GENERAL NOTES

CLIENT RESPONSIBILITIES:

1. THE CLIENT HAS THE SOLE RIGHTS TO DEVELOP THE PROPERTY LISTED ABOVE.
2. THE CLIENT IS RESPONSIBLE FOR SELECTING CONTRACTORS WHO ARE EXPERIENCED IN THE CONSTRUCTION OF RESIDENTIAL PROJECTS USING THE PROPER MEANS, METHODS, & MATERIALS.
3. THE CLIENT IS RESPONSIBLE FOR COMMUNICATING TO THE CONTRACTOR THE SCOPE OF WORK PROVIDED BY BUILDING IDEAS, LLC & ENSURING THAT THE CONTRACTOR UNDERSTANDS THE SCOPE OF WORK & RESPONSIBILITIES REQUIRED OF THE CONTRACTOR.
4. THE CLIENT IS RESPONSIBLE FOR GIVING THE CONTRACTOR THE CORRECT SET OF CONSTRUCTION DOCUMENTS & ALL OTHER CORRECT INFORMATION TO BE USED FOR CONSTRUCTION.
5. THE CLIENT'S CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING THE PROJECT & ALL OF IT'S ELEMENTS SO THAT IT MEETS ALL BUILDING CODES, ALL ZONING CODES, & ALL PLANNING CODES.
6. THE CLIENT'S CONTRACTOR WILL COORDINATE ALL APPLIANCE & EQUIPMENT, PRODUCT SIZES, & UTILITY REQUIREMENTS.
7. THE CLIENT'S CONTRACTOR WILL COORDINATE, & INSTALL ALL CABINETS/CASEWORK, INTERIOR TRIM, DOORS, & WINDOWS.
8. THE CLIENT'S CONTRACTOR WILL DESIGN, COORDINATE, & INSTALL ALL HVAC SYSTEMS, PLUMBING SYSTEMS, ELECTRICAL SYSTEMS, LANDSCAPING/SITEWORK/SITE DRAINAGE/SUB-SURFACE DRAINAGE SYSTEMS.
9. THE CLIENT'S CONTRACTOR WILL DESIGN, COORDINATE, & INSTALL ALL WEATHERPROOFING & WATERPROOFING SYSTEMS, FLASHING SYSTEMS, SURFACE DRAINAGE SYSTEMS, THERMAL INSULATION SYSTEMS, VENTILATION SYSTEMS, VAPOR BARRIER SYSTEMS, PEST PROTECTION.
10. THE CLIENT'S CONTRACTOR WILL DESIGN, COORDINATE & INSTALL ALL FOUNDATION, FLOOR, WALL, & ROOF STRUCTURAL SYSTEMS.
11. THE CLIENT'S CONTRACTOR WILL DESIGN, COORDINATE, & INSTALL A CRAWLSPACE SYSTEM THAT PROHIBITS MOISTURE INFILTRATION INTO THE HOUSE.
12. THE CLIENT, TOGETHER WITH THE CONTRACTOR, WILL SPECIFY ALL MATERIALS TO BE USED FOR CONSTRUCTION. BUILDING IDEAS, LLC ONLY NOTES THE GENERIC CLASS OF MATERIALS TO BE USED.

EXCLUSIONS FROM THE SCOPE OF WORK PROVIDED BY BUILDING IDEAS, LLC:

1. BUILDING IDEAS, LLC IS NOT RESPONSIBLE FOR ENSURING THAT ANYONE OTHER THAN THE CLIENT HAS THE CORRECT CONSTRUCTION DOCUMENTS OR ANY OTHER INFORMATION FOR CONSTRUCTION.
2. SELECTION OF APPLIANCES, EQUIPMENT, OR SYSTEMS.
3. REDESIGN OF ANY ITEM AFTER OWNER APPROVAL WITHOUT ADDITIONAL COMPENSATION.
4. CONSTRUCTION DETAIL DRAWINGS OR MATERIAL SPECIFICATIONS OF ANY KIND.
5. ENGINEERING-SURVEYOR, CIVIL, GEOTECHNICAL, STRUCTURAL, ELECTRICAL, MECHANICAL, PLUMBING ENGINEERING, & OTHER ENGINEERING OF ANY KIND.
6. COORDINATION WITH ANY CONSULTANTS, CONTRACTORS, SUPPLIERS, OR ENGINEERS.
7. CONSTRUCTION SITE VISITS, OBSERVATIONS, SUPERVISION, REPORTS.
8. PERMITTING OR OTHER REGULATORY MEETINGS, SUBMITTALS, OR REVIEWS.
9. ANY ITEM THAT IS NOT WRITTEN IN THE SCOPE OF WORK OF THE AGREEMENT IS EXCLUDED.

DRAWING NOTES:

1. DRAWINGS DO NOT SHOW FLASHING, WATERPROOFING, INSULATION, VAPOR BARRIERS, SUB-SURFACE DRAINAGE, FOUNDATION STRUCTURE & REINFORCING, GRAVEL BASE, OR BACK FILL.
2. FOOTINGS,FOUNDATION WALL PROFILE, AND CRAWLSPACE HEIGHT: VERIFY EXISTING GRADE CONDITIONS & TOPOGRAPHY TO DETERMINE THE ELEVATIONS OF STEPPED FOOTINGS, STRUCTURAL REQUIREMENTS, AND DRAINAGE REQUIREMENTS. COORDINATE HVAC, PLUMB., AND ELECTRICAL WITH THE HEIGHT OF THE CRAWLSPACE.
3. ALL INTERIOR TRIM TBD BY OWNER & CONTRACTOR.
4. ELECTRICAL - COORDINATE QUANTITY, LOCATION, & HEIGHT OF ELECTRICAL DEVICES WITH APPLICABLE BUILDING CODE, APPLIANCES, EQUIPMENT, & COUNTERTOPS. COORDINATE THE LOCATIONS OF THE ELEC. SERVICE, PANEL AND METER LOCATIONS. VERIFY THE QUANTITY & LOCATION OF ALL LOW VOLTAGE DEVICES SUCH AS NETWORKING WIRING & OUTLETS.
5. ELECTRICAL OUTLETS - DRAWING SHOW SUGGESTED LOCATIONS OF OUTLETS. ADD OUTLET LOCATIONS AS REQUIRED TO COMPLY WITH CODES.
6. FIRE PROTECTION DEVICES - LOCATE SMOKE DETECTORS & OTHER LIFE SAFETY DEVICES AS REQUIRED TO COMPLY WITH CODES. COORDINATE LOCATIONS WITH OWNER.
7. HVAC - COORDINATE LOCATIONS OF SUPPLY AND RETURN GRILLS, DUCT SIZES, ROUTING, EQUIPMENT LOCATIONS, AND THERMOSTATS WITH FINAL HVAC DESIGN, PROVIDED BY OTHERS
8. PLUMBING- COORDINATE THE LOCATIONS OF WATER & SEWER TAPS,SERVICE LINES, HOSE BIBS, AND CLEAN OUTS.
9. DIMENSIONS ARE TO FACE OF WOOD STUD OR FACE OF CMU UNLESS OTHERWISE NOTED.
10. CONTRACTOR TO PROVIDE ROOF & ATTIC VENTILATION AS REQUIRED BY CODES.
11. CONTRACTOR TO PROVIDE & DETERMINE SIZE & LOCATION OF ATTIC ACCESS PANEL AS REQUIRED BY CODES.
12. CONTRACTOR IS TO VERIFY THE SIZES OF APPLIANCES, EQUIPMENT & FIXTURES. VERIFY THE SPACE REQUIRED FOR THEIR INSTALLATION PRIOR TO THEIR ORDERING & INSTALLATION. CONTRACTOR IS TO COORDINATE THE INSTALLATION W/ ALL APPLIANCE SERVICES SUCH AS ELEC., PLUMB, ETC.

PROJECT DATA:

26TH AVENUE
NASHVILLE, TN 37209

ZONING INFORMATION:
ZONE RM20-A
MAX. HEIGHT - 3 STORIES
ACTUAL HEIGHT - 3 STORIES

TOTAL LOT AREA:
38,132 S.F.

BUILDING AREA CALCULATIONS:

UNIT 7	UNIT 8
FIRST FLOOR= 412 GSF	FIRST FLOOR= 412 GSF
SECOND FLOOR= 915 GSF	SECOND FLOOR= 915 GSF
THIRD FLOOR = 631 GSF	THIRD FLOOR = 631 GSF
TOTAL AREA= 1,958 GSF	TOTAL AREA= 1,958 GSF
EXTERIOR PORCHES= 28 GSF	EXTERIOR PORCHES= 28 GSF
GARAGE= 433 GSF	GARAGE= 433 GSF
ROOF DECK = 274 GSF	ROOF DECK = 274 GSF
BUILDING COVERAGE = 873 GSF	**BUILDING COVERAGE = 873 GSF**

TOTAL BUILDING COVERAGE:
1,746 SF / 38,132 SF = 0.05

SHEET INDEX	
NUM.	SHEET NAME
A0.01	SITE PLAN, PROJECT DATA, & SHEET INDEX
A0.02	NOTES & LEGENDS
A1.01	FOUNDATION PERIMETER LAYOUT PLAN & FIRST FLOOR PLAN
A1.02	SECOND AND THIRD FLOOR PLAN
A1.05	ROOF PLAN
A2.00	EXTERIOR ELEVATIONS
A3.00	BUILDING SECTIONS
A3.01	BUILDING SECTIONS
A3.03	WALL SECTIONS
A3.04	WALL SECTIONS
A4.00	3D VIEWS
A4.01	3D VIEWS

SITE NOTES:

1. UTILITIES-REFERENCE SURVEY & CIVIL SITE PLAN FOR AVAILABILITY, LOCATION, & SIZE OF UTILITIES.

2. RAINWATER DOWNSPOUT-COORDINATE THE DISCHARGE & CONNECTION OF DOWNSPOUTS WITH THE SURFACE & SUBSURFACE STORMWATER SYSTEM DESIGNED BY OTHERS.

3. REFERENCE CIVIL SITE PLAN FOR DESIGN OF SITE DRAINAGE, RAINWATER, & SURFACE DRAINAGE RETENTION, & SUBSURFACE DRAINAGE.

4. REFERENCE CIVIL SITE PLAN FOR FINISH FLOOR ELEVATIONS & FINISH GRADE ELEVATIONS.

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1 SITE PLAN
1" = 20'-0"

0 5' 10' 20'

NOTE: REFER TO CIVIL ENGINEERING DRAWING FOR SITE DESIGN & LOCATION OF BUILDING.

Building Ideas*
Architecture Interior Design Planning
David Baird, Architect
NCARB, LEED-AP
5411 Centennial Blvd.
Nashville, TN 37209
T 615-585-9410
dbaird@building-ideas.net

Designed For:

E3 CONSTRUCTION SERVICES, LLC

26TH AVENUE TOWNHOMES

BUILDING 3

2 UNIT TOWNHOMES

DAVID J. BAIRD
REGISTERED
AGRICULTURE
COMMERCE
TENNESSEE NO. 102613
ARCHITECT
1.29.2019

REVISIONS		
NUM.	DESCRIPTION	DATE

Project Phase:

CONSTRUCTION DOCUMENTS

PRINT FULL SIZE @ 30" X 42"

Project Number: **2600**

Date: **1.29.2019**

SITE PLAN, PROJECT DATA, & SHEET INDEX

A0.01

GENERAL NOTES:

1. OWNER CLIENT RESPONSIBILITIES: REFERENCE IS MADE THROUGHOUT THESE GENERAL NOTES TO RESPONSIBILITIES AND STANDARDS OF CARE TO BE FULFILLED BY THOSE PROVIDING SERVICES IN THE DEVELOPMENT AND CONSTRUCTION OF THIS PROJECT. OWNER/CLIENT SHALL BE RESPONSIBLE FOR ADHERENCE TO THOSE REQUIREMENTS BY THE OWNER, BUILDER, DEVELOPER, GENERAL CONTRACTOR, SUBCONTRACTORS AND OTHER PROFESSIONAL CONSULTANTS NOT RETAINED BY THE ARCHITECT.

2. CONSTRUCTION DOCUMENTS: THE SCOPE OF THIS SET OF PLANS IS TO PROVIDE A SET OF CONSTRUCTION DOCUMENTS AND GENERAL NOTES HEREINAFTER REFERRED TO AS 'PLANS'. THIS SET OF PLANS IS SUFFICIENT TO OBTAIN A BUILDING PERMIT; HOWEVER, ALL MATERIALS AND MEANS AND METHODS NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED. THE PLANS DELINEATE AND DESCRIBE ONLY LOCATIONS, DIMENSIONS, TYPES OF MATERIALS AND GENERAL METHODS OF ASSEMBLING OR FASTENING. THE IMPLEMENTATION OF THESE PLANS REQUIRES AN OWNER/CLIENT/CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE APPLICATION OF BUILDING CODES AND MEANS AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PROJECT TYPE AND TYPE OF CONSTRUCTION.

3. BUILDING MAINTENANCE: THE EXPOSED MATERIALS USED IN THE CONSTRUCTION OF THIS PROJECT WILL DETERIORATE AS THE COMPLETED PROJECT AGES UNLESS PROPERLY AND ROUTINELY MAINTAINED. OWNER/CLIENT SHALL PROVIDE OR CAUSE THE DEVELOPMENT OF A PLAN TO KEEP THESE EXPOSED MATERIALS PROTECTED AND MAINTAINED.

4. CODES: ALL CONSTRUCTION SHALL COMPLY WITH THE MOST STRINGENT REQUIREMENTS OF ALL CURRENT APPLICABLE CITY, COUNTY, STATE AND FEDERAL LAWS, RULES, CODES ORDINANCES AND REGULATIONS. IF THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR PERFORMS ANY WORK IN CONFLICT WITH THE ABOVE MENTIONED LAWS, RULES, CODES, ORDINANCES AND REGULATIONS, THEN THE CONTRACTOR IN VIOLATION SHALL BEAR ALL COSTS OF REPAIR ARISING OUT OF THE NON-CONFORMING WORK.

5. PERMITS: THE GENERAL BUILDING PERMIT AND PLANS CHECK SHALL BE SECURED AND PAID FOR BY OWNER/CLIENT. ALL OTHER PERMITS SHALL BE SECURED AND PAID FOR BY THE SUBCONTRACTOR DIRECTLY RESPONSIBLE.

6. INSURANCE: THE GENERAL CONTRACTOR AND EVERY SUBCONTRACTOR PERFORMING WORK OR PROVIDING SERVICES AND/OR MATERIALS FOR THE WORK ARE REQUIRED TO PURCHASE AND MAINTAIN IN FORCE "ALL RISK" BUILDER INSURANCE PRIOR TO COMMENCEMENT OF THE WORK AND/OR FURNISHING LABOR, SERVICES AND MATERIALS. EACH "ALL RISK" POLICY SHALL BE IN AN AMOUNT TO BE SUFFICIENT TO COVER THE REPLACEMENT VALUE OF THE WORK BEING PERFORMED AND/OR THE LABOR, SERVICES AND MATERIALS BEING SUPPLIED BY THE GENERAL CONTRACTOR, SUBCONTRACTORS, DESIGNER AND ALL PROFESSIONAL CONSULTANTS.

7. INSURANCE: OWNER/CLIENT SHALL CAUSE THE GENERAL CONTRACTOR AND EVERY SUBCONTRACTOR PERFORMING WORK OR PROVIDING SERVICES AND/OR MATERIALS FOR THE WORK TO PURCHASE AND MAINTAIN GENERAL LIABILITY INSURANCE.

8. NAMED PRODUCTS: THE DESIGNER MAKES NO GUARANTEE FOR PRODUCT IDENTIFIED BY TRADE NAME OR MANUFACTURER.

9. SCOPE: THE GENERAL CONTRACTORS AND SUBCONTRACTORS SHALL FURNISH ALL LABOR, EQUIPMENT AND MATERIAL INDICATED ON THE PLANS AND REASONABLY INFERRED OR REQUIRED BY THE APPLICABLE CODES.

10. SUBSTITUTION: SUBSTITUTIONS OF SPECIFIC MATERIALS OR PRODUCTS SHALL NOT BE MADE WITHOUT WRITTEN AUTHORIZATION BY OWNER/CLIENT. THE GENERAL CONTRACTOR AND ANY SUBCONTRACTOR SHALL NOT MAKE THE STRUCTURAL SUBSTITUTIONS OR CHANGES WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE STRUCTURAL ENGINEER AND OWNER.

11. CHANGES: ANY ADDITION, DELETION OR CHANGE IN THE SCOPE OF WORK DESCRIBED BY THE PLANS SHALL BE BY WRITTEN CHANGE ORDER ONLY. ANY APPROVAL FROM THE BUILDING OFFICIAL FOR A CHANGE IN THE WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

12. INTENTION: THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL LABOR, MATERIALS, EQUIPMENT AND TRANSPORTATION SHALL BE INCLUDED IN THE WORK FOR COMPLETE EXECUTION OF THE PROJECT. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION.

13. REVIEW OF DRAWINGS: THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL REVIEW THE FULL CONTENT OF THE PLANS FOR DISCREPANCIES AND OMISSIONS PRIOR TO COMMENCEMENT OF WORK. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ANY WORK NOT IN CONFORMANCE WITH THE PLANS OR IN CONFLICT WITH ANY CODE.

14. USE OF THE DRAWINGS: DIMENSIONS TAKE PRECEDENCE OVER SCALED MEASUREMENTS. DETAILS AND SECTIONS ON THE DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. DETAILS NOTED 'TYPICAL' IMPLY ALL LIKE CONDITIONS TREATED SIMILARLY, UNLESS NOTED OTHERWISE. THE ARCHITECTURAL DETAILS SHOWN ARE INTENDED TO FURTHER ILLUSTRATE THE VISUAL DESIGN CONCEPT. BUILDING CODE REQUIREMENTS, STRUCTURAL CONSIDERATIONS, TRADE ASSOCIATION MANUALS AND PUBLICATIONS AND PRODUCT MANUFACTURE'S WRITTEN INSTRUCTIONS SHALL ALSO BE CONSIDERED IN ORDER TO COMPLETE THE CONSTRUCTION OF THE DETAILS, AND IN SOME CASES, MAY SUPERSEDE THE DETAILS.

15. APPROVED DRAWINGS: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK BETWEEN THE DIFFERENT SUBCONTRACTORS AND REQUIRING ALL SUBCONTRACTORS TO USE THE MOST CURRENT BUILDING DEPARTMENT APPROVED SET OF PLANS.

16. CUTTING AND PATCHING: ALL SUBCONTRACTORS SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC. TO MAKE THE MULTIPLE PARTS COME TOGETHER PROPERLY AND FIT IT TO RECEIVE THE WORK OF OTHER TRADES.

17. CLEAN-UP: ALL TRADES SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK. SUBCONTRACTORS SHALL REMOVE ALL RUBBISH, TOOLS, SCAFFOLDING AND SURPLUS MATERIALS AND LEAVE THE JOB IN A BROOM-CLEAN CONDITION. ALL FIXTURES, EQUIPMENT, GLAZING, FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.

18. STORAGE OF MATERIALS: THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR STORING THE MATERIAL ON THE SITE ACCORDING TO MATERIAL SUPPLIERS' OR MANUFACTURERS' INSTRUCTIONS. MATERIALS SHALL BE KEPT SECURE AND PROTECTED FROM MOISTURE, PESTS AND VANDALS. ANY LOSS ARISING OUT OF MATERIALS STORED AT THE SITE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR OR SUBCONTRACTOR WHO STORED THE LOST OR DAMAGED MATERIAL.

ROUGH CARPENTRY:

1. FRAMING:
   A. BLOCKING AND BRIDGING:
      (1) STUD WALLS: PER APPLICABLE BUILDING CODE. FULL HEIGHT WALLS SHALL HAVE CONTINUOUS STUDS FROM BOTTOM TO TOP PLATE.
      (2) CEILING JOISTS: PER APPLICABLE BUILDING CODE. USE SOLID BRIDGING.
      (3) BACKING: PROVIDE SOLID BACKING AT ALL PENDANT OR SURFACE MOUNTED ELECTRICAL FIXTURES, RAILS, GRAB BARS, BATH ACCESSORIES, ETC.
   B. FIRE STOPPING: PER APPLICABLE BUILDING CODE
   C. STUD WALLS: PER APPLICABLE BUILDING CODE. ALL STUDS HAVE FULL BEARING ON PLATE. ALL STUDS TO BE AT 16" O.C. UNLESS NOTED OTHERWISE. STUDS TO BE SIZED PER REQUIREMENTS OF CODE.
   D. USE CONTINUOUS, FULL HEIGHT STUDS IN ACCORDANCE WITH THE HIGHEST STANDARD OF CONSTRUCTION AND FRAMING PRACTICES.
   E. BUILT UP ROOFS, WATERPROOF BALCONY DECKS AND EXTERIOR HORIZONTAL AREAS ARE TO BE FRAMED WITH SLOPE TO ENSURE WATER DRAINAGE WITHOUT PONDING.
   F. PROVIDE CRICKETS AS INDICATED AND AS NECESSARY FOR PROPER WATER DRAINAGE AND TO REDIRECT CHANNELED OR RUN- OFF WATER AWAY FROM VERTICAL SURFACES.
   G. PROVIDE BLOCKING WHERE REQUIRED TO PROVIDE UNIFORM SURFACE WHERE FLUSH JOISTS AND BEAMS ARE DIFFERENT DEPTHS.
   H. USE MITERED JOINT AT FASCIA SPLICES.
   I. UNLESS OTHERWISE NOTED, ALL DIMENSIONS TO EXTERIOR WALLS ARE GIVEN FROM INSIDE OR OUTSIDE FACE OF ROUGH FRAMING. ALL DIMENSIONS TO INTERIOR PARTITIONS ARE GIVEN FROM FACE OF ROUGH FRAMING.
   J. ALIGN TOP OF ALL ADJACENT WINDOW AND DOOR HEADERS, UNLESS NOTED OTHERWISE ON THE WINDOW SCHEDULE.

2. TRUSSES & JOISTS:
   A. THE GENERAL CONTRACTOR SHALL HAVE CODES DEPARTMENT APPROVED TRUSS OR JOIST PLANS ON THE JOB SITE. THE TRUSS OR JOIST MANUFACTURER SHALL SUBMIT CALCULATIONS, SHOP DRAWINGS, DETAILS, BRIDGING AND ERECTION BRACING SIGNED BY A REGISTERED ENGINEER TO THE BUILDING DEPARTMENT AND STRUCTURAL ENGINEER FOR THEIR REVIEW.
   B. TRUSS OR JOIST MANUFACTURERS SHALL PROVIDE MEMBERS OF ADEQUATE BEARING AREA IN SUCH A WIDTH TO INSURE AGAINST OVER- STRESSING OF SUPPORTING TIMBER, MULTIPLE JOISTS, GIRDERS AND PLATES OR PROVIDE BEARING PLATES AND DETAILS TO DO THE SAME.
   C. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE TRUSS OR JOIST MANUFACTURER, FRAMING, ELECTRICAL, PLUMBING AND MECHANICAL CONTRACTORS AT THE FIRE PROTECTED AREAS TO MAINTAIN REQUIRED FIRE PROTECTION WITHOUT PENETRATIONS UNLESS ALLOWED BY CODE AND LOCAL JURISDICTION.

FINISH CARPENTRY:

1. SCOPE:
   A. FURNISH AND INSTALL ALL FINISH CARPENTRY COMPLETE, INCLUDING TRIM, DOOR FRAMES, PANELING AND SHELVING.
   B. INSTALLATION OF FINISH HARDWARE, BATH ACCESSORIES, CABINET PULLS, ETC.

2. WORKMANSHIP:
   A. ALL JOINTS SHALL BE TIGHT AND TRUE AND SECURELY FASTENED. CORNERS SHALL BE NEATLY MITERED, BUTTED OR COPED, WITH NAILS SET AND SURFACES FREE OF TOOL MARKS.
   B. WOOD WORK SHALL BE ACCURATELY SCRIBED TO FIT ADJOINING SURFACES.
   C. ALL WORK SHALL BE MACHINED OR HAND SANDED, SHARP EDGES AND SPLINTERS REMOVED, AND COMPLETELY PREPARED FOR FINISH.
   D. FULL LENGTH CONTINUOUS BOARDS SHALL BE USED WHENEVER APPLICABLE OR SPECIFICALLY NOTED.

3. FITTING AND HANGING DOORS:
   A. EACH DOOR SHALL BE ACCURATELY CUT, TRIMMED AND FITTED TO ITS RESPECTIVE FRAME AND HARDWARE WITH DUE ALLOWANCE FOR PAINTERS FINISH.
   B. CLEARANCE AT THE LOCK AND HANGING STILES AND AT THE TOP SHALL NOT EXCEED 1/8". CLEARANCE AT THE BOTTOM SHALL BE ADJUSTED FOR FINISH FLOOR COVERING.
   C. LOCK STILE EDGES SHALL BE BEVELED.
   D. DOOR SHALL OPERATE FREELY, BUT NOT LOOSELY WITHOUT STICKING OR BINDING, WITHOUT HINGE BOUND CONDITIONS AND WITH ALL HARDWARE PROPERLY ADJUSTED AND FUNCTIONING.

4. MATERIALS:
   A. DOOR FRAMES: FRAMES SHALL BE SET PLUMB AND TRUE, RIGIDLY SECURED, AND PROTECTED DURING THE COURSE OF CONSTRUCTION.
   B. DOOR STOPS AND CASING: SIZE AND PROFILE AS SELECTED BY OWNER/CLIENT.
   C. EXTERIOR TRIM: REFER TO DRAWINGS FOR EXTERIOR TRIM MATERIAL AND SIZES. FOR WOOD, MEDIUM DENSITY OVERLAY (MDO) OR FIBER CEMENT, ALL CUT SIDES/ FACES/EDGES MUST BE PRIMED AND PAINTED. IF SPECIFIC PRODUCT BRAND IS SPECIFIED ON DRAWINGS, SEE MANUFACTURERS SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.
   D. INTERIOR TRIM:
      (1) INTERIOR RAILS: CLEAR MATERIAL, FINISHED TO MATCH CASEWORK.
      (2) WINDOW TRIM: 1X CLEAR WOOD TO MATCH CASEWORK OR AS NOTED IN DRAWINGS (VERIFY WITH OWNER/CLIENT)
      (3) BASE BOARDS: AS NOTED IN DRAWINGS OR APPROVED BY OWNER/CLIENT

INSULATION:

1. INSTALLATION:
   A. THERMAL INSULATION: INSTALL INSULATION BETWEEN JOISTS, BELOW ALL ROOF SURFACES AND AREAS INCLUDING ANY VERTICAL WALL AREAS SEPARATING LIVING SPACES FROM UNCONDITIONED SPACE AND BETWEEN STUDS AT ALL EXTERIOR WALLS. INSULATION SHALL BE SECURELY INSTALLED AND TIGHTLY FITTED WITHOUT COMPRESSING THE NORMAL LOFT THICKNESS. PROVIDE INSULATION STOPS/BAFFLES AS REQUIRED TO PREVENT OBSTRUCTION OF VENTS.
   B. SOUND INSULATION: INSTALL INSULATION BETWEEN STUDS, SECURELY AND TIGHTLY FITTED AT WALLS AS INDICATED ON DRAWINGS.
   C. PLUMBING INSULATION: ALL DOMESTIC HOT WATER PIPING SHALL HAVE R-4 INSULATION. INSULATION SHALL BE PROPERLY INSTALLED ON ALL PLUMBING ELBOWS TO ADEQUATELY INSULATE THE 90 DEGREE BEND.
   D. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR STORING THE MATERIALS ON THE SITE ACCORDING TO MATERIAL SUPPLIER'S OR MANUFACTURERS' INSTRUCTIONS. THE MATERIALS SHALL BE KEPT SECURE AND PROTECTED FROM MOISTURE.

2. MATERIALS:
   A. AT A MINIMUM, ALL INSULATION SPECIFIED FOR THIS HOUSE MEETS OR EXCEEDS THE R-VALUE REQUIREMENTS LISTED IN THE ADOPTED INTERNATIONAL ENERGY CONSERVATION CODE.
   B. A PRE-DRYWALL THERMAL BYPASS INSPECTION MUST BE PERFORMED BY AN ENERGY RATER IF REQUIRED BY THE OWNER.

THERMAL + MOISTURE PROTECTION:

1. FOUNDATIONS & CONCRETE SLABS:
   A. PROVIDE ADEQUATE DRAINAGE AWAY FROM WALLS AND FOUNDATIONS.
   B. SEAL ALL PLUMBING, ELECTRICAL AND OTHER PENETRATIONS OF WALLS AND FLOORS AND SEAL JOINTS.
   C. SLOPE FINAL GRADE AWAY FROM FOUNDATION.
   D. PROVIDE CAPILLARY BREAK AT ALL CONCRETE SLABS.
   E. EXTERIOR SURFACE OF BELOW GRADE WALLS ARE TO BE WATERPROOFED.
   F. SLOPE GARAGE FLOOR TOWARDS MAIN VEHICLE ENTRY.
   G. FOUNDATION CONTINUOUS FOOTING DRAIN, STONE COVERED WITH FILTER FABRIC, DRAINED TO DAYLIGHT.
   H. BASEMENT FOUNDATION WALLS USE POROUS BACKFILL MATERIAL.
   I. PROVIDE CONTINUOUS CRUSHED STONE UNDER FOOTINGS.
   J. PROVIDE RIGID INSULATION AS SPECIFIED DIRECTLY UNDER SLAB OF CONDITIONED SPACES.
   K. PROVIDE A CONTINUOUS & SEALED VAPOR BARRIER UNDER ALL CONCRETE BUILDING SLABS

2. WALLS:
   A. INSTALL WINDOWS, DOORS, EXTERIOR CLADDING, FLASHINGS AND SEALANTS PRE MANUFACTURER'S RECOMMENDATIONS. PROVIDE TEMPERED GLASS & LATCHES AS REQUIRED BY CODES.
   B. ALL DECK LEDGERS MUST BE PRESSURE TREATED MATERIAL.
   C. ALL PENETRATIONS THAT PASS THROUGH EXTERIOR CLADDING INTO STRUCTURE MUST BE FULLY SEALED.
   D. INSTALL MATERIALS WITH PROPER DETAILING TO CONTROL DEGRADATION FROM MOISTURE.

3. ROOFS:
   A. ICE FLASHING OVER SHEATHING AT EAVES.
   B. METAL DRIP EDGE AT ALL EXPOSED ROOF DECKING
   C. BITUMINOUS MEMBRANE AT ALL EAVES, VALLEYS AND PENETRATIONS.
   D. STEP FLASHING AT ALL ROOF/WALL INTERSECTIONS AND TERMINATED WITH 'KICKOUT' FLASHING
   E. INSTALLED SYSTEM FOR DIVERTING ROOF WATER FROM HOUSE (E.G. GUTTERS)
   F. NO. 30 ROOF FELT UNDERLAYMENT MINIMUM UNLESS ICE AND WATER SHIELD IS NOTED
   G. REDUCE ICE DAMS: NO NON-AIRTIGHT RECESSED LIGHT FIXTURES IN INSULATED CEILINGS.
   H. ROOF INSULATION AS REQUIRED BY THE OWNER TO MEET CODES.

4. WET ROOMS:
   A. INSTALL DRAINS OR DRAIN PANS TO CAPTURE LEAKS UNDER WATER HEATERS OR USE TANKLESS WATER HEATERS.
   B. PROPERLY INSTALL WATER HEATER AND WASHER DRAIN PANS.
   C. USE HIGHLY DURABLE MATERIALS IN WET AREAS.
   D. USE NON-PAPER FACED BACKER BOARD ON WALLS IN TUB, SHOWER AND SPA AREAS

5. AIR INFILTRATION:
   A. INSTALL 'IC' AIRTIGHT RATED RECESSED LIGHTS IN INSULATED CEILINGS.
   B. COMPLETE AIR BARRIER BETWEEN ATTIC AND CONDITIONED SPACE AND ALL PENETRATIONS SEALED.
   C. AIR FILTER HOUSINGS MUST BE AIRTIGHT TO PREVENT BYPASS OR LEAKAGE.
   D. AIR SEAL VENTILATION DUCTWORK.

6. INTERSTITIAL CONDENSATION:
   A. CLOTHES DRYERS VENTED OUTDOORS.
   B. INSULATE ALL COLD WATER PIPES AND AVOID PLUMBING IN EXTERIOR WALLS
   C. >1 PERM FINISH ON INSIDE OF EXTERIOR WALLS (ONLY REQ. IN HOT/HUMID & MIXED/HUMID CLIMATES)

7. HEAT LOSS:
   A. INSULATE ALL VENTILATION EXHAUST DUCTWORK (MIN R-8) OUTSIDE OF THE INSULATED ENVELOPE.
   B. R-5 SLAB EDGE INSULATION BREAK AT FOUNDATION WALL INTERSECTION & R-10 SLAB EDGE INSULATION OUTWARD OF ANY WALK-OUT SLAB EDGE

8. ULTRAVIOLET RADIATION:
   A. INSTALL MATERIALS WITH PROPER DETAILING TO CONTROL DEGRADATION FROM THE SUN.

9. OTHER:
   A. MINIMUM 25-YR. EXPECTED LIFETIME ROOF WARRANTY
   B. DEFINE 'PROPER REFRIGERANT CHARGE' TO BE WITHIN 10% OF MANUFACTURER RECOMMENDATIONS
   C. MECHANICAL EQUIPMENT MUST BE ACCESSIBLE FOR SERVICE, INCLUDING AC CONDENSATE DRAIN PAN AND TRAP.
   D. USE RIGID DUCT OR OTHER METHODS TO KEEP FAN BACK-PRESSURE BELOW .02" FOR EOV SYSTEMS

HEATING, VENTILATION AND AIR CONDITIONING:

1. SCOPE:
   A. SUPPLY ALL LABOR,TRANSPORT. MATERIAL ,ETC., FOR INSTALLATION OF A COMPLETE HEATING AND AIR CONDITIONING SYSTEM TO OPERATE ACCORDING TO ALL APPLICABLE STANDARDS AND BEST PRACTICES OF THE TRADE INCLUDING, BUT NOT LIMITED TO: MECHANICAL UNITS, DUCTS, REGISTERS, CATWALKS, GRILLES, BOOTS, VENT PIPES, DAMPERS, COMBUSTION AIR, FANS, VENTILATORS, REFRIGERANT, ETC. ALL MATERIALS, WORK, ETC. TO COMPLY WITH ALL REQUIREMENTS OF ALL LEGALLY CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION INCLUDING ALL COUNTY AND STATE ORDINANCES. FURNISH AND INSTALL ALL EQUIPMENT COMPLETE AND OPERABLE. VERIFY ALL MATERIAL AND INSTALLATION REQUIREMENTS AND LIMITATIONS AT FIRE AND SOUND ASSEMBLIES.
   B. PROVIDE RUBBERIZED ASPHALTIC MEMBRANE MATERIALS AT ALL PENETRATIONS OF THE WATER-RESISTIVE MEMBRANE AT EXTERIOR WALLS.

2. INSTALLATION:
   A. PROVIDE REQUIRED CLEARANCES FOR DUCT WORK AND TO COMBUSTIBLES.
   B. PROVIDE A PERMANENT ELECTRICAL OUTLET AND SWITCHED LIGHT FIXTURE WHEREVER EQUIPMENT IS INSTALLED.
   C. NO ALTERATIONS TO THE STRUCTURAL FRAME, DIAPHRAGMS, CONNECTIONS OR SHEAR PANELS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER.
   D. ALL COMBUSTION EQUIPMENT SHALL BE DIRECTLY VENTED WITH AN OUTDOOR COMBUSTION AIR SUPPLY.
   E. ALL PENETRATIONS OF FIRE ASSEMBLIES SHALL MEET THE REQUIREMENTS OF THE BUILDING CODE AND SECTION 7D
   F. ALL HVAC EQUIPMENT SHALL BE APPROVED PRIOR TO INSTALLATION PER NATIONALLY RECOGNIZED STANDARDS AND EVIDENCED BY LISTING AND LABEL OF AN APPROVED AGENCY.
   G. COMBUSTION AIR FROM OUTSIDE SHALL BE SUPPLIED TO ALL FUEL BURNING APPLIANCES.
   H. INSTALL AIR FILTERS WITH A MINIMUM EFFICIENCY REPORTING VALUE (MERV) > OR EQUAL TO 10 AND ENSURE THAT AIR HANDLERS CAN MAINTAIN ADEQUATE PRESSURE AND AIR FLOW. AIR FILTER HOUSINGS MUST BE AIR TIGHT TO PREVENT BYPASS OR LEAKAGE.
   I. ALL FIXED APPLIANCES ARE REQUIRED TO BE SECURELY FASTENED IN PLACE. PROVIDE SEISMIC BRACING OR ANCHOR UNIT TO PLATFORM WHERE APPROPRIATE.
   J. INSTALL CENTRALIZED HVAC SYSTEM EQUIPPED WITH ADDITIONAL CONTROLS TO OPERATE IN DEHUMIDIFIED MODE.
   K. CONDENSOR PAD OR COMPRESSOR FROM GROUND MUST NOT BE LESS THAN 3" ABOVE GRADE.
   L. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR STORING THE MATERIALS ON THE SITE ACCORDING TO MATERIAL SUPPLIERS' OR MANUFACTURERS' INSTRUCTIONS. THE MATERIALS SHALL BE KEPT SECURE AND PROTECTED FROM MOISTURE.

ELECTRICAL:

1. SCOPE:
   A. SUPPLY ALL LABOR,TRANSPORTATION, MATERIALS ,ETC., FOR INSTALLATION OF COMPLETE ELECTRICAL SYSTEM TO OPERATE ACCORDING TO THE BEST PRACTICES OF THE TRADE AND INCLUDING, BUT NOT LIMITED TO: FIXTURES, APPLIANCES, WIRING, SWITCHES, OUTLETS, TELEVISION JACKS, SERVICES, GROUNDS, TEMPORARY POWER, JUNCTION BOXES, CONDUIT, SUB-PANELS, ETC.
   ALL MATERIALS, WORK, ETC. TO COMPLY WITH ALL REQUIREMENTS OF ALL
   LEGALLY CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION INCLUDING ALL COUNTY AND STATE ORDINANCES. FURNISH AND INSTALL ALL ELECTRICAL WORK COMPLETE AND OPERABLE. VERIFY ALL MATERIAL AND INSTALLATION REQUIREMENTS AND LIMITATIONS AT FIRE AND SOUND ASSEMBLIES.
   B. PROVIDE RUBBERIZED ASPHALTIC MEMBRANE MATERIALS AT ALL PENETRATIONS OF THE WATER-RESISTIVE MEMBRANE AT EXTERIOR WALLS.

2. INSTALLATION:
   A. ELECTRICAL SYSTEM INSTALLED ACCORDING TO LATEST VERSION OF N.E.C. OR LOCAL CODE, WHICHEVER IS MORE STRINGENT.
   B. PROVIDE SEPARATE CIRCUITS EACH FRO DISHWASHER, GARBAGE DISPOSAL, REFRIGERATOR, WASHER, DRYER, F.A.U. AND MICROWAVE OVEN.
   C. SWITCHED OUTLETS SHALL BE 1/2 HOT
   D. BATHROOMS AND KITCHEN FANS: INSTALL LOCAL EXHAUST SYSTEMS IN ALL BATHROOMS AND IN THE KITCHEN TO MEET THE CODES.
   E. FOR EVERY BATHROOM EXHAUST FAN, INSTALL AN OCCUPANCY SENSOR OR AN AUTOMATIC HUMIDISTAT CONTROLLER OR AN AUTOMATIC TIMER TO OPERATE THE FAN FOR A TIMED INTERVAL AFTER OCCUPANT LEAVES THE ROOM OR A CONTINUOUSLY OPERATING EXHAUST FAN, UNLESS A CENTRAL EXHAUST SYSTEM IS USED.
   F. ALL FIXTURES, OUTLETS, RECEPTACLES, ETC. PENETRATING FIRE ASSEMBLIES SHALL BE RATED AND INSTALLED TO MEET THE REQUIREMENTS OF THE BUILDING CODE. OUTLET BOXES ON OPPOSITE SIDES OF FIRE ASSEMBLY WALLS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF AT LEAST 24".
   G. ALL EQUIPMENT INSTALLED OUTDOORS AND EXPOSED TO WEATHER SHALL BE WEATHERPROOF.
   H. PROVIDE GROUND FAULT CIRCUIT INTERRUPTERS, G.F.C.I., AT ALL BATHS,
   GARAGES, OUTDOOR AND WET AREA OUTLETS. ALL BRANCH CIRCUITS THAT SUPPLY 125 - VOLT SINGLE - PHASE, 15 AND 20 AMPERE RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC FAULT CIRCUIT INTERRUPTER(S).
   I. EACH CONDUCTOR OF EVERY SYSTEM SHALL BE PERMANENTLY TAGGED IN COMPLIANCE WITH O.S.H.A
   J. THE COMPLETE ELECTRICAL SYSTEM SHALL BE GROUNDED IN ACCORDANCE
   WITH THE PRESENTLY ADOPTED EDITION OF THE N.E.C. ART. #250. PROPER GROUND REQUIRES #4 COPPER WIRE, 20'-0" LONG, EMBEDDED INTO CONCRETE AND PROVIDE BOND TO GAS OR WATER LINE.
   K. USE ONLY COMPETENT AND SKILLED PERSONNEL AND PERFORM ALL WORK, INCLUDING AESTHETIC AS WALL AS ELECTRICAL AND MECHANICAL ASPECTS TO STANDARDS CONSISTENT WITH THE BEST PRACTICES OF THE TRADE.
   L. NO ALTERATIONS TO THE STRUCTURAL FRAME, DIAPHRAGMS, CONNECTIONS OR SHEAR PANELS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER.

PLUMBING:

1. SCOPE:
   A. SUPPLY ALL LABOR,TRANSPORT. MATERIAL ,ETC., FOR INSTALLATION OF A COMPLETE PLUMBING SYSTEM TO OPERATE ACCORDING TO ALL APPLICABLE STANDARDS AND BEST PRACTICES OF THE TRADE INCLUDING, BUT NOT LIMITED TO: FIXTURES, HOT AND COLD WATER PIPING, EXHAUST FLUES, COMBUSTION AIR, GAS PIPING, LOG LIGHTERS, DRAINS, SOIL AND VENT PIPING, HOT WATER HEATERS, PIPE INSULATION, METERS, VALVES, VAULTS, ETC. ALL MATERIALS, WORK, ETC. TO COMPLY WITH ALL REQUIREMENTS OF ALL LEGALLY CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION INCLUDING ALL COUNTY AND STATE ORDINANCES. FURNISH AND INSTALL ALL PLUMBING WORK COMPLETE AND OPERABLE, INCLUDING TRENCHING AND BACKFILLING. VERIFY ALL MATERIAL AND INSTALLATION REQUIREMENTS AND LIMITATIONS AT FIRE AND SOUND ASSEMBLIES.
   B. PROVIDE RUBBERIZED ASPHALTIC MEMBRANE MATERIALS AT ALL PENETRATIONS OF THE WATER-RESISTIVE MEMBRANE AT EXTERIOR WALLS.
   C. PROTECT PIPES FROM FREEZING. PLACE ALL WATER LINES AND WASTE LINES WITHIN 'CONDITIONED SPACE' AND WHERE APPROVED THERMAL INSULATION IS BETWEEN 'LINE' AND UNHEATED AREA.

2. INSTALLATION:
   A. ROUGHING- IN SHALL BE COMPLETED, TESTED AND INSPECTED AS REQUIRED BY CODE BEFORE CLOSING-IN WITH OTHER WORK.
   B. OPENINGS IN PIPES, DRAINS AND FITTINGS SHALL BE KEPT COVERED DURING CONSTRUCTION.
   C. PROVIDE SOLID BACKING FOR SECURING FIXTURES. ALL FIXTURES TO BE SET LEVEL.
   D. PROVIDE CLEANOUTS AT ENDS OF ALL LINES AND WHERE REQUIRED BY CODE.
   E. COPPER TUBING SHALL BE FULLY SWEATED TO FITTINGS.
   F. BLACK IRON AND GALVANIZED STEEL PIPE JOINTS SHALL BE MADE WITH APPROVED PIPE THREAD COMPOUND.
   G. PROVIDE SHUT-OFF VALVES AT EACH FIXTURE.
   H. PROVIDE CONDENSATE LINE AT EACH F.A.U. LOCATION. PROVIDE PRIMARY AND SECONDARY CONDENSATE LINE TO AN APPROVED DRAINAGE RECEPTACLE AT ATTIC F.A.U. LOCATIONS. INSTALL CONDENSATE LINE FOR EACH PIECE OF CONDENSATING HVAC EQUIPMENT PER MANUFACTURER'S SPECIFICATIONS.
   I. PROVIDE COLD WATER LINE TO REFRIGERATOR SPACE IN RECESSED BOX OR IN CABINET IMMEDIATELY ADJACENT TO REFRIGERATOR SPACE.
   J. ISOLATE ALL PIPING FROM STRUCTURE WITH FIBER PADDING AND AT ALL PENETRATIONS WITH ELASTIC CAULKING OR SOUND ISOLATORS.
   K. ALL VENTS TO LEAD TO OUTSIDE AIR, WHERE POSSIBLE, LOCATE ALL ROOF VENTS TO REAR SIDE OR RIDGES. VENTS TO TERMINATE A MINIMUM OF 3'-0" FROM WINDOWS.
   L. ALL HORIZONTAL A.B.S. PIPING SHALL BE HUNG WITH APPROVED HANGERS AT 4'-0" ON CENTER MINIMUM AND SPACED TO PERMIT EXPANSION AND CONTRACTION WITHOUT HITTING ADJOINING PIPE. VERTICAL PIPING SHALL BE SUPPORTED AT 8'-0" ON CENTER WITH WROUGHT STEEL 'U' STRAPS SECURELY FASTENED TO BUILDING STRUCTURE.
   M. PROVIDE AIR CHAMBERS AT LAVATORY, DISHWASHER AND CLOTHES WASHER WATER CONNECTIONS. SET VERTICALLY AS CLOSE TO FIXTURE AS POSSIBLE.
   N. PROVIDE 3/4" TEE FOR IRRIGATION AT MAIN SHUT-OFF.
   O. PROVIDE WATER HEATER WITH PRESSURE/TEMPERATURE RELIEF VALVE AND PAN AND DRAIN LINE PIPED TO THE EXTERIOR OF THE BUILDING.
   P. ALL COMBUSTION EQUIPMENT SHALL BE DIRECTLY VENTED.
   Q. NO ALTERATIONS TO THE STRUCTURAL FRAME, DIAPHRAGMS, CONNECTIONS OR SHEAR PANELS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER.
   R. PROVIDE NON-REMOVABLE BACKFLOW DEVICE ON ALL EXTERIOR HOSE BIBS.
   S. A 12" MINIMUM ACCESS PANEL TO BATHTUB TRAP CONNECTION IS REQUIRED.
   T. PROVIDE PRESSURE REGULATOR FOR WATER SERVICE WHERE PRESSURE EXCEEDS 80 PSI
   U. PROVIDE DRAIN PAN UNDER WASHER WITH DRAIN IN LAUNDRY ROOM AND SHUT OFF VALVE IF WASHER IS LOCATED ABOVE LIVING SPACE
   V. PROVIDE SOLID METAL PIPE FOR DRYER VENT TO EXTERIOR. DO NOT INSTALL SCREEN ON DRYER VENT. PROVIDE ENERGY EFFICIENT DRYER VENT (WITH FLOATING SHUTTLE)

GRAPHIC SYMBOL LEGEND

- S — SWITCH
- S3 — SWITCH - THREE WAY
- S4 — SWITCH - FOUR WAY
- SD — DIMMER SWITCH
- ELEC. OUTLET - DUPLEX
- ELEC. OUTLET - FLOOR DUPLEX
- GFI — ELEC. OUTLET - GFI DUPLEX
- WP GFI — ELEC. OUTLET - WATERPROOF GFI DUPLEX
- 220 — ELEC. OUTLET - 220 VOLT
- LIGHT - RECESSED
- LIGHT - RECESSED - DIRECTIONAL
- LIGHT - WALL MOUNTED
- LIGHT - CEILING - FLUSH/SEMI-FLUSH
- LIGHT - PENDANT
- CEILING FAN
- CEILING FAN WITH LIGHT KIT
- LIGHT - CHANDELIER
- EF — EXHAUST FAN
- EF LIGHT / EF LIGHT — EXHAUST FAN AND LIGHT COMBO - ROUND OR RECTANGULAR
- WALL — LIGHT - 48" FLUORESCENT STRIP - WALL MOUNTED
- CLG — LIGHT - 48" FLUORESCENT STRIP - CEILING MOUNTED
- TV OUTLET - 42" A.F.F.
- GARAGE DOOR CONTROL PANEL
- T — THERMOSTAT
- HVAC SUPPLY GRILLE - CEILING
- HVAC SUPPLY GRILLE - FLOOR
- SD — SMOKE DETECTOR
- DOUBLE HEAD "EAVE LIGHT"
- SP — SPEAKER
- VC — VOLUME CONTROL SWITCH
- M.S. — MOTION SENSOR
- H.B. — HOSE BIB

ABBREVIATIONS LEGEND

A.F.F.	ABOVE FINISHED FLOOR	GWB	GYPSUM WALL BOARD
CONC.	CONCRETE	R.O.	ROUGH OPENING
CMU	CONCRETE MASONRY UNIT	B.O.	BOTTOM OF
DS	DOWNSPOUT	TBD	TO BE DETERMINED
HVAC	HEATING AND AIR CONDITIONING	WP	WATERPROOF / WET LOCATION
T.O.	TOP OF	PTD.	PAINTED
WH	WATER HEATER	PT	PRESSURE TREATED
GALV	GALVANIZED		
MTL.	METAL		
H.M.	HOLLOW METAL		

Building Ideas*
Architecture Interior Design Planning
David Baird, Architect
NCARB, LEED-AP
5411 Centennial Blvd.
Nashville, TN 37209
T 615-585-9410
dbaird@building-ideas.net

Designed For:
E3 CONSTRUCTION SERVICES, LLC

26TH AVENUE TOWNHOMES
BUILDING 3
2 UNIT TOWNHOMES

DAVID J. BAIRD REGISTERED ARCHITECT AGRICULTURE COMMERCE TENNESSEE NO. 102613 1.29.2019

REVISIONS		
NUM.	DESCRIPTION	DATE

Project Phase:
CONSTRUCTION DOCUMENTS

Project Number: 2600
Date: 1.29.2019

NOTES & LEGENDS

PRINT FULL SIZE @ 30" X 42"

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UNIT 7 FIRST FLOOR DOOR SCHEDULE			
NUM.	TYPE	WIDTH	HEIGHT
100A	EXTERIOR ALUM. CLAD	3' - 0"	8' - 0"
101A	SOLID CORE FLUSH	2' - 8"	6' - 8"
102A	SOLID CORE FLUSH	2' - 6"	6' - 8"
103A	POCKET-SOLID CORE FLUSH	2' - 6"	6' - 8"
104A	RATED-SOLID CORE FLUSH	2' - 8"	6' - 8"
105A	INSULATED MTL. GARAGE DOOR & FRAME	16' - 0"	8' - 0"

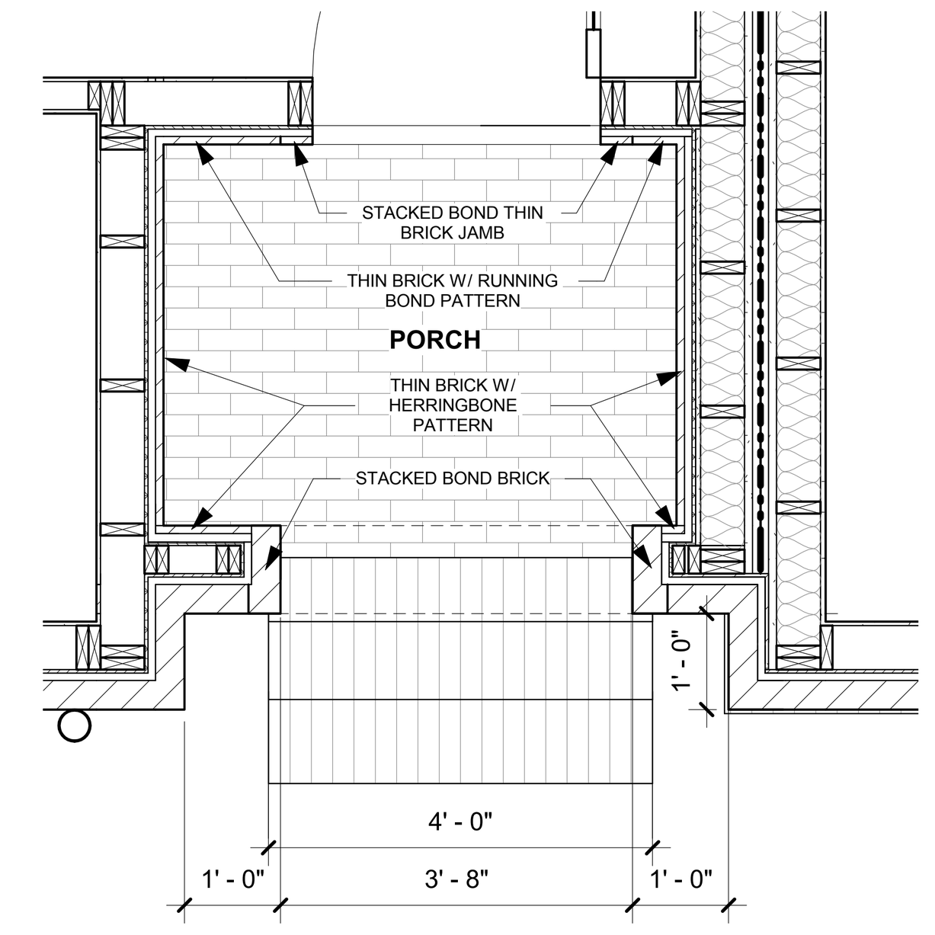
UNIT 8 FIRST FLOOR DOOR SCHEDULE			
NUM	TYPE	WIDTH	HEIGHT
100C	EXTERIOR ALUM. CLAD DOOR	3' - 0"	8' - 0"
101C	SOLID CORE FLUSH	2' - 8"	6' - 8"
102C	SOLID CORE FLUSH	2' - 6"	6' - 8"
103C	POCKET-SOLID CORE FLUSH	2' - 6"	6' - 8"
104C	RATED-SOLID CORE FLUSH	2' - 8"	6' - 8"
105C	INSULATED MTL. GARAGE DOOR & FRAME	16' - 0"	8' - 0"

UNIT 7 FIRST FLOOR WINDOW SCHEDULE				
NUM.	TYPE	WIDTH	HEIGHT	HEAD HEIGHT
100A	DOUBLE HUNG	3' - 4"	6' - 0"	7' - 0"
101A	DOUBLE HUNG	3' - 4"	6' - 0"	7' - 0"
102A	FIXED	3' - 0"	2' - 0"	7' - 0"
103A	FIXED	3' - 0"	2' - 0"	7' - 0"
104A	FIXED	3' - 0"	2' - 0"	7' - 0"
105A	DOUBLE HUNG	2' - 0"	4' - 0"	7' - 0"

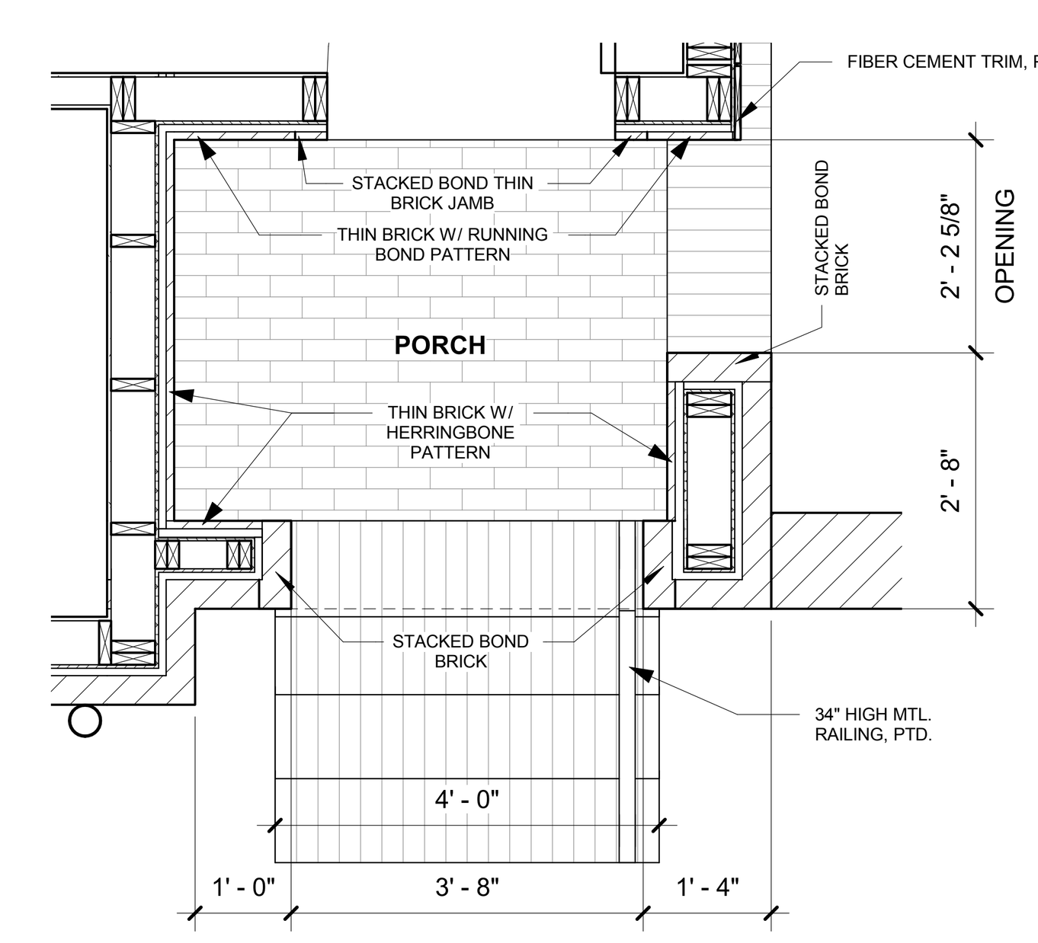
UNIT 8 FIRST FLOOR WINDOW SCHEDULE				
NUM.	TYPE	WIDTH	HEIGHT	HEAD HEIGHT
100C	DOUBLE HUNG	3' - 4"	6' - 0"	7' - 0"
101C	DOUBLE HUNG	3' - 4"	6' - 0"	7' - 0"
102C	DOUBLE HUNG	3' - 0"	4' - 0"	8' - 0"
103C	DOUBLE HUNG	3' - 0"	4' - 0"	8' - 0"

NOTES:
1. WINDOW SPECIFICATIONS: OWNER TO VERIFY WINDOW SIZES FOR EGRESS, TEMPERED GLASS REQUIREMENTS AND SAFETY LOCK REQUIREMENTS WITH THE MANUFACTURER SELECTED TO SUPPLY WINDOWS.

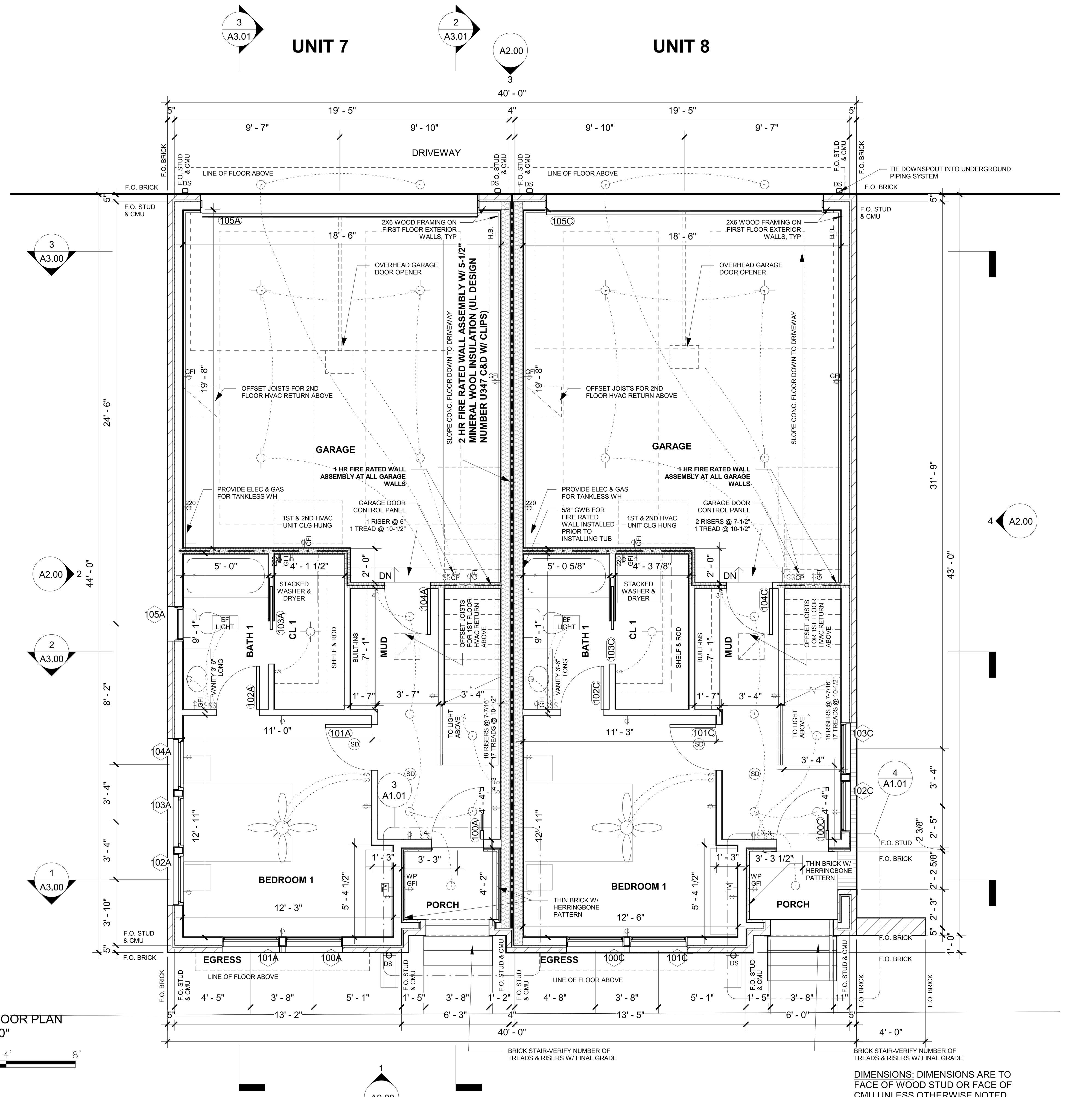
2. WINDOW SIZES: THE SIZES LISTED ARE GENERIC. CONFIRM THE CLOSEST WINDOW SIZE WITH THE BUILDER PRIOR TO ORDERING.



3 ENLARGED PLAN OF UNIT 7 PORCH
1/2" = 1'-0"



4 ENLARGED PLAN OF UNIT 8 PORCH
1/2" = 1'-0"



UNIT 7
UNIT 8
DRIVEWAY
LINE OF FLOOR ABOVE
TIE DOWNSPOUT INTO UNDERGROUND PIPING SYSTEM
F.O. BRICK
F.O. STUD & CMU
2X6 WOOD FRAMING ON FIRST FLOOR EXTERIOR WALLS, TYP
OVERHEAD GARAGE DOOR OPENER
2 HR FIRE RATED WALL ASSEMBLY W/ 5-1/2" MINERAL WOOL INSULATION (UL DESIGN NUMBER U347 C&D W/ CLIPS)
SLOPE CONC. FLOOR DOWN TO DRIVEWAY
OFFSET JOISTS FOR 2ND FLOOR HVAC RETURN ABOVE
GARAGE
1 HR FIRE RATED WALL ASSEMBLY AT ALL GARAGE WALLS
PROVIDE ELEC & GAS FOR TANKLESS WH
1ST & 2ND HVAC UNIT CLG HUNG
GARAGE DOOR CONTROL PANEL
1 RISER @ 6" 1 TREAD @ 10-1/2"
2 RISERS @ 7-1/2" 1 TREAD @ 10-1/2"
5/8" GWB FOR FIRE RATED WALL INSTALLED PRIOR TO INSTALLING TUB
STACKED WASHER & DRYER
BATH 1
CL 1
MUD
BUILT-INS
SHELF & ROD
VANITY 3'-6" LONG
OFFSET JOISTS FOR 1ST FLOOR HVAC RETURN ABOVE
18 RISERS @ 7-7/16" 17 TREADS @ 10-1/2"
TO LIGHT ABOVE
BEDROOM 1
PORCH
THIN BRICK W/ HERRINGBONE PATTERN
EGRESS
BRICK STAIR-VERIFY NUMBER OF TREADS & RISERS W/ FINAL GRADE
40' - 0"
44' - 0"
43' - 0"
31' - 9"

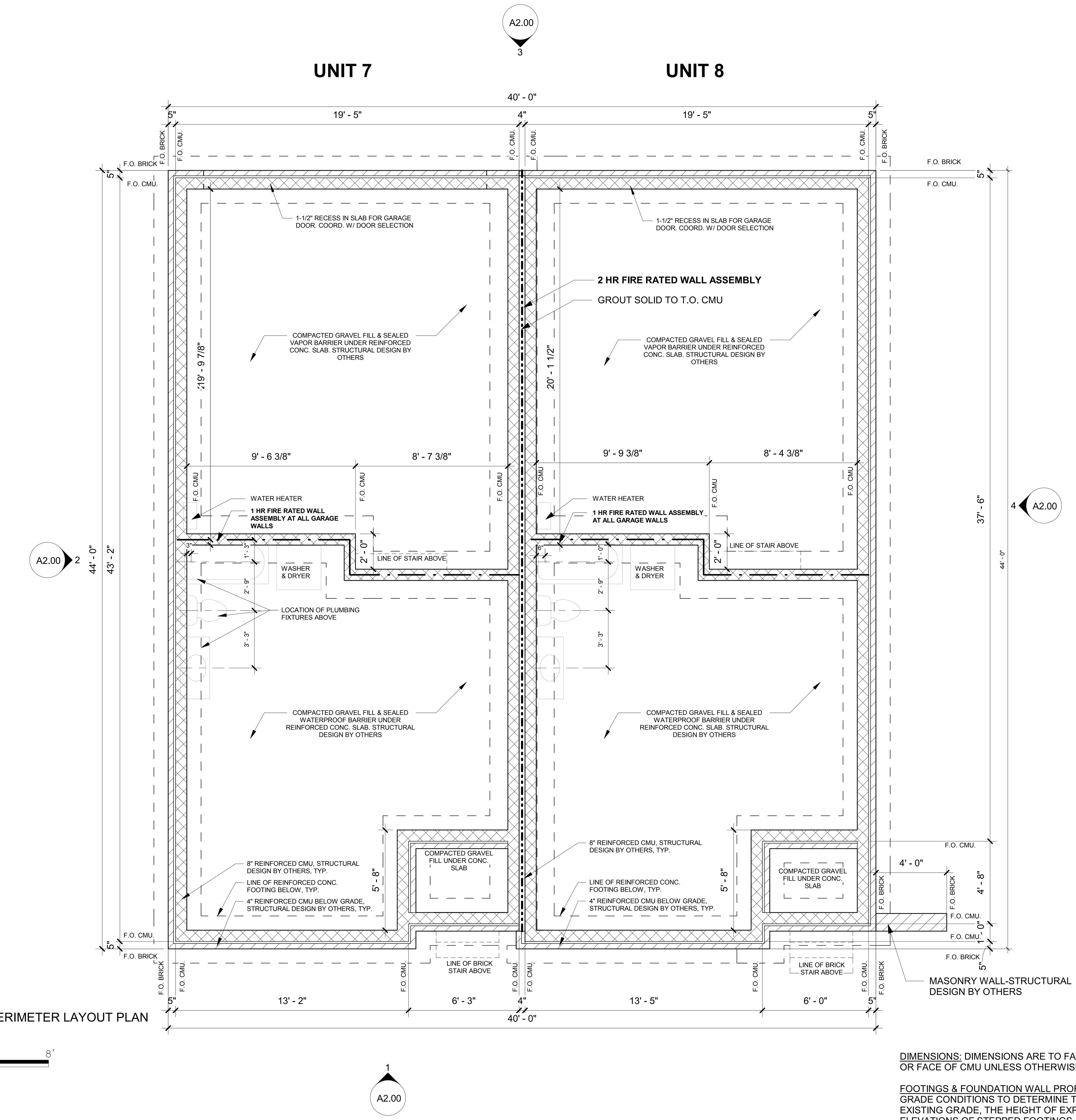
2 FIRST FLOOR PLAN
1/4" = 1'-0"

DIMENSIONS: DIMENSIONS ARE TO FACE OF WOOD STUD OR FACE OF CMU UNLESS OTHERWISE NOTED.

FIRE RATED MATERIALS: USE FIRE RETARDANT MATERIALS & RATED ASSEMBLIES WHERE REQ'D BY CODES.

WOOD FRAMING ENGINEERING: THE STRUCTURAL ENGINEERING OF ALL WOOD FRAMING, INCLUDING FLOORS, WALLS, ROOFS, POSTS, BEAMS, STAIRS, ETC. IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY WOOD FRAMING, SHEATHING, & PANEL SIZES SHOWN GRAPHICALLY OR NOTED ON THE DRAWINGS ARE ASSUMED SIZES THAT HAVE NOT BEEN ENGINEERED AND ARE FOR REFERENCE ONLY.

RAINWATER DOWNSPOUTS: COORDINATE THE DISCHARGE & CONNECTION OF DOWNSPOUTS W/ THE SURFACE & SUBSURFACE STORMWATER SYSTEM DESIGNED BY OTHERS



UNIT 7
UNIT 8
1-1/2" RECESS IN SLAB FOR GARAGE DOOR. COORD. W/ DOOR SELECTION
2 HR FIRE RATED WALL ASSEMBLY
GROUT SOLID TO T.O. CMU
COMPACTED GRAVEL FILL & SEALED VAPOR BARRIER UNDER REINFORCED CONC. SLAB. STRUCTURAL DESIGN BY OTHERS
WATER HEATER
1 HR FIRE RATED WALL ASSEMBLY AT ALL GARAGE WALLS
LINE OF STAIR ABOVE
WASHER & DRYER
LOCATION OF PLUMBING FIXTURES ABOVE
COMPACTED GRAVEL FILL & SEALED WATERPROOF BARRIER UNDER REINFORCED CONC. SLAB. STRUCTURAL DESIGN BY OTHERS
8" REINFORCED CMU, STRUCTURAL DESIGN BY OTHERS, TYP.
LINE OF REINFORCED CONC. FOOTING BELOW, TYP.
4" REINFORCED CMU BELOW GRADE, STRUCTURAL DESIGN BY OTHERS, TYP.
COMPACTED GRAVEL FILL UNDER CONC. SLAB
LINE OF BRICK STAIR ABOVE
MASONRY WALL-STRUCTURAL DESIGN BY OTHERS
F.O. CMU.
F.O. BRICK
40' - 0"
37' - 6"

1 FOUNDATION PERIMETER LAYOUT PLAN
1/4" = 1'-0"

DIMENSIONS: DIMENSIONS ARE TO FACE OF WOOD STUD OR FACE OF CMU UNLESS OTHERWISE NOTED.

FOOTINGS & FOUNDATION WALL PROFILE: VERIFY EXISTING GRADE CONDITIONS TO DETERMINE THE SLOPE OF THE EXISTING GRADE, THE HEIGHT OF EXPOSED CMU WALLS, THE ELEVATIONS OF STEPPED FOOTINGS, STRUCTURAL REQUIREMENTS, AND SURFACE & SUBSURFACE DRAINAGE REQUIREMENTS.

FIRE RATED MATERIALS: USE FIRE RETARDANT MATERIALS & RATED ASSEMBLIES WHERE REQ'D BY CODES.

WOOD FRAMING ENGINEERING: THE DESIGN OF ALL WOOD FRAMING, INCLUDING FLOORS, WALLS, ROOFS, POSTS, BEAMS, ETC. IS THE RESPONSIBILITY OF THE OWNER & CONTRACTOR. ANY WOOD FRAMING, SHEATHING & PANEL SIZES SHOWN GRAPHICALLY OR NOTED ON THE DRAWINGS ARE ASSUMED SIZES THAT HAVE NOT BEEN ENGINEERED AND ARE FOR REFERENCE ONLY.

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Building Ideas*
Architecture Interior Design Planning
David Baird, Architect
NCARB, LEED-AP
5411 Centennial Blvd.
Nashville, TN 37209
T 615-585-9410
dbaird@building-ideas.net

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BUILDING 3

2 UNIT TOWNHOMES

DAVID J. BAIRD
REGISTERED
AGRICULTURE
COMMERCE
TENNESSEE NO. 102613
ARCHITECT
1.29.2019

REVISIONS		
NUM.	DESCRIPTION	DATE

Project Phase:
CONSTRUCTION DOCUMENTS

Project Number: 2600
Date: 1.29.2019

FOUNDATION PERIMETER LAYOUT PLAN & FIRST FLOOR PLAN

A1.01

PRINT FULL SIZE @ 30" X 42"

UNIT 7 THIRD FLOOR DOOR SCHEDULE			
NUM.	TYPE	WIDTH	HEIGHT
300A	EXTERIOR ALUM. CLAD	2' - 8"	8' - 0"
302A	SOLID CORE FLUSH	2' - 8"	6' - 8"
303A	POCKET-SOLID CORE FLUSH	2' - 0"	6' - 8"
304A	SOLID CORE FLUSH	2' - 4"	6' - 8"
305A	POCKET-SOLID CORE FLUSH	2' - 0"	6' - 8"
306A	SOLID CORE FLUSH	2' - 8"	6' - 8"
307A	SOLID CORE FLUSH	2' - 6"	6' - 8"
308A	SOLID CORE FLUSH	2' - 6"	6' - 8"
309A	PAIR - LOUVRED	2' - 6"	6' - 8"

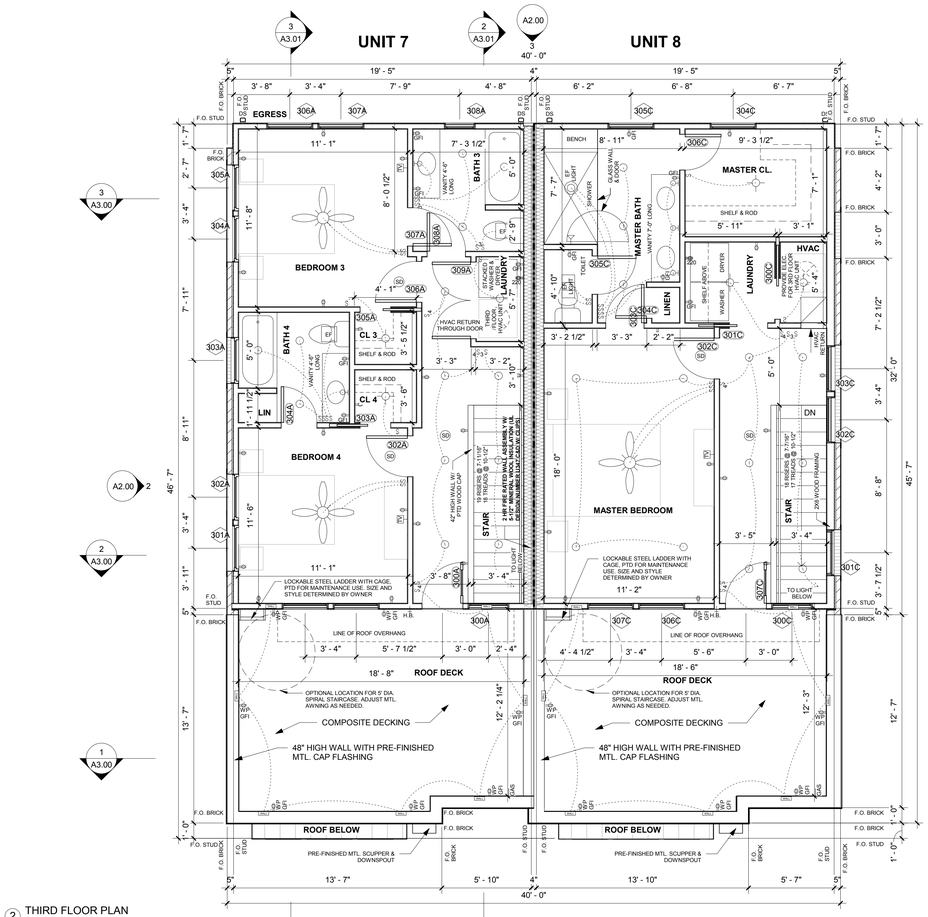
UNIT 8 THIRD FLOOR DOOR SCHEDULE			
NUM.	TYPE	WIDTH	HEIGHT
300C	POCKET-SOLID CORE FLUSH	2' - 8"	6' - 8"
301C	POCKET-SOLID CORE FLUSH	2' - 6"	6' - 8"
302C	SOLID CORE FLUSH	2' - 8"	6' - 8"
303C	SOLID CORE FLUSH	2' - 6"	6' - 8"
304C	PANELED	2' - 0"	6' - 8"
305C	SOLID CORE FLUSH	2' - 6"	6' - 8"
306C	SOLID CORE FLUSH	2' - 6"	6' - 8"
307C	EXTERIOR ALUM. CLAD DOOR	2' - 8"	8' - 0"

UNIT 7 THIRD FLOOR WINDOW SCHEDULE				
NUM.	TYPE	WIDTH	HEIGHT	HEAD HEIGHT
300A	DOUBLE HUNG	2' - 8"	4' - 0"	8' - 0"
301A	FIXED	3' - 0"	2' - 0"	8' - 0"
302A	FIXED	3' - 0"	2' - 0"	8' - 0"
303A	FIXED - PRIVACY WINDOW GLASS	3' - 0"	2' - 0"	8' - 0"
304A	FIXED	3' - 0"	2' - 0"	8' - 0"
305A	FIXED	3' - 0"	2' - 0"	8' - 0"
306A	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"
307A	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"
308A	DOUBLE HUNG	2' - 0"	5' - 0"	8' - 0"
308B	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"
308C	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"

UNIT 8 THIRD FLOOR WINDOW SCHEDULE				
NUM.	TYPE	WIDTH	HEIGHT	HEAD HEIGHT
300C	DOUBLE HUNG	2' - 8"	4' - 0"	8' - 0"
301C	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"
302C	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"
303C	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"
304C	DOUBLE HUNG	3' - 0"	4' - 0"	8' - 0"
305C	DOUBLE HUNG	3' - 0"	4' - 0"	8' - 0"
306C	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"
307C	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"

NOTES:
1. WINDOW SPECIFICATIONS: OWNER TO VERIFY WINDOW SIZES FOR EGRESS, TEMPERED GLASS REQUIREMENTS AND SAFETY LOCK REQUIREMENTS WITH THE MANUFACTURER SELECTED TO SUPPLY WINDOWS.

2. WINDOW SIZES: THE SIZES LISTED ARE GENERIC. CONFIRM THE CLOSEST WINDOW SIZE WITH THE BUILDER PRIOR TO ORDERING.



2 THIRD FLOOR PLAN
1/4" = 1'-0"

UNIT 7 SECOND FLOOR DOOR SCHEDULE			
NUM.	TYPE	WIDTH	HEIGHT
200A	SOLID CORE FLUSH	2' - 0"	8' - 0"
201A	SOLID CORE FLUSH	2' - 8"	8' - 0"
202A	SOLID CORE FLUSH	2' - 6"	8' - 0"
203B	POCKET-SOLID CORE FLUSH	2' - 6"	8' - 0"
204A	SOLID CORE FLUSH	2' - 6"	8' - 0"
205B	POCKET-SOLID CORE FLUSH	2' - 6"	8' - 0"

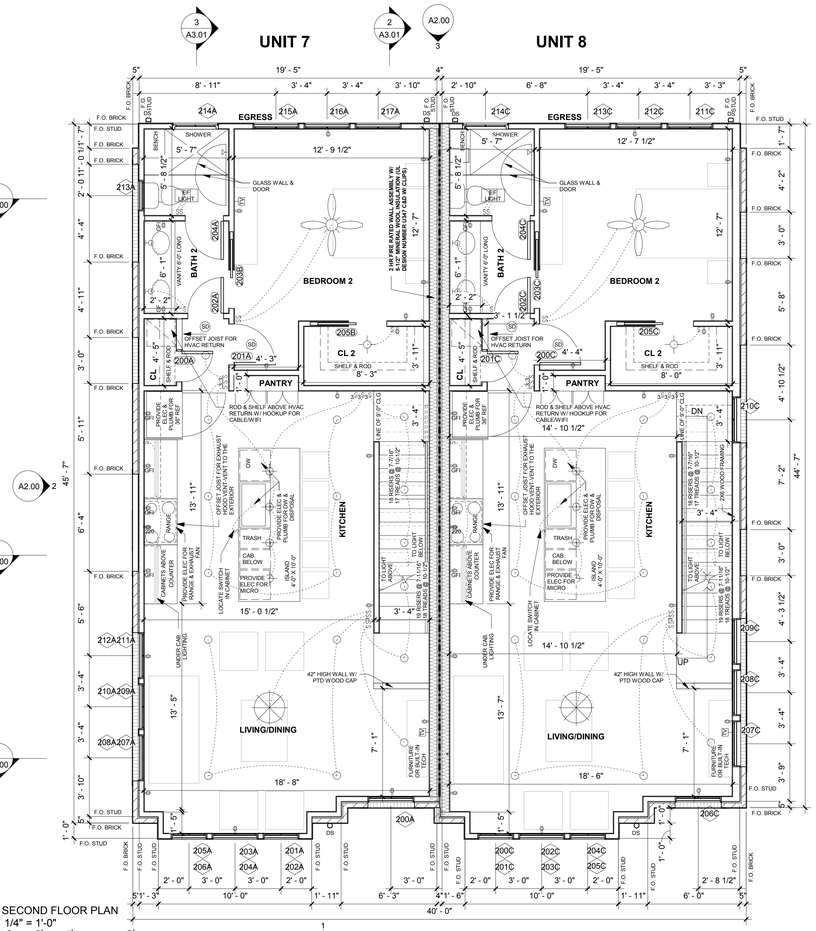
UNIT 8 SECOND FLOOR DOOR SCHEDULE			
NUM.	TYPE	WIDTH	HEIGHT
200C	SOLID CORE FLUSH	2' - 8"	8' - 0"
201C	SOLID CORE FLUSH	2' - 0"	8' - 0"
202C	SOLID CORE FLUSH	2' - 6"	8' - 0"
203C	POCKET-SOLID CORE FLUSH	2' - 6"	8' - 0"
204C	SOLID CORE FLUSH	2' - 6"	8' - 0"
205C	POCKET-SOLID CORE FLUSH	2' - 6"	8' - 0"

UNIT 7 SECOND FLOOR WINDOW SCHEDULE				
NUM.	TYPE	WIDTH	HEIGHT	HEAD HEIGHT
200A	DOUBLE HUNG	3' - 0"	5' - 0"	8' - 0"
201A	DOUBLE HUNG	2' - 4"	6' - 0"	7' - 0"
202A	FIXED	2' - 4"	1' - 8"	9' - 0"
203A	DOUBLE HUNG	3' - 0"	6' - 0"	7' - 0"
204A	FIXED	3' - 0"	1' - 8"	9' - 0"
205A	DOUBLE HUNG	2' - 4"	6' - 0"	7' - 0"
206A	FIXED	2' - 4"	1' - 8"	9' - 0"
207A	DOUBLE HUNG	3' - 0"	4' - 0"	7' - 0"
208A	FIXED	3' - 0"	1' - 8"	9' - 0"
209A	DOUBLE HUNG	3' - 0"	4' - 0"	7' - 0"
210A	FIXED	3' - 0"	1' - 8"	9' - 0"
211A	DOUBLE HUNG	3' - 0"	4' - 0"	7' - 0"
212A	FIXED	3' - 0"	1' - 8"	9' - 0"
213A	DOUBLE HUNG	2' - 0"	4' - 0"	8' - 0"
214A	FIXED	3' - 0"	2' - 0"	8' - 0"
215A	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"
216A	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"
217A	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"

UNIT 8 SECOND FLOOR WINDOW SCHEDULE				
NUM.	TYPE	WIDTH	HEIGHT	HEAD HEIGHT
200C	DOUBLE HUNG	2' - 4"	6' - 0"	7' - 0"
201C	FIXED	2' - 4"	1' - 8"	9' - 0"
202C	DOUBLE HUNG	3' - 0"	6' - 0"	7' - 0"
203C	FIXED	3' - 0"	1' - 8"	9' - 0"
204C	DOUBLE HUNG	2' - 4"	6' - 0"	7' - 0"
205C	FIXED	2' - 4"	1' - 8"	9' - 0"
206C	DOUBLE HUNG	3' - 0"	5' - 0"	8' - 0"
207C	DOUBLE HUNG	3' - 0"	4' - 0"	8' - 0"
208C	DOUBLE HUNG	3' - 0"	4' - 0"	8' - 0"
209C	DOUBLE HUNG	3' - 0"	4' - 0"	8' - 0"
210C	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"
211C	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"
212C	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"
213C	DOUBLE HUNG	3' - 0"	6' - 0"	8' - 0"
214C	FIXED - PRIVACY WINDOW GLASS	3' - 0"	2' - 0"	8' - 0"

NOTES:
1. WINDOW SPECIFICATIONS: OWNER TO VERIFY WINDOW SIZES FOR EGRESS, TEMPERED GLASS REQUIREMENTS AND SAFETY LOCK REQUIREMENTS WITH THE MANUFACTURER SELECTED TO SUPPLY WINDOWS.

2. WINDOW SIZES: THE SIZES LISTED ARE GENERIC. CONFIRM THE CLOSEST WINDOW SIZE WITH THE BUILDER PRIOR TO ORDERING.



1 SECOND FLOOR PLAN
1/4" = 1'-0"

DIMENSIONS: DIMENSIONS ARE TO FACE OF WOOD STUD OR FACE OF CMU UNLESS OTHERWISE NOTED.

FIRE RATED MATERIALS: USE FIRE RETARDANT MATERIALS & RATED ASSEMBLIES WHERE REQ'D BY CODES.

WOOD FRAMING ENGINEERING: THE STRUCTURAL ENGINEERING OF ALL WOOD FRAMING, INCLUDING FLOORS, WALLS, ROOFS, POSTS, BEAMS, STAIRS, ETC. IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY WOOD FRAMING, SHEATHING, & PANEL SIZES SHOWN GRAPHICALLY OR NOTED ON THE DRAWINGS ARE ASSUMED SIZES THAT HAVE NOT BEEN ENGINEERED AND ARE FOR REFERENCE ONLY.

ATTIC ACCESS: CONTRACTOR TO PROVIDE & DETERMINE SIZE & LOCATION OF ATTIC ACCESS PANELS & PULL DOWN STAIRS AS REQ'D BY CODES. COORDINATE LOCATION W/ OWNER.

Building Ideas
Architecture Interior Design Planning
David Baird, Architect
NCARB, LEED-AP
5411 Centennial Blvd.
Nashville, TN 37209
T 615-585-9410
dbaird@building-ideas.net

Designed For:

E3 CONSTRUCTION SERVICES, LLC

26TH AVENUE TOWNHOMES

BUILDING 3

2 UNIT TOWNHOMES

REVISIONS		
NUM.	DESCRIPTION	DATE

Project Phase:

CONSTRUCTION DOCUMENTS

Project Number: **2600**

Date: **1.29.2019**

SECOND AND THIRD FLOOR PLAN

A1.02

PRINT FULL SIZE @ 30" X 42"

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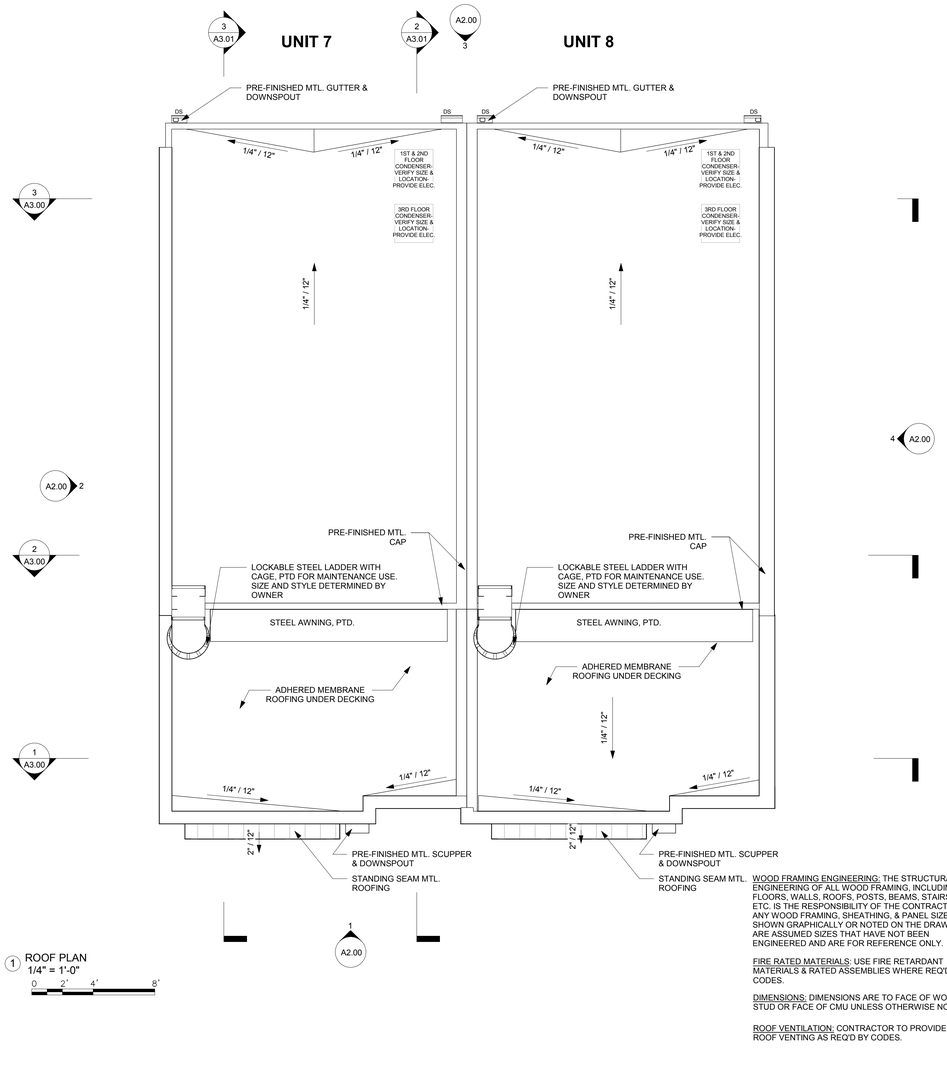

1 ROOF PLAN
1/4" = 1'-0"
0 2' 4' 8'

WOOD FRAMING ENGINEERING: THE STRUCTURAL ENGINEERING OF ALL WOOD FRAMING, INCLUDING FLOORS, WALLS, ROOFS, POSTS, BEAMS, STAIRS, ETC. IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY WOOD FRAMING, SHEATHING, & PANEL SIZES SHOWN GRAPHICALLY OR NOTED ON THE DRAWINGS ARE ASSUMED SIZES THAT HAVE NOT BEEN ENGINEERED AND ARE FOR REFERENCE ONLY.

FIRE RATED MATERIALS: USE FIRE RETARDANT MATERIALS & RATED ASSEMBLIES WHERE REQ'D BY CODES.

DIMENSIONS: DIMENSIONS ARE TO FACE OF WOOD STUD OR FACE OF CMU UNLESS OTHERWISE NOTED.

ROOF VENTILATION: CONTRACTOR TO PROVIDE ROOF VENTING AS REQ'D BY CODES.

Building Ideas
Architecture Interior Design Planning

David Baird, Architect
NCARB, LEED-AP

5411 Centennial Blvd.
Nashville, TN 37209

T 615-585-9410

dbaird@building-ideas.net

Designed For:

E3 CONSTRUCTION SERVICES, LLC

26TH AVENUE TOWNHOMES

BUILDING 3

2 UNIT TOWNHOMES

DAVID J. BAIRD REGISTERED ARCHITECT AGRICULTURE TENNESSEE NO. 102611

REVISIONS		
NUM.	DESCRIPTION	DATE

Project Phase:

CONSTRUCTION DOCUMENTS

Project Number: **2600**

Date: **1.29.2019**

ROOF PLAN

A1.05

PRINT FULL SIZE @ 30" X 42"

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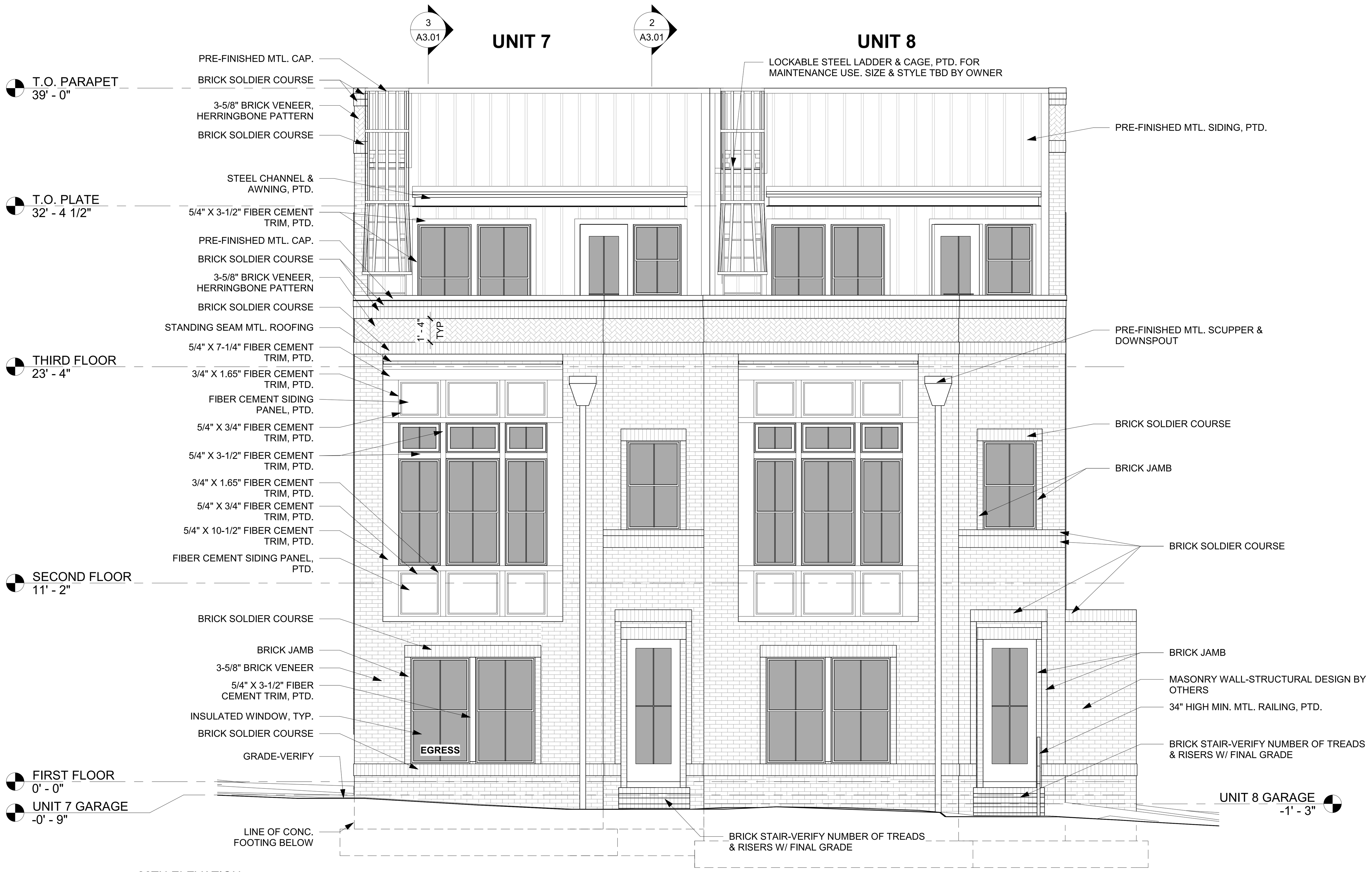
FOOTINGS AND FOUNDATION WALL PROFILE: VERIFY EXISTING GRADE CONDITIONS TO DETERMINE THE SLOPE OF THE EXISTING GRADE, THE HEIGHT OF EXPOSED CMU WALLS, THE ELEVATIONS OF STEPPED FOOTINGS, STRUCTURAL REQUIREMENTS, AND SURFACE & SUBSURFACE DRAINAGE REQUIREMENTS. STRUCTURAL ENGINEERING OF CONCRETE FOOTING SIZES & REINFORCING IS BY CONTRACTOR. STRUCTURAL ENGINEERING OF CMU FOUNDATION WALL SIZES & REINFORCEMENT IS BY CONTRACTOR.

EXTERIOR MATERIALS:
1. ALL SIDING & TRIM ARE COMPOSITE ROT RESISTANT MATERIALS.
2. ALL SIDING & TRIM MATERIALS ARE TO HAVE A SMOOTH FINISH.
3. BRICK MASONRY: BUILDER IS TO DETERMINE THE LOCATION OF VERTICAL AND HORIZONTAL CONTROL JOINTS, SIZE & TYPE OF ALL STEEL LINTELS, & STRUCTURAL SUPPORT OF LINTELS & BRICK VENEER

FIRE RATING: USE FIRE RETARDANT MATERIALS & RATED ASSEMBLIES WHERE REQ'D BY CODES.

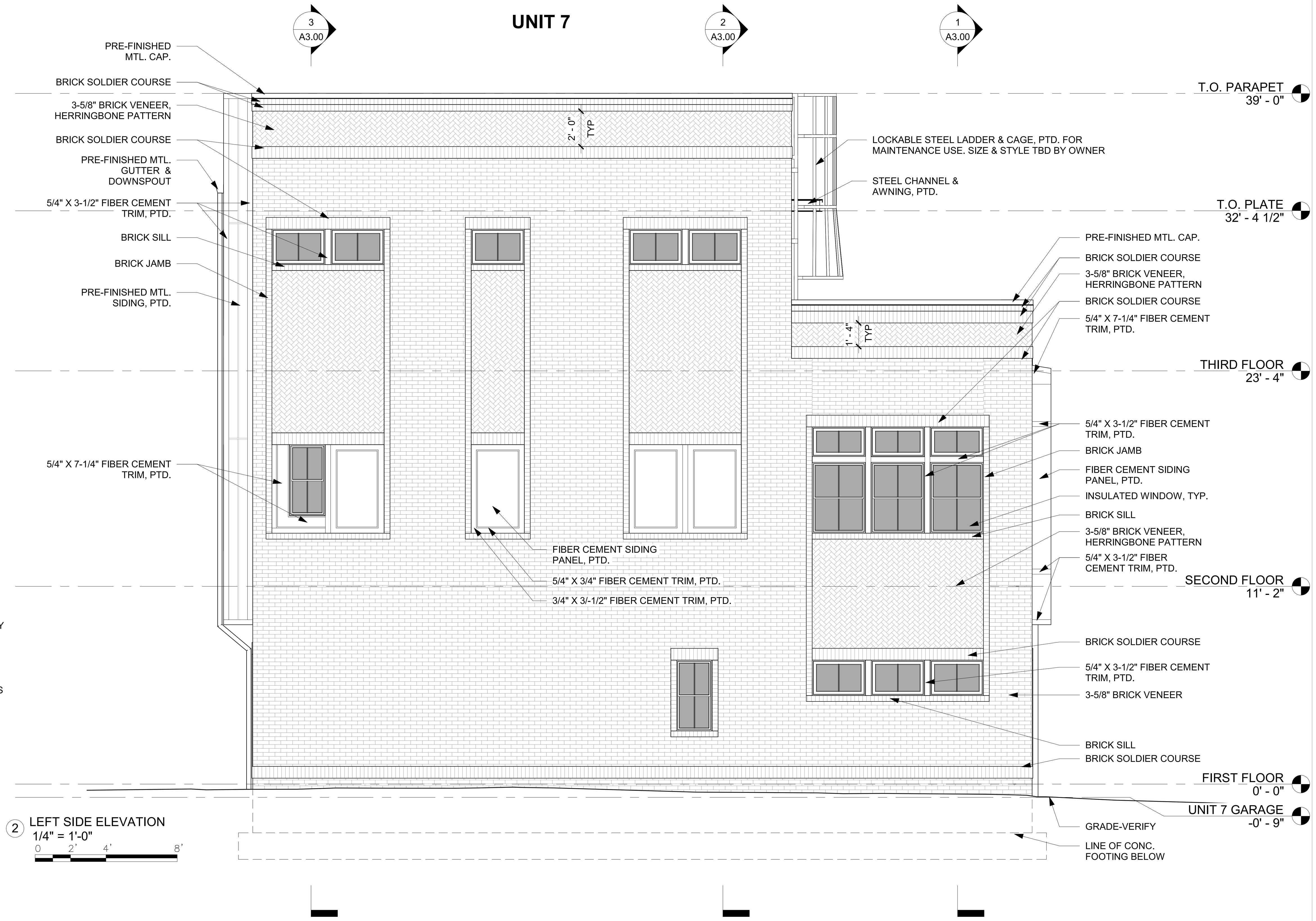
WOOD FRAMING ENGINEERING: THE STRUCTURAL ENGINEERING OF ALL WOOD FRAMING, INCLUDING FLOORS, WALLS, ROOFS, POSTS, BEAMS, STAIRS, ETC. IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY WOOD FRAMING, SHEATHING, & PANEL SIZES SHOWN GRAPHICALLY OR NOTED ON THE DRAWINGS ARE ASSUMED SIZES THAT HAVE NOT BEEN STRUCTURALLY ENGINEERED OR COORDINATED WITH MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS AND ARE FOR REFERENCE ONLY.

CONCRETE SLAB & STAIRS: STRUCTURAL ENGINEERING OF CONCRETE SLABS & STAIRS, INCLUDING THICKNESS, REINFORCING, EDGE PROFILES, STRENGTH MIX DESIGN, AND FINISH IS BY THE CONTRACTOR. CONCRETE THICKNESS & EDGE PROFILES ARE FOR REFERENCE ONLY.



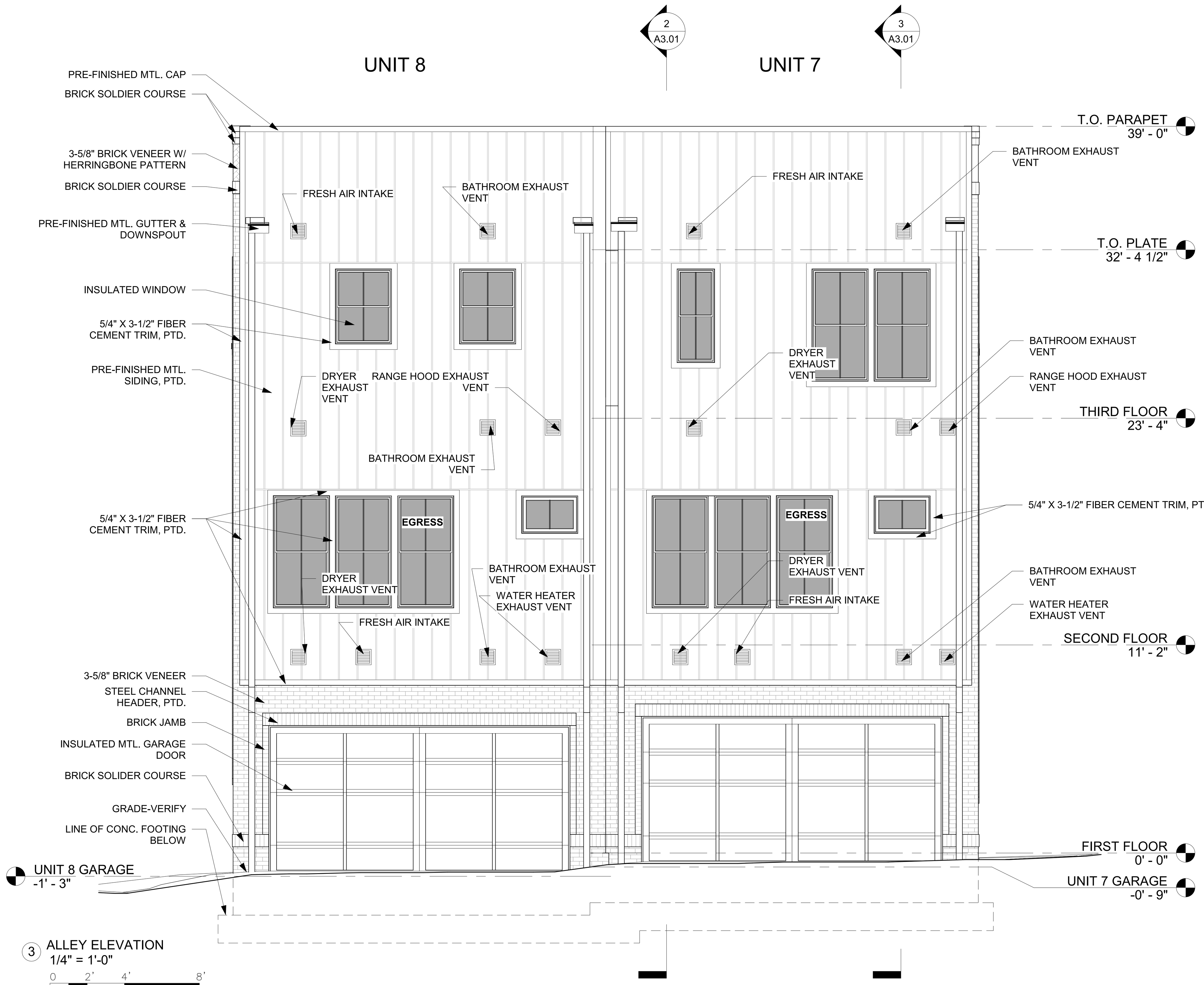
3 A3.01
2 A3.01
UNIT 7
UNIT 8
T.O. PARAPET 39' - 0"
T.O. PLATE 32' - 4 1/2"
THIRD FLOOR 23' - 4"
SECOND FLOOR 11' - 2"
FIRST FLOOR 0' - 0"
UNIT 7 GARAGE -0' - 9"
UNIT 8 GARAGE -1' - 3"
PRE-FINISHED MTL. CAP.
BRICK SOLDIER COURSE
3-5/8" BRICK VENEER, HERRINGBONE PATTERN
BRICK SOLDIER COURSE
STEEL CHANNEL & AWNING, PTD.
5/4" X 3-1/2" FIBER CEMENT TRIM, PTD.
PRE-FINISHED MTL. CAP.
BRICK SOLDIER COURSE
3-5/8" BRICK VENEER, HERRINGBONE PATTERN
BRICK SOLDIER COURSE
STANDING SEAM MTL. ROOFING
5/4" X 7-1/4" FIBER CEMENT TRIM, PTD.
3/4" X 1.65" FIBER CEMENT TRIM, PTD.
FIBER CEMENT SIDING PANEL, PTD.
5/4" X 3/4" FIBER CEMENT TRIM, PTD.
5/4" X 3-1/2" FIBER CEMENT TRIM, PTD.
3/4" X 1.65" FIBER CEMENT TRIM, PTD.
5/4" X 3/4" FIBER CEMENT TRIM, PTD.
5/4" X 10-1/2" FIBER CEMENT TRIM, PTD.
FIBER CEMENT SIDING PANEL, PTD.
BRICK SOLDIER COURSE
BRICK JAMB
3-5/8" BRICK VENEER
5/4" X 3-1/2" FIBER CEMENT TRIM, PTD.
INSULATED WINDOW, TYP.
BRICK SOLDIER COURSE
GRADE-VERIFY
LINE OF CONC. FOOTING BELOW
EGRESS
1' - 4" TYP
LOCKABLE STEEL LADDER & CAGE, PTD. FOR MAINTENANCE USE. SIZE & STYLE TBD BY OWNER
PRE-FINISHED MTL. SIDING, PTD.
PRE-FINISHED MTL. SCUPPER & DOWNSPOUT
BRICK SOLDIER COURSE
BRICK JAMB
BRICK SOLDIER COURSE
BRICK JAMB
MASONRY WALL-STRUCTURAL DESIGN BY OTHERS
34" HIGH MIN. MTL. RAILING, PTD.
BRICK STAIR-VERIFY NUMBER OF TREADS & RISERS W/ FINAL GRADE
BRICK STAIR-VERIFY NUMBER OF TREADS & RISERS W/ FINAL GRADE

1 26TH ELEVATION
1/4" = 1'-0"



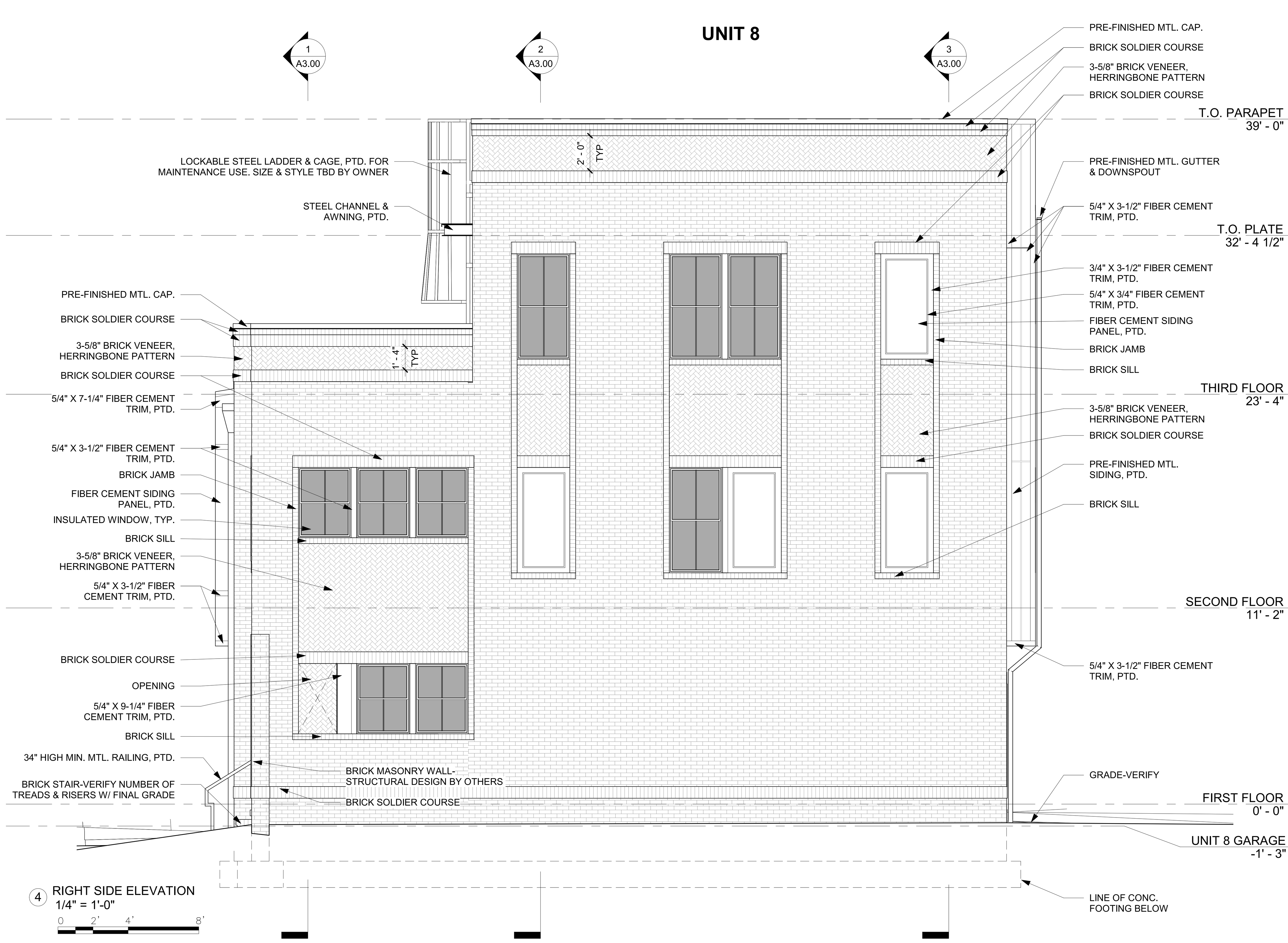
3 A3.00
2 A3.00
1 A3.00
UNIT 7
PRE-FINISHED MTL. CAP.
BRICK SOLDIER COURSE
3-5/8" BRICK VENEER, HERRINGBONE PATTERN
BRICK SOLDIER COURSE
PRE-FINISHED MTL. GUTTER & DOWNSPOUT
5/4" X 3-1/2" FIBER CEMENT TRIM, PTD.
BRICK SILL
BRICK JAMB
PRE-FINISHED MTL. SIDING, PTD.
5/4" X 7-1/4" FIBER CEMENT TRIM, PTD.
FIBER CEMENT SIDING PANEL, PTD.
5/4" X 3/4" FIBER CEMENT TRIM, PTD.
3/4" X 3/-1/2" FIBER CEMENT TRIM, PTD.
2' - 0" TYP
1' - 4" TYP
LOCKABLE STEEL LADDER & CAGE, PTD. FOR MAINTENANCE USE. SIZE & STYLE TBD BY OWNER
STEEL CHANNEL & AWNING, PTD.
T.O. PARAPET 39' - 0"
T.O. PLATE 32' - 4 1/2"
THIRD FLOOR 23' - 4"
SECOND FLOOR 11' - 2"
FIRST FLOOR 0' - 0"
UNIT 7 GARAGE -0' - 9"
PRE-FINISHED MTL. CAP.
BRICK SOLDIER COURSE
3-5/8" BRICK VENEER, HERRINGBONE PATTERN
BRICK SOLDIER COURSE
5/4" X 7-1/4" FIBER CEMENT TRIM, PTD.
5/4" X 3-1/2" FIBER CEMENT TRIM, PTD.
BRICK JAMB
FIBER CEMENT SIDING PANEL, PTD.
INSULATED WINDOW, TYP.
BRICK SILL
3-5/8" BRICK VENEER, HERRINGBONE PATTERN
5/4" X 3-1/2" FIBER CEMENT TRIM, PTD.
BRICK SOLDIER COURSE
5/4" X 3-1/2" FIBER CEMENT TRIM, PTD.
3-5/8" BRICK VENEER
BRICK SILL
BRICK SOLDIER COURSE
GRADE-VERIFY
LINE OF CONC. FOOTING BELOW

2 LEFT SIDE ELEVATION
1/4" = 1'-0"



2 A3.01
3 A3.01
UNIT 8
UNIT 7
PRE-FINISHED MTL. CAP
BRICK SOLDIER COURSE
3-5/8" BRICK VENEER W/ HERRINGBONE PATTERN
BRICK SOLDIER COURSE
PRE-FINISHED MTL. GUTTER & DOWNSPOUT
INSULATED WINDOW
5/4" X 3-1/2" FIBER CEMENT TRIM, PTD.
PRE-FINISHED MTL. SIDING, PTD.
5/4" X 3-1/2" FIBER CEMENT TRIM, PTD.
3-5/8" BRICK VENEER
STEEL CHANNEL HEADER, PTD.
BRICK JAMB
INSULATED MTL. GARAGE DOOR
BRICK SOLIDER COURSE
GRADE-VERIFY
LINE OF CONC. FOOTING BELOW
UNIT 8 GARAGE -1' - 3"
FRESH AIR INTAKE
BATHROOM EXHAUST VENT
DRYER EXHAUST VENT
RANGE HOOD EXHAUST VENT
BATHROOM EXHAUST VENT
EGRESS
DRYER EXHAUST VENT
FRESH AIR INTAKE
BATHROOM EXHAUST VENT
WATER HEATER EXHAUST VENT
FRESH AIR INTAKE
DRYER EXHAUST VENT
EGRESS
DRYER EXHAUST VENT
FRESH AIR INTAKE
BATHROOM EXHAUST VENT
BATHROOM EXHAUST VENT
RANGE HOOD EXHAUST VENT
5/4" X 3-1/2" FIBER CEMENT TRIM, PTD.
BATHROOM EXHAUST VENT
WATER HEATER EXHAUST VENT
T.O. PARAPET 39' - 0"
T.O. PLATE 32' - 4 1/2"
THIRD FLOOR 23' - 4"
SECOND FLOOR 11' - 2"
FIRST FLOOR 0' - 0"
UNIT 7 GARAGE -0' - 9"

3 ALLEY ELEVATION
1/4" = 1'-0"



1 A3.00
2 A3.00
3 A3.00
UNIT 8
LOCKABLE STEEL LADDER & CAGE, PTD. FOR MAINTENANCE USE. SIZE & STYLE TBD BY OWNER
STEEL CHANNEL & AWNING, PTD.
PRE-FINISHED MTL. CAP.
BRICK SOLDIER COURSE
3-5/8" BRICK VENEER, HERRINGBONE PATTERN
BRICK SOLDIER COURSE
5/4" X 7-1/4" FIBER CEMENT TRIM, PTD.
5/4" X 3-1/2" FIBER CEMENT TRIM, PTD.
BRICK JAMB
FIBER CEMENT SIDING PANEL, PTD.
INSULATED WINDOW, TYP.
BRICK SILL
3-5/8" BRICK VENEER, HERRINGBONE PATTERN
5/4" X 3-1/2" FIBER CEMENT TRIM, PTD.
BRICK SOLDIER COURSE
OPENING
5/4" X 9-1/4" FIBER CEMENT TRIM, PTD.
BRICK SILL
34" HIGH MIN. MTL. RAILING, PTD.
BRICK STAIR-VERIFY NUMBER OF TREADS & RISERS W/ FINAL GRADE
BRICK MASONRY WALL-STRUCTURAL DESIGN BY OTHERS
BRICK SOLDIER COURSE
2' - 0" TYP
1' - 4" TYP
PRE-FINISHED MTL. CAP.
BRICK SOLDIER COURSE
3-5/8" BRICK VENEER, HERRINGBONE PATTERN
BRICK SOLDIER COURSE
PRE-FINISHED MTL. GUTTER & DOWNSPOUT
5/4" X 3-1/2" FIBER CEMENT TRIM, PTD.
3/4" X 3-1/2" FIBER CEMENT TRIM, PTD.
5/4" X 3/4" FIBER CEMENT TRIM, PTD.
FIBER CEMENT SIDING PANEL, PTD.
BRICK JAMB
BRICK SILL
3-5/8" BRICK VENEER, HERRINGBONE PATTERN
BRICK SOLDIER COURSE
PRE-FINISHED MTL. SIDING, PTD.
BRICK SILL
5/4" X 3-1/2" FIBER CEMENT TRIM, PTD.
GRADE-VERIFY
LINE OF CONC. FOOTING BELOW
T.O. PARAPET 39' - 0"
T.O. PLATE 32' - 4 1/2"
THIRD FLOOR 23' - 4"
SECOND FLOOR 11' - 2"
FIRST FLOOR 0' - 0"
UNIT 8 GARAGE -1' - 3"

4 RIGHT SIDE ELEVATION
1/4" = 1'-0"

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Building Ideas*
Architecture Interior Design Planning
David Baird, Architect
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5411 Centennial Blvd.
Nashville, TN 37209
T 615-585-9410
dbaird@building-ideas.net

Designed For:
E3 CONSTRUCTION SERVICES, LLC

26TH AVENUE TOWNHOMES
BUILDING 3
2 UNIT TOWNHOMES

DAVID J. BAIRD
REGISTERED
AGRICULTURE
COMMERCE
TENNESSEE NO. 102613
ARCHITECT
1.29.2019

REVISIONS		
NUM.	DESCRIPTION	DATE

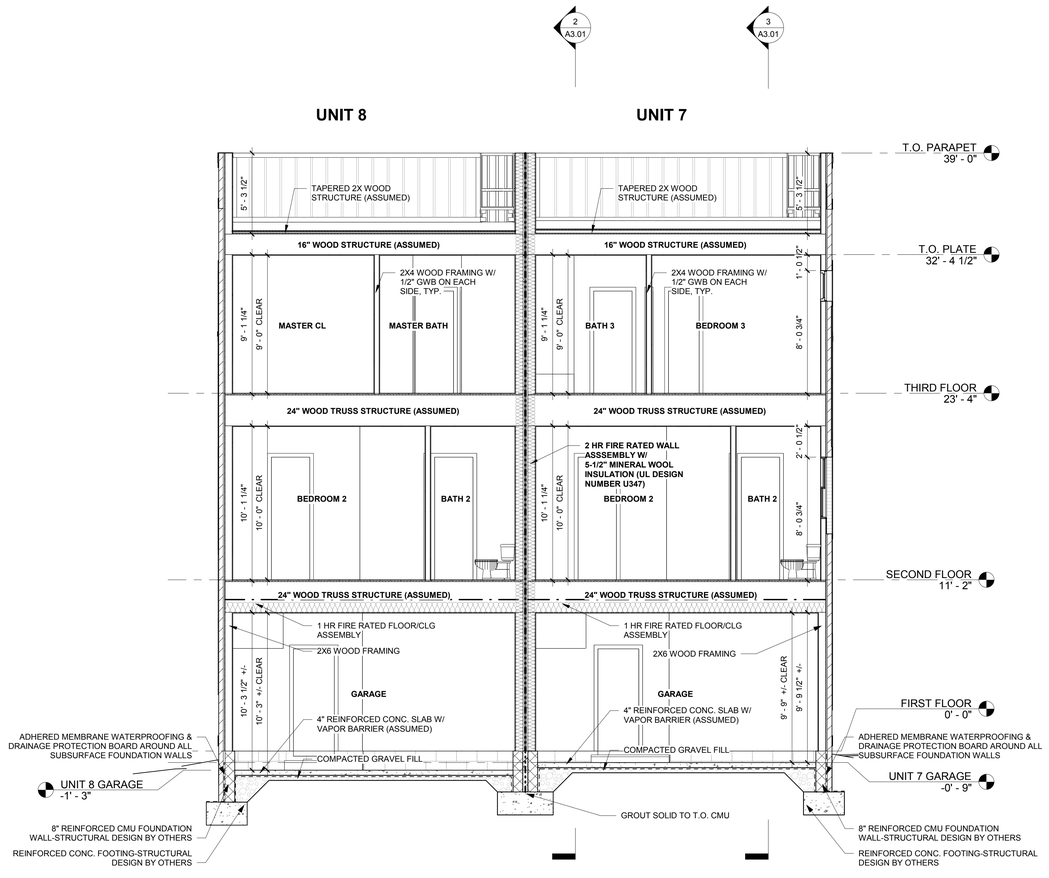
Project Phase:
CONSTRUCTION DOCUMENTS

Project Number: 2600
Date: 1.29.2019

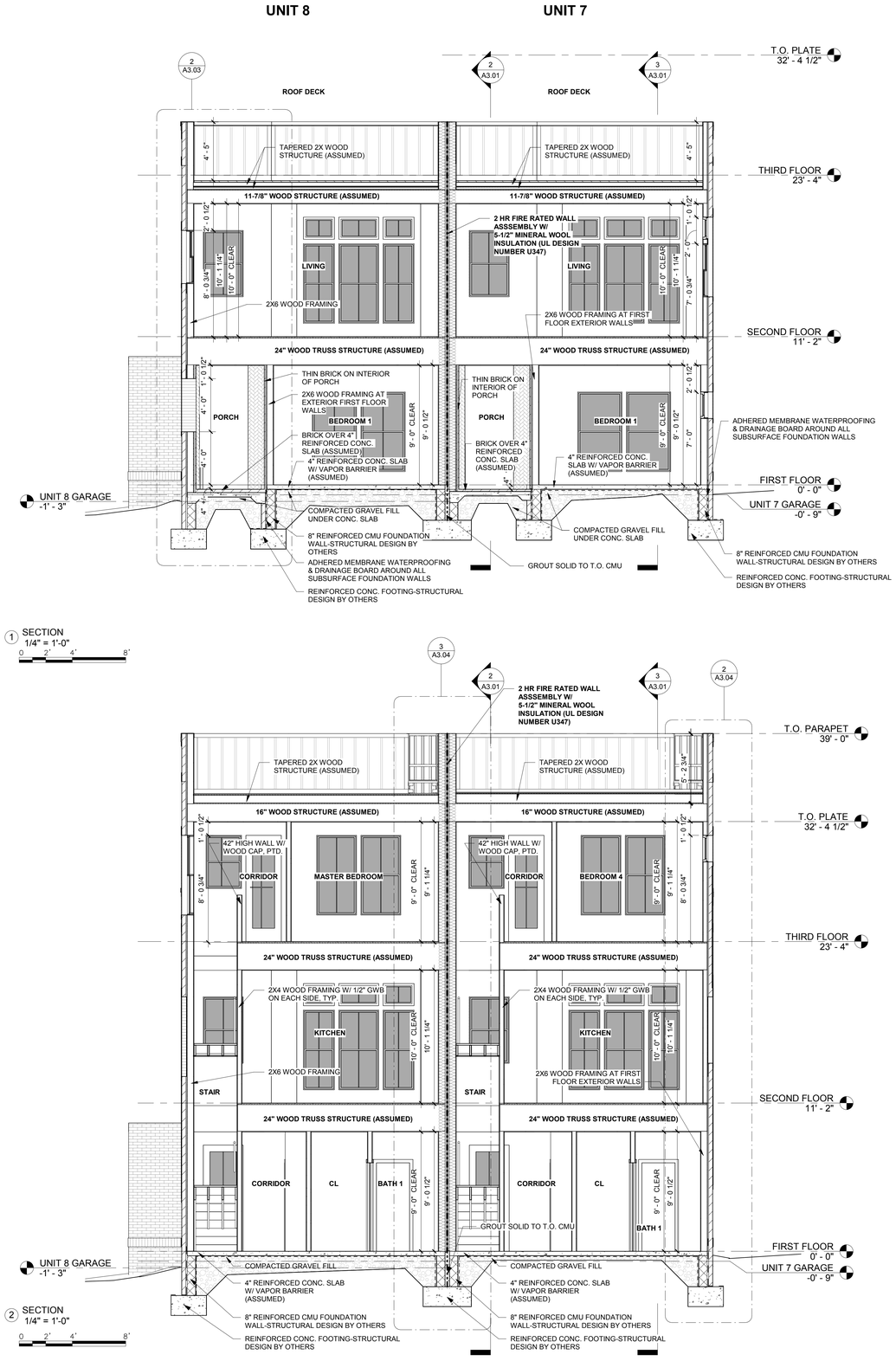
EXTERIOR ELEVATIONS

PRINT FULL SIZE @ 30" X 42"

A2.00



3 SECTION
1/4" = 1'-0"
0 2' 4' 8'



1 SECTION
1/4" = 1'-0"
0 2' 4' 8'

2 SECTION
1/4" = 1'-0"
0 2' 4' 8'

FOOTINGS AND FOUNDATION WALL PROFILE: VERIFY EXISTING GRADE CONDITIONS TO DETERMINE THE SLOPE OF THE EXISTING GRADE, THE HEIGHT OF EXPOSED CMU WALLS, THE ELEVATIONS OF STEPPED FOOTINGS, STRUCTURAL REQUIREMENTS, AND SURFACE & SUBSURFACE DRAINAGE REQUIREMENTS. STRUCTURAL ENGINEERING OF CONCRETE FOOTING SIZES & REINFORCING IS BY CONTRACTOR. STRUCTURAL ENGINEERING OF CMU FOUNDATION WALL SIZES & REINFORCEMENT IS BY CONTRACTOR.

EXTERIOR MATERIALS:
1. ALL SIDING & TRIM ARE COMPOSITE ROT RESISTANT MATERIALS
2. ALL SIDING & TRIM MATERIALS ARE TO HAVE A SMOOTH FINISH.
3. BRICK MASONRY: BUILDER IS TO DETERMINE THE LOCATION OF VERTICAL AND HORIZONTAL CONTROL JOINTS. SIZE & TYPE OF ALL STEEL LINTELS, & STRUCTURAL SUPPORT OF LINTELS & BRICK VENEER

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David Baird, Architect
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Nashville, TN 37209
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Designed For:
E3 CONSTRUCTION SERVICES, LLC

26TH AVENUE TOWNHOMES

BUILDING 3
2 UNIT TOWNHOMES

DAVID J. BAIRD REGISTERED ARCHITECT TENNESSEE NO. 102813

REVISIONS		
NUM.	DESCRIPTION	DATE

Project Phase:
CONSTRUCTION DOCUMENTS

Project Number: **2600**

Date: **1.29.2019**

BUILDING SECTIONS

A3.00

PRINT FULL SIZE @ 30" X 42"

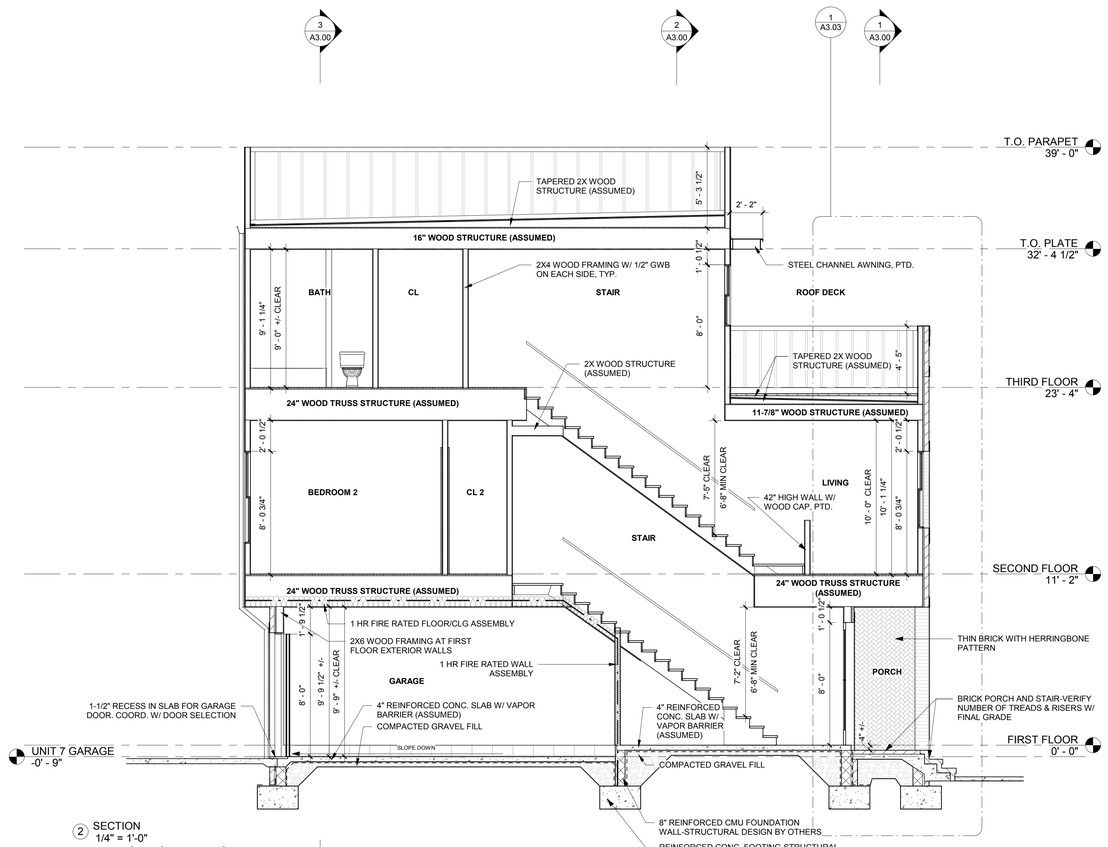
FOOTINGS AND FOUNDATION WALL PROFILE: VERIFY EXISTING GRADE CONDITIONS TO DETERMINE THE SLOPE OF THE EXISTING GRADE, THE HEIGHT OF EXPOSED CMU WALLS, THE ELEVATIONS OF STEPPED FOOTINGS, STRUCTURAL REQUIREMENTS, AND SURFACE & SUBSURFACE DRAINAGE REQUIREMENTS. STRUCTURAL ENGINEERING OF CONCRETE FOOTING SIZES & REINFORCING IS BY CONTRACTOR. STRUCTURAL ENGINEERING OF CMU FOUNDATION WALL SIZES & REINFORCEMENT IS BY CONTRACTOR.

EXTERIOR MATERIALS:
1. ALL SIDING & TRIM ARE COMPOSITE ROT RESISTANT MATERIALS.
2. ALL SIDING & TRIM MATERIALS ARE TO HAVE A SMOOTH FINISH.
3. BRICK MASONRY: BUILDER IS TO DETERMINE THE LOCATION OF VERTICAL AND HORIZONTAL CONTROL JOINTS, SIZE & TYPE OF ALL STEEL LINTELS, & STRUCTURAL SUPPORT OF LINTELS & BRICK VENEER

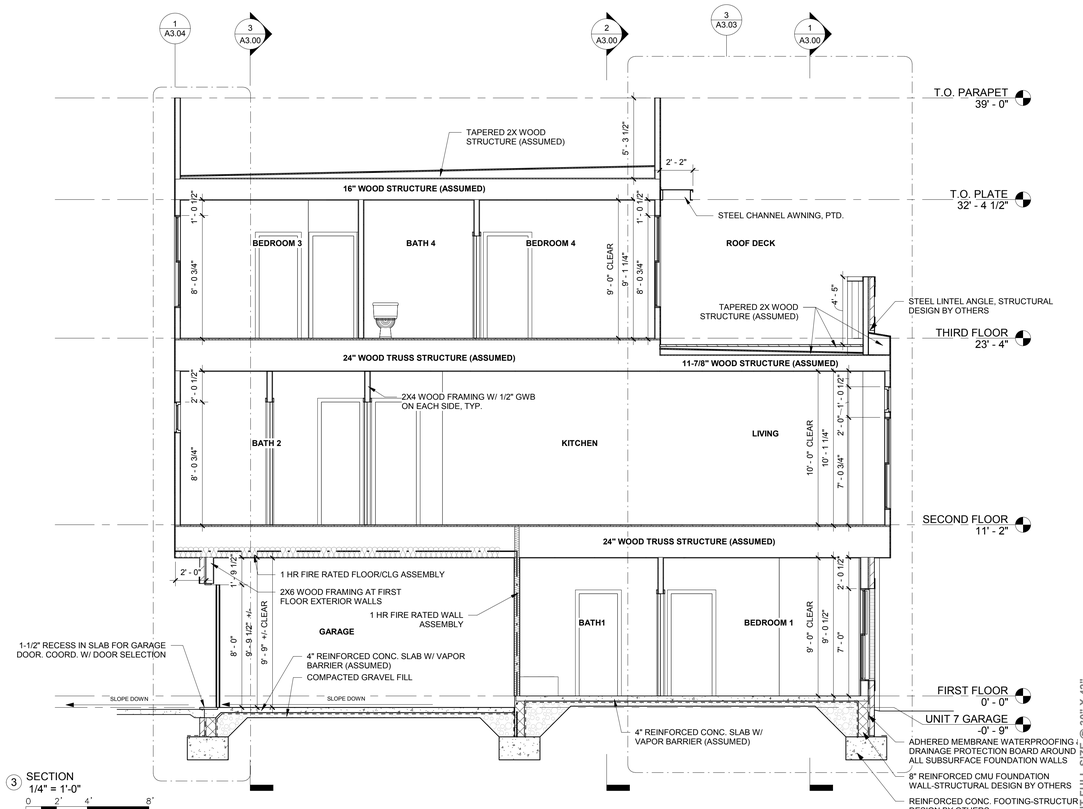
FIRE RATING: USE FIRE RETARDANT MATERIALS & RATED ASSEMBLIES WHERE REQ'D BY CODES.

WOOD FRAMING ENGINEERING: THE STRUCTURAL ENGINEERING OF ALL WOOD FRAMING, INCLUDING FLOORS, WALLS, ROOFS, POSTS, BEAMS, STAIRS, ETC. IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY WOOD FRAMING, SHEATHING, & PANEL SIZES SHOWN GRAPHICALLY OR NOTED ON THE DRAWINGS ARE ASSUMED SIZES THAT HAVE NOT BEEN STRUCTURALLY ENGINEERED OR COORDINATED WITH MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS AND ARE FOR REFERENCE ONLY.

CONCRETE SLAB & STAIRS: STRUCTURAL ENGINEERING OF CONCRETE SLABS & STAIRS, INCLUDING THICKNESS, REINFORCING, EDGE PROFILES, STRENGTH MIX DESIGN, AND FINISH IS BY THE CONTRACTOR. CONCRETE THICKNESS & EDGE PROFILES ARE FOR REFERENCE ONLY.



2 SECTION
1/4" = 1'-0"
0 2' 4' 8'



3 SECTION
1/4" = 1'-0"
0 2' 4' 8'

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Building Ideas
Architecture Interior Design Planning
David Baird, Architect
NCARB, LEED-AP
5411 Centennial Blvd.
Nashville, TN 37209
T 615-585-8410
dbaird@building-ideas.net

Designed For:

E3 CONSTRUCTION SERVICES, LLC

26TH AVENUE TOWNHOMES

BUILDING 3

2 UNIT TOWNHOMES

DAVID J. BAIRD REGISTERED AGRICULTURE TENNESSEE NO. 102613 ARCHITECT

REVISIONS		
NUM.	DESCRIPTION	DATE

Project Phase:

CONSTRUCTION DOCUMENTS

Project Number: **2600**

Date: **1.29.2019**

BUILDING SECTIONS

A3.01

PRINT FULL SIZE @ 30" X 42"

FOOTINGS AND FOUNDATION WALL PROFILE: VERIFY EXISTING GRADE CONDITIONS TO DETERMINE THE SLOPE OF THE EXISTING GRADE, THE HEIGHT OF EXPOSED CMU WALLS, THE ELEVATIONS OF STEPPED FOOTINGS, STRUCTURAL REQUIREMENTS, AND SURFACE & SUBSURFACE DRAINAGE REQUIREMENTS. STRUCTURAL ENGINEERING OF CONCRETE FOOTING SIZES & REINFORCING IS BY CONTRACTOR. STRUCTURAL ENGINEERING OF CMU FOUNDATION WALL SIZES & REINFORCEMENT IS BY CONTRACTOR.

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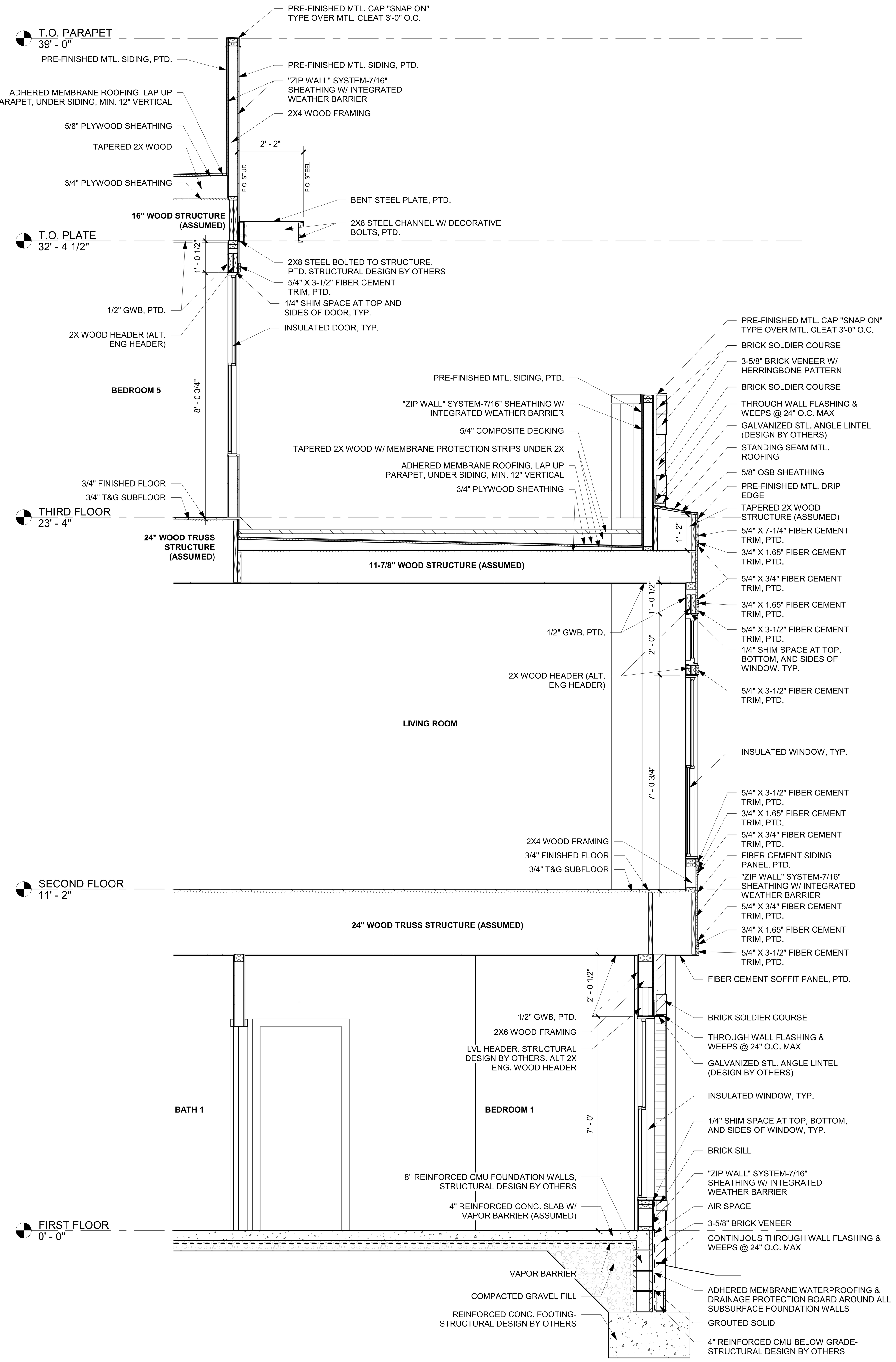
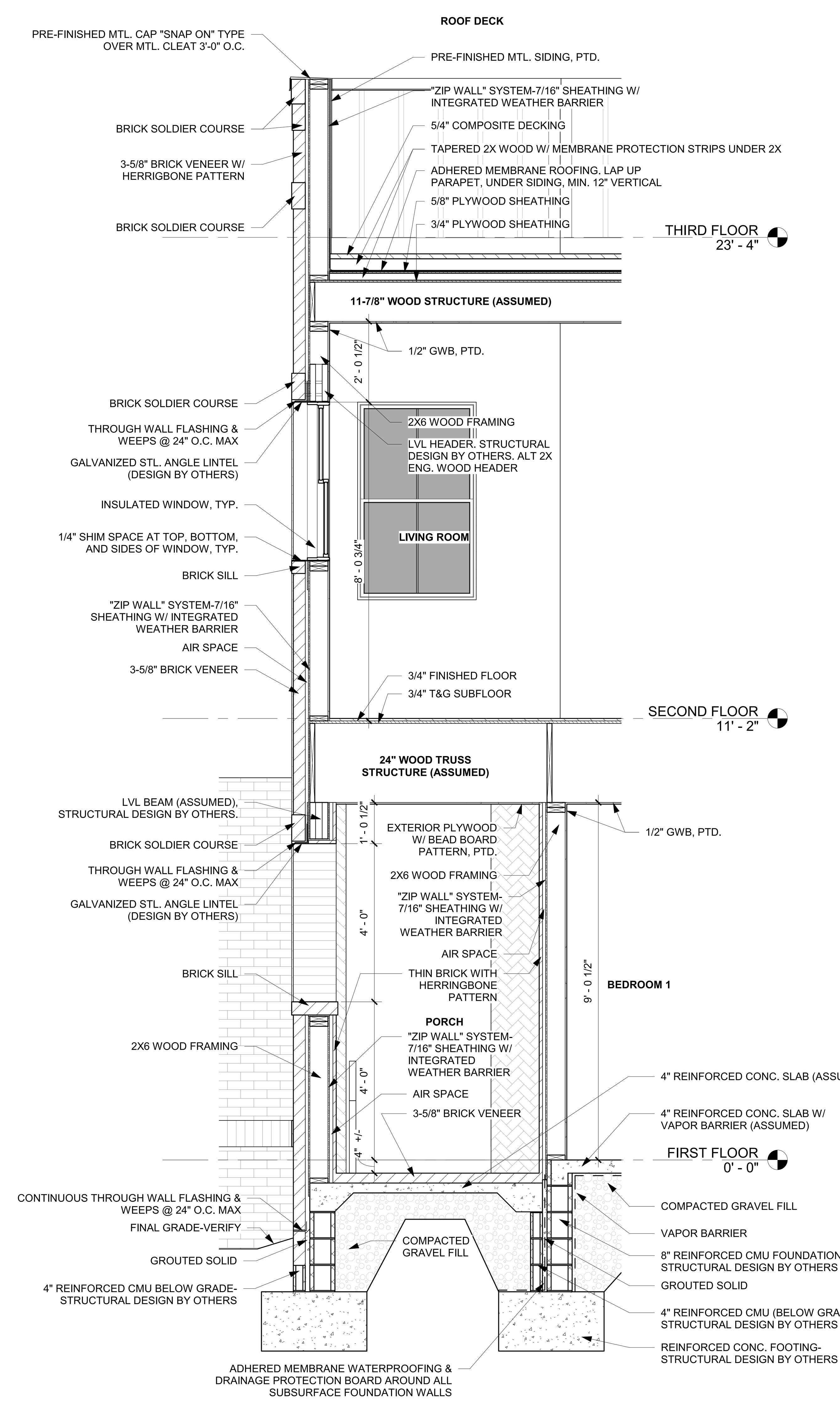


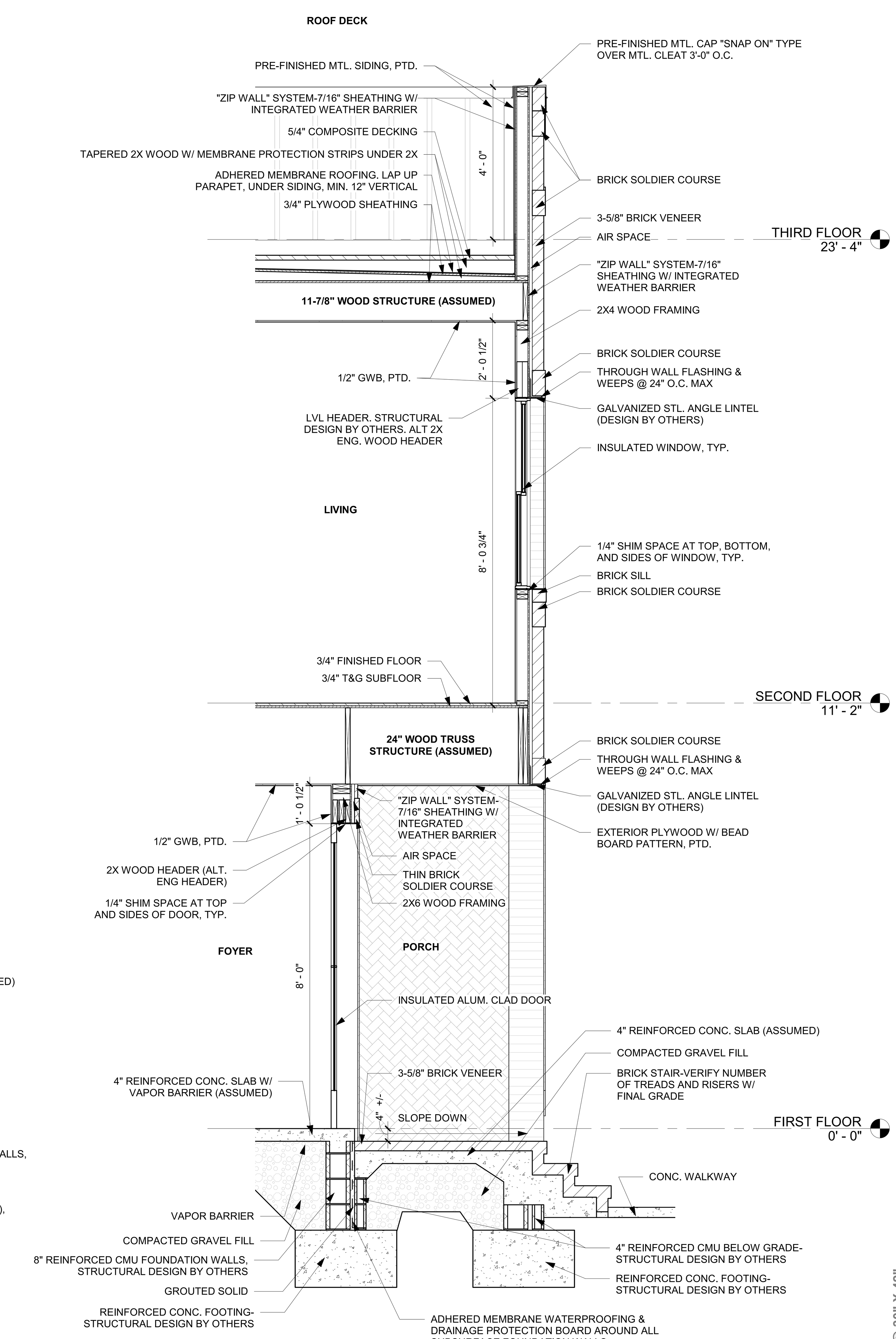
T.O. PARAPET
39' - 0"
PRE-FINISHED MTL. CAP "SNAP ON" TYPE OVER MTL. CLEAT 3'-0" O.C.
PRE-FINISHED MTL. SIDING, PTD.
ADHERED MEMBRANE ROOFING. LAP UP PARAPET, UNDER SIDING, MIN. 12" VERTICAL
"ZIP WALL" SYSTEM-7/16" SHEATHING W/ INTEGRATED WEATHER BARRIER
5/8" PLYWOOD SHEATHING
2X4 WOOD FRAMING
TAPERED 2X WOOD
2' - 2"
F.O. STUD
F.O. STEEL
3/4" PLYWOOD SHEATHING
BENT STEEL PLATE, PTD.
16" WOOD STRUCTURE (ASSUMED)
2X8 STEEL CHANNEL W/ DECORATIVE BOLTS, PTD.
T.O. PLATE
32' - 4 1/2"
1' - 0 1/2"
2X8 STEEL BOLTED TO STRUCTURE, PTD. STRUCTURAL DESIGN BY OTHERS
5/4" X 3-1/2" FIBER CEMENT TRIM, PTD.
1/4" SHIM SPACE AT TOP AND SIDES OF DOOR, TYP.
1/2" GWB, PTD.
INSULATED DOOR, TYP.
2X WOOD HEADER (ALT. ENG HEADER)
BEDROOM 5
8' - 0 3/4"
PRE-FINISHED MTL. CAP "SNAP ON" TYPE OVER MTL. CLEAT 3'-0" O.C.
BRICK SOLDIER COURSE
3-5/8" BRICK VENEER W/ HERRINGBONE PATTERN
PRE-FINISHED MTL. SIDING, PTD.
BRICK SOLDIER COURSE
"ZIP WALL" SYSTEM-7/16" SHEATHING W/ INTEGRATED WEATHER BARRIER
THROUGH WALL FLASHING & WEEPS @ 24" O.C. MAX
5/4" COMPOSITE DECKING
GALVANIZED STL. ANGLE LINTEL (DESIGN BY OTHERS)
TAPERED 2X WOOD W/ MEMBRANE PROTECTION STRIPS UNDER 2X
STANDING SEAM MTL. ROOFING
ADHERED MEMBRANE ROOFING. LAP UP PARAPET, UNDER SIDING, MIN. 12" VERTICAL
5/8" OSB SHEATHING
3/4" PLYWOOD SHEATHING
PRE-FINISHED MTL. DRIP EDGE
3/4" FINISHED FLOOR
3/4" T&G SUBFLOOR
TAPERED 2X WOOD STRUCTURE (ASSUMED)
THIRD FLOOR
23' - 4"
1' - 2"
5/4" X 7-1/4" FIBER CEMENT TRIM, PTD.
24" WOOD TRUSS STRUCTURE (ASSUMED)
3/4" X 1.65" FIBER CEMENT TRIM, PTD.
11-7/8" WOOD STRUCTURE (ASSUMED)
5/4" X 3/4" FIBER CEMENT TRIM, PTD.
1' - 0 1/2"
3/4" X 1.65" FIBER CEMENT TRIM, PTD.
1/2" GWB, PTD.
5/4" X 3-1/2" FIBER CEMENT TRIM, PTD.
2' - 0"
1/4" SHIM SPACE AT TOP, BOTTOM, AND SIDES OF WINDOW, TYP.
2X WOOD HEADER (ALT. ENG HEADER)
5/4" X 3-1/2" FIBER CEMENT TRIM, PTD.
LIVING ROOM
INSULATED WINDOW, TYP.
7' - 0 3/4"
5/4" X 3-1/2" FIBER CEMENT TRIM, PTD.
3/4" X 1.65" FIBER CEMENT TRIM, PTD.
5/4" X 3/4" FIBER CEMENT TRIM, PTD.
2X4 WOOD FRAMING
FIBER CEMENT SIDING PANEL, PTD.
3/4" FINISHED FLOOR
3/4" T&G SUBFLOOR
"ZIP WALL" SYSTEM-7/16" SHEATHING W/ INTEGRATED WEATHER BARRIER
SECOND FLOOR
11' - 2"
5/4" X 3/4" FIBER CEMENT TRIM, PTD.
24" WOOD TRUSS STRUCTURE (ASSUMED)
3/4" X 1.65" FIBER CEMENT TRIM, PTD.
5/4" X 3-1/2" FIBER CEMENT TRIM, PTD.
FIBER CEMENT SOFFIT PANEL, PTD.
2' - 0 1/2"
1/2" GWB, PTD.
BRICK SOLDIER COURSE
2X6 WOOD FRAMING
THROUGH WALL FLASHING & WEEPS @ 24" O.C. MAX
LVL HEADER. STRUCTURAL DESIGN BY OTHERS. ALT 2X ENG. WOOD HEADER
GALVANIZED STL. ANGLE LINTEL (DESIGN BY OTHERS)
INSULATED WINDOW, TYP.
BATH 1
BEDROOM 1
7' - 0"
1/4" SHIM SPACE AT TOP, BOTTOM, AND SIDES OF WINDOW, TYP.
BRICK SILL
8" REINFORCED CMU FOUNDATION WALLS, STRUCTURAL DESIGN BY OTHERS
"ZIP WALL" SYSTEM-7/16" SHEATHING W/ INTEGRATED WEATHER BARRIER
4" REINFORCED CONC. SLAB W/ VAPOR BARRIER (ASSUMED)
AIR SPACE
3-5/8" BRICK VENEER
FIRST FLOOR
0' - 0"
CONTINUOUS THROUGH WALL FLASHING & WEEPS @ 24" O.C. MAX
VAPOR BARRIER
ADHERED MEMBRANE WATERPROOFING & DRAINAGE PROTECTION BOARD AROUND ALL SUBSURFACE FOUNDATION WALLS
COMPACTED GRAVEL FILL
REINFORCED CONC. FOOTING-STRUCTURAL DESIGN BY OTHERS
GROUTED SOLID
4" REINFORCED CMU BELOW GRADE-STRUCTURAL DESIGN BY OTHERS

3 WALL SECTION
1/2" = 1'-0"
0 1' 2' 4'



ROOF DECK
PRE-FINISHED MTL. CAP "SNAP ON" TYPE OVER MTL. CLEAT 3'-0" O.C.
PRE-FINISHED MTL. SIDING, PTD.
"ZIP WALL" SYSTEM-7/16" SHEATHING W/ INTEGRATED WEATHER BARRIER
BRICK SOLDIER COURSE
5/4" COMPOSITE DECKING
TAPERED 2X WOOD W/ MEMBRANE PROTECTION STRIPS UNDER 2X
3-5/8" BRICK VENEER W/ HERRIGBONE PATTERN
ADHERED MEMBRANE ROOFING. LAP UP PARAPET, UNDER SIDING, MIN. 12" VERTICAL
5/8" PLYWOOD SHEATHING
BRICK SOLDIER COURSE
3/4" PLYWOOD SHEATHING
THIRD FLOOR
23' - 4"
11-7/8" WOOD STRUCTURE (ASSUMED)
1/2" GWB, PTD.
2' - 0 1/2"
BRICK SOLDIER COURSE
2X6 WOOD FRAMING
THROUGH WALL FLASHING & WEEPS @ 24" O.C. MAX
LVL HEADER. STRUCTURAL DESIGN BY OTHERS. ALT 2X ENG. WOOD HEADER
GALVANIZED STL. ANGLE LINTEL (DESIGN BY OTHERS)
INSULATED WINDOW, TYP.
LIVING ROOM
8' - 0 3/4"
1/4" SHIM SPACE AT TOP, BOTTOM, AND SIDES OF WINDOW, TYP.
BRICK SILL
"ZIP WALL" SYSTEM-7/16" SHEATHING W/ INTEGRATED WEATHER BARRIER
AIR SPACE
3-5/8" BRICK VENEER
3/4" FINISHED FLOOR
3/4" T&G SUBFLOOR
SECOND FLOOR
11' - 2"
24" WOOD TRUSS STRUCTURE (ASSUMED)
LVL BEAM (ASSUMED), STRUCTURAL DESIGN BY OTHERS.
1' - 0 1/2"
EXTERIOR PLYWOOD W/ BEAD BOARD PATTERN, PTD.
1/2" GWB, PTD.
BRICK SOLDIER COURSE
THROUGH WALL FLASHING & WEEPS @ 24" O.C. MAX
2X6 WOOD FRAMING
GALVANIZED STL. ANGLE LINTEL (DESIGN BY OTHERS)
"ZIP WALL" SYSTEM-7/16" SHEATHING W/ INTEGRATED WEATHER BARRIER
4' - 0"
AIR SPACE
BRICK SILL
THIN BRICK WITH HERRINGBONE PATTERN
9' - 0 1/2"
BEDROOM 1
PORCH
2X6 WOOD FRAMING
"ZIP WALL" SYSTEM-7/16" SHEATHING W/ INTEGRATED WEATHER BARRIER
4' - 0"
4" REINFORCED CONC. SLAB (ASSUMED)
AIR SPACE
3-5/8" BRICK VENEER
4" REINFORCED CONC. SLAB W/ VAPOR BARRIER (ASSUMED)
4" +/-
FIRST FLOOR
0' - 0"
CONTINUOUS THROUGH WALL FLASHING & WEEPS @ 24" O.C. MAX
COMPACTED GRAVEL FILL
FINAL GRADE-VERIFY
COMPACTED GRAVEL FILL
VAPOR BARRIER
8" REINFORCED CMU FOUNDATION WALLS, STRUCTURAL DESIGN BY OTHERS
GROUTED SOLID
GROUTED SOLID
4" REINFORCED CMU BELOW GRADE-STRUCTURAL DESIGN BY OTHERS
4" REINFORCED CMU (BELOW GRADE), STRUCTURAL DESIGN BY OTHERS
REINFORCED CONC. FOOTING-STRUCTURAL DESIGN BY OTHERS
ADHERED MEMBRANE WATERPROOFING & DRAINAGE PROTECTION BOARD AROUND ALL SUBSURFACE FOUNDATION WALLS

2 WALL SECTION
1/2" = 1'-0"
0 1' 2' 4'



ROOF DECK
PRE-FINISHED MTL. CAP "SNAP ON" TYPE OVER MTL. CLEAT 3'-0" O.C.
PRE-FINISHED MTL. SIDING, PTD.
"ZIP WALL" SYSTEM-7/16" SHEATHING W/ INTEGRATED WEATHER BARRIER
5/4" COMPOSITE DECKING
TAPERED 2X WOOD W/ MEMBRANE PROTECTION STRIPS UNDER 2X
4' - 0"
ADHERED MEMBRANE ROOFING. LAP UP PARAPET, UNDER SIDING, MIN. 12" VERTICAL
BRICK SOLDIER COURSE
3/4" PLYWOOD SHEATHING
3-5/8" BRICK VENEER
AIR SPACE
THIRD FLOOR
23' - 4"
"ZIP WALL" SYSTEM-7/16" SHEATHING W/ INTEGRATED WEATHER BARRIER
11-7/8" WOOD STRUCTURE (ASSUMED)
2X4 WOOD FRAMING
2' - 0 1/2"
BRICK SOLDIER COURSE
1/2" GWB, PTD.
THROUGH WALL FLASHING & WEEPS @ 24" O.C. MAX
LVL HEADER. STRUCTURAL DESIGN BY OTHERS. ALT 2X ENG. WOOD HEADER
GALVANIZED STL. ANGLE LINTEL (DESIGN BY OTHERS)
INSULATED WINDOW, TYP.
LIVING
8' - 0 3/4"
1/4" SHIM SPACE AT TOP, BOTTOM, AND SIDES OF WINDOW, TYP.
BRICK SILL
BRICK SOLDIER COURSE
3/4" FINISHED FLOOR
3/4" T&G SUBFLOOR
SECOND FLOOR
11' - 2"
24" WOOD TRUSS STRUCTURE (ASSUMED)
BRICK SOLDIER COURSE
THROUGH WALL FLASHING & WEEPS @ 24" O.C. MAX
1' - 0 1/2"
"ZIP WALL" SYSTEM-7/16" SHEATHING W/ INTEGRATED WEATHER BARRIER
GALVANIZED STL. ANGLE LINTEL (DESIGN BY OTHERS)
EXTERIOR PLYWOOD W/ BEAD BOARD PATTERN, PTD.
1/2" GWB, PTD.
AIR SPACE
2X WOOD HEADER (ALT. ENG HEADER)
THIN BRICK SOLDIER COURSE
1/4" SHIM SPACE AT TOP AND SIDES OF DOOR, TYP.
2X6 WOOD FRAMING
FOYER
PORCH
8' - 0"
INSULATED ALUM. CLAD DOOR
4" REINFORCED CONC. SLAB (ASSUMED)
COMPACTED GRAVEL FILL
4" REINFORCED CONC. SLAB W/ VAPOR BARRIER (ASSUMED)
3-5/8" BRICK VENEER
BRICK STAIR-VERIFY NUMBER OF TREADS AND RISERS W/ FINAL GRADE
4" +/-
SLOPE DOWN
FIRST FLOOR
0' - 0"
CONC. WALKWAY
VAPOR BARRIER
COMPACTED GRAVEL FILL
4" REINFORCED CMU BELOW GRADE-STRUCTURAL DESIGN BY OTHERS
8" REINFORCED CMU FOUNDATION WALLS, STRUCTURAL DESIGN BY OTHERS
REINFORCED CONC. FOOTING-STRUCTURAL DESIGN BY OTHERS
GROUTED SOLID
REINFORCED CONC. FOOTING-STRUCTURAL DESIGN BY OTHERS
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Building Ideas*
Architecture Interior Design Planning
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BUILDING 3
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DAVID J. BAIRD
REGISTERED
AGRICULTURE
COMMERCE
TENNESSEE NO. 102613
ARCHITECT
1.29.2019

REVISIONS		
NUM.	DESCRIPTION	DATE

Project Phase:
CONSTRUCTION DOCUMENTS

Project Number: 2600
Date: 1.29.2019

WALL SECTIONS

PRINT FULL SIZE @ 30" X 42"

A3.03

1/29/2019 5:50:32 PM

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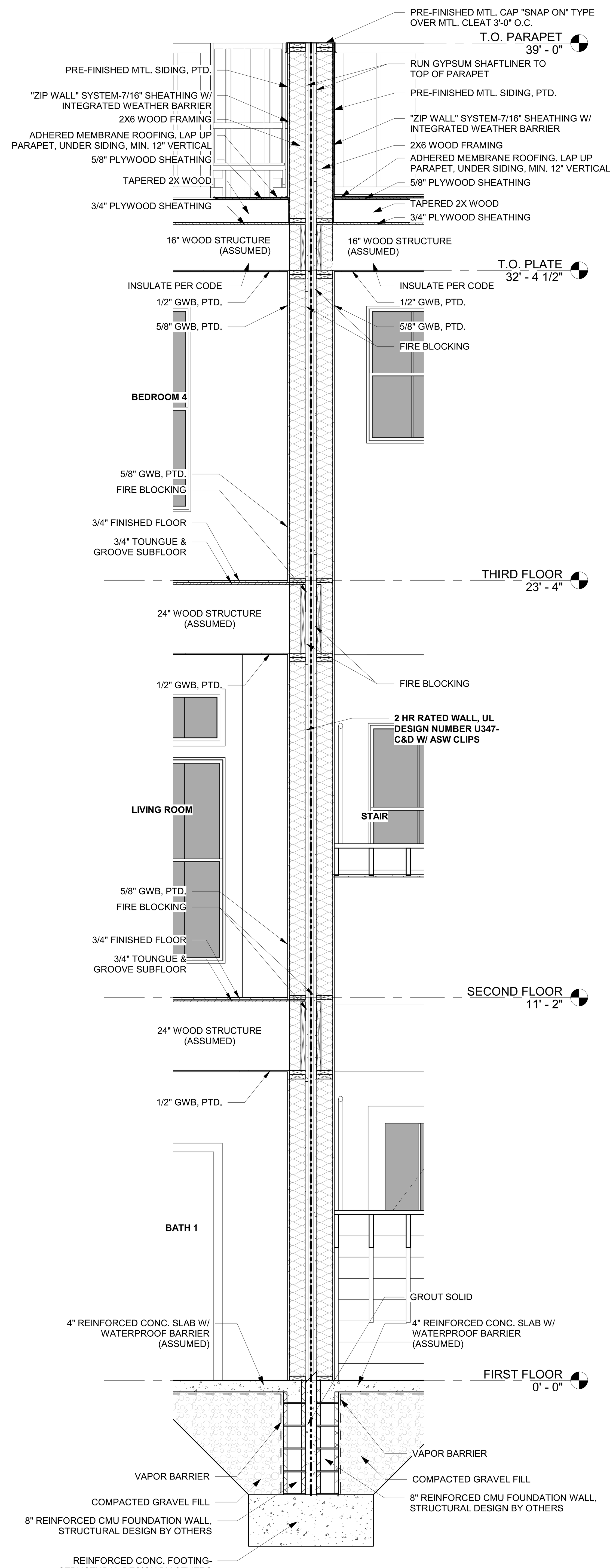
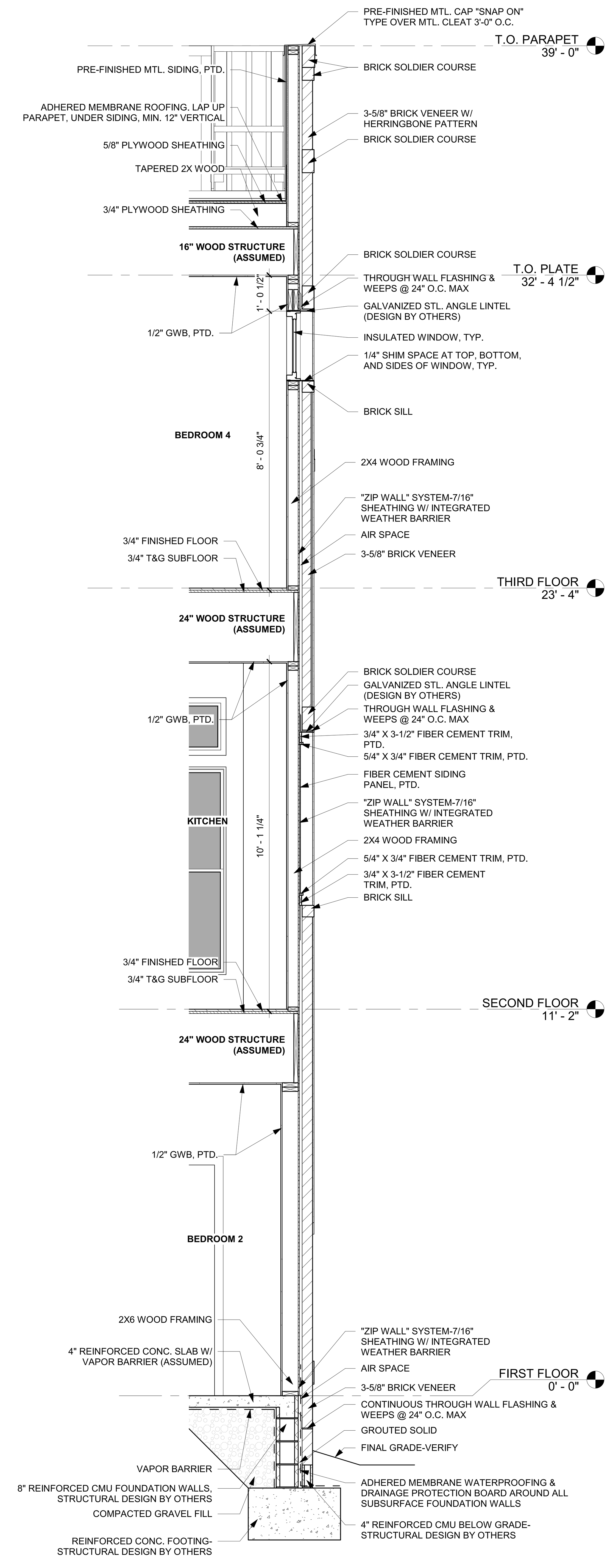


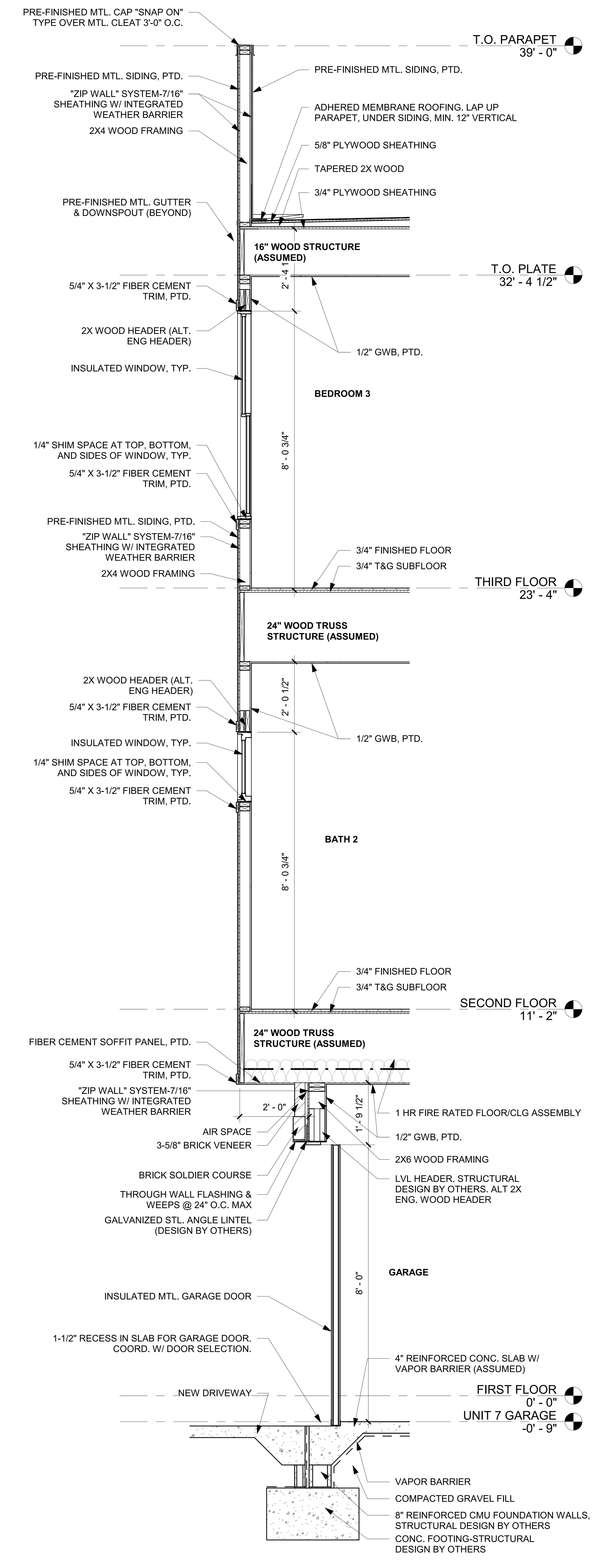
PRE-FINISHED MTL. CAP "SNAP ON" TYPE OVER MTL. CLEAT 3'-0" O.C.
T.O. PARAPET 39' - 0"
PRE-FINISHED MTL. SIDING, PTD.
"ZIP WALL" SYSTEM-7/16" SHEATHING W/ INTEGRATED WEATHER BARRIER
2X6 WOOD FRAMING
ADHERED MEMBRANE ROOFING. LAP UP PARAPET, UNDER SIDING, MIN. 12" VERTICAL
5/8" PLYWOOD SHEATHING
TAPERED 2X WOOD
3/4" PLYWOOD SHEATHING
RUN GYPSUM SHAFTLINER TO TOP OF PARAPET
16" WOOD STRUCTURE (ASSUMED)
T.O. PLATE 32' - 4 1/2"
INSULATE PER CODE
1/2" GWB, PTD.
5/8" GWB, PTD.
FIRE BLOCKING
BEDROOM 4
3/4" FINISHED FLOOR
3/4" TOUNGUE & GROOVE SUBFLOOR
THIRD FLOOR 23' - 4"
24" WOOD STRUCTURE (ASSUMED)
2 HR RATED WALL, UL DESIGN NUMBER U347-C&D W/ ASW CLIPS
LIVING ROOM
STAIR
SECOND FLOOR 11' - 2"
BATH 1
GROUT SOLID
4" REINFORCED CONC. SLAB W/ WATERPROOF BARRIER (ASSUMED)
FIRST FLOOR 0' - 0"
VAPOR BARRIER
COMPACTED GRAVEL FILL
8" REINFORCED CMU FOUNDATION WALL, STRUCTURAL DESIGN BY OTHERS
REINFORCED CONC. FOOTING-STRUCTURAL DESIGN BY OTHERS

3 WALL SECTION
1/2" = 1'-0"



PRE-FINISHED MTL. CAP "SNAP ON" TYPE OVER MTL. CLEAT 3'-0" O.C.
T.O. PARAPET 39' - 0"
PRE-FINISHED MTL. SIDING, PTD.
BRICK SOLDIER COURSE
ADHERED MEMBRANE ROOFING. LAP UP PARAPET, UNDER SIDING, MIN. 12" VERTICAL
3-5/8" BRICK VENEER W/ HERRINGBONE PATTERN
5/8" PLYWOOD SHEATHING
TAPERED 2X WOOD
3/4" PLYWOOD SHEATHING
16" WOOD STRUCTURE (ASSUMED)
T.O. PLATE 32' - 4 1/2"
THROUGH WALL FLASHING & WEEPS @ 24" O.C. MAX
GALVANIZED STL. ANGLE LINTEL (DESIGN BY OTHERS)
1' - 0 1/2"
1/2" GWB, PTD.
INSULATED WINDOW, TYP.
1/4" SHIM SPACE AT TOP, BOTTOM, AND SIDES OF WINDOW, TYP.
BRICK SILL
BEDROOM 4
8' - 0 3/4"
2X4 WOOD FRAMING
"ZIP WALL" SYSTEM-7/16" SHEATHING W/ INTEGRATED WEATHER BARRIER
AIR SPACE
3-5/8" BRICK VENEER
3/4" FINISHED FLOOR
3/4" T&G SUBFLOOR
THIRD FLOOR 23' - 4"
24" WOOD STRUCTURE (ASSUMED)
3/4" X 3-1/2" FIBER CEMENT TRIM, PTD.
5/4" X 3/4" FIBER CEMENT TRIM, PTD.
FIBER CEMENT SIDING PANEL, PTD.
KITCHEN
10' - 1 1/4"
3/4" X 3-1/2" FIBER CEMENT TRIM, PTD.
SECOND FLOOR 11' - 2"
BEDROOM 2
2X6 WOOD FRAMING
4" REINFORCED CONC. SLAB W/ VAPOR BARRIER (ASSUMED)
FIRST FLOOR 0' - 0"
CONTINUOUS THROUGH WALL FLASHING & WEEPS @ 24" O.C. MAX
GROUTED SOLID
FINAL GRADE-VERIFY
VAPOR BARRIER
8" REINFORCED CMU FOUNDATION WALLS, STRUCTURAL DESIGN BY OTHERS
COMPACTED GRAVEL FILL
ADHERED MEMBRANE WATERPROOFING & DRAINAGE PROTECTION BOARD AROUND ALL SUBSURFACE FOUNDATION WALLS
REINFORCED CONC. FOOTING-STRUCTURAL DESIGN BY OTHERS
4" REINFORCED CMU BELOW GRADE-STRUCTURAL DESIGN BY OTHERS

2 WALL SECTION
1/2" = 1'-0"



PRE-FINISHED MTL. CAP "SNAP ON" TYPE OVER MTL. CLEAT 3'-0" O.C.
T.O. PARAPET 39' - 0"
PRE-FINISHED MTL. SIDING, PTD.
"ZIP WALL" SYSTEM-7/16" SHEATHING W/ INTEGRATED WEATHER BARRIER
2X4 WOOD FRAMING
ADHERED MEMBRANE ROOFING. LAP UP PARAPET, UNDER SIDING, MIN. 12" VERTICAL
5/8" PLYWOOD SHEATHING
TAPERED 2X WOOD
3/4" PLYWOOD SHEATHING
PRE-FINISHED MTL. GUTTER & DOWNSPOUT (BEYOND)
16" WOOD STRUCTURE (ASSUMED)
T.O. PLATE 32' - 4 1/2"
5/4" X 3-1/2" FIBER CEMENT TRIM, PTD.
2X WOOD HEADER (ALT. ENG HEADER)
1/2" GWB, PTD.
INSULATED WINDOW, TYP.
BEDROOM 3
1/4" SHIM SPACE AT TOP, BOTTOM, AND SIDES OF WINDOW, TYP.
8' - 0 3/4"
3/4" FINISHED FLOOR
3/4" T&G SUBFLOOR
THIRD FLOOR 23' - 4"
24" WOOD TRUSS STRUCTURE (ASSUMED)
2' - 0 1/2"
BATH 2
SECOND FLOOR 11' - 2"
FIBER CEMENT SOFFIT PANEL, PTD.
AIR SPACE
3-5/8" BRICK VENEER
2' - 0"
1' - 9 1/2"
1 HR FIRE RATED FLOOR/CLG ASSEMBLY
2X6 WOOD FRAMING
BRICK SOLDIER COURSE
THROUGH WALL FLASHING & WEEPS @ 24" O.C. MAX
GALVANIZED STL. ANGLE LINTEL (DESIGN BY OTHERS)
LVL HEADER. STRUCTURAL DESIGN BY OTHERS. ALT 2X ENG. WOOD HEADER
GARAGE
8' - 0"
INSULATED MTL. GARAGE DOOR
1-1/2" RECESS IN SLAB FOR GARAGE DOOR. COORD. W/ DOOR SELECTION.
4" REINFORCED CONC. SLAB W/ VAPOR BARRIER (ASSUMED)
NEW DRIVEWAY
FIRST FLOOR 0' - 0"
UNIT 7 GARAGE -0' - 9"
VAPOR BARRIER
COMPACTED GRAVEL FILL
8" REINFORCED CMU FOUNDATION WALLS, STRUCTURAL DESIGN BY OTHERS
CONC. FOOTING-STRUCTURAL DESIGN BY OTHERS

1 WALL SECTION
1/2" = 1'-0"

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Building Ideas*
Architecture Interior Design Planning
David Baird, Architect
NCARB, LEED-AP
5411 Centennial Blvd.
Nashville, TN 37209
T 615-585-9410
dbaird@building-ideas.net

Designed For:
E3 CONSTRUCTION SERVICES, LLC

26TH AVENUE TOWNHOMES

BUILDING 3

2 UNIT TOWNHOMES

DAVID J. BAIRD
REGISTERED
AGRICULTURE
COMMERCE
TENNESSEE NO. 102613
ARCHITECT
1-29-2019

REVISIONS		
NUM.	DESCRIPTION	DATE

Project Phase:
CONSTRUCTION DOCUMENTS

Project Number: 2600
Date: 1.29.2019

WALL SECTIONS

PRINT FULL SIZE @ 30" X 42"

A3.04

2 FRONT LEFT 3D VIEW

1 FRONT RIGHT 3D VIEW

4 REAR RIGHT 3D VIEW

3 REAR LEFT 3D VIEW

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Nashville, TN 37209
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3D VIEWS

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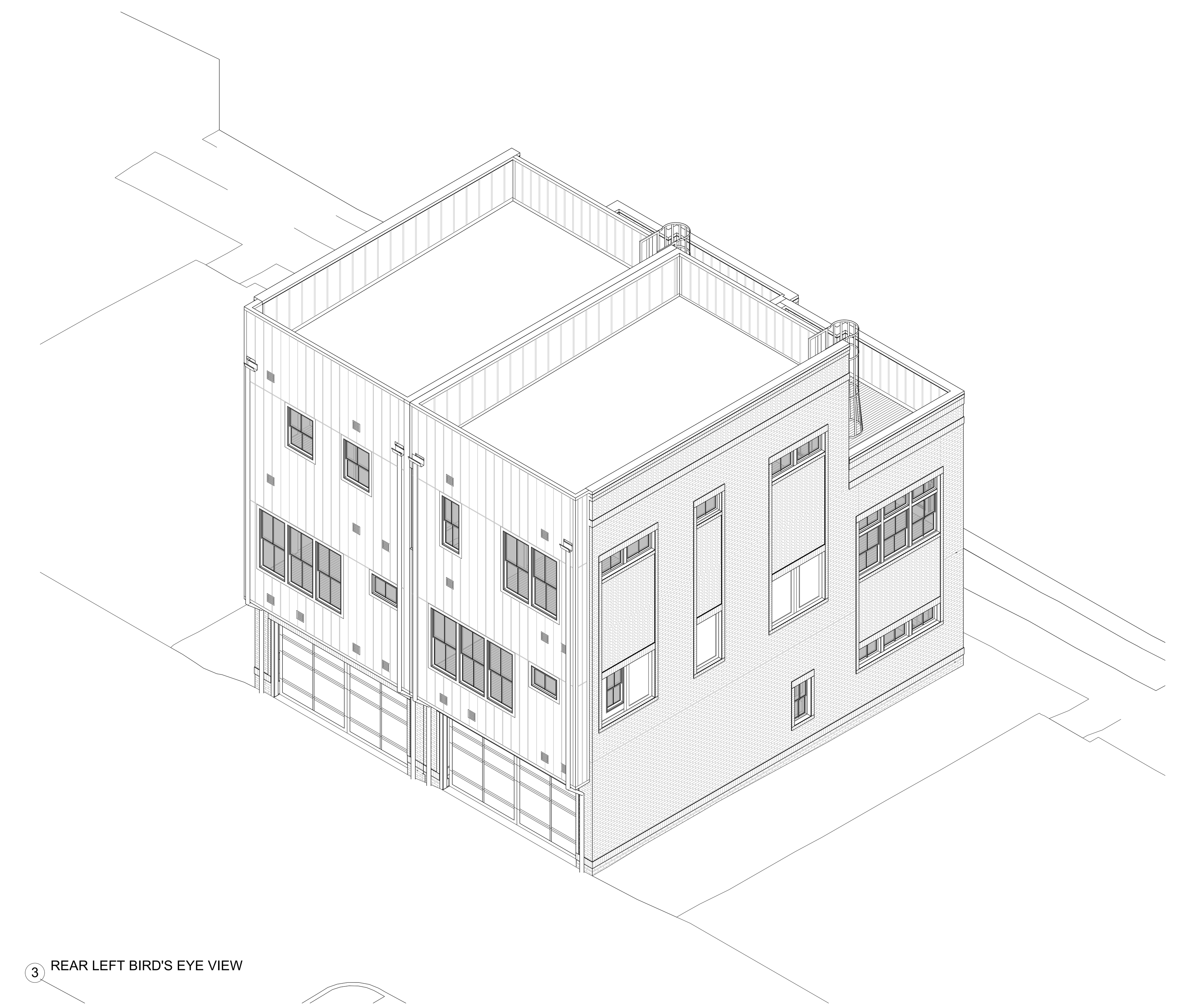
1 FRONT LEFT BIRD'S EYE VIEW

2 FRONT RIGHT BIRD'S EYE VIEW



3 REAR LEFT BIRD'S EYE VIEW

4 REAR RIGHT BIRD'S EYE VIEW

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Nashville, TN 37209
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NUM.	DESCRIPTION	DATE

Project Phase:

CONSTRUCTION DOCUMENTS

Project Number: 2600

Date: 1.29.2019

3D VIEWS

PRINT FULL SIZE @ 30" X 42"

A4.01