



COUNTY OF BURNETT
LAND USE AND INFORMATION COMMITTEE

Highway/Forestry Facility Shop Area
8150 State Road 70, Siren

June 4, 2020 - 9:00 a.m.

Burnett County Clerk, 7410 County Road K, #105, Siren, WI 54872 • Phone 715-349-2173 • FAX / TTY 715-349-2169

MEMBERS

County Board Supervisors

Chuck Anderson
Chuck Awe
Norm Bickford
Brent Blomberg
Craig Conroy
Jim Paden
Jim Pearson

DEPARTMENTS

- County Surveyor/Land Services
- Zoning/Land Use

***AMENDED AGENDA**

1. Call to Order
2. Notice Posted in Accordance to Wis. Stat. 19.84 Open Meeting Law
3. Public Comments – Three Minute Limit Per Person
4. Approval of Agenda Order
5. Public Hearing:
 - a. Conditional Use Permit #CUP-20-22: Vindish – Chickens in Residential District
 - b. Conditional Use Permit #CUP-20-23: Colucci – Year –Around Camper for up to Three Years
 - c. Conditional Use Permit #CUP-20-06: North Camp Properties II – Parcel Divisions, Campground and Storage Units
6. *Land Services Reports
7. Future Agenda Items
8. Adjournment

For Public Access for real time audio of the committee meeting during COVID-19, choose one of the following options.

- **If you are using a computer to access this meeting, click the link below.**
<https://zoom.us/j/91586102306?pwd=bzQ4ZWVhdmxUWkV0M1JSWFJM0oyZz09>
- **One tap mobile.**
13126266799,,91586102306#,,1#,561305#
- **Dial by telephone.**
1 312 626 6799

Meeting ID: 915 8610 2306

Password: 561305

ADDITIONAL INFORMATION ON THIS MEETING:

Please note this is a different location than usual for this meeting. Entrance will be at the north end of the Burnett County Highway Facility at 8150 State Rd 70. Social distancing will be required. All attendees will go through a COVID-19 screening before entering the meeting area. Please arrive 30 minutes early to get through the screening process. If you wish to participate in the meeting you will need to attend in person. Written comments can be sent to the Burnett County Land Services Department. Real time audio will be available for listening only; see meeting agenda five days before the meeting for real time audio information.

Posted 05/29/20

*Re-Posted 06/01/20

Persons requiring an interpreter, materials in alternate format or other accommodations to access this meeting are encouraged to contact the Burnett County Clerk at least 48 hours prior to the meeting.



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Posted 05/29/20

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CONDITIONAL USE PERMIT (CUP) APPLICATION – Burnett County, WI

FEE: \$300.00 CONDITIONAL USE #: CUP-20- 06 ZONING DISTRICT: RR-2

PARCEL # (24 digits): 07-020-2-40-16-02-5 05-002-01100
07-020-2-40-16-02-5 05-002-011001
07-020-2-40-16-02-5 05-002-017000

TAX ID #: 35279, 35278, 12845

RECEIVED STAMP (BELOW):



LAND SERVICES STAFF ONLY ABOVE THIS LINE

Applicant Complete All Sections Below This Line

Property Owner's Name: North Camp Properties II DBA North Camp Storage ^{LLC} 7 Lakes Camp

Applicant's Name: Mike Hershberger & Steve Austin

Applicant's Mailing Address: 4100 Misty Valley Dr Middleton WI 53562
City State Zip

Applicant's Telephone Number: 608-576-9200 Mike & 715-791-9015 Steve

Applicant's Email: hershgroup@gmail.com bionicguy61@gmail.com

If staff has a question about this application, how do you prefer to be contacted? Check one below:

- Letter Phone Email

Legal Description: * see attached tax pages*

Lot #: _____ CSM Vol. _____ Pg. _____ OR

Lot #: _____ Block #: _____ Subdivision Name: _____ OR

Gov't Lot #: _____ OR _____ 1/4 _____ 1/4

Section #: 02 Town #: 40 N Range #: 16 W Town of: Oakland

Attach additional page if needed for lengthy description OR attach a copy of the deed OR attach tax system property page.
07-020-2-40-16-02-5 05-002-011001

Parcel # (24 digits): 07-020-2-40-16-02-5 05-002-011100 - 07-020-2-40-16-02-5 05-002-017000

Tax ID # (1-5 digits): 12845 - 35278 - 35279

Lot Area: 1,263,240 ft² and 29.00 acres

Property Site Address #: 29402 & 29460 CCC Rd, Danbury, WI 54830

Anticipated Start Date: April - May 2020

Section # of the Ordinance this CUP is referencing: 30-85 (1)(3)(5) & ~~30-542~~, 30-543, ~~45-385~~, 45-386

Real Estate Burnett County Property Listing

Today's Date: 2/5/2020

Property Status: Current

Created On: 3/28/2006 6:27:00 PM

Description Updated: 9/24/2009

Tax ID:	12845
PIN:	07-020-2-40-16-02-5 05-002-017000
Legacy PIN:	020430202400
Map ID:	
Municipality:	(020) TOWN OF OAKLAND
STR:	S02 T40N R16W
Description:	PCL GOV LOT 2 DESC 462/610 EX CSM V 15 P 74 (SUBJ TO ESMT)
Recorded Acres:	5.226
Calculated Acres:	0.000
Lottery Claims:	0
First Dollar:	No
ESN:	

Tax Districts Updated: 3/28/2006

1	STATE
07	COUNTY
020	TOWN OF OAKLAND
076293	SCHL-WEBSTER
001700	TECH COLLEGE
079070	WEBSTER FIRE

Recorded Documents Updated: 3/20/2015

TRANSFER ON DEATH DEED	
Date Recorded: 3/17/2014	<u>429626</u>
TRANSFER ON DEATH	
Date Recorded: 7/23/2010	<u>409697</u>
TRANSFER ON DEATH DEED	
Date Recorded: 5/19/2008	<u>397376</u>
CONVERSION	
Date Recorded: 3/28/2006	360/482 462/610

Ownership Updated: 3/28/2006

DUANE P VOSBERG POTOSI WI

Billing Address:	Mailing Address:
DUANE P VOSBERG	DUANE P VOSBERG
4440 US HWY 61 & 35	4440 US HWY 61 & 35
POTOSI WI 53820-9511	POTOSI WI 53820-9511

Site Address * indicates Private Road

N/A

Property Assessment Updated: 9/24/2009

2020 Assessment Detail			
Code	Acres	Land	Imp.
G1-RESIDENTIAL	5.226	22,700	0

2-Year Comparison		2019	2020	Change
Land:		22,700	22,700	0.0%
Improved:		0	0	0.0%
Total:		22,700	22,700	0.0%

Property History

N/A

Real Estate Burnett County Property Listing

Today's Date: 2/5/2020

Property Status: Current

Created On: 10/24/2019 12:08:04 PM

Description Updated: 1/3/2020

Tax ID:	35278
PIN:	07-020-2-40-16-02-5 05-002-011001
Legacy PIN:	
Map ID:	
Municipality:	(020) TOWN OF OAKLAND
STR:	S02 T40N R16W
Description:	PCL GOV LOT 1 & 2 EX PCL V234 P516 & EX CSM V27 P207
Recorded Acres:	21.800
Calculated Acres:	0.000
Lottery Claims:	0
First Dollar:	No
ESN:	

Tax Districts Updated: 10/24/2019

1	STATE
07	COUNTY
020	TOWN OF OAKLAND
076293	SCHL-WEBSTER
001700	TECH COLLEGE
079070	WEBSTER FIRE

Recorded Documents Updated: 3/28/2006

SPLIT TO NEW PARCELS	
Date Recorded:	10/23/2019
QUIT CLAIM DEED	
Date Recorded:	8/21/2014 <u>431616</u>
CSM	
Date Recorded:	9/20/2019 <u>458356</u> 27/207
CONVERSION	
Date Recorded:	<u>348590</u> 2-9 539/332 626/440
WARRANTY DEED	
Date Recorded:	7/17/2002 <u>348590</u>

Ownership Updated: 1/3/2020

CHARLES W & CONSTANCE L HOUMAN REV DANBURY WI LIVING TRUST

<u>Billing Address:</u>	<u>Mailing Address:</u>
FIRST NATIONAL BANK OF AMERICA	CHARLES W & CONSTANCE L HOUMAN REV LIVING TRUST
P O BOX 980	29460 CCC RD
241 E SAGINAW HWY	DANBURY WI 54830
SUITE 600	
EAST LANSING MI	
48826-4488	

Site Address * indicates Private Road
 29460 CCC RD DANBURY 54830

Property Assessment Updated: N/A

2020 Assessment Detail			
Code	Acres	Land	Imp.
N/A			

2-Year Comparison	2019	2020	Change
Land:	0	0	0.0%
Improved:	0	0	0.0%
Total:	0	0	0.0%

Property History

Parent Properties	Tax ID
<u>07-020-2-40-16-02-5 05-002-011000</u>	<u>12842</u>

HISTORY [Expand All History](#) White=Current Parcels Pink=Retired Parcels

Tax ID: 12842 **Pin:** 07-020-2-40-16-02-5 05-002-011000 **Leg. Pin:** 020430202100

35278 This Parcel ↑ Parents ↓ Children

Real Estate Burnett County Property Listing

Today's Date: 2/5/2020

Property Status: Current

Created On: 10/24/2019 12:08:05 PM

Description Updated: 1/3/2020

Tax ID:	35279
PIN:	07-020-2-40-16-02-5 05-002-011100
Legacy PIN:	
Map ID:	
Municipality:	(020) TOWN OF OAKLAND
STR:	S02 T40N R16W
Description:	LOT 1 CSM#4898 V27 P207 (GL 2)#458356
Recorded Acres:	1.200
Calculated Acres:	0.000
Lottery Claims:	1
First Dollar:	No
ESN:	

