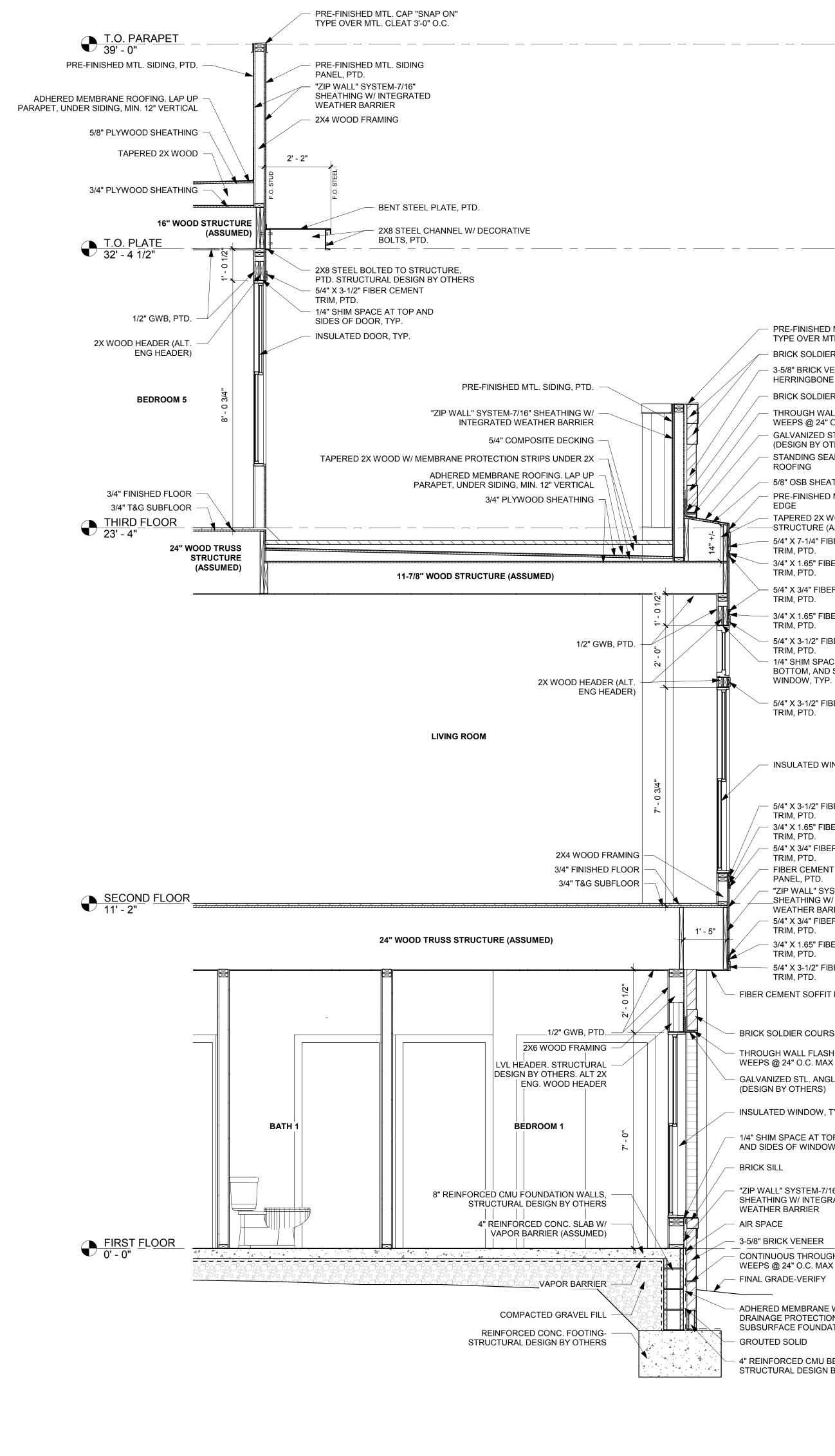
POSTS, BEAMS, STAIRS, ETC. IS THE RESPONSIBILITY OF THE SHOWN GRAPHICALLY OR NOTED ON THE DRAWINGS ARE ASSUMED SIZES THAT HAVE NOT BEEN STRUCTURALLY

CONCRETE SLAB & STAIRS: STRUCTURAL ENGINEERING OF CONCRETE SLABS & STAIRS, INCLUDING THICKNESS,





A3.01



TRIM, PTD. BRICK SOLDIER COURSE 1/4" SHIM SPACE AT TOP, BOTTOM, AND SIDES OF - 2X6 WOOD FRAMING THROUGH WALL FLASHING & WINDOW, TYP. WEEPS @ 24" O.C. MAX LVL HEADER. STRUCTURAL DESIGN BY OTHERS. ALT 2X GALVANIZED STL. ANGLE LINTEL 5/4" X 3-1/2" FIBER CEMENT ENG. WOOD HEADER TRIM, PTD. (DESIGN BY OTHERS) INSULATED WINDOW, TYP. 1/4" SHIM SPACE AT TOP, BOTTOM, LIVING ROOM INSULATED WINDOW, TYP AND SIDES OF WINDOW, TYP. BRICK SILL - 5/4" X 3-1/2" FIBER CEMENT "ZIP WALL" SYSTEM-7/16" -TRIM, PTD. SHEATHING W/ INTEGRATED 3/4" X 1.65" FIBER CEMENT WEATHER BARRIER TRIM, PTD. 5/4" X 3/4" FIBER CEMENT AIR SPACE TRIM, PTD. 3-5/8" BRICK VENEER FIBER CEMENT SIDING 3/4" FINISHED FLOOR PANEL, PTD. 3/4" T&G SUBFLOOR "ZIP WALL" SYSTEM-7/16" \_SHEATHING W/ INTEGRATED WEATHER BARRIER 5/4" X 3/4" FIBER CEMENT TRIM, PTD. 1' - 5" 24" WOOD TRUSS 3/4" X 1.65" FIBER CEMENT STRUCTURE (ASSUMED) TRIM, PTD. 5/4" X 3-1/2" FIBER CEMENT LVL BEAM (ASSUMED), TRIM, PTD. STRUCTURAL DESIGN BY OTHERS. EXTERIOR PLYWOOD FIBER CEMENT SOFFIT PANEL, PTD. W/ BEAD BOARD> BRICK SOLDIER COURSE PATTERN, PTD.> THROUGH WALL FLASHING  $\&^{\perp}$ 2X6 WOOD FRAMING WEEPS @ 24" O.C. MAX BRICK SOLDIER COURSE "ZIP WALL" SYSTEM-GALVANIZED STL. ANGLE LINTEL 7/16" SHEATHING W/ THROUGH WALL FLASHING & (DESIGN BY OTHERS) INTEGRATED WEEPS @ 24" O.C. MAX WEATHER BARRIER GALVANIZED STL. ANGLE LINTEL AIR SPACE> (DESIGN BY OTHERS) THIN BRICK WITH BRICK SILL BEDROOM 1 INSULATED WINDOW, TYP. HERRINGBONE PATTERN 1/4" SHIM SPACE AT TOP, BOTTOM, PORCH AND SIDES OF WINDOW, TYP. "ZIP WALL" SYSTEM-2X6 WOOD FRAMING<sup>1</sup>-7/16" SHEATHING W/ BRICK SILL INTEGRATED WEATHER BARRIER "ZIP WALL" SYSTEM-7/16" AIR SPACE SHEATHING W/ INTEGRATED WEATHER BARRIER 3-5/8" BRICK VENEER AIR SPACE 3-5/8" BRICK VENEER CONTINUOUS THROUGH WALL FLASHING & CONTINUOUS THROUGH WALL FLASHING & WEEPS @ 24" O.C. MAX WEEPS @ 24" O.C. MAX FINAL GRADE-VERIFY 1 🖌 GROUTED SOLID ADHERED MEMBRANE WATERPROOFING & COMPACTED DRAINAGE PROTECTION BOARD AROUND ALL FINAL GRADE-VERIFY GRAVEL FILL SUBSURFACE FOUNDATION WALLS GROUTED SOLID 4" REINFORCED CMU BELOW GRADE-STRUCTURAL DESIGN BY OTHERS 4" REINFORCED CMU BELOW GRADE-STRUCTURAL DESIGN BY OTHERS ADHERED MEMBRANE WATERPROOFING & -DRAINAGE PROTECTION BOARD AROUND ALL SUBSURFACE FOUNDATION WALLS WALL SECTION 1/2" = 1'-0"

PRE-FINISHED MTL. CAP "SNAP ON"

TYPE OVER MTL. CLEAT 3'-0" O.C.

BRICK SOLDIER COURSE

3-5/8" BRICK VENEER W/ HERRINGBONE PATTERN

BRICK SOLDIER COURSE

WEEPS @ 24" O.C. MAX

(DESIGN BY OTHERS) STANDING SEAM MTL.

5/8" OSB SHEATHING

TAPERED 2X WOOD

PRE-FINISHED MTL. DRIP

-STRUCTURE (ASSUMED)

5/4" X 7-1/4" FIBER CEMENT

3/4" X 1.65" FIBER CEMENT

5/4" X 3/4" FIBER CEMENT

3/4" X 1.65" FIBER CEMENT

5/4" X 3-1/2" FIBER CEMENT

ROOFING

TRIM, PTD.

TRIM, PTD.

TRIM, PTD.

TRIM, PTD.

EDGE

THROUGH WALL FLASHING &

GALVANIZED STL. ANGLE LINTEL

ROOF DECK

PRE-FINISHED MTL. SIDING, PTD.

INTEGRATED WEATHER BARRIER

5/4" COMPOSITE DECKING

5/8" PLYWOOD SHEATHING

3/4" PLYWOOD SHEATHING

11-7/8" WOOD STRUCTURE (ASSUMED)

— 1/2" GWB, PTD.

-"ZIP WALL" SYSTEM-7/16" SHEATHING W/

ADHERED MEMBRANE ROOFING. LAP UP

PRE-FINISHED MTL. CAP "SNAP ON" TYPE

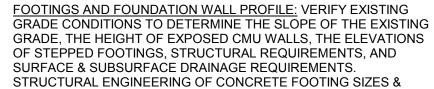
OVER MTL. CLEAT 3'-0" O.C.

BRICK SOLDIER COURSE -

3-5/8" BRICK VENEER W/ -

HERRIGBONE PATTERN

BRICK SOLDIER COURSE



REINFORCING IS BY CONTRACTOR. STRUCTURAL ENGINEERING OF CMU FOUNDATION WALL SIZES & REINFORCEMENT IS BY CONTRACTOR.

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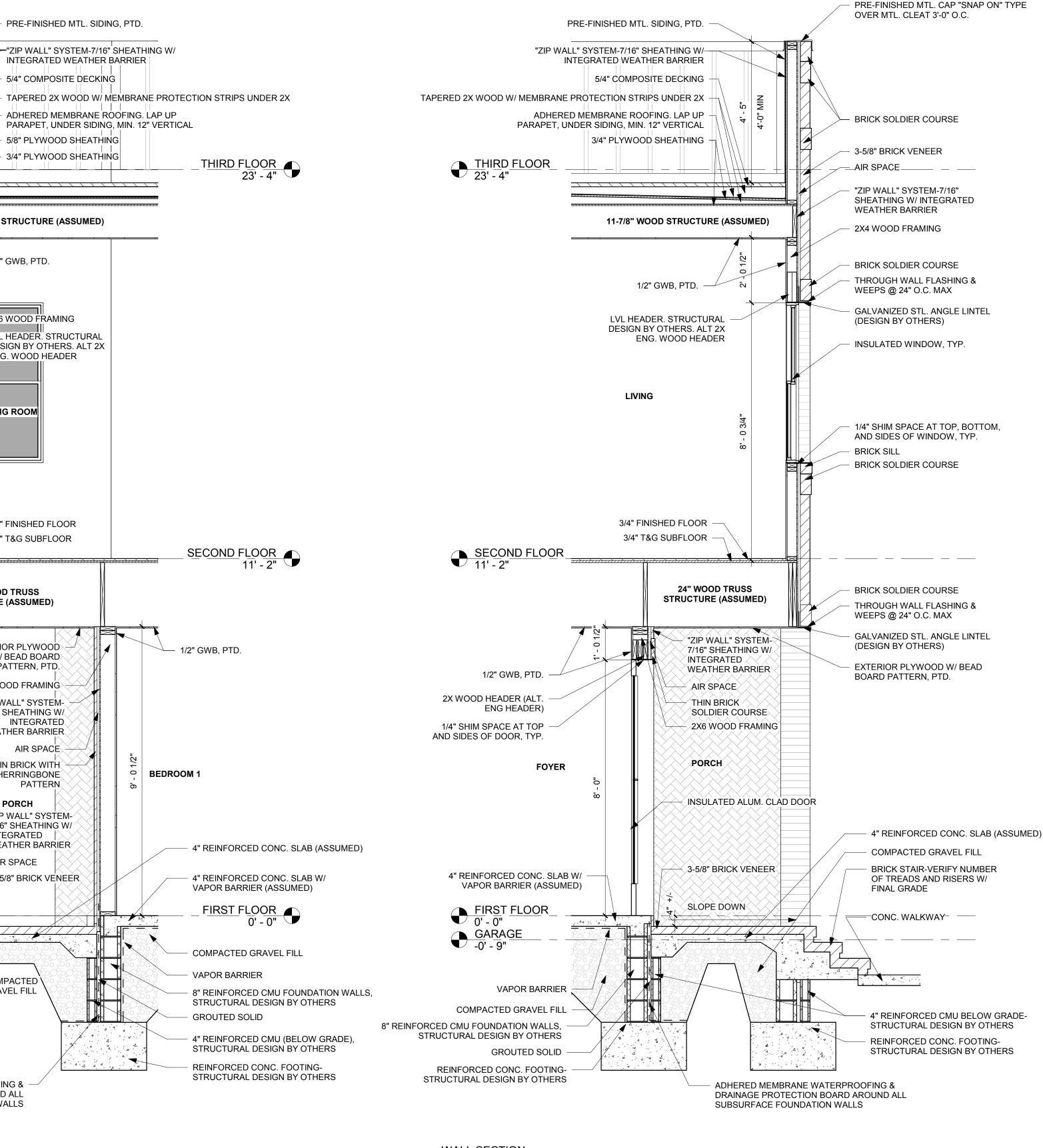
2. ALL SIDING & TRIM MATERIALS ARE TO HAVE A SMOOTH FINISH. 3. BRICK MASONRY: BUILDER IS TO DETERMINE THE LOCATION OF VERTICAL AND HORIZONTAL CONTROL JOINTS, SIZE & TYPE OF ALL STEEL LINTELS, & STRUCTURAL SUPPORT OF LINTELS & BRICK VENEER

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ROOF DECK



WALL SECTION 1/2" = 1'-0"



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FIRE RATING: USE FIRE RETARDANT MATERIALS & RATED ASSEMBLIES WHERE REQ'D BY CODES.

VENEER

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PRE-FINISHED MTL. SIDING, PTD.

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"ZIP WALL" SYSTEM-7/16" SHEATHING W/ INTEGRATED WEATHER BARRIER 2X6 WOOD FRAMING

ADHERED MEMBRANE ROOFING. LAP UP PARAPET, UNDER SIDING, MIN. 12" VERTICAL 5/8" PLYWOOD SHEATHING

TAPERED 2X WOOD

3/4" PLYWOOD SHEATHING

INSULATE PER CODE 1/2" GWB, PTD. -

5/8" GWB, PTD. -

**BEDROOM 4** 

5/8" GWB, PTD. -FIRE BLOCKING

3/4" FINISHED FLOOR -3/4" TOUNGUE & GROOVE SUBFLOOR

1/2" GWB, PTD.\_

LIVING ROOM

5/8" GWB, PTD. -

3/4" FINISHED FLOOR

FIRE BLOCKING -

3/4" TOUNGUE & GROOVE SUBFLOOR

1/2" GWB, PTD.

BATH 1

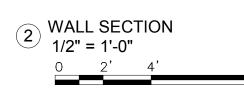
4" REINFORCED CONC. SLAB W/

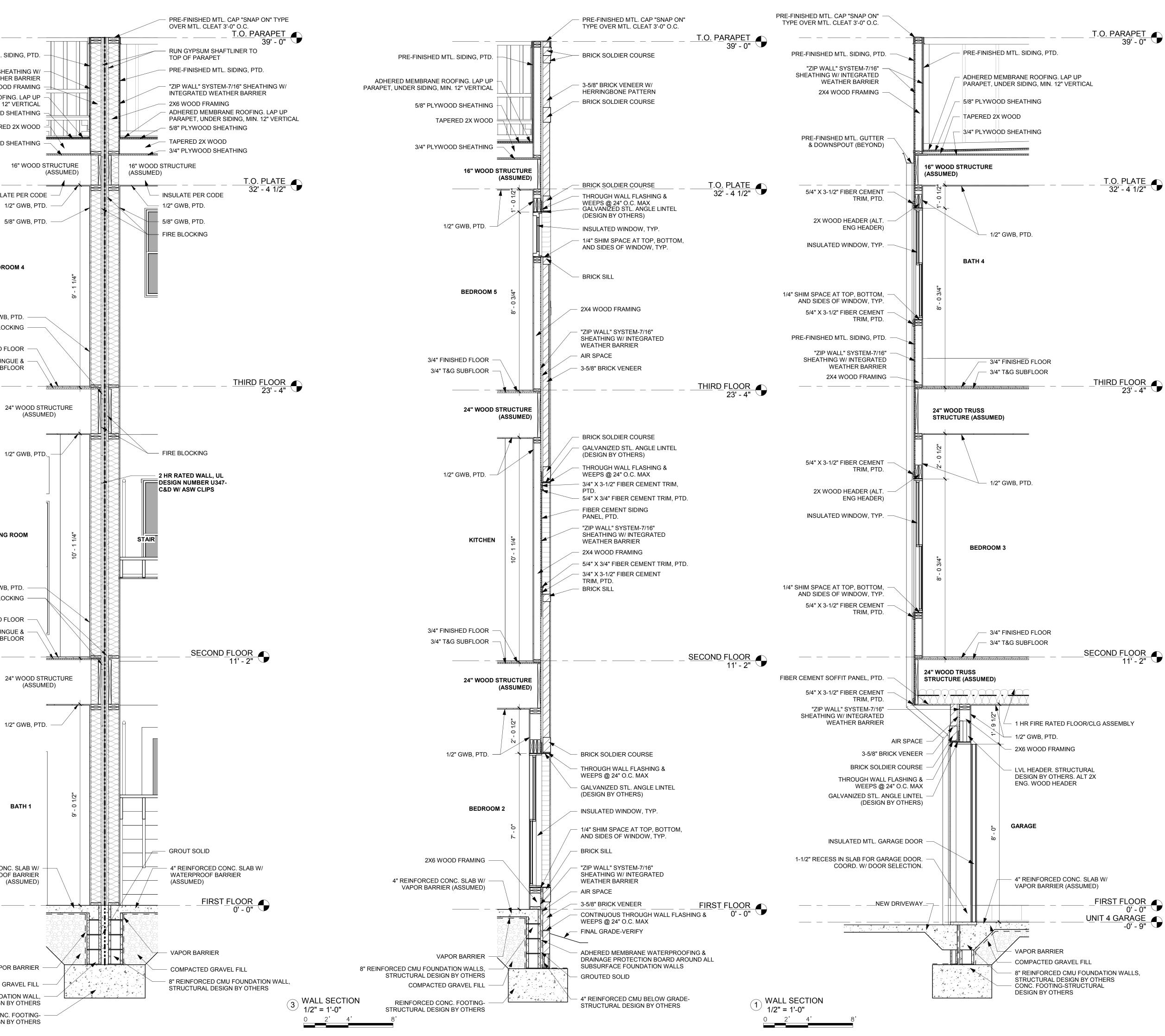
WATERPROOF BARRIER (ASSUMED)

VAPOR BARRIER

\_\_\_\_\_

COMPACTED GRAVEL FILL 8" REINFORCED CMU FOUNDATION WALL, STRUCTURAL DESIGN BY OTHERS REINFORCED CONC. FOOTING-STRUCTURAL DESIGN BY OTHERS



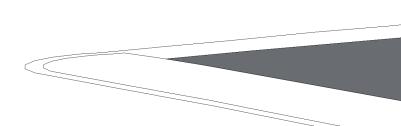




2600 Project Number: 1.29.2019 Date: WALL SECTIONS









2 FRONT LEFT 3D VIEW







(1) FRONT RIGHT 3D VIEW





