

# REPUCCI RESIDENCE - NEW SINGLE FAMILY HOME

## GENERAL NOTES

- ALL NOTES HEREIN MENTIONED INCLUDING NOTES ON ADDITIONAL DRAWINGS SHALL APPLY TO ALL DRAWINGS & FORM PART OF THE CONTRACT.
- FOR ALL REFERENCES NOTED HEREIN ON THESE CONTRACT DOCUMENTS (CONTRACT DRAWINGS & SPECIFICATIONS) REFERENCES TO THE CONTRACTOR & GENERAL CONTRACTOR - SUCH REFERENCES SHALL BE INTERCHANGEABLE.
- ALL CONSTRUCTION DIMENSIONS & DETAILS SHALL CONCUR WITH & BE DETERMINED FROM THESE DRAWINGS ONLY.
- FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS, LARGE SCALE DETAILS OVER SMALL, REPETITIVE FEATURES NOT COMPLETELY DESCRIBED & OR, DETAILED SHALL BE CONSTRUCTED IN EXACT ACCORDANCE WITH CORRESPONDING FEATURES THAT ARE COMPLETELY DESCRIBED OR DETAILED.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL EXISTING DIMENSIONS & CONDITIONS AT THE SITE & ON THE JOB AGAINST DRAWINGS AND INFORM THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK. SPECIAL ATTENTION SHOULD BE NOTED RELATIVE TO EXISTING MECHANICAL, PLUMBING AND ELECTRICAL CONDITIONS.
- THE OWNER RESERVES THE RIGHT AT ALL TIMES TO DELIVER, PLACE AND INSTALL EQUIPMENT & FURNISHINGS AS THE WORK PROGRESSES, SO LONG AS THERE IS NO INTERFERENCE WITH THE WORK OF THE CONTRACTORS.
- ALL DIMENSIONS ARE ACTUAL.
- ALL DIMENSIONS ARE TO GYPSUM WALL BOARD PARTITIONS ARE TO FACE OF STUDS U O N.
- ALL MATERIALS, EQUIPMENT & TYPES OR METHODS OF CONSTRUCTION SHALL IN NO EVENT BE LESS THAN THAT NECESSARY TO CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE CODES, HANDICAPPED REQUIREMENTS, ORDINANCES, LAWS, ETC., OF THE REQUIRED GOVERNING AUTHORITIES.
- PARTITIONS SHALL BE CONTINUOUS OVER ALL BUILT-IN EQUIPMENT WHERE INDICATIVE ON PLANS. FURNISH NECESSARY ANGLES, HANGERS, ETC. TO COMPLETE INSTALLATION.
- ALL NEW PIPING & ELECTRIC CONDUITS SHALL BE CONCEALED WITHIN NEW PARTITIONS. UNON ALL EXPOSED PIPING SHALL BE PAINTED TO MATCH ADJACENT SURFACES.
- ARCHITECT NOT RESPONSIBLE FOR PREPARATION AND DISTRIBUTION OF SHOP DRAWINGS.
- THE ELECTRICAL OUTLETS AND PLUMBING SHOWN ON THE ARCHITECTURAL DRAWINGS ARE TO CLARIFY THE FUNCTIONAL PATTERNS OF THE ROOMS. THE CONTRACTOR SHALL REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR COMPLETE LAYOUT OF MECHANICAL & ELECTRICAL SERVICES. ARCHITECTURAL DRAWINGS SHALL PROVIDE EXACT LOCATIONS OF ALL ITEMS EXPOSED TO VIEW.
- ALL EXTERIOR, GRATINGS, LINTELS ETC., EXPOSED TO THE WEATHER SHALL BE GALVANIZED.
- GYPSUM WALL BOARD IN ALL WET AREAS I.E., TOILETS, SHOWER ROOMS, TUB ROOMS, SOILED UTILITY ROOMS, JANITOR CLOSETS, KITCHENS, ETC., SHALL BE WATER RESISTANT TYPE.
- ALL GYPSUM WALL BOARD DIRECTLY BEHIND OR ADJACENT TO ALL SINKS INCLUDING SINKS IN CASEWORK EXTENDING A MINIMUM DISTANCE OF 3"0" HORIZONTALLY FROM CENTERLINE OF FIXTURE AND FROM FLOOR TO FINISHED CEILING SHALL BE WATER RESISTANT TYPE.
- WHERE FIRE RATED PARTITIONS ARE SCHEDULED, CONTRACTOR SHALL PROVIDE TYPE X GYPSUM WALL BOARD (UNDERSIDE OF ENTIRE HOME).
- CONTRACTOR SHALL INSTALL ALL CEILING, WALL & FLOOR ACCESS DOORS SUPPLIED BY MECHANICAL TRADES, COORDINATE QUANTITY, NUMBER AND LOCATION WITH ASSOCIATED TRADES.
- CONTRACTOR SHALL FURNISH & INSTALL ANGLES, STRUTS, BRACKETS, TOGGLES, EYE BOLTS & ALL ACCESSORIES REQUIRED TO PROPERLY SUPPORT BRACE AND/OR REINFORCE ALL FINISHES, FRAMES, EQUIPMENT, ETC.
- CONTRACTOR SHALL CLOSE ALL OPENINGS DUE TO CUTTING, REMOVAL, & NEW WORK REQUIRED BY MECHANIC & ELECTRICAL TRADES. OPENINGS SHALL BE CLOSED AND FINISH SHALL MATCH EXISTING. SEE MECHANICAL & ELECTRICAL DRAWINGS.
- ALL CONDITIONS LAYOUTS, ETC. LABELED AS TYPICAL INDICATE THE EXTENT OF WORK TO BE EXECUTED FOR ALL OTHER ROOMS, SPACES, ETC. OF THE SAME USE OR TYPE.
- CABINETRY MILLWORK SHALL BE REINFORCED FROM BEHIND W/ SOLID WOOD BLOCKING.
- ALL ELECTRICAL PANEL HEIGHT TO BE AT A MAX. OF 54" TO HIGHEST BREAKER.
- ALL STEEL BEAMS & COLUMNS TO BE GALVANIZED, PRIMED AND PAINTED.

## ADDITIONAL GENERAL NOTES

- Building to be built in accordance with the most recently adopted IRC NY Edition Building Code and all National Electric Code. The Owner/ Builder shall insure that construction complies with all national, state, and local statutes, ordinances, and regulations.
- CONSTRUCTION CLASSIFICATION and FIRE RATING: 5B
- USE GROUP: R5
- DESIGN LOADS: Floors (Living Area) 55#/SF  
Floors (Bedrooms) 45#/SF  
Roofs: 30#/SF  
Ceilings: 25#/SF  
Decks: 55#/SF
- OCCUPANCY: 1 Person/ 200 SF Livable Area
- All layout dimensions shall be adjusted where required. Rough openings required by specific building components shall take precedents for proper fit of finished component.
- Contractor shall refer to written dimensions only. NEVER SCALE DRAWINGS. All dimensions and conditions shall be verified in the field and any discrepancies reported to the Architect prior to construction.
- No changes to the plans are permitted. The Architect shall not be responsible for any departure from these drawings at any time during construction.
- The minimum acceptable soil bearing capacity is 3000 psf. It is the responsibility of the Owner/ Builder to make subsurface investigation such as borings, and consult with a soil engineer if necessary to establish that the soil bearing capacity is adequate. If it is less than 3000 psf, notify Architect before commencement of Work.
- The Owner/ Builder shall be responsible for the correct siting of the house on the property and the confirmation of all requirements for siting. The Architect accepts no responsibility for plans complying with local side yards and setbacks for a specific piece of property unless the siting of the house is done by the Architect.

## CONSTRUCTION NOTES

- CONNECTIONS: All nailed connections to comply with the recommended Fastening Schedule of the IRC NY EDITION. Sheathing nailing to comply with same schedule and/or manufacturer's specifications, whichever is more stringent.
- FRAMING: Typical unless noted otherwise.  
A All repetitive lumber (nonbearing partitions, floor joists, rafters, ceiling joists, etc.) to have a minimum Fiberstress of 1,150 psi and a minimum Modulus of Elasticity of 1,400,000.  
B All structural lumber (girders, headers, bearing partitions) to have a minimum Fiberstress of 1,450 psi and a minimum Modulus of Elasticity of 1,700,000, unless otherwise noted.  
C All microlams and/or parallams called out on these plans to have a minimum Fiberstress of 2,800 psi and a Modulus of Elasticity of 2,000,000.  
D Double-up floor joists under all parallel partitions.  
E All headers shall be supported by a double 2x4 wood post each end, typical unless otherwise noted.
- CUTTING AND NOTCHING: No notching of wood beams, joists, rafters, or studs is allowed unless the cutting or notching complies with that allowed in the NY IRC. If TJI floor joists are used, cutting and notching is allowed only per the manufacturer's charts.
- DOORS: All exterior doors to be 6'-8" high x 1-3/4" thick. All interior doors to be 6'-8" high x 1-3/8" thick. All doors in common wall between living area and garage to be 6'-8" high x 1-3/4" thick solid core, B-Label.
- FIRE SEPARATION: At common assemblies (and their support) between living area and garage.  
Floor/Ceiling Assemblies: U/LR1512  
Partitions: U/LR1309  
Columns: U/LR4X51
- EGRESS: All bedrooms shall have at least one operable window or door direct to exterior approved for egress or rescue as per IBC NJ 2015. The units must be operable from the inside without the use of separate tools.  
a Sill height must not exceed more than 44" A.F.F.  
b Minimum net clear opening of 5.7 S.F.  
c Minimum net clear opening height of 24"  
d Minimum net clear opening width of 20"
- FIRE AND DRAFT STOPPING: Fire and draft stop all dropped soffits and ceilings, and any other concealed area where fire draft stopping is required.
- SITE DRAINAGE: Slope grade adjacent to foundation (all sides of dwelling) down and away at a pitch for a minimum distance of 8'-0".
- UNHEATED AREAS: Insulate all heating ducts, trunks and hydronic piping in areas not heated (basement, crawl spaces, cantilevers, garages, etc.)
- ELECTRICAL:  
a All smoke detectors to be interconnected and powered by an electrical source. Each detector to have a battery operated back-up system.  
b All closet light fixture lamps to be completely enclosed.  
c All outlets within 6'-0" of a water source to be on circuit with ground fault interrupter.

## HVAC NOTES

- THE COMPLETE DESIGN AND RELATED INSTALLATION OF THE HVAC SYSTEM(S), EQUIPMENT, ETC., WILL BE THE RESPONSIBILITY OF A LICENSED HVAC CONTRACTOR AS ALLOWED/REQUIRED BY THE NEW YORK UNIFORM CONSTRUCTION CODE, AND WILL MEET ALL REQUIREMENTS AS SET FORTH THEREIN.
- CODE COMPLIANCE WILL BE THE RESPONSIBILITY OF THE LICENSED HVAC CONTRACTOR.
- FOR BIDDING, ALL CONTRACTORS WILL PROVIDE ALL MODEL TYPES, BTUs, EFFICIENCY RATINGS, A/C TONNAGES AND OTHER INFORMATION NECESSARY TO MAKE AN ACCURATE COMPARISON OF BIDS.

ALL WORK PERFORMED SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES, INCLUDING BUT NOT LIMITED TO:

## 2020 BUILDING CODE OF NEW YORK STATE

LAND USE ORDINANCES OF VILLAGE OF TANNERSVILLE, TOWN OF HUNTER & GREENE COUNTY, 2020 RESIDENTIAL CODE OF NEW YORK STATE, NATIONAL ELECTRIC CODE 2017 OF NEW YORK STATE, 2020 PLUMBING CODE OF NYS, 2020 ENERGY CONSERVATION CODE OF NYS

1. USE GROUP	R-5
2. CONSTRUCTION TYPE	5B
3. CATEGORIES OF WORK	NEW CONSTRUCTION
4. AREA OF CONSTRUCTION	5650 SF (FOUND. FOOTPRINT)
5. VOLUME OF NEW HOUSE	43,760 CF
6. VOLUME OF NEW GARAGE	7500 CF

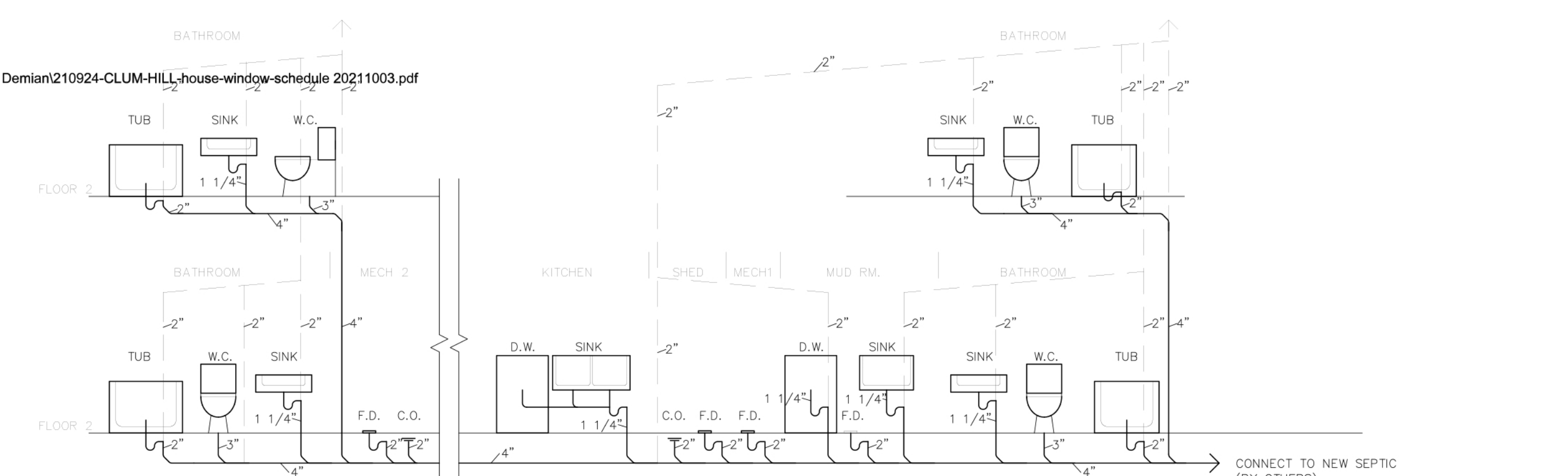
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UNDER SEPERATE ATTACHMENT:  
WINDOW SCHEDULE  
DOOR SCHEDULE  
ELECTRICAL FIXTURE SCHEDULE



2 SITE PLAN  
SCALE: 1/50" = 1' - 0"



1 PLUMBING RISER DIAGRAM  
SCALE: NOT TO SCALE

ARCHITECT: BROADLOOM ARCHITECTURE DPC  
285 RIVERSIDE DR #4F  
NEW YORK, NY 10025

OWNER MAILING ADDRESS:  
DEMIAN REPUCCI  
285 RIVERSIDE DR #4F  
NEW YORK, NY 10025

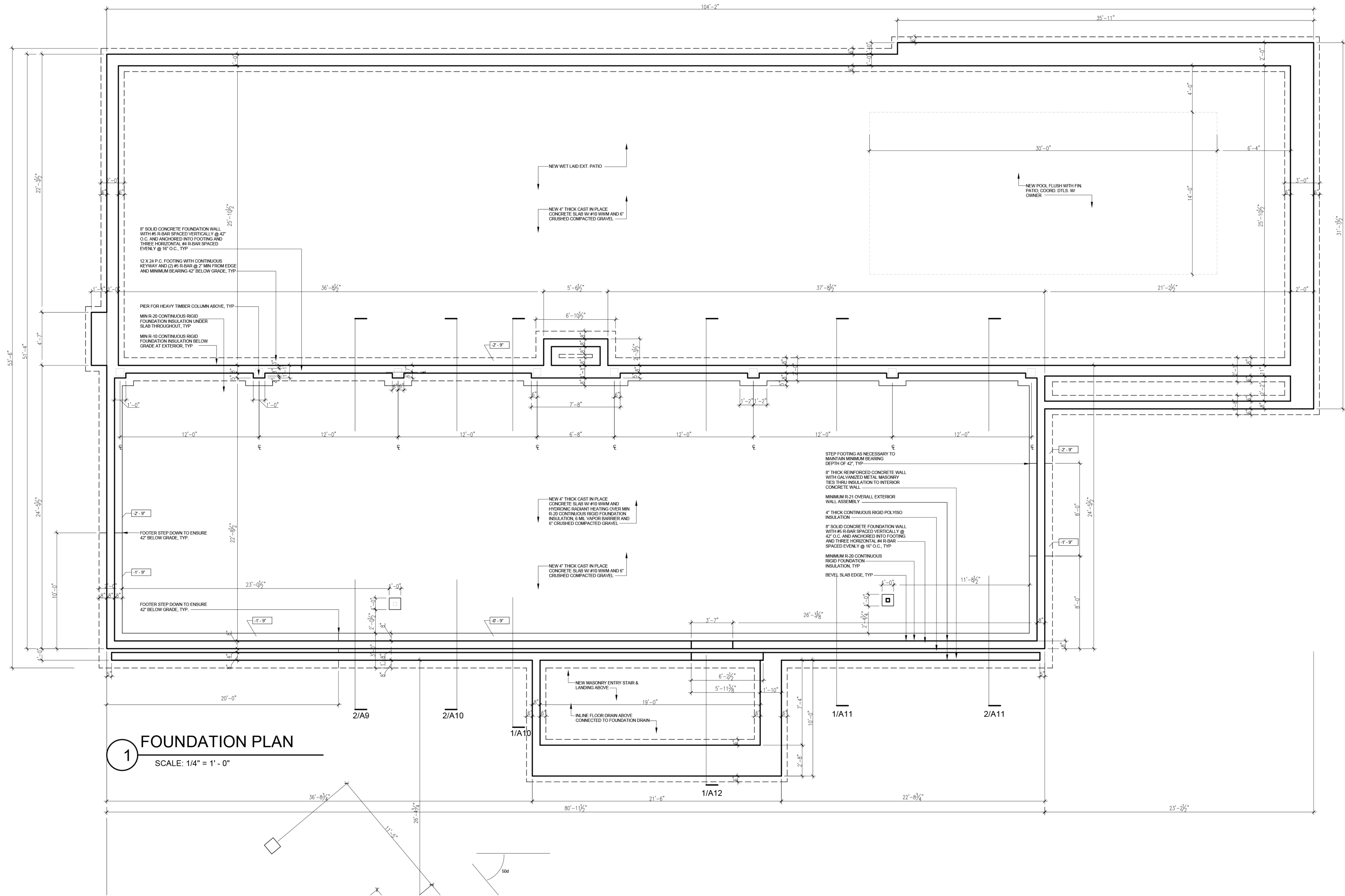
GENERAL NOTES, SITE PLAN, PLUMBING RISER, WINDOW SCHEDULE, TABLE OF CONTENTS

PERMIT SUBMISSION  
ISSUE FOR PRICING  
ISSUE FOR FOUNDATION  
ISSUE FOR PRICING

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12/02/2021  
04/10/2022  
04/05/2024

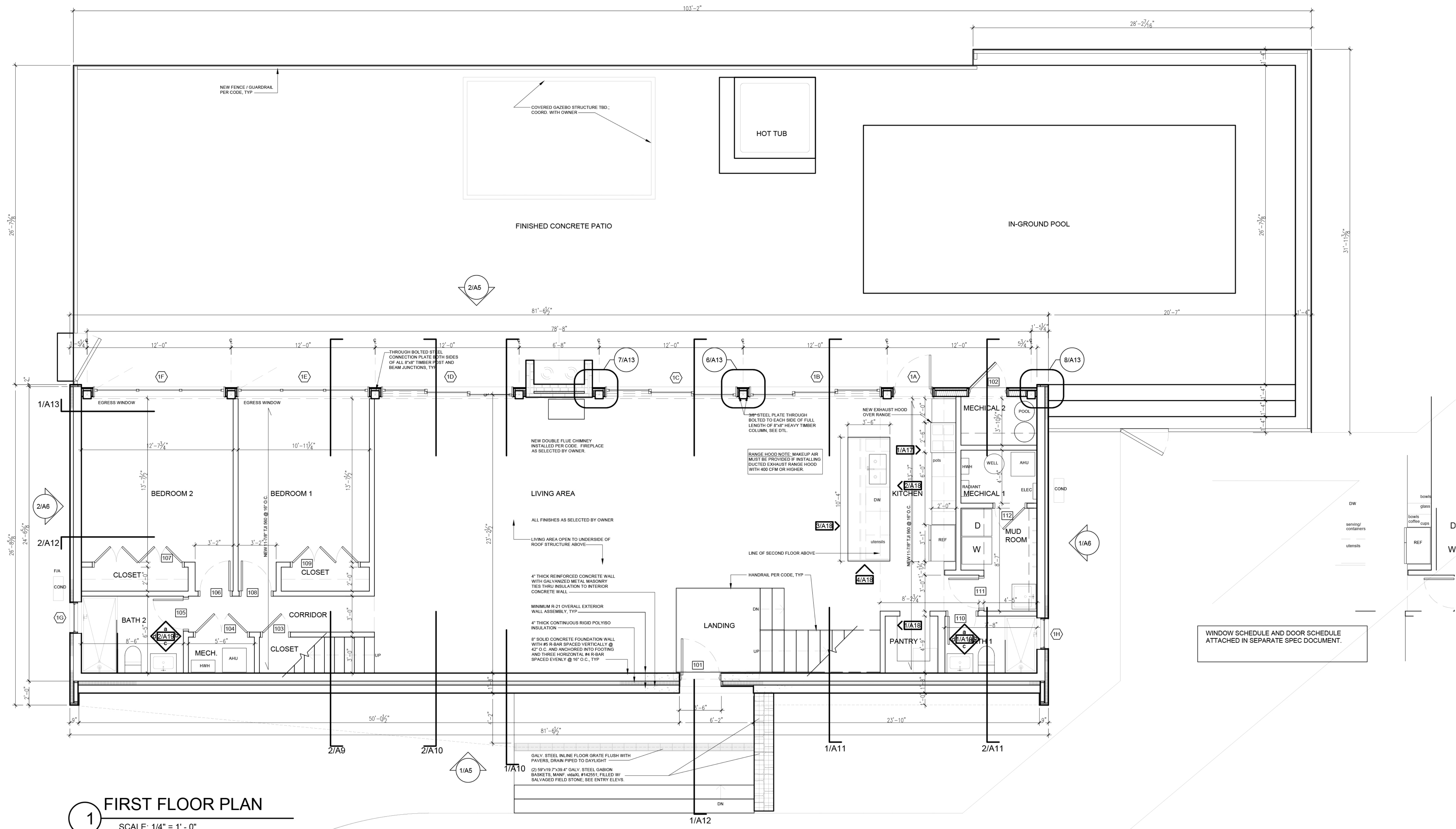
PROJECT: REPUCCHI RESIDENCE  
DEMIAN REPUCCI  
LOT 3, 625 CLUM HILL ROAD  
ELKA PARK, NY 12427  
BLOCK: 182.00-3-33 LOT: 3  
DRAWN BY: BW CHECKED BY: BW





**1 FOUNDATION PLAN**  
SCALE: 1/4" = 1' - 0"

PROJECT:	REPUCCI RESIDENCE
OWNER:	DEMIAN REPUCCI
ADDRESS:	LOT 3 - 625 CLUM HILL ROAD ELKA PARK, NJ 07427 T. 3
DATE:	10/04/2021 12/09/2021 04/10/2022
ISSUE:	PERMIT SUBMISSION ISSUE FOR PRICING ISSUE FOR FOUNDATION
DRAWN BY:	BW
CHECKED BY:	BW
ARCHITECT:	BROADLOOM ARCHITECTURE DPC
OWNER MAILING ADDRESS:	P. 908 208 8983 E. ben@broadloomcreative.com 296 1/2 OLD YORK RD, BRIDGEWATER, NJ 08807
ARCHITECT ADDRESS:	BENJAMIN WALKER - N.Y. LICENSE #031585 285 RIVERSIDE DR #2F NEW YORK, NY 10025



**1** FIRST FLOOR PLAN  
SCALE: 1/4" = 1' - 0"

WINDOW SCHEDULE AND DOOR SCHEDULE  
ATTACHED IN SEPARATE SPEC DOCUMENT.

PROJECT: **REPICCI RESIDENCE**  
 DEMIAN REPICCI  
 10 S CLUM HILL ROAD  
 OLMFORDS, NY 12447  
 BLOCK: 182.00-3-33 LOT: 3  
 DRAWN BY: BW CHECKED BY: BW

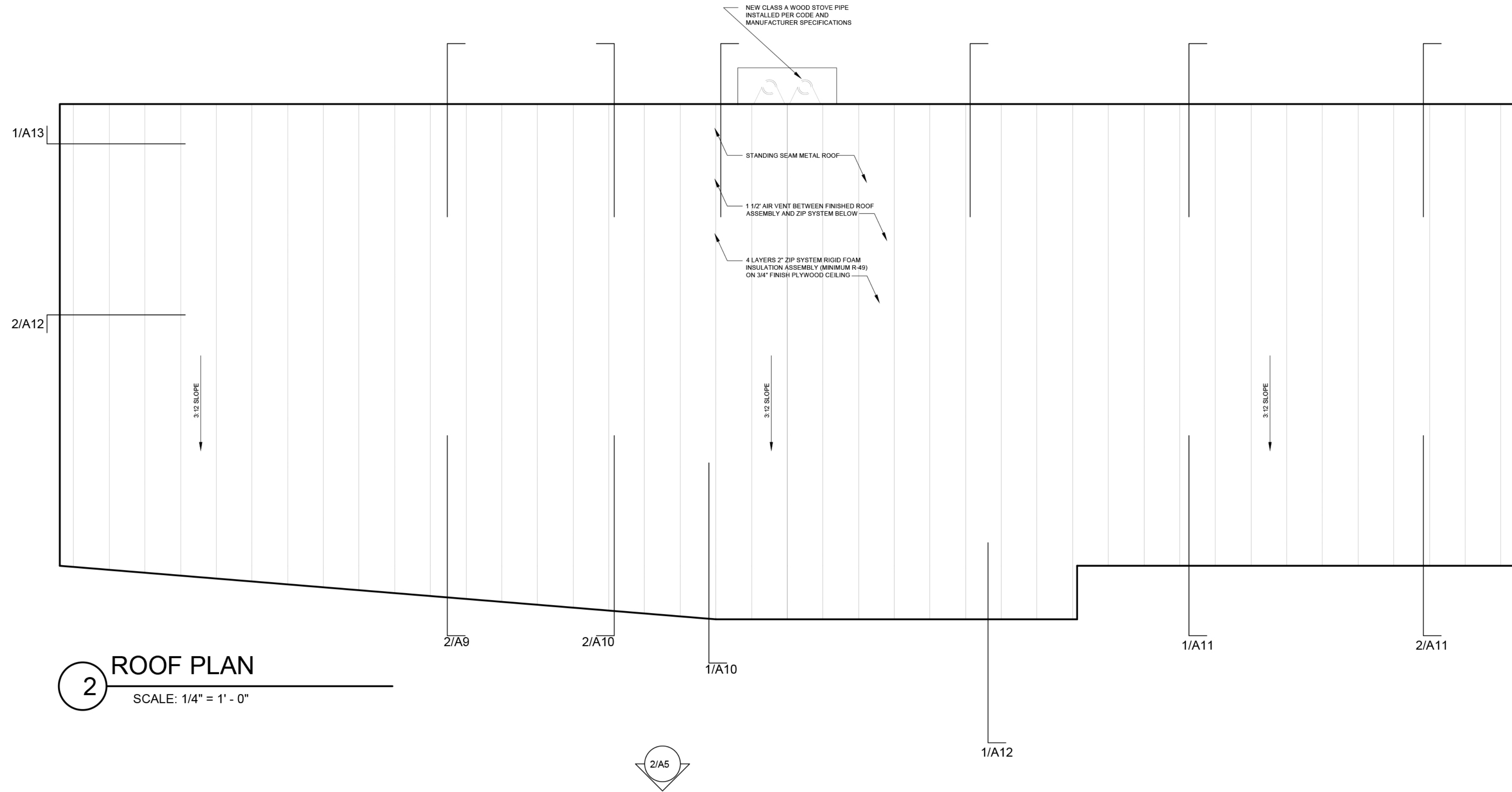
DATE: 10.04.2021  
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 04.10.2022

ISSUE: PERMIT SUBMISSION  
 ISSUE FOR PRICING  
 ISSUE FOR FOUNDATION

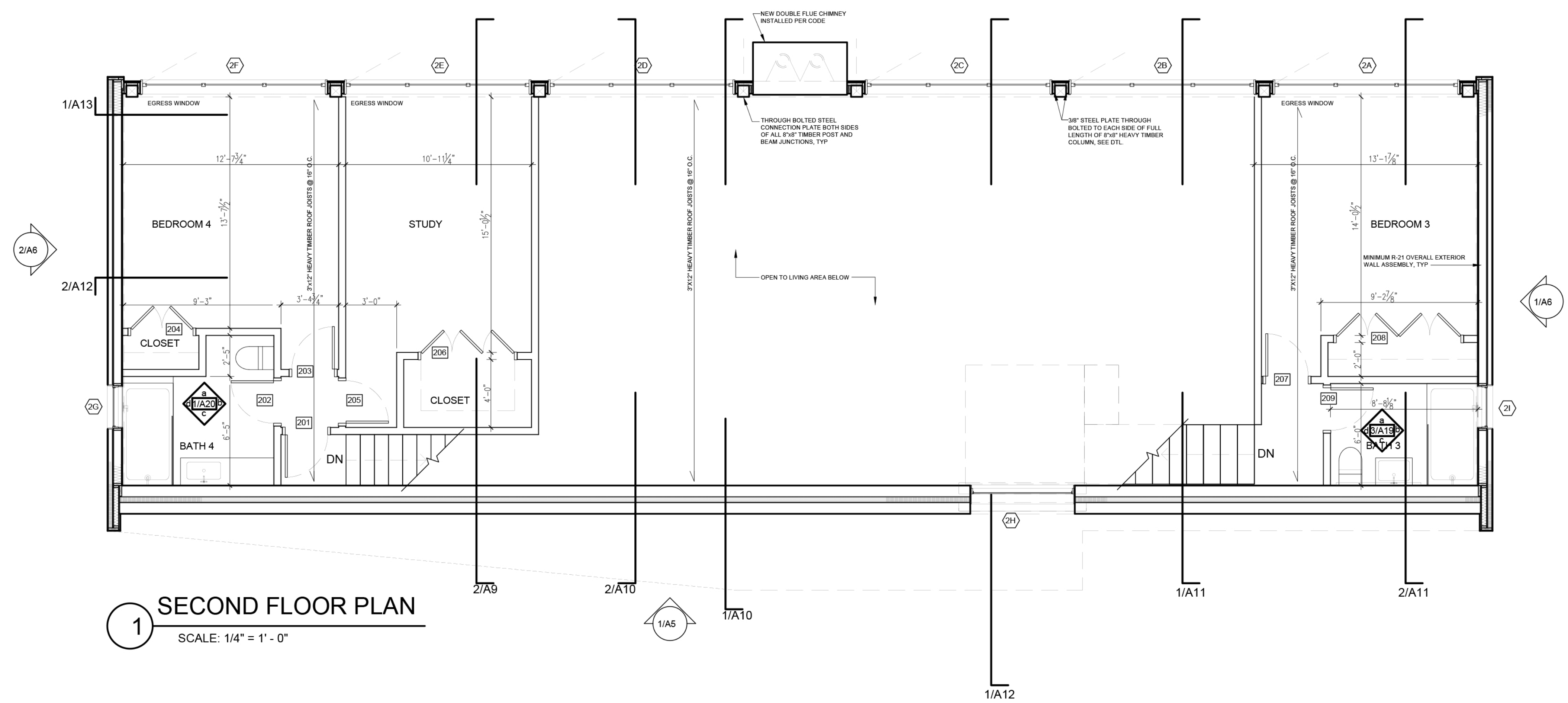
DESIGN: PROPOSED FIRST FLOOR PLAN

NOTES:  
 OWNER MAILING ADDRESS:  
 DEMIAN REPICCI  
 288 FLYERS  
 NEW YORK, NY 10025

ARCHITECT:  
 P. 908.208.8983 E. ben@broadloomcreative.com  
 286 1/2 OLD YORK RD. BRIDGEWATER, NJ 08807  
 BENJAMIN WALMER - N.Y. LICENSE #031585  
**BROADLOOM ARCHITECTURE DPC**



**2 ROOF PLAN**  
SCALE: 1/4" = 1' - 0"



**1 SECOND FLOOR PLAN**  
SCALE: 1/4" = 1' - 0"

WINDOW SCHEDULE AND DOOR SCHEDULE ATTACHED IN SEPARATE SPEC DOCUMENT.

**BROADLOOM ARCHITECTURE DPC**  
ARCHITECT  
P. 988-208-8883 E. han@broadloomarchitecture.com  
286 J OLD YORK RD BRIDGEWATER NJ 08807  
BENJAMIN WALMER - N.Y. LICENSE #031585

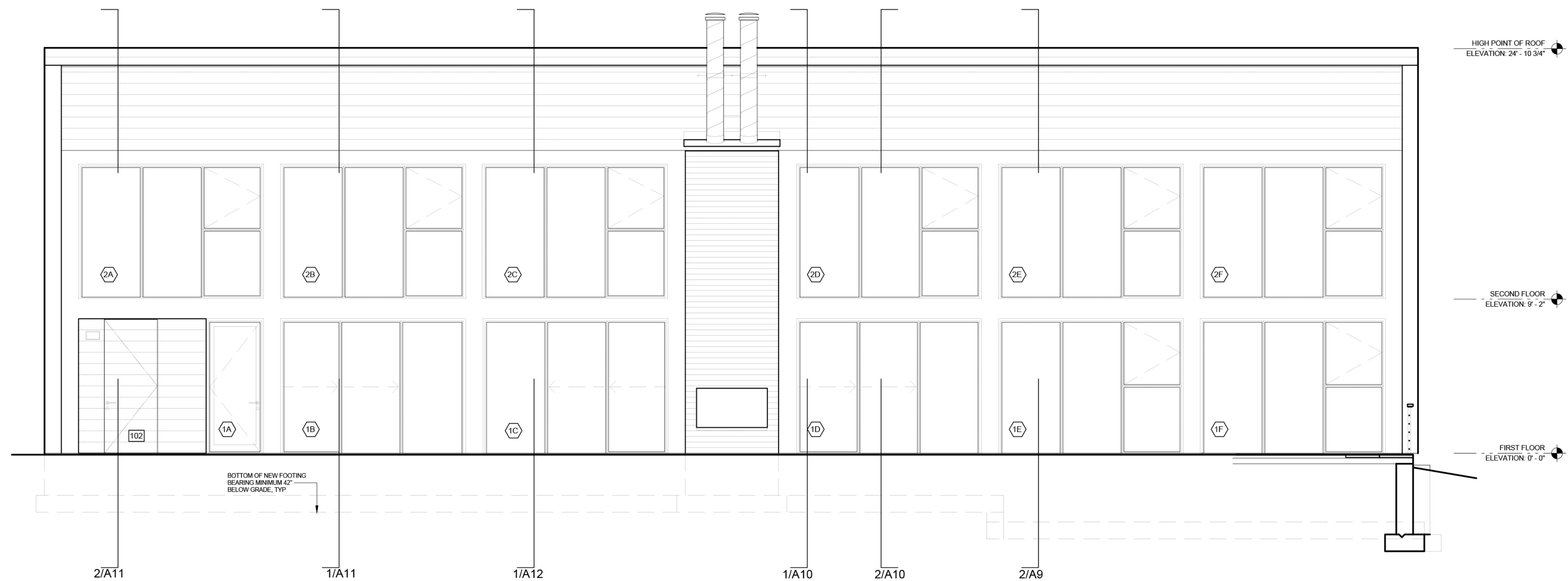
**NOTES**  
OWNER MAILING ADDRESS:  
DEMIAN REPUBUCCI  
285 RIVERSIDE DR #2F  
NEW YORK, NY 10025

**PROPOSED SECOND FLOOR PLAN & ROOF PLAN**

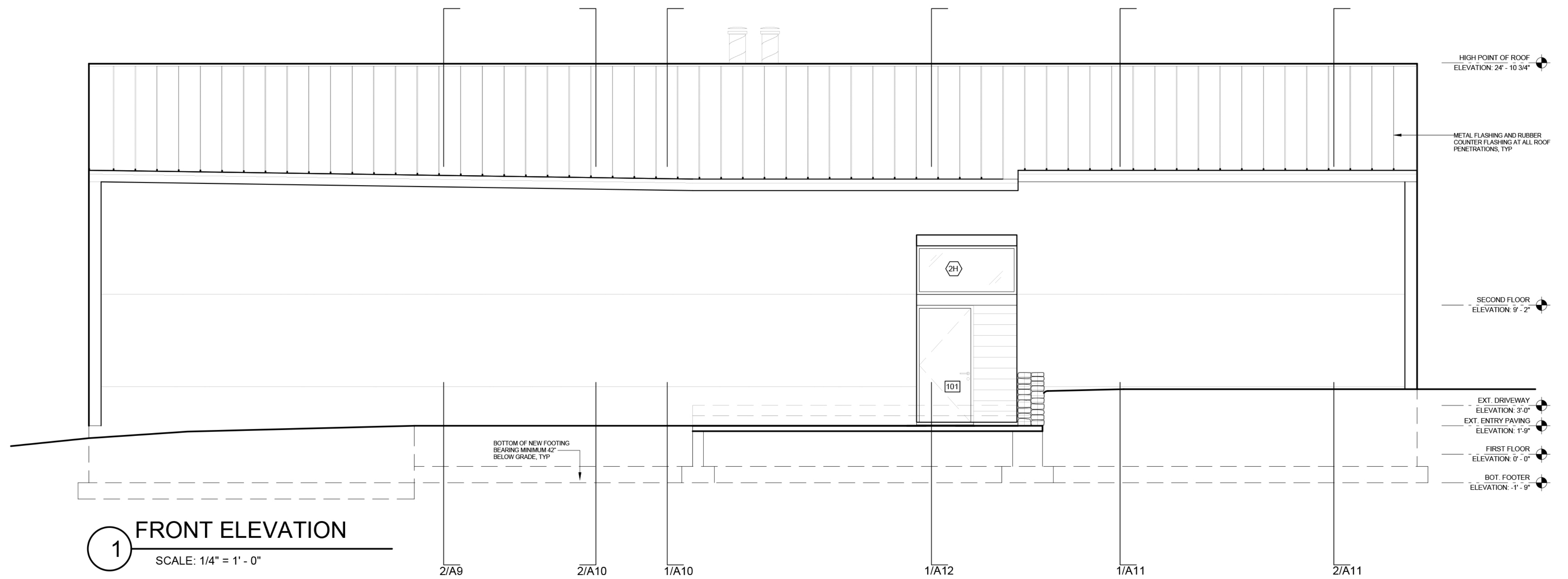
**ISSUE**  
10/04/2021 PERMIT SUBMISSION  
12/02/2021 ISSUE FOR PRICING  
04/10/2022 ISSUE FOR FOUNDATION

**PROJECT**  
**REPUBUCCI RESIDENCE**  
DEMIAN REPUBUCCI  
LOT 3, 625 CLUM HILL ROAD  
ELKA PARK, NY 12427  
BLOCK: 182.00-3-33 LOT: 3  
DRAWN BY: SH. CHECKED BY: SH.



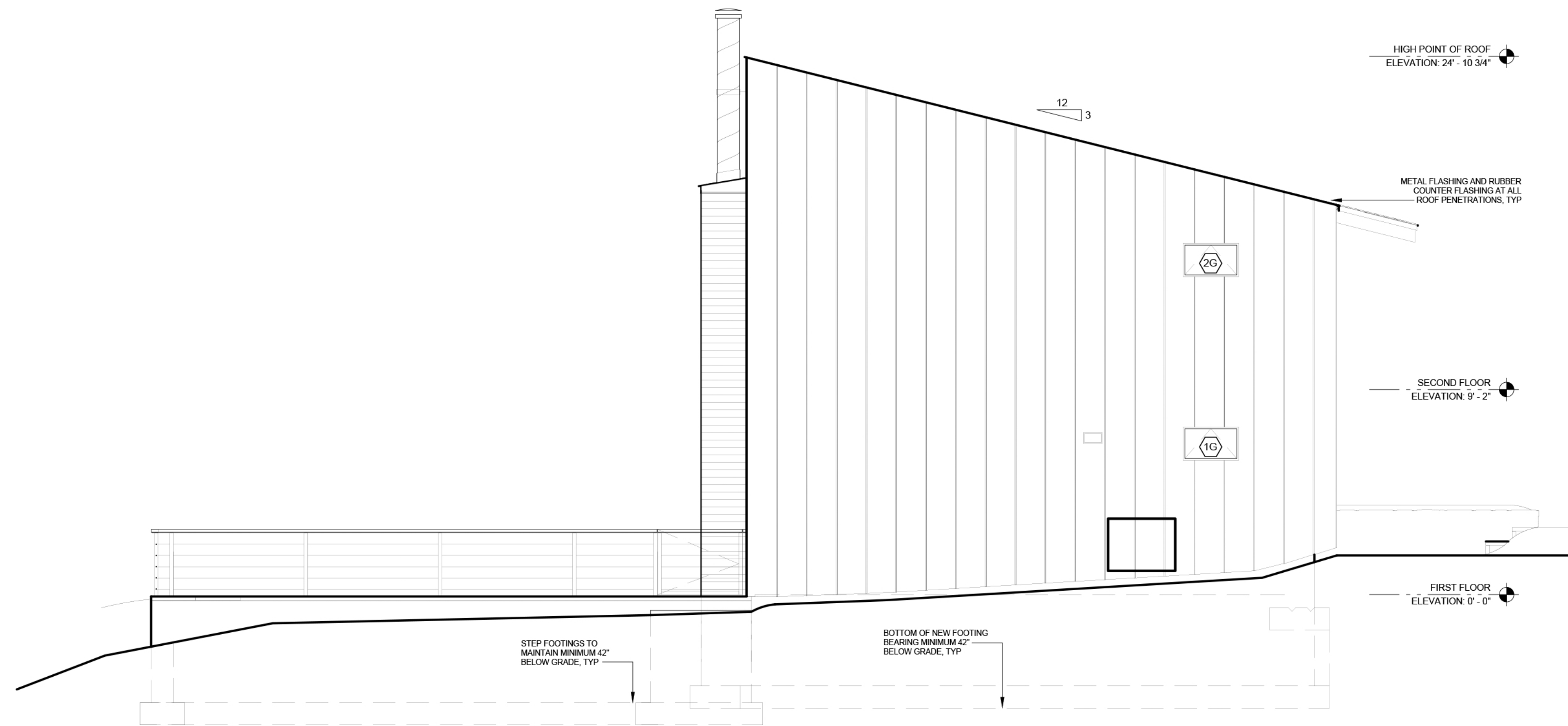


**2 REAR ELEVATION**  
SCALE: 1/4" = 1' - 0"



**1 FRONT ELEVATION**  
SCALE: 1/4" = 1' - 0"

DATE:	10/04/2021	ISSUE:	PERMIT SUBMISSION
	12/02/2021		ISSUE FOR PRICING
	04/10/2022		ISSUE FOR FOUNDATION
PROJECT:	<b>REPUGGI RESIDENCE</b> DEMIAN REPUGGI LOT 3, 625 CLUM HILL ROAD ELKA PARK, NJ 07427 E.L.A. PARK, INC. 3-13-24 DRAWN BY: BW CHECKED BY: BW		
DRAWING:	FRONT AND REAR EXTERIOR ELEVATIONS		
NOTES:	OWNER MAILING ADDRESS: DEMIAN REPUGGI 285 RIVERSIDE DRIVE NEW YORK, NY 10025		
ARCHITECT:	P. 908. 208. 8883 E. ben@broadloomcreative.com 296 OLD YORK RD. BRIDGEWATER, NJ 08807 BENJAMIN WALMER - N.Y. LICENSE #031585 <b>BROADLOOM ARCHITECTURE DPC</b>		



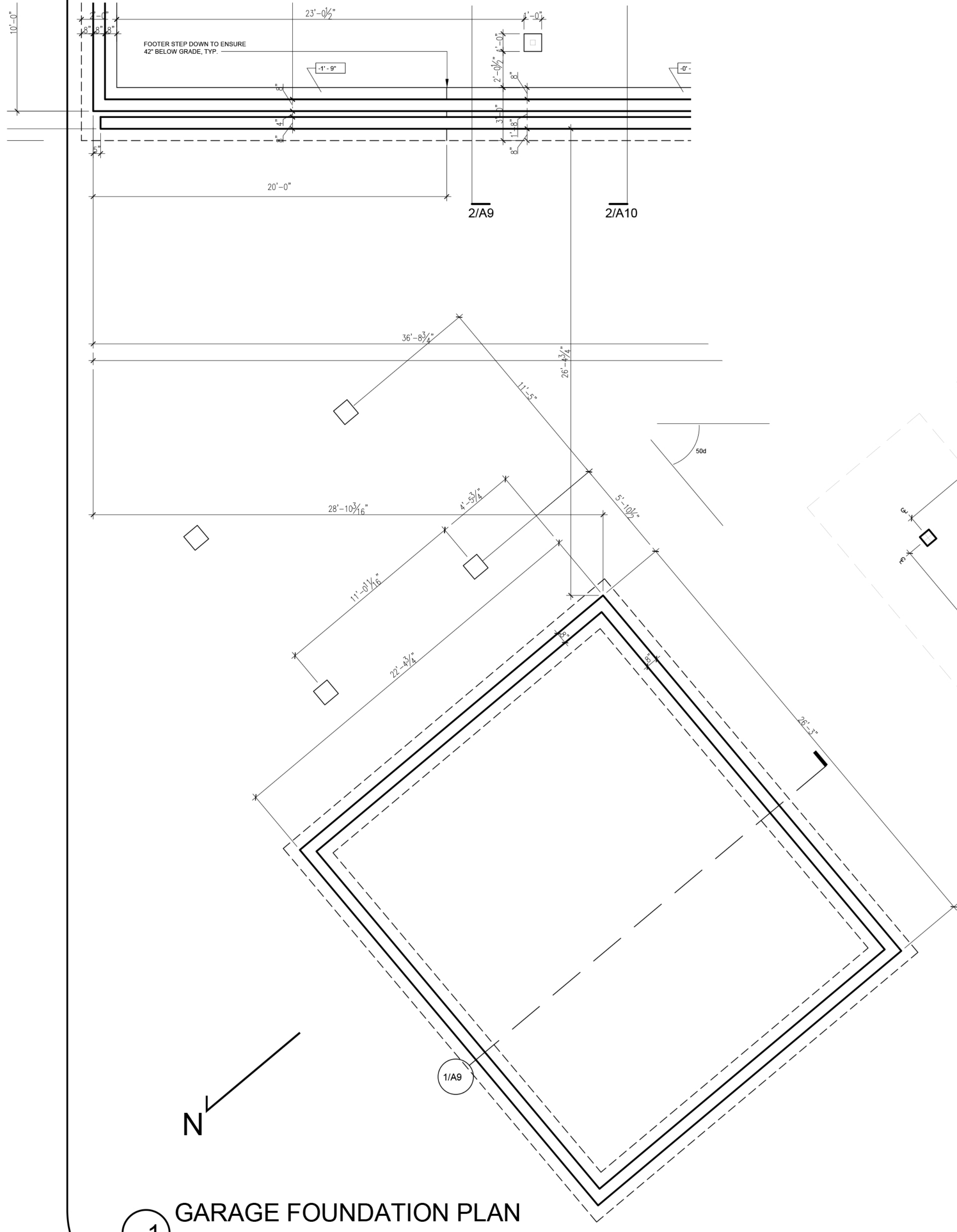
**2** NORTHEAST SIDE ELEVATION  
SCALE: 1/4" = 1' - 0"



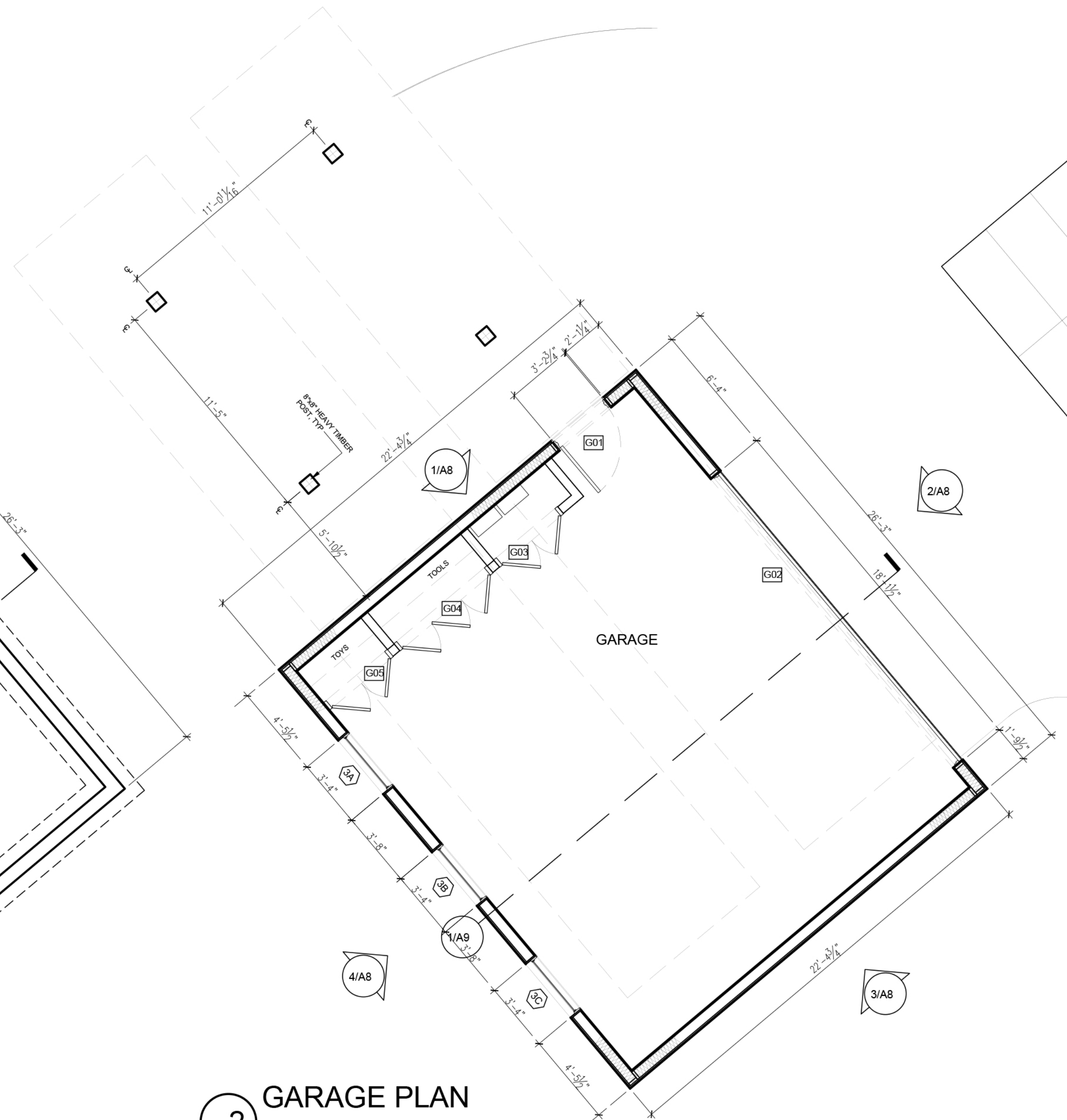
**1** SOUTHWEST SIDE ELEVATION  
SCALE: 1/4" = 1' - 0"

PROJECT:	REPUCCI RESIDENCE DEMIAN REPUCCI LOT 3, 625 CLUM HILL ROAD ELKA PARK, NY 12427, 3 DRAWN BY: BW, CHECKED BY: BW
DATE:	10.04.2021   PERMIT SUBMISSION 12.02.2021   ISSUE FOR PRICING
DRAWING:	SIDE EXTERIOR ELEVATIONS
NOTES:	OWNER MAILING ADDRESS: DEMIAN REPUCCI 285 RIVERSIDE DR #2F NEW YORK, NY 10023
ARCHITECT:	P. 908. 208. 8983 E. ben@broadloomcreative.com 296 J OLD YORK RD, BRIDGEWATER, NJ 08807 BENJAMIN WALMER - N.Y. LICENSE #031585 <b>BROADLOOM ARCHITECTURE DPC</b>

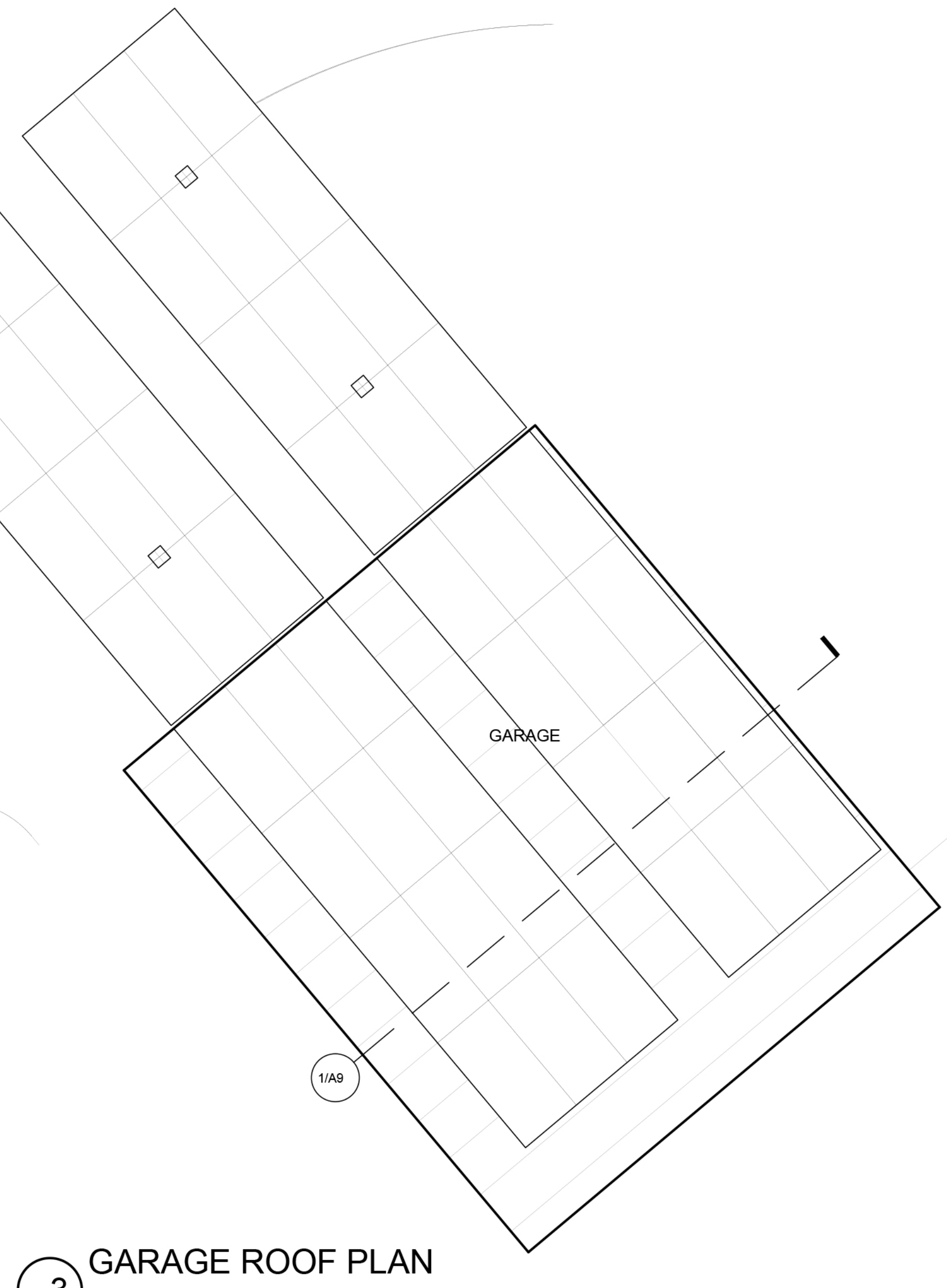




**1** GARAGE FOUNDATION PLAN  
SCALE: 1/4" = 1' - 0"



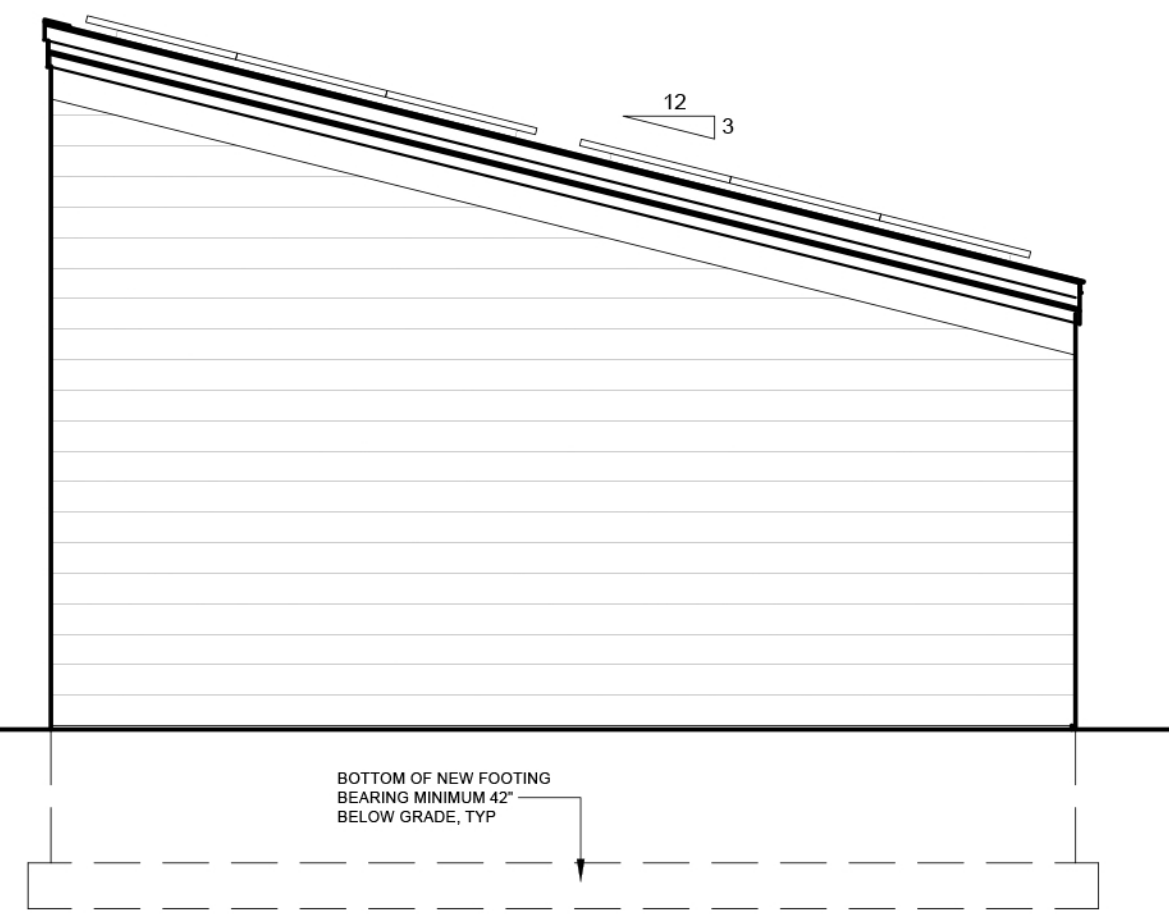
**2** GARAGE PLAN  
SCALE: 1/4" = 1' - 0"



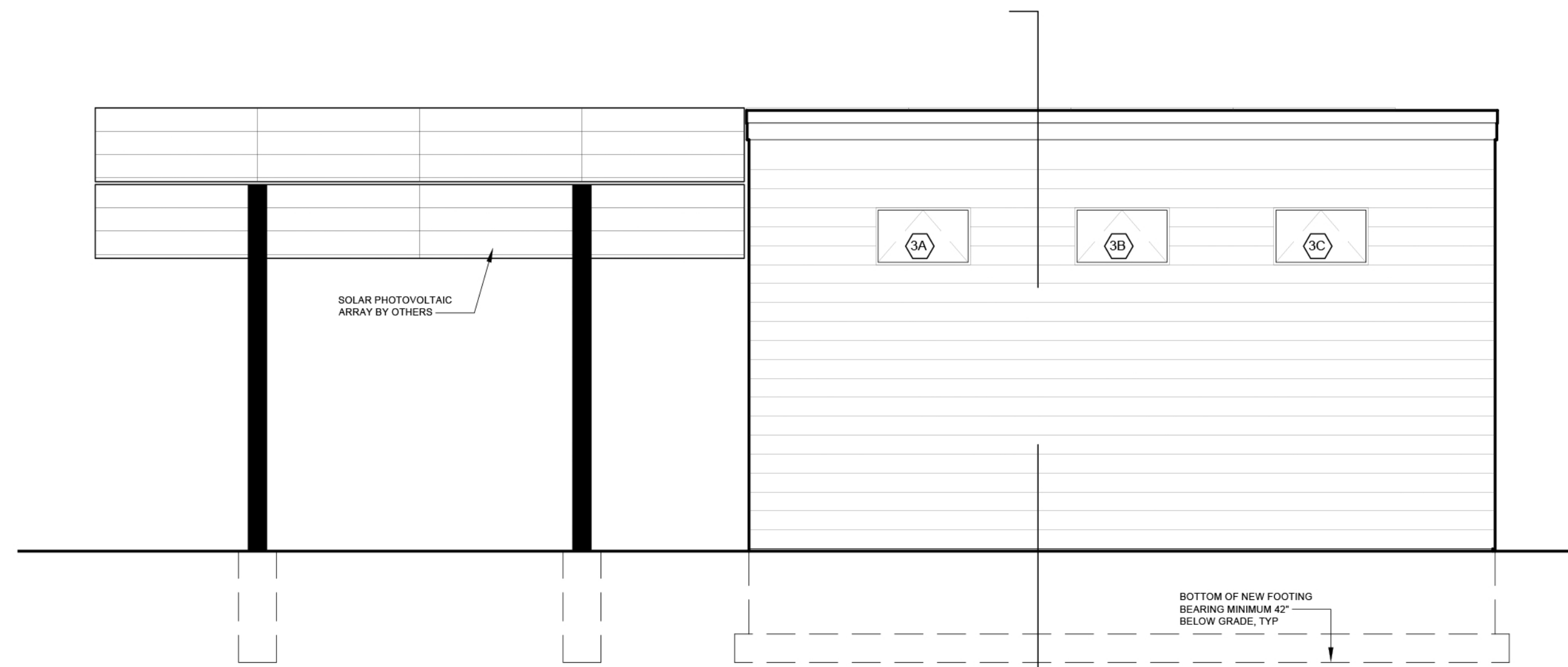
**3** GARAGE ROOF PLAN  
SCALE: 1/4" = 1' - 0"

WINDOW SCHEDULE AND DOOR SCHEDULE  
ATTACHED IN SEPARATE SPEC DOCUMENT.

PROJECT:	REPUCCI RESIDENCE
OWNER MAILING ADDRESS:	DEMIAN REPUCCI LOT 3, 625 CLUM HILL ROAD BLOCK 182, 00-3-33 LOT: 3 NEW YORK, NY 10025
ARCHITECT:	BROADLOOM ARCHITECTURE DPC
DATE:	10.04.2021
ISSUE:	PERMIT SUBMISSION
DATE:	12.02.2021
ISSUE:	ISSUE FOR PRICING
DRAWING:	GARAGE FOUNDATION PLAN & FLOOR PLAN
OWNER MAILING ADDRESS:	P. 908, 208, 8983 E. hen@broadloomcreative.com 296 J. OLD YORK RD. BRIDGEWATER, NJ 08807 BENJAMIN WALMER - N.Y. LICENSE #031585
ARCHITECT:	BROADLOOM ARCHITECTURE DPC

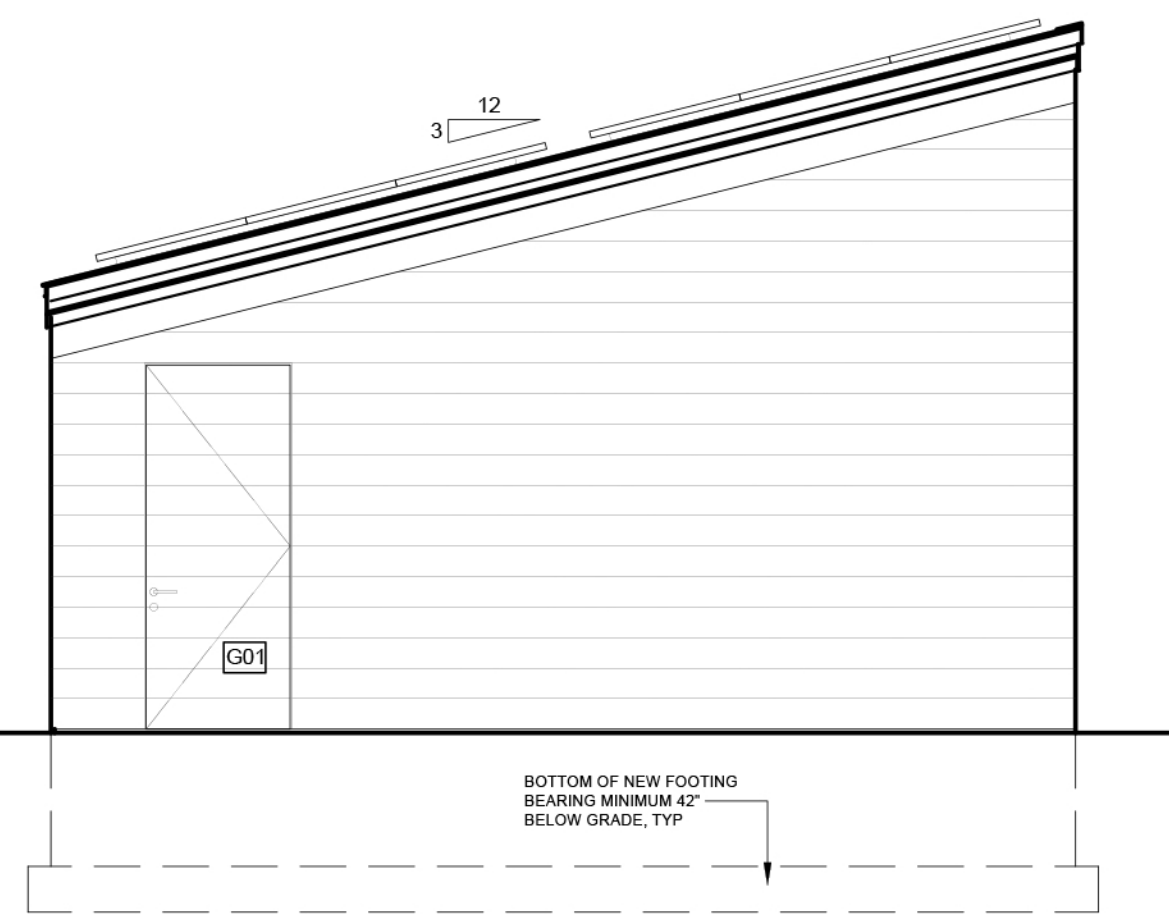


**3 GARAGE WEST ELEVATION**  
SCALE: 1/4" = 1' - 0"

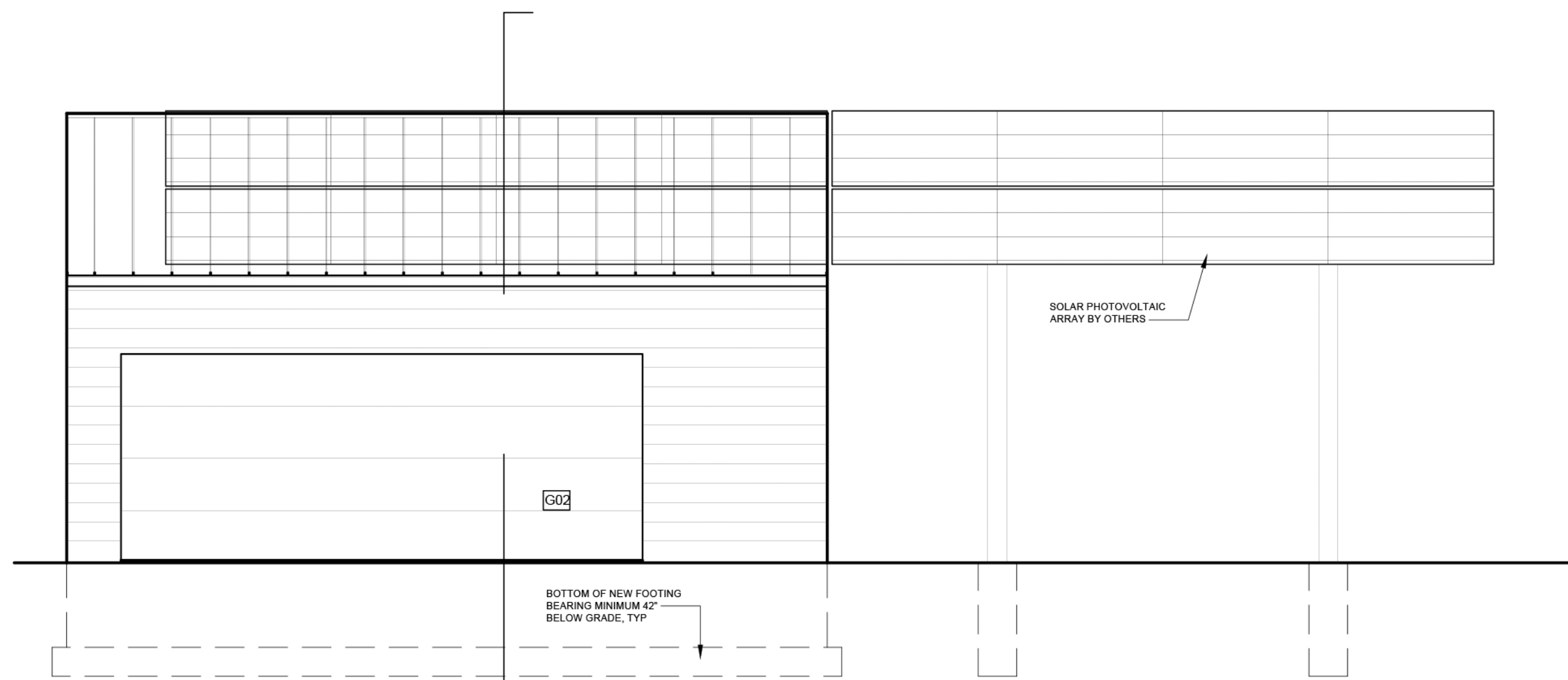


**4 GARAGE NORTH ELEVATION**  
SCALE: 1/4" = 1' - 0"

2/A9



**1 GARAGE EAST ELEVATION**  
SCALE: 1/4" = 1' - 0"

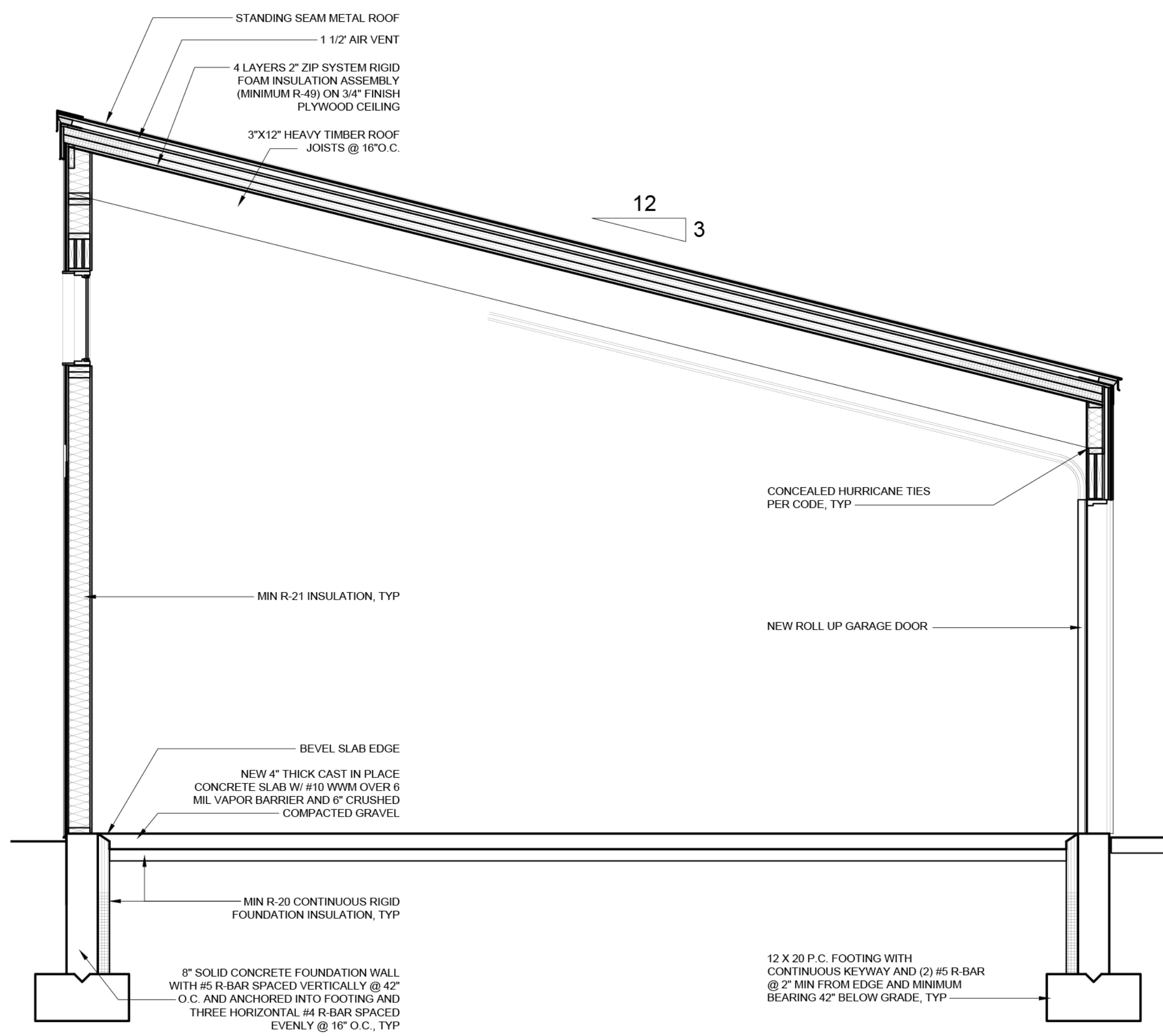


**2 GARAGE SOUTH ELEVATION**  
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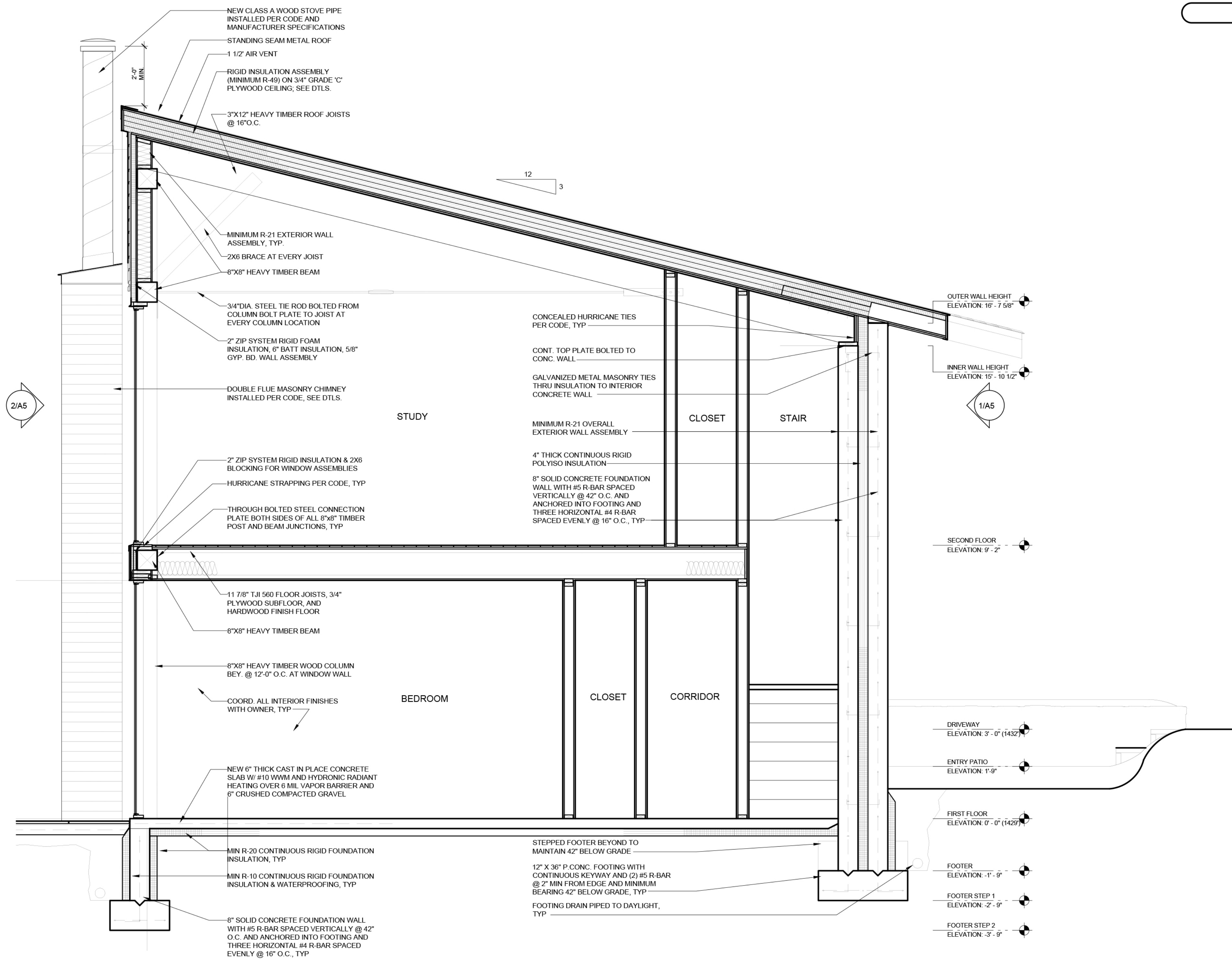
2/A9

PROJECT	REPUGLI RESIDENCE
	LOT 3, 625 CLUM HILL ROAD ELKA PARK, NY 12427 BLOCK: 182.00-3-33 LOT: 3 DRAWN BY: BW CHECKED BY: BW
DATE	10.04.2021 12.02.2021
ISSUE	PERMIT SUBMISSION ISSUE FOR PRICING
DRAWING	GARAGE EXTERIOR ELEVATIONS
NOTES	OWNER MAILING ADDRESS: DEMIAN REPUGLI 285 RIVERSIDE DR #2F NEW YORK, NY 10025
ARCHITECT	P. 800. 208. 8982 E. lien@broadloomcreative.com BROADLOOM ARCHITECTURE DPC BENJAMIN WALKER, N.Y. LICENSE #031185





**1 GARAGE SECTION**  
SCALE: 1/2" = 1' - 0"



**2 HOUSE SECTION**  
SCALE: 1/2" = 1' - 0"

PROJECT: **REPUCCI RESIDENCE**  
 12.02.2021  
 DEMIAN REPUCCI  
 LOT 3, 625 CLUM HILL ROAD  
 ELKA PARK, NY 12427  
 BLOCK 82.00, PLOT 3  
 DRAWN BY: LSP, CHECKED BY: JMW

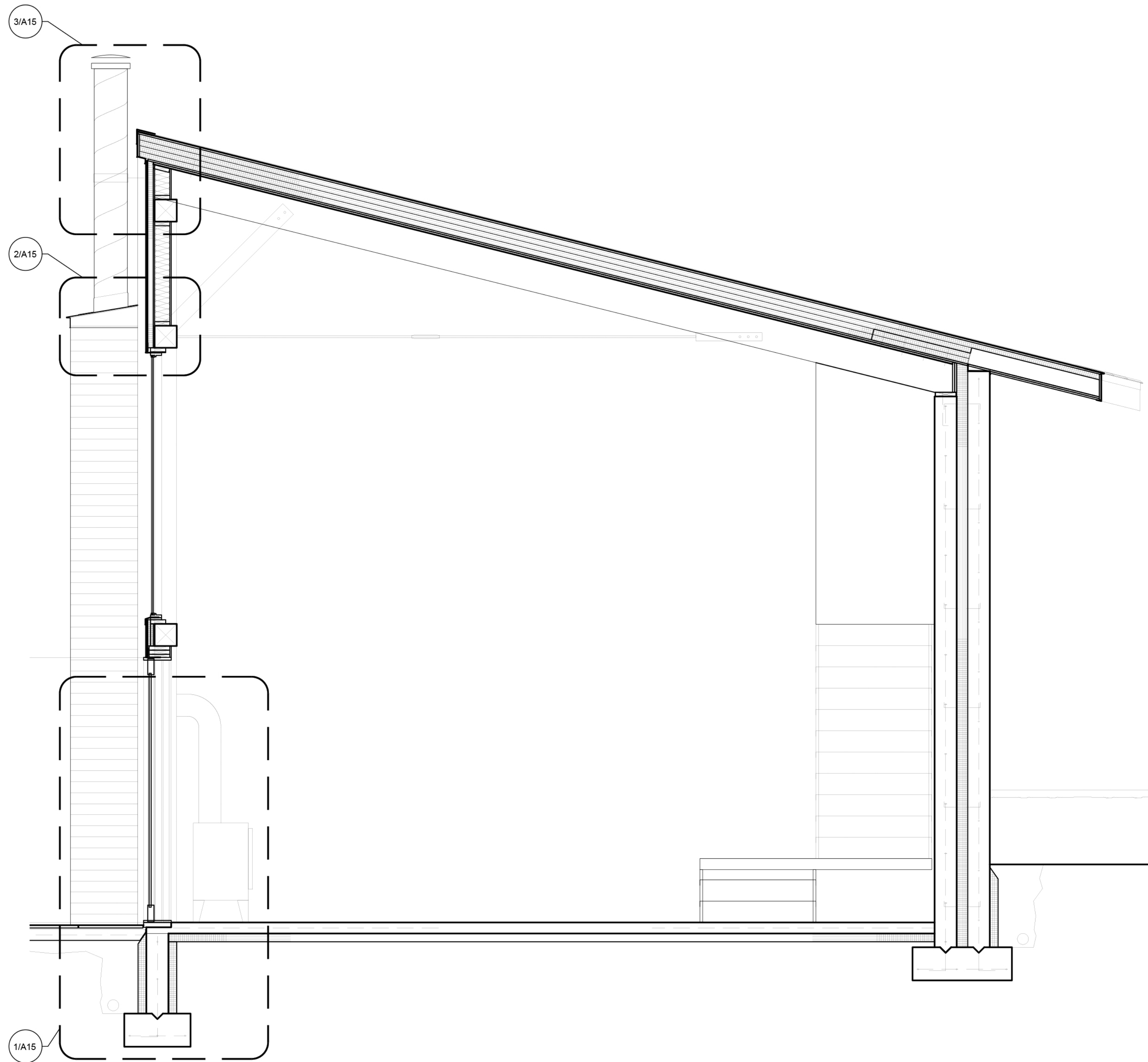
DATE: 10.04.2021  
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 04.10.2022

ISSUE: PERMIT SUBMISSION  
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 ISSUE FOR FOUNDATION

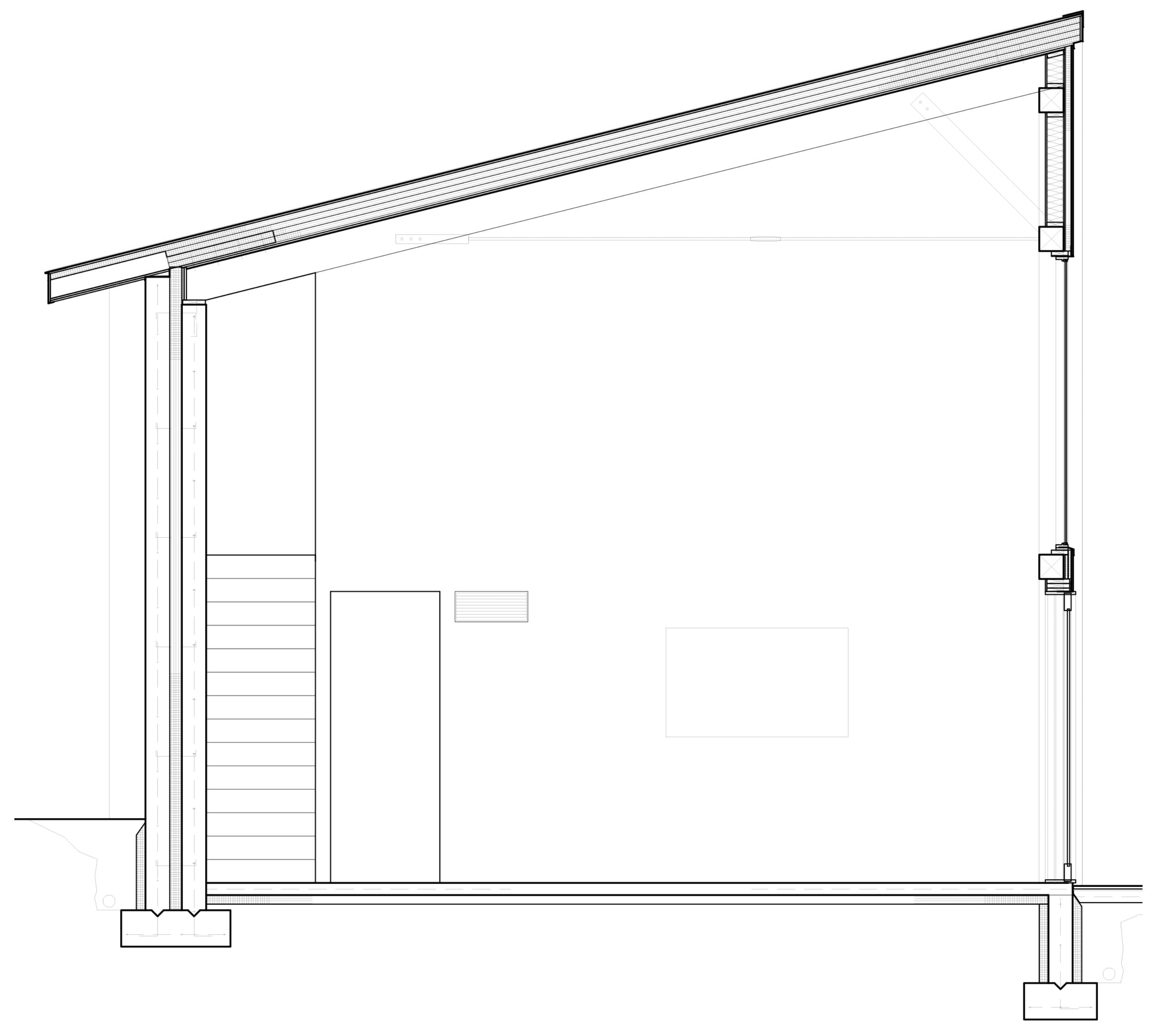
DRAWING: GARAGE AND HOUSE BUILDING SECTIONS

NOTES:  
 OWNER MAILING ADDRESS:  
 DEMIAN REPUCCI  
 285 RIVERSIDE DR #2F  
 NEW YORK, NY 10025

ARCHITECT: P. 808. 208. 8883 E. Rep@broadloomarch.com  
 298 1/2 OLD YORK RD. BRIDGEWATER, NJ 08807  
 BENJAMIN WALKER - N.Y. LICENSE #031585  
**BROADLOOM ARCHITECTURE DPC**



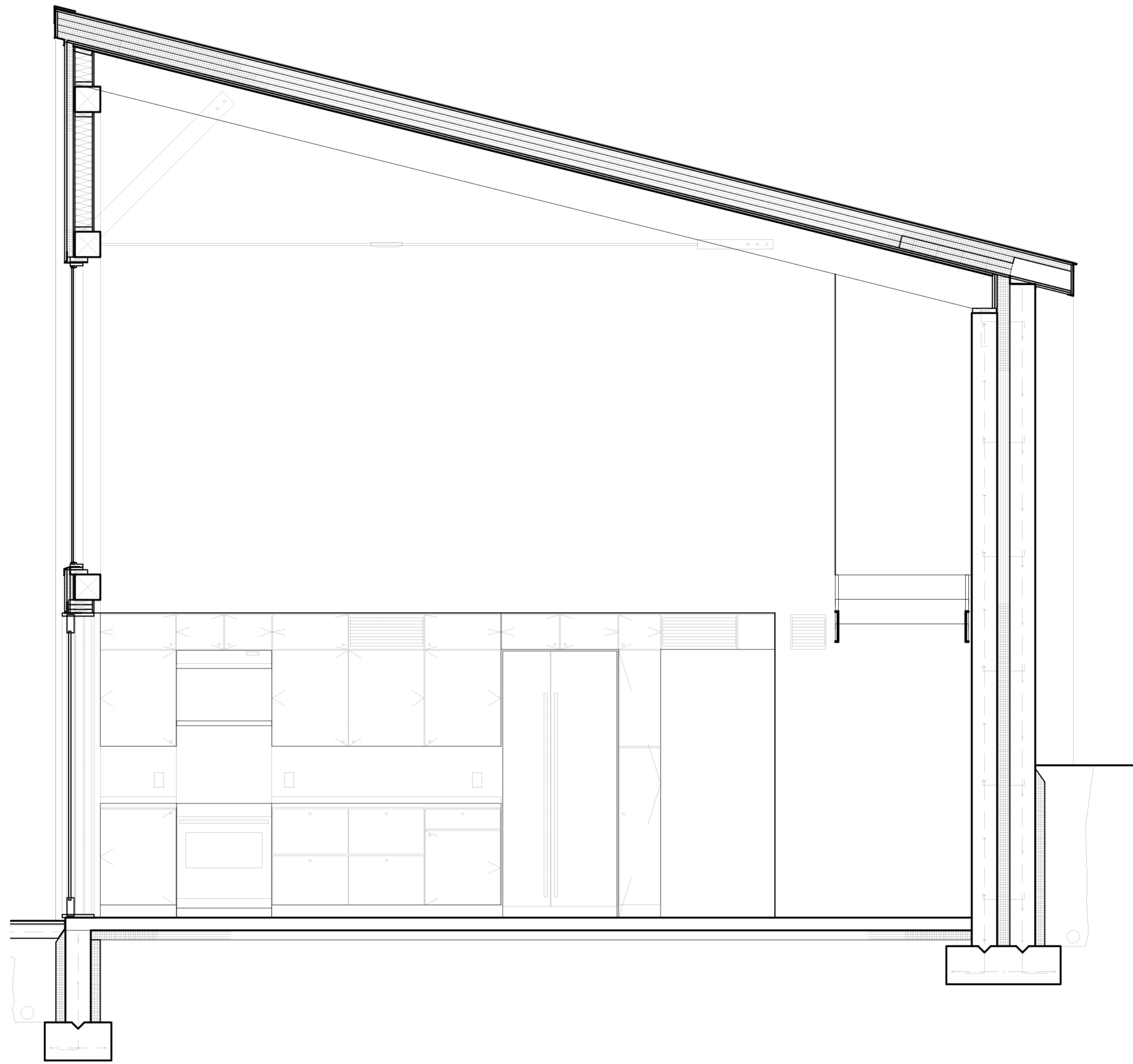
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SCALE: 1/2" = 1' - 0"



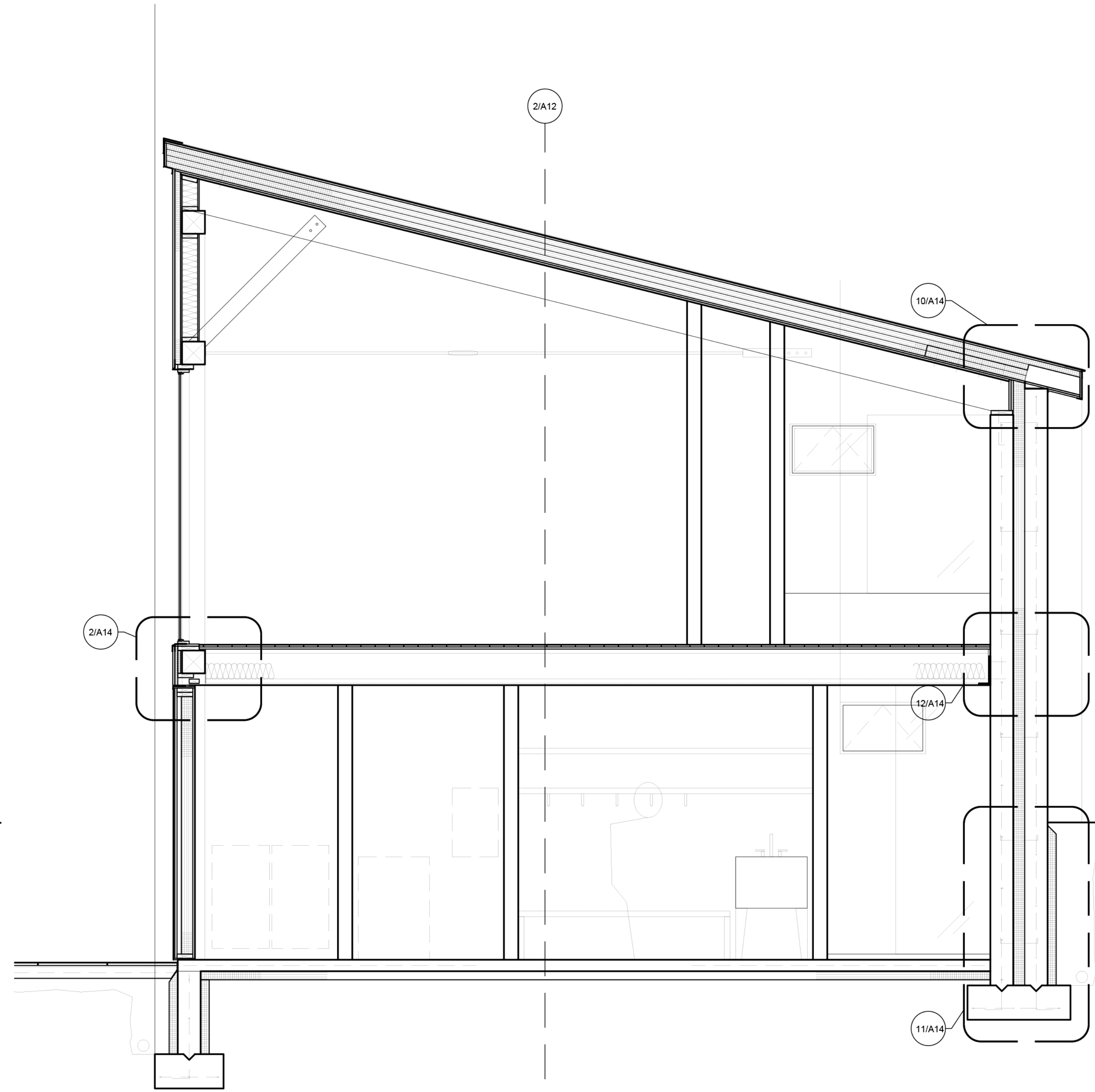
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SCALE: 1/2" = 1' - 0"

DATE:	10.04.2021 12.02.2021 04.10.2022	ISSUE:	PERMIT SUBMISSION ISSUE FOR PRICING ISSUE FOR FOUNDATION	DRAWING:	BUILDING AND WALL SECTIONS	NOTES:	OWNER MAILING ADDRESS: DEMIAN REPUCCI 285 RIVERSIDE DR #2F NEW YORK, NY 10025	ARCHITECT:	P. 908. 206. 6983 E. ben@broadloomcreative.com 100 BROADLOOM CREATIVE BENJAMIN WALLER NEW YORK LICENSE #031885 BROADLOOM ARCHITECTURE DPC
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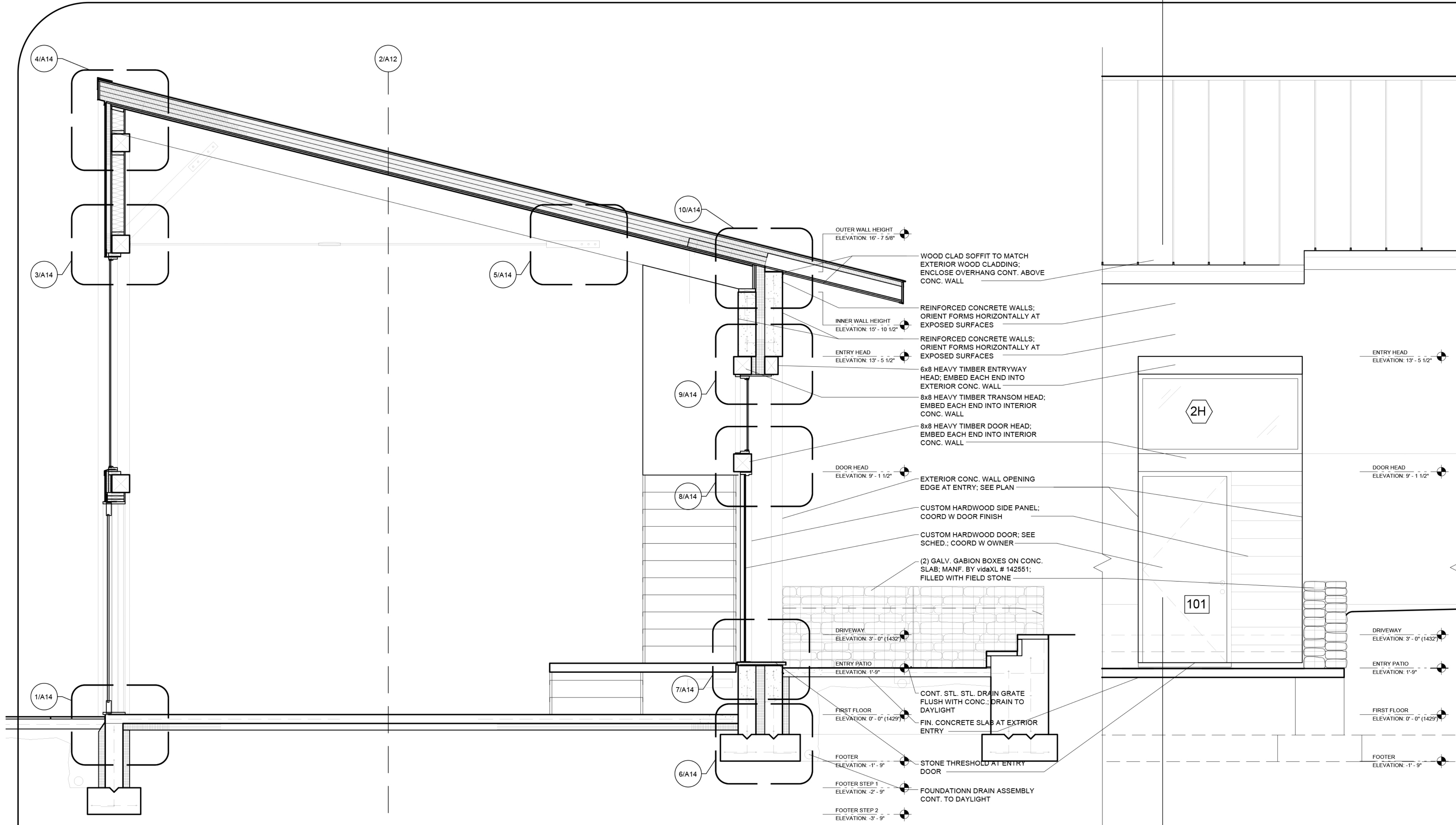


**1** BUILDING SECTION  
SCALE: 1/2" = 1' - 0"



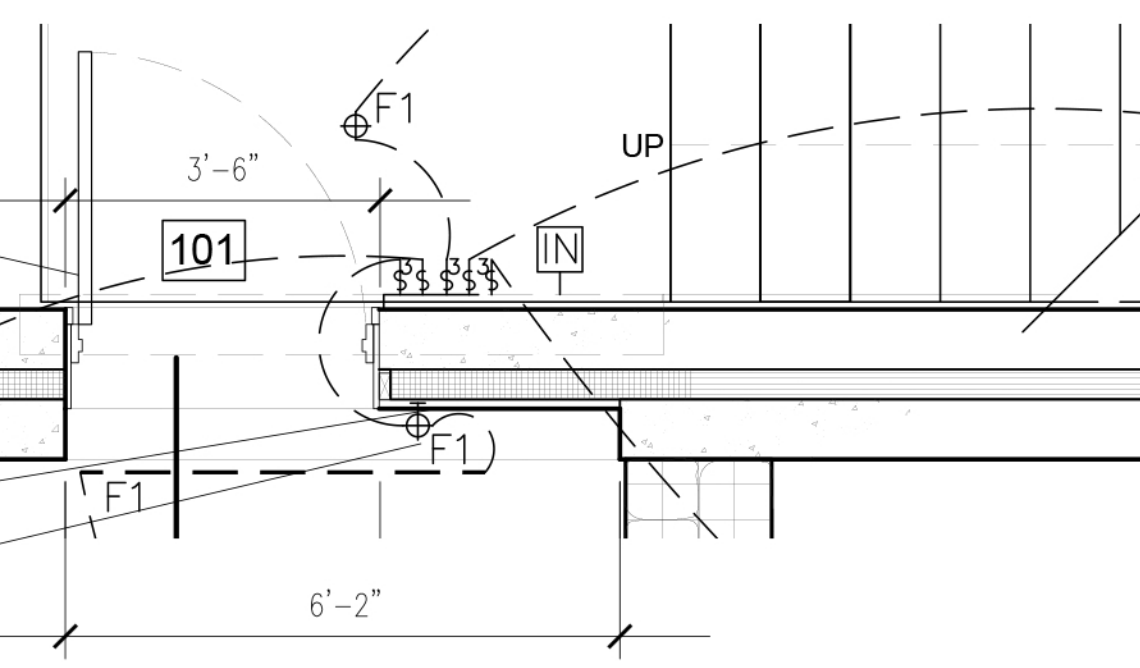
**2** BUILDING SECTION  
SCALE: 1/2" = 1' - 0"

PROJECT: **REPUGGI RESIDENCE**  
 DEMIAN REPUGGI  
 LOT 3, 625 CLUM HILL ROAD  
 BLOCK 182, 00-3-33 LOT 3  
 DRAWN BY: BW, CHECKED BY: BW  
 DATE: 10/04/2021 PERMIT SUBMISSION  
 12/02/2021 ISSUE FOR PRICING  
 04/10/2022 ISSUE FOR FOUNDATION  
 DRAWINGS: BUILDING AND WALL SECTIONS  
 NOTES: OWNER MAILING ADDRESS:  
 DEMIAN REPUGGI  
 2967 OLD YORK RD. #2F  
 NEW YORK, NY 10025  
 ARCHITECT: P. 908. 208. 8983 E. ben@broadloomcreative.com  
 2967 OLD YORK RD. BRIDGEWATER, NJ 08807  
 BENJAMIN WALMER - N.Y. LICENSE # 031585  
**BROADLOOM ARCHITECTURE DPC**

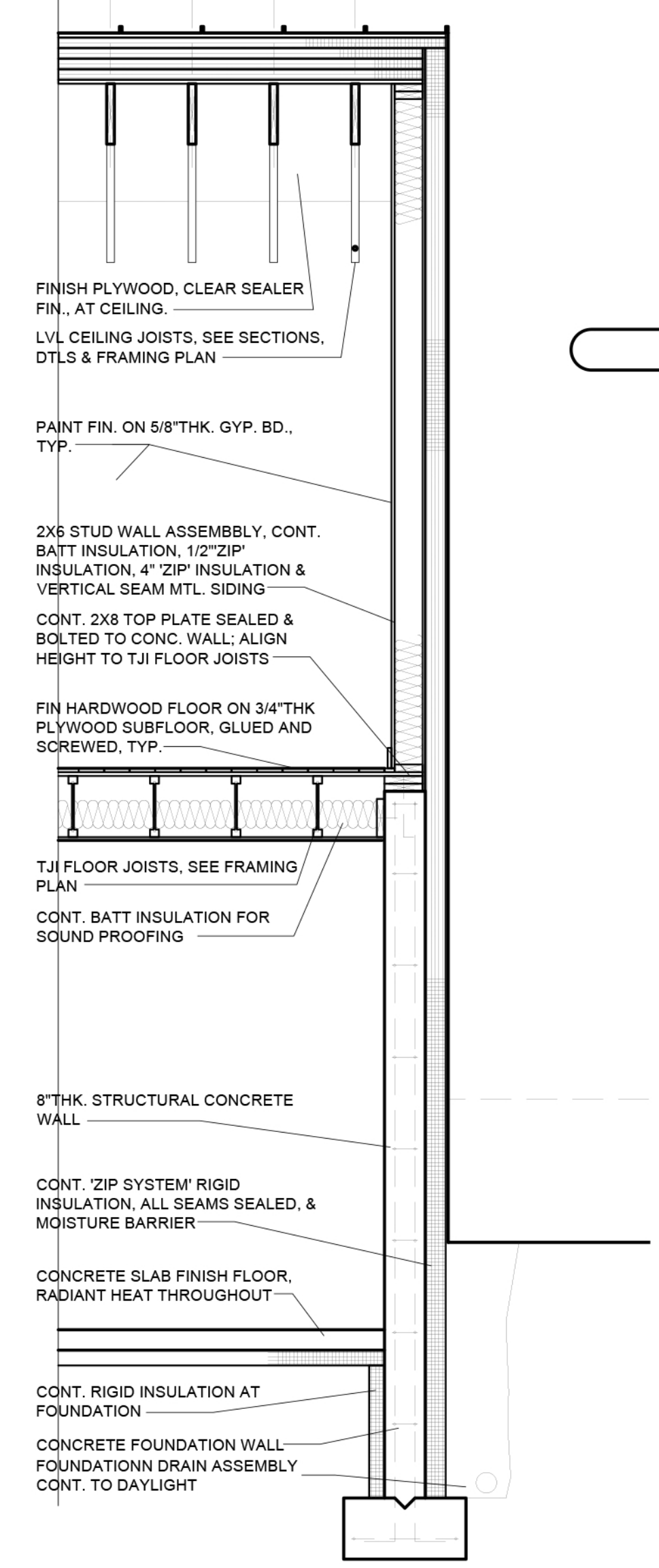


**1 BUILDING SECTION**  
SCALE: 1/2" = 1' - 0"

**3 ENTRY ELEVATION**  
SCALE: 1/2" = 1' - 0"



**4 ENTRY PLAN**  
SCALE: 1/2" = 1' - 0"



**2 WALL SECTION**  
SCALE: 1/2" = 1' - 0"

OUTER WALL HEIGHT ELEVATION 16'-7 5/8"

WOOD CLAD SOFFIT TO MATCH EXTERIOR WOOD CLADDING; ENCLOSE OVERHANG CONT. ABOVE CONC. WALL

REINFORCED CONCRETE WALLS; ORIENT FORMS HORIZONTALLY AT EXPOSED SURFACES

INNER WALL HEIGHT ELEVATION 15'-10 1/2"

REINFORCED CONCRETE WALLS; ORIENT FORMS HORIZONTALLY AT EXPOSED SURFACES

ENTRY HEAD ELEVATION 13'-5 1/2"

6x8 HEAVY TIMBER ENTRYWAY HEAD; EMBED EACH END INTO EXTERIOR CONC. WALL

6x8 HEAVY TIMBER TRANSOM HEAD; EMBED EACH END INTO INTERIOR CONC. WALL

6x8 HEAVY TIMBER DOOR HEAD; EMBED EACH END INTO INTERIOR CONC. WALL

DOOR HEAD ELEVATION 9'-1 1/2"

EXTERIOR CONC. WALL OPENING EDGE AT ENTRY; SEE PLAN

CUSTOM HARDWOOD SIDE PANEL; COORD W DOOR FINISH

CUSTOM HARDWOOD DOOR; SEE SCHED.; COORD W OWNER

(2) GALV. GABION BOXES ON CONC. SLAB; MANUF. BY VIB&XL # 142551; FILLED WITH FIELD STONE

DRIVEWAY ELEVATION 3'-0" (1432)

ENTRY PATIO ELEVATION 1'-9"

CONT. STL. STL. DRAIN GRATE FLUSH WITH CONC. DRAIN TO DAYLIGHT

FIRST FLOOR ELEVATION 0'-0" (1429)

FIN. CONCRETE SLAB AT EXTERIOR ENTRY

FOOTER ELEVATION -1'-9"

STONE THRESHOLD AT ENTRY DOOR

FOOTER STEP 1 ELEVATION -2'-9"

FOUNDATION DRAIN ASSEMBLY CONT. TO DAYLIGHT

FOOTER STEP 2 ELEVATION -3'-9"

ENTRY HEAD ELEVATION 13'-5 1/2"

DOOR HEAD ELEVATION 9'-1 1/2"

DRIVEWAY ELEVATION 3'-0" (1432)

ENTRY PATIO ELEVATION 1'-9"

FIRST FLOOR ELEVATION 0'-0" (1429)

FOOTER ELEVATION -1'-9"

FINISH PLYWOOD, CLEAR SEALER FIN. AT CEILING

LVL CEILING JOISTS, SEE SECTIONS, DTLS & FRAMING PLAN

PAINT FIN. ON 5/8"THK. GYP. BD., TYP.

2X8 STUD WALL ASSEMBLY, CONT. BATT INSULATION, 1/2"ZIP INSULATION, 4" ZIP INSULATION & VERTICAL SEAM MTL. SIDING

CONT. 2X8 TOP PLATE SEALED & BOLTED TO CONC. WALL; ALIGN HEIGHT TO TJI FLOOR JOISTS

FIN HARDWOOD FLOOR ON 3/4"THK PLYWOOD SUBFLOOR, GLUED AND SCREWED, TYP.

TJI FLOOR JOISTS, SEE FRAMING PLAN

CONT. BATT INSULATION FOR SOUND PROOFING

8"THK. STRUCTURAL CONCRETE WALL

CONT. ZIP SYSTEM RIGID INSULATION, ALL SEAMS SEALED, & MOISTURE BARRIER

CONCRETE SLAB FINISH FLOOR, RADIANT HEAT THROUGHOUT

CONT. RIGID INSULATION AT FOUNDATION

CONCRETE FOUNDATION WALL FOUNDATION DRAIN ASSEMBLY CONT. TO DAYLIGHT

ARCHITECT: **BROADLOOM ARCHITECTURE DPC**  
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286 J. OLD YORK RD. BRIDGEWATER, NJ 08807  
BENJAMIN WALMER - N.Y. LICENSE #031585  
NEW YORK, NY 10025

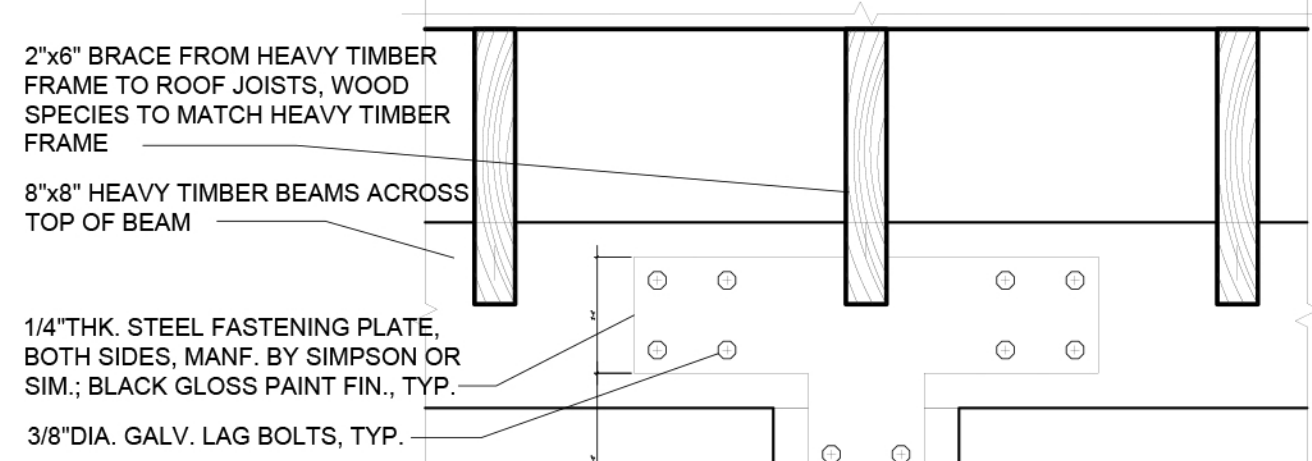
OWNER MAILING ADDRESS:  
DEMIAN REPUGGI  
1000 PARKWAY #4F  
NEW YORK, NY 10025

PROJECT: **REPUGGI RESIDENCE**  
DEMIAN REPUGGI  
LOT 3, 625 CLUM HILL ROAD  
BLOCK 182, 00-3-33 LOT: 3  
DRAWN BY: B.W. CHECKED BY: B.W.

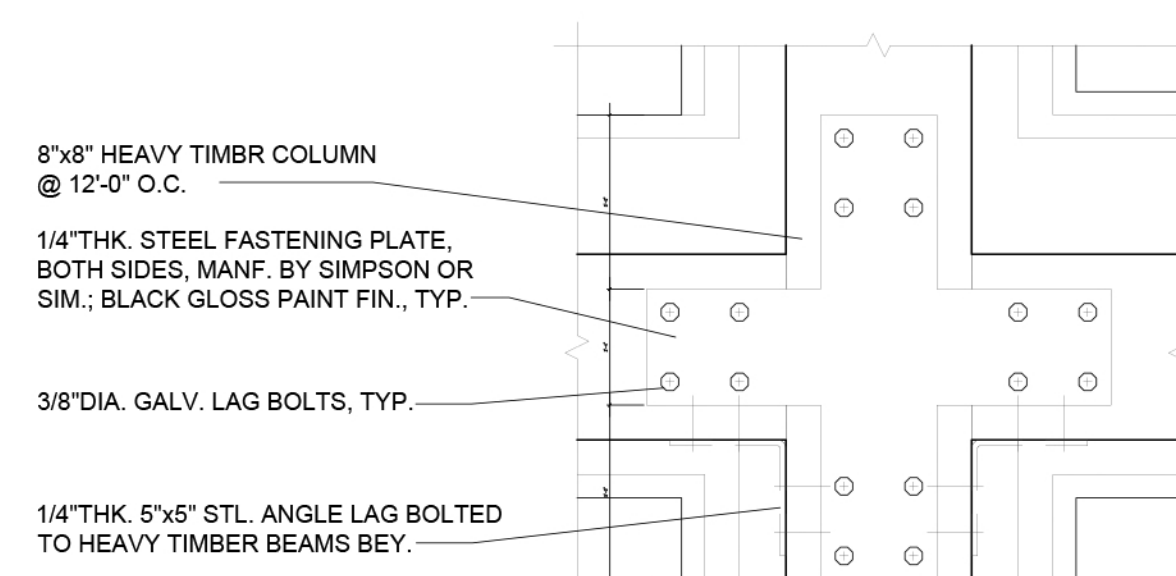
DATE: 10.04.2021 PERMIT SUBMISSION  
12.02.2021 ISSUE FOR PRICING  
04.10.2022 ISSUE FOR FOUNDATION  
05.12.2022 FOUNDATION UPDATE

ISSUE: BUILDING & WALL SECTIONS

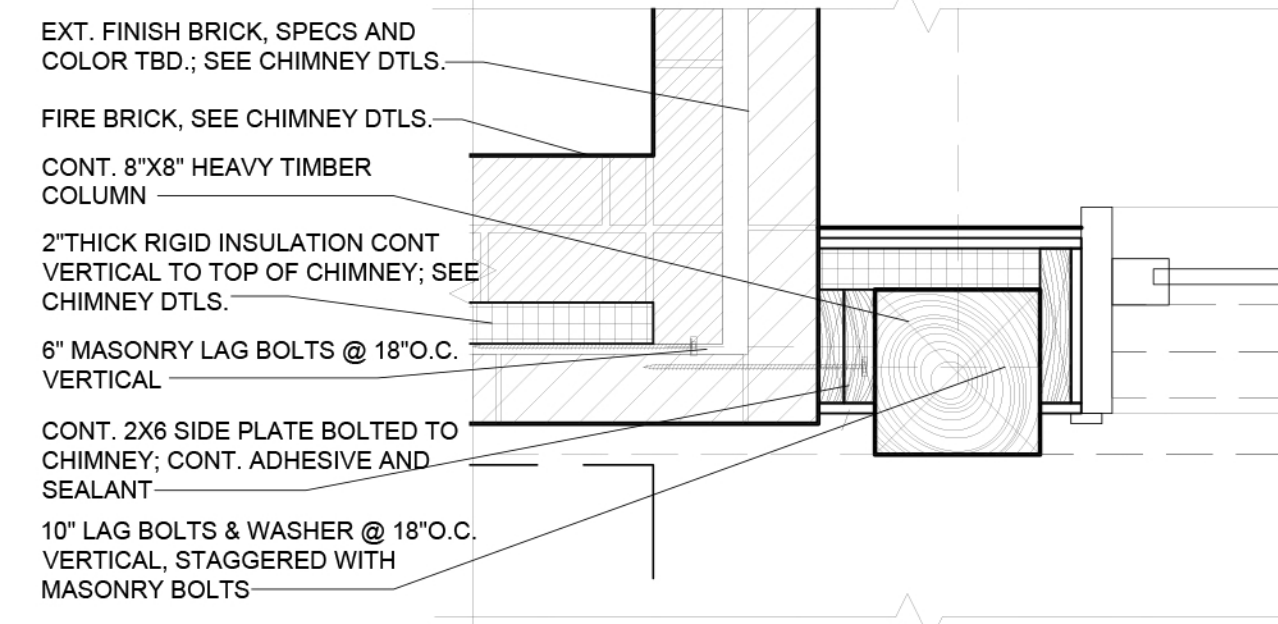




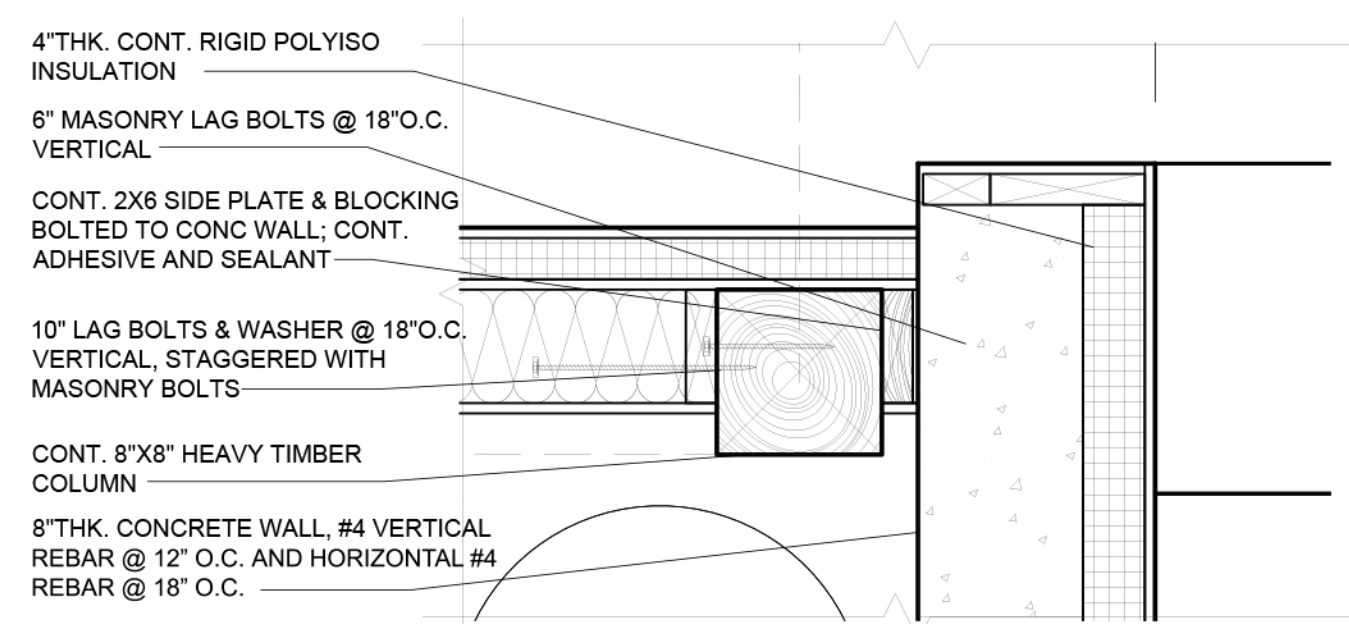
**3** **TIMBER CONNECTION DTL.**  
SCALE: 1 1/2" = 1' - 0"



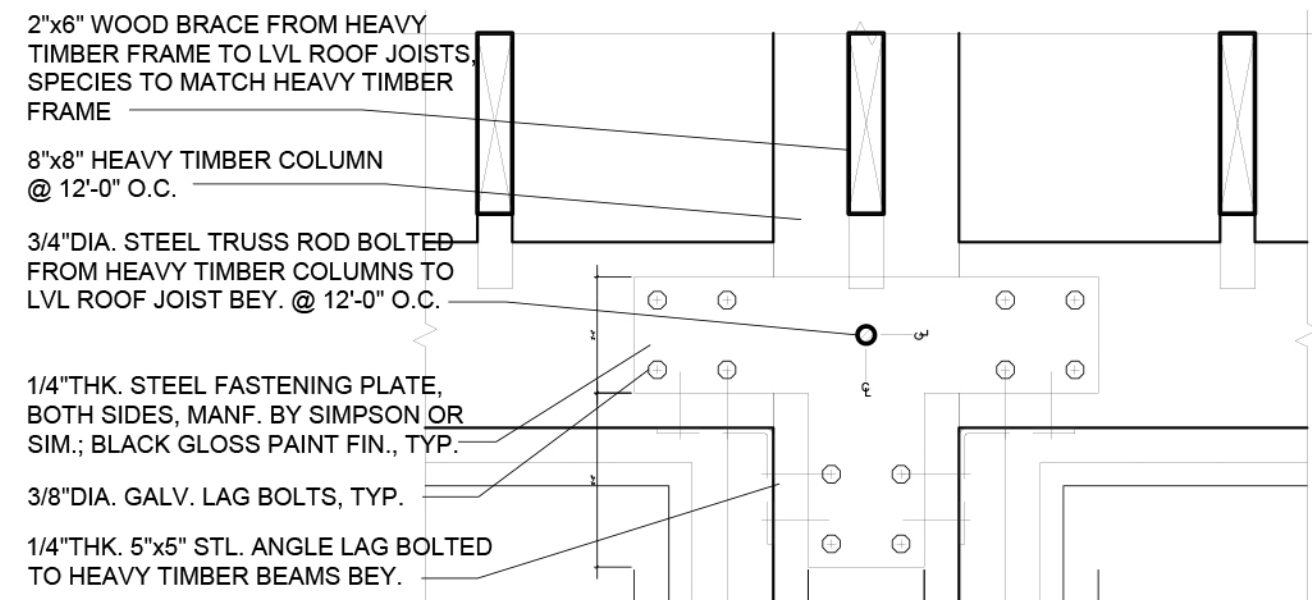
**5** **TIMBER CONNECTION DTL.**  
SCALE: 1 1/2" = 1' - 0"



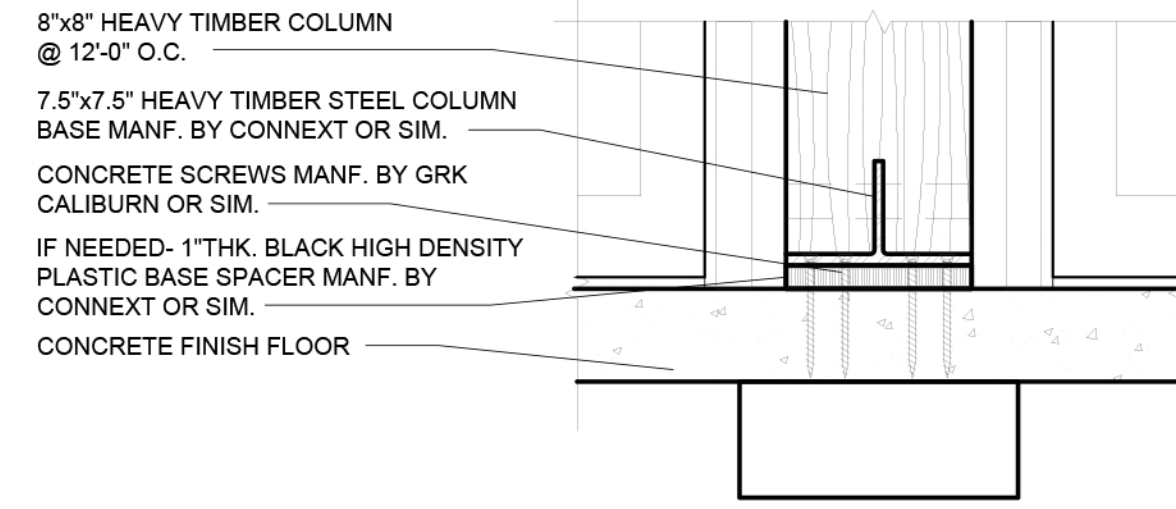
**7** **HEAVY TIMBER PLAN DTL.**  
SCALE: 1 1/2" = 1' - 0"



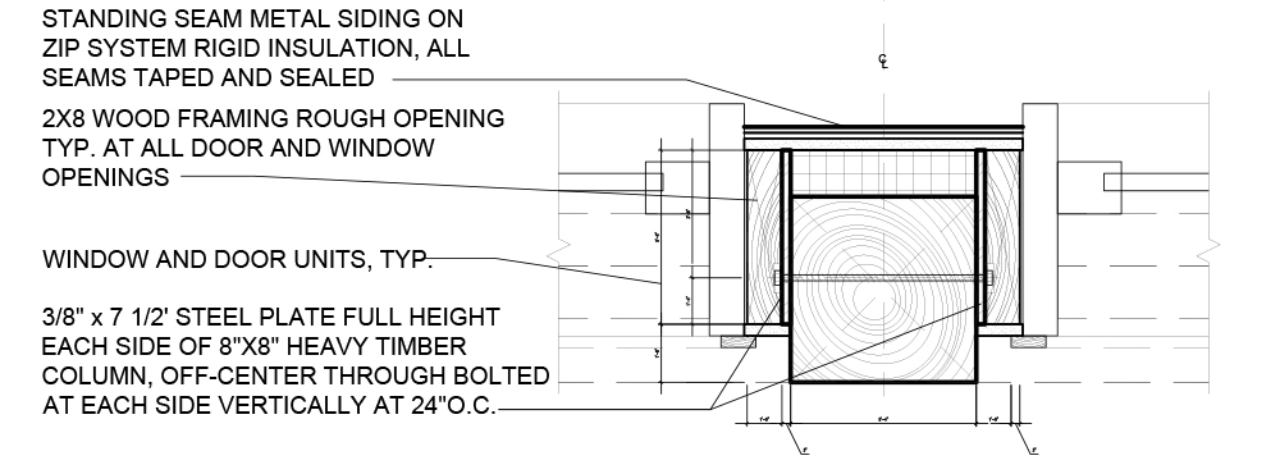
**8** **HEAVY TIMBER PLAN DTL.**  
SCALE: 1 1/2" = 1' - 0"



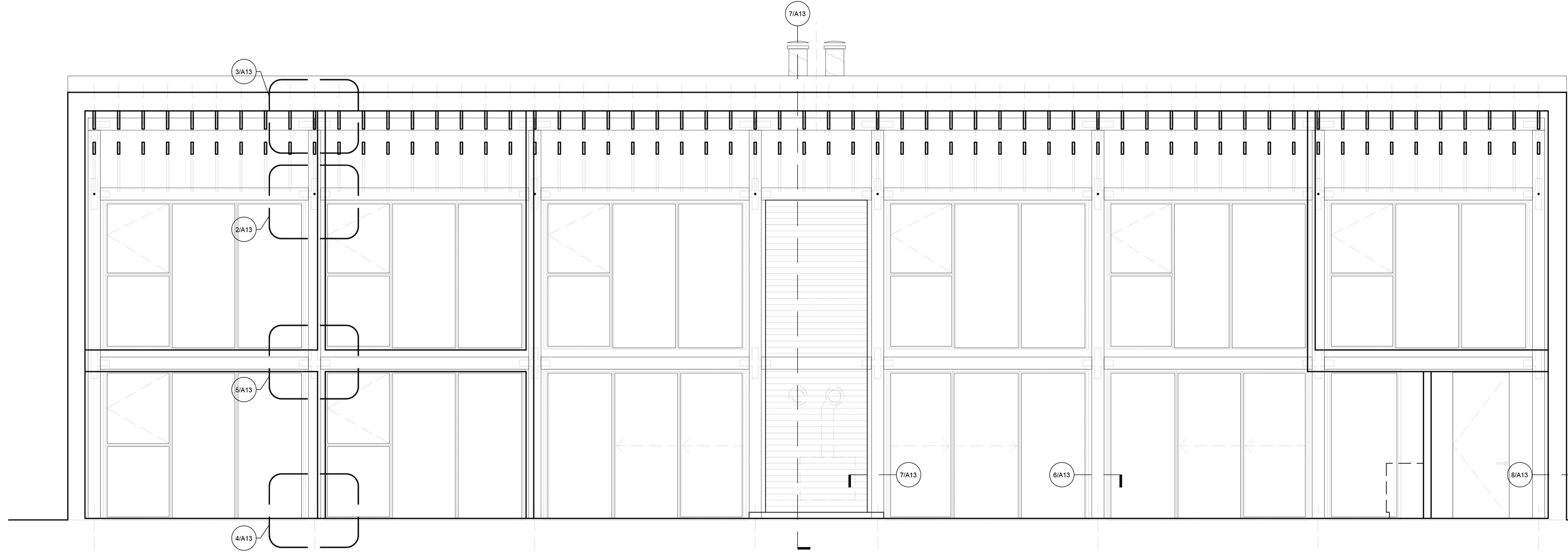
**2** **TIMBER CONNECTION DTL.**  
SCALE: 1 1/2" = 1' - 0"



**4** **TIMBER SECTION DTL.**  
SCALE: 1 1/2" = 1' - 0"



**6** **HEAVY TIMBER PLAN DTL.**  
SCALE: 1 1/2" = 1' - 0"



**1** **INTERIOR SECTION**  
SCALE: 1/2" = 1' - 0"

PROJECT: **REPUGLI RESIDENCE**  
 298 1/2 OLD YORK RD. BRIDGEWATER, NJ 08807  
 LOT 3, 625 CLUM HILL ROAD  
 ELKA PARK, NY 12427  
 BLOCK: 182.00-3-33 LOT: 3  
 DRAWN BY: BW CHECKED BY: BW

DATE: 10.04.2021  
 12.02.2021

ISSUE: PERMIT SUBMISSION  
 PERMIT SUBMISSION

REVISED: BUILDING SECTION

ARCHITECT: **BROADLOOM ARCHITECTURE DPC**  
 BENJAMIN WALKER - N.Y. LICENSE #031885  
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OWNER MAILING ADDRESS:  
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