Tax Districts Updated: 10/24/2019

1	STATE
07	COUNTY
020	TOWN OF OAKLAND
076293	SCHL-WEBSTER
001700	TECH COLLEGE
079070	WEBSTER FIRE

Recorded Documents Updated: 3/28/2006

SPLIT TO NEW PARCELS	
Date Recorded:	10/23/2019
QUIT CLAIM DEED	
Date Recorded:	8/21/2014 431616
CSM	
Date Recorded:	9/20/2019 458356 27/207
CONVERSION	
Date Recorded:	348590_2-9 539/332 626/440
WARRANTY DEED	
Date Recorded:	7/17/2002 348590

Ownership Updated: 1/3/2020

CHARLES W & CONSTANCE L HOUMAN REV DANBURY WI LIVING TRUST

Billing Address:	Mailing Address:
FIRST NATIONAL BANK OF AMERICA	CHARLES W & CONSTANCE L HOUMAN REV LIVING TRUST
P O BOX 980	29460 CCC RD
241 E SAGINAW HWY	DANBURY WI 54830
SUITE 600	
EAST LANSING MI	
48826-4488	

Site Address * indicates Private Road
 29402 CCC RD DANBURY 54830

Property Assessment Updated: N/A

2020 Assessment Detail			
Code	Acres	Land	Imp.
N/A			
2-Year Comparison			
	2019	2020	Change
Land:	0	0	0.0%
Improved:	0	0	0.0%
Total:	0	0	0.0%

Property History

Parent Properties	Tax ID
07-020-2-40-16-02-5 05-002-011000	12842

HISTORY [Expand All History](#) White=Current Parcels Pink=Retired Parcels

Tax ID: 12842 **Pin:** 07-020-2-40-16-02-5 05-002-011000 **Leg. Pin:** 020430202100

35279 [This Parcel](#) [↑ Parents](#) [↓ Children](#)

I (applicant) hereby make application to the Land Use and Information Committee for a Conditional Use Permit (CUP) for the following:

existing/current buildings - lodge/residence restaurant and bar structure, 13 existing cabins, 29 existing mobile RV campsites (non-sewered), several garages and outbuilding, parking area fish cleaning, pumphouse, docks lakeside bar and boathouse, family residence, mobile home park campground/rv park, consisting of 18 sewer units with permitted expansion of ~~24~~ additional sites (~~64~~ units)

17 64

We are requesting for 46 additional sewer units for the campground/rv park to be added to existing units replace or move as needed -

Lodge/residence restaurant and bar structure on parcel to be sold separately - approx 1 acre

- for a total of 109 camping units.

Existing house to be sold on 30,000 sq ft lot -

Storage sheds 12x14 and decks 12x14 on each finished site (maximum)

50-60 mini storage units sizes to be determined

A plot plan drawing is required. Plot plan shall be drawn with a scale preferably at 1"=20' or multiples of 10', scale shall not exceed 1"=50', unless approval from Zoning Administrator for a different scale is allowed. Note the scale used on the drawing. Plot plan drawing shall be on letter or legal size paper with North being at the top of the page. (Make sure all items below are shown):

- Property lines, road right-of-ways, and road centerlines including distances to property lines, road right-of-ways and road centerlines for all existing and proposed structures on the parcel
- Show area to used for the proposed Conditional Use
- All existing uses on parcels adjacent to the parcel for this request
- All existing zoning districts on parcels adjacent to the parcel for this request
- Vegetation proposed to be removed or disturbed
- Ordinary High Water Mark (OHWM) and distances to it from all existing and proposed structures; must show all within 200 ft of structures
- Floodplain and wetland boundaries and distances to them from all existing and proposed structures; must show all within 200 ft of structures
- Dimensions, locations and setbacks of all existing and proposed structures including all decks/porches/walkways/etc; must show dimensions for ALL items
- Existing and proposed utilities and utility easements
- Sanitary system, drainfield and well with distances to property lines, OHWM, wetlands, floodplains, existing and proposed buildings
- Location and extent of filling/grading
- Location and type of erosion control measures
- Any other construction related to your project
- North arrow

Provide names and addresses of all adjoining property owners.

**Adjoiners are all parcels (including vacant parcels) that touch the applicants parcel, including those across the road and those that only touch at a common property corner. Address for the owner would be their mailing address (where they get their mail) in many cases, this may not be the site address. Attach additional sheets if necessary.*

tax ids:
 ✓ 12898
 ✓ 12902
 ✓ 12846
 ✓ 12843
 ✓ 12844
 ✓ 12847
 ✓ 12906
 ✓ 12900

Roberta L Heelan Trust Agree: 901 Coventry PL, Edina, MN 55435 (owns 6310 S Gull Trail, Danbury) tax id# 12898
 Michael & Brenda Johnson: 6367 S Gull Trail, Danbury, WI 54830 tax id# 12902
 John & Karen Tonsager: 19015 Blaine Ave, Farmington, MN 55024 (owns 29383 CCC RD, Danbury) tax id# 12846
 William & Donna Crain Joint Revocable Trust: 29392 CCC Rd, Danbury, WI 54830 tax id# 12848 & 12843
 Timothy & Debora Graves: 110 Shoshoni Trail, Apple Valley, MN 55124 (owns 29457 CCC Rd, Danbury) tax id# 12844
 Jack & Lois Kieler: PO #27, Dickeyville, WI 53808 (owns 29349 & 29360 CCC Rd, Danbury) tax id# 12847
 Henry Michaels Rev Living Trust: 421 Ridgewood Ave, Glen Ridge NJ 07028 (owns 6210 Minnow Lake Rd, Danbury) tax id# 12906
 Harley Demarre: 29340 CCC Rd, Danbury WI 54830 tax id# 12900

①
 ②
 ③
 ④
 ⑤
 ⑥
 ⑦
 ⑧
 ⑨

✓ - Town of Oakland Clerk

- Proposed building/structure locations must be staked prior to submitting this application to the Land Services Department. County staff will do an onsite visit to verify site conditions. If site is not staked upon County staff visit this application will be returned to the applicant. Returned application will result in the item being removed from the hearing agenda, and the submittal deadlines will restart.
- If all existing structures are not shown and dimensioned on the plot plan drawing the application will be returned to the applicant. Returned application will result in the item being removed from the hearing agenda and the submittal deadlines will restart.
- THIS APPLICATION CONSTITUTES NOTICE THAT ALL IMPROVEMENTS ARE SUBJECT TO ACCESS AND/OR REVIEW BY THE LOCAL MUNICIPALITY'S TAX ASSESSOR FOR THE PURPOSE OF TAX ASSESSMENT

I hereby make application to the Burnett County Land Use and Information Committee for a Conditional Use Permit (CUP). I certify that the information I have provided in this application (including any accompanying drawings and plans) is true and accurate. I agree to permit County officials charged with administering county ordinances or other authorized persons to have access to the above-described premises at any reasonable time for the purpose of inspection. I understand that the application fee is non-refundable regardless if the Conditional Use Permit (CUP) is approved or denied. I understand that the fee for this application is only for the Conditional Use Permit (CUP) application and if permits are required for the project that those will require separate fees. I understand that partial or incomplete applications will be returned to the applicant resulting in the application being removed from the hearing agenda, and the submittal deadlines will restart.

Signed [Signature] 2-6-20
 (Applicant) (Date)

Signed [Signature] 2-6-20
 (Owner) (Date)

WB-15 COMMERCIAL OFFER TO PURCHASE

1 LICENSEE DRAFTING THIS OFFER ON October 21, 2019 [DATE] IS (AGENT OF BUYER)
2 (AGENT OF SELLER/LISTING BROKER) (AGENT OF BUYER AND SELLER) STRIKE THOSE NOT APPLICABLE
3 **GENERAL PROVISIONS** The Buyer, Michael Hershberger and/or His Assigns
4 _____, offers to purchase the Property known as [Street Address] 29460 and 29402 CCC Road
5 _____ in the _____ Town
6 of Oakland County of BURNETT, Wisconsin
7 (Insert additional description, if any, at lines 109-115 or 277-286 or attach as an addendum per line 479), on the following terms:
8 ■ PURCHASE PRICE: ~~294,000.00~~ _____ Dollars (\$ ~~294,000.00~~ _____).
9 _____ Dollars (\$ _____).
10 ■ EARNEST MONEY of \$ _____ accompanies this Offer and earnest money of \$ 75,000.00 will be
11 mailed, or commercially or personally delivered within 7 days of acceptance to listing broker or
12 _____.
13 ■ THE BALANCE OF PURCHASE PRICE will be paid in cash or equivalent at closing unless otherwise provided below.
14 ■ INCLUDED IN PURCHASE PRICE: Seller is including in the purchase price the Property, all Fixtures on the Property on the date of this Offer
15 not excluded at lines 20-22, and the following additional items: All bar/restaurant furnishings and fixtures, all cabin
16 furnishings, linens, etc.
17 _____
18 All personal property included in purchase price will be transferred by bill of sale or _____
19 _____
20 ■ NOT INCLUDED IN PURCHASE PRICE: Sellers Personal Property
21 _____
22 _____
23 CAUTION: Identify trade fixtures owned by tenant, if applicable, and Fixtures that are on the Property (see lines 303-310) to be excluded
24 by Seller or which are rented and will continue to be owned by the lessor.
25 NOTE: The terms of this Offer, not the listing contract or marketing materials, determine what items are included/excluded.
26 **ACCEPTANCE** Acceptance occurs when all Buyers and Sellers have signed one copy of the Offer, or separate but identical copies of the Offer.
27 CAUTION: Deadlines in the Offer are commonly calculated from acceptance. Consider whether short term deadlines running from
28 acceptance provide adequate time for both binding acceptance and performance.
29 **BINDING ACCEPTANCE** This Offer is binding upon both Parties only if a copy of the accepted Offer is delivered to Buyer on or before
30 October 24, 2019. Seller may keep the Property on the market and accept
31 secondary offers after binding acceptance of this Offer.
32 CAUTION: This Offer may be withdrawn prior to delivery of the accepted Offer.
33 **OPTIONAL PROVISIONS** TERMS OF THIS OFFER THAT ARE PRECEDED BY AN OPEN BOX () ARE PART OF THIS OFFER ONLY IF
34 THE BOX IS MARKED SUCH AS WITH AN "X." THEY ARE NOT PART OF THIS OFFER IF MARKED "N/A" OR ARE LEFT BLANK.
35 **DELIVERY OF DOCUMENTS AND WRITTEN NOTICES** Unless otherwise stated in this Offer, delivery of documents and written notices to a
36 Party shall be effective only when accomplished by one of the methods specified at lines 37-54.
37 (1) **Personal Delivery**: giving the document or written notice personally to the Party, or the Party's recipient for delivery if named at line 38 or 39.
38 Seller's recipient for delivery (optional): Patrick Duffy - C21 Sand County Services, Inc.
39 Buyer's recipient for delivery (optional): Patrick Duffy - C21 Sand County Services, Inc.
40 (2) **Fax**: fax transmission of the document or written notice to the following telephone number:
41 Seller: (715) 349-5858 Buyer: (715) 349-5858
42 (3) **Commercial Delivery**: depositing the document or written notice fees prepaid or charged to an account with a commercial delivery
43 service, addressed either to the Party, or to the Party's recipient for delivery if named at line 38 or 39, for delivery to the Party's delivery address at
44 line 47 or 48.
45 (4) **U.S. Mail**: depositing the document or written notice postage prepaid in the U.S. Mail, addressed either to the Party, or to the Party's
46 recipient for delivery if named at line 38 or 39, for delivery to the Party's delivery address at line 47 or 48.
47 Delivery address for Seller: 24740 Hwy 35/70 N. Siren, WI 54872
48 Delivery address for Buyer: 24740 Hwy 35/70 N. Siren, WI 54872
49 (5) **E-Mail**: electronically transmitting the document or written notice to the Party's e-mail address, if given below at line 53 or 54. If this is a
50 consumer transaction where the property being purchased or the sale proceeds are used primarily for personal, family or household purposes,
51 each consumer providing an e-mail address below has first consented electronically to the use of electronic documents, e-mail delivery and
52 electronic signatures in the transaction, as required by federal law.
53 E-Mail address for Seller (optional): pduffy@c21sandcounty.com
54 E-Mail address for Buyer (optional): pduffy@c21sandcounty.com
55 **PERSONAL DELIVERY/ACTUAL RECEIPT** Personal delivery to, or Actual Receipt by, any named Buyer or Seller constitutes personal delivery
56 to, or Actual Receipt by, all Buyers or Sellers.

450 **N/A** **INSPECTION CONTINGENCY:** This contingency only authorizes inspections, not testing (see lines 437-449). This Offer is contingent upon
451 a qualified independent inspector(s) conducting an inspection(s) of the Property which discloses no Defects. This Offer is further contingent upon
452 a qualified independent inspector or qualified independent third party performing an inspection of _____
453 _____ (list any Property feature(s) to be separately inspected, e.g., dumpsite, etc.) which
454 discloses no Defects. Buyer shall order the inspection(s) and be responsible for all costs of inspection(s). Buyer may have follow-up inspections
455 recommended in a written report resulting from an authorized inspection performed provided they occur prior to the deadline specified at line 461.
456 Each inspection shall be performed by a qualified independent inspector or qualified independent third party.

457 **CAUTION: Buyer should provide sufficient time for the primary inspection and/or any specialized inspection(s), as well as any follow-up**
458 **inspection(s).**

459 For the purpose of this contingency, Defects (see lines 223-225) do not include conditions the nature and extent of which Buyer had actual
460 knowledge or written notice before signing the Offer.

461 **CONTINGENCY SATISFACTION:** This contingency shall be deemed satisfied unless Buyer, within _____ days of acceptance,
462 delivers to Seller a copy of the inspection report(s) and a written notice listing the Defect(s) identified in the inspection report(s) to which Buyer
463 objects (Notice of Defects).

464 **CAUTION: A proposed amendment is not a Notice of Defects and will not satisfy this notice requirement.**

465 **RIGHT TO CURE:** Seller (shall)(shall not) **STRIKE ONE** ("shall" if neither is stricken) have a right to cure the Defects. If Seller has the right to
466 cure, Seller may satisfy this contingency by: (1) delivering written notice to Buyer within 10 days of Buyer's delivery of the Notice of Defects stating
467 Seller's election to cure Defects, (2) curing the Defects in a good and workmanlike manner and (3) delivering to Buyer a written report detailing the
468 work done within 3 days prior to closing. This Offer shall be null and void if Buyer makes timely delivery of the Notice of Defects and written
469 inspection report(s) and: (1) Seller does not have a right to cure or (2) Seller has a right to cure but: (a) Seller delivers written notice that Seller will
470 not cure or (b) Seller does not timely deliver the written notice of election to cure.


471 **N/A** **CLOSING OF BUYER'S PROPERTY CONTINGENCY:** This Offer is contingent upon the closing of the sale of Buyer's property located at
472 _____, no later than _____. If Seller accepts a bona fide secondary offer,
473 Seller may give written notice to Buyer of acceptance. If Buyer does not deliver to Seller a written waiver of the Closing of Buyer's Property
474 Contingency and _____
475 _____

476 **INSERT OTHER REQUIREMENTS, IF ANY (e.g., PAYMENT OF ADDITIONAL EARNEST MONEY, WAIVER OF ALL CONTINGENCIES, OR**
477 **PROVIDING EVIDENCE OF SALE OR BRIDGE LOAN, etc.)** within _____ hours of Buyer's Actual Receipt of said notice, this Offer shall be
478 null and void.

479 **N/A** **ADDENDA:** The attached _____ is/are made part of this Offer.

480 This Offer was drafted by [Licensee and Firm] PATRICK DUFFY - C21 SAND COUNTY SERVICES, INC
481 _____ on _____

482 Buyer Entity Name (if any): _____

483 (X) Michael Hershberger  10/21/2019
484 Buyer's/Authorized Signature ▲ Print Name/Title Here ► Michael Hershberger Date ▲

485 (X) _____
486 Buyer's/Authorized Signature ▲ Print Name/Title Here ► _____ Date ▲

487 **EARNEST MONEY RECEIPT** Broker acknowledges receipt of earnest money as per line 10 of the above Offer.

488 _____ Broker (By) _____

489 **SELLER ACCEPTS THIS OFFER. THE WARRANTIES, REPRESENTATIONS AND COVENANTS MADE IN THIS OFFER SURVIVE CLOSING**
490 **AND THE CONVEYANCE OF THE PROPERTY. SELLER AGREES TO CONVEY THE PROPERTY ON THE TERMS AND CONDITIONS AS**
491 **SET FORTH HEREIN AND ACKNOWLEDGES RECEIPT OF A COPY OF THIS OFFER.**

492 Seller Entity Name (if any): _____

493 (X) _____
494 Seller's/Authorized Signature ▲ Print Name/Title Here ► _____ Date ▲

495 (X) _____
496 Seller's/Authorized Signature ▲ Print Name/Title Here ► _____ Date ▲

497 This Offer was presented to Seller by [Licensee and Firm] _____

498 _____ on _____ at _____ a.m./p.m.

499 This Offer is rejected _____ This Offer is countered [See attached counter] _____
500 Seller Initials ▲ Date ▲ Seller Initials ▲ Date ▲

WB-44 COUNTER-OFFER

Counter-Offer No. 2 by (Buyer/Seller) **STRIKE ONE**

NOTE: Number this Counter-Offer sequentially, e.g. Counter-Offer No. 1 by Seller, Counter-Offer No. 2 by Buyer, etc.

1 The Offer to Purchase dated 10/21/2019 and signed by Buyer Michael Hershberger and/or his assigns
2 for purchase of real estate at 29460 and 29402 CCC Road

3 _____ is rejected and the following Counter-Offer is hereby made.

4 **CAUTION: This Counter-Offer does not include the terms or conditions in any other counter-offer or multiple**
5 **counter-proposal unless incorporated by reference.**

6 All terms and conditions remain the same as stated in the Offer to Purchase except the following: _____

7 1. Purchase price to be ~~\$200~~ \$100,000.00

8 _____
9 _____
10 _____
11 _____
12 _____
13 _____
14 _____
15 _____
16 _____
17 _____
18 _____
19 _____
20 _____
21 _____
22 _____
23 _____
24 _____
25 _____
26 _____
27 _____

28 The attached _____ is/are made part of this Counter-Offer.

29 Any warranties, covenants and representations made in this Counter-Offer survive the closing of this transaction.

30 This Counter-Offer is binding upon Seller and Buyer only if a copy of the accepted Counter-Offer is delivered to the

31 Party making the Counter-Offer on or before October 25, 2019

32 (Time is of the Essence). Delivery of the accepted Counter-Offer may be made in any manner specified in the Offer to

33 Purchase, unless otherwise provided in this Counter-Offer.
34 **NOTE: The Party making this Counter-Offer may withdraw the Counter-Offer prior to acceptance and delivery**
35 **as provided at lines 30-33.**

36 This Counter-Offer was drafted by PATRICK DUFFY - C21 SAND COUNTY SERVICES, INC. on 10/23/2019

37 _____ Licensee and Firm ▲ 10/23/2019 Date ▲
02:28 PM CDT

38 (x) Michael Hershberger Date ▲

39 Signature of Party Making Counter-Offer ▲

40 Print name ▶

(x) Charles W. Housman 10-23-19

Signature of Party Accepting Counter-Offer ▲ Date ▲

Print name ▶

41 (x) _____ Date ▲

42 Signature of Party Making Counter-Offer ▲

43 Print name ▶

(x) Justine L. Housman 10-23-19

Signature of Party Accepting Counter-Offer ▲ Date ▲

Print name ▶

44 This Counter-Offer was presented by Patrick Duffy - C21 S.C.S., Inc. on 10/23/19

45 _____ Licensee and Firm ▲ Date ▲

46 This Counter-Offer is (rejected) (countered) **STRIKE ONE** (Party's Initials) _____ (Party's Initials) _____

47 **NOTE: Provisions from a previous Counter-Offer may be included by reproduction of the entire provision or**
48 **incorporation by reference. Provisions incorporated by reference may be indicated in the subsequent Counter-**
49 **Offer by specifying the number of the provision or the lines containing the provision. In transactions involving**
50 **more than one Counter-Offer, the Counter-Offer referred to should be clearly specified.**

WB-13 VACANT LAND OFFER TO PURCHASE

1 LICENSEE DRAFTING THIS OFFER ON January 27, 2020 [DATE] IS (AGENT OF BUYER)

2 (AGENT OF SELLER/LISTING BROKER) (AGENT OF BUYER AND SELLER) STRIKE THOSE NOT APPLICABLE

3 ~~GENERAL PROVISIONS~~ The Buyer, Michael Horshberger and/or assigns

4 _____, offers to purchase the Property

5 known as (Street Address) XXX CCC Road

6 in the TOWN of OAKLAND, County of Burnett, Wisconsin (Insert

7 additional description, if any, at lines 458-464 or 526-534 or attach as an addendum per line 525), on the following terms:

8 ■ PURCHASE PRICE: _____ Thousand _____ Dollars (\$ _____,000.00).

9 _____ Dollars (\$ _____,000.00).

10 ■ EARNEST MONEY of \$ _____ accompanies this Offer and earnest money of \$ _____,000.00

11 will be mailed, or commercially or personally delivered within seven days of acceptance to listing broker or

12 the Benson Law Office Trust Account

13 ■ THE BALANCE OF PURCHASE PRICE will be paid in cash or equivalent at closing unless otherwise provided below.

14 ■ INCLUDED IN PURCHASE PRICE: Seller is including in the purchase price the Property, all Fixtures on the Property on the

15 date of this Offer not excluded at lines 18-19, and the following additional items: none

16 _____

17 _____

18 ■ NOT INCLUDED IN PURCHASE PRICE: Any of Sellers personal property currently located on the Property

19 _____

20 CAUTION: Identify Fixtures that are on the Property (see lines 290-294) to be excluded by Seller or which are rented

21 and will continue to be owned by the lessor.

22 NOTE: The terms of this Offer, not the listing contract or marketing materials, determine what items are

23 included/excluded. Annual crops are not part of the purchase price unless otherwise agreed.

24 ■ ZONING: Seller represents that the Property is zoned: Seller makes no representations as to zoning

25 ~~ACCEPTANCE~~ Acceptance occurs when all Buyers and Sellers have signed one copy of the Offer, or separate but identical

26 copies of the Offer.

27 CAUTION: Deadlines in the Offer are commonly calculated from acceptance. Consider whether short term deadlines

28 running from acceptance provide adequate time for both binding acceptance and performance.

29 ~~BINDING ACCEPTANCE~~ This Offer is binding upon both Parties only if a copy of the accepted Offer is delivered to Buyer on

30 or before February 7, 2020 by 4:00 PM. Seller may keep the Property on the

31 market and accept secondary offers after binding acceptance of this Offer.

32 CAUTION: This Offer may be withdrawn prior to delivery of the accepted Offer.

33 ~~OPTIONAL PROVISIONS~~ TERMS OF THIS OFFER THAT ARE PRECEDED BY AN OPEN BOX () ARE PART OF THIS

34 OFFER ONLY IF THE BOX IS MARKED SUCH AS WITH AN "X." THEY ARE NOT PART OF THIS OFFER IF MARKED "N/A"

35 OR ARE LEFT BLANK.

36 ~~DELIVERY OF DOCUMENTS AND WRITTEN NOTICES~~ Unless otherwise stated in this Offer, delivery of documents and

37 written notices to a Party shall be effective only when accomplished by one of the methods specified at lines 38-58.

38 (1) ~~Personal Delivery~~: giving the document or written notice personally to the Party, or the Party's recipient for delivery if

39 named at line 40 or 41.

40 Seller's recipient for delivery (optional): Duane P. Vosberg

41 Buyer's recipient for delivery (optional): Michael Horshberger

42 (2) ~~Fax~~: fax transmission of the document or written notice to the following telephone number:

43 Seller: (_____) Buyer: (_____)

44 (3) ~~Commercial Delivery~~: depositing the document or written notice fees prepaid or charged to an account with a

45 commercial delivery service, addressed either to the Party, or to the Party's recipient for delivery if named at line 40 or 41, for

46 delivery to the Party's delivery address at line 49 or 50.

47 (4) ~~U.S. Mail~~: depositing the document or written notice postage prepaid in the U.S. Mail, addressed either to the Party,

48 or to the Party's recipient for delivery if named at line 40 or 41, for delivery to the Party's delivery address at line 49 or 50.

49 Delivery address for Seller: 4440 US Hwy 61 & 35, Potosi, WI 53820-9611

50 Delivery address for Buyer: 16604 Villapin Du Avila, Tampa, FL 33613

51 (5) ~~E-Mail~~: electronically transmitting the document or written notice to the Party's e-mail address, if given below at line

52 55 or 58; if this is a consumer transaction where the property being purchased or the sale proceeds are used primarily for

53 personal, family or household purposes, each consumer providing an e-mail address below has first consented electronically

54 to the use of electronic documents, e-mail delivery and electronic signatures in the transaction, as required by federal law.

55 E-Mail address for Seller (optional): to be provided

56 E-Mail address for Buyer (optional): horshgroup@gmail.com

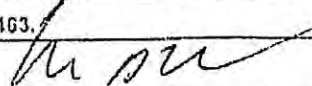
57 ~~PERSONAL DELIVERY/ACTUAL RECEIPT~~ Personal delivery to, or Actual Receipt by, any named Buyer or Seller

58 constitutes personal delivery to, or Actual Receipt by, all Buyers or Sellers.

603 ~~INSPECTION CONTINGENCY: This contingency only authorizes inspection, not testing (see lines 488-502). This Offer~~
604 ~~is contingent upon a qualified independent inspector(s) conducting an inspection(s) of the Property which discloses no~~
605 ~~Defects. This Offer is further contingent upon a qualified independent inspector or independent qualified third party performing~~
606 ~~an inspection of _____~~
607 ~~(list any Property feature(s) to be separately inspected, e.g., dumpster, etc.) which discloses no Defects. Buyer shall order the~~
608 ~~inspection(s) and be responsible for all costs of inspection(s). Buyer may have follow-up inspections recommended in a~~
609 ~~written report resulting from an authorized inspection performed provided they occur prior to the deadline specified at line 513.~~
610 ~~Inspection(s) shall be performed by a qualified independent inspector or independent qualified third party.~~
611 ~~CAUTION: Buyer should provide sufficient time for the primary inspection and/or any specialized inspection(s) as~~
612 ~~well as any follow-up inspection(s).~~
613 ~~This contingency shall be deemed satisfied unless Buyer, within _____ days of acceptance, delivers to Seller a copy of the written~~
614 ~~inspection report(s) and a written notice listing the Defect(s) identified in those report(s) to which Buyer objects (Notice of Defects).~~
615 ~~CAUTION: A proposed amendment is not a Notice of Defects and will not satisfy this notice requirement.~~
616 ~~For the purposes of this contingency, Defects (see lines 287-289) do not include conditions the nature and extent of which the~~
617 ~~Buyer had actual knowledge or written notice before signing this Offer.~~
618 ~~a RIGHT TO CURE: Seller (shall)(shall not) ~~STRIKE ONE~~ (shall) if neither is stricken) have a right to cure the Defects. If~~
619 ~~Seller has the right to cure, Seller may satisfy this contingency by: (1) delivering written notice to Buyer within 10 days of~~
620 ~~Buyer's delivery of the Notice of Defects stating Seller's election to cure Defects; (2) curing the Defects in a good and~~
621 ~~workmanlike manner; and (3) delivering to Buyer a written report detailing the work done within 3 days prior to closing. This~~
622 ~~Offer shall be null and void if Buyer makes timely delivery of the Notice of Defects and written inspection report(s) and (1)~~
623 ~~Seller does not have a right to cure or (2) Seller has a right to cure but (a) Seller delivers written notice that Seller will not cure~~
624 ~~or (b) Seller does not timely deliver the written notice of election to cure.~~

625 **ADDENDA:** The attached _____ is/are made part of this Offer.
626 **ADDITIONAL PROVISIONS/CONTINGENCIES** 3. This offer is contingent upon a qualified independent environmental
627 consultant of Buyers choice conducting an environmental assessment of the Property at Buyers expense which discloses
628 no defects. For the purpose of this contingency, a defect is defined to also include a material violation of environmental
629 laws, a material contingent liability affecting the Property arising from any environmental laws, the presence of an under-
630 ground storage tank or material levels of hazardous substances either on the Property or presenting a significant risk of
631 contaminating the Property due to future migration from other Properties. This contingency shall be deemed satisfied
632 unless Buyer, within ninety (90) days delivers to Seller a copy of the environmental site assessment report and a
633 written notice listing the defects identified in said report to which Buyer object.

635 This Offer was drafted by (Licensee and Firm) Attorney Ryan M. Benson, Benson Law Office, Ltd., P.O. Box 370,
636 Siren, WI, 54872. State Bar No. 1035463. on January 27, 2020

637 (X)  1/27/2020
638 Buyer's Signature ▲ Print Name Here ▶ Michael Hershberger Date ▲

639 (X) _____
640 Buyer's Signature ▲ Print Name Here ▶ _____ Date ▲

641 **EARNEST MONEY RECEIPT** Broker acknowledges receipt of earnest money as per line 10 of the above Offer.

642 _____ Broker (by) _____
643 **SELLER ACCEPTS THIS OFFER. THE WARRANTIES, REPRESENTATIONS AND COVENANTS MADE IN THIS OFFER**
644 **SURVIVE CLOSING AND THE CONVEYANCE OF THE PROPERTY. SELLER AGREES TO CONVEY THE PROPERTY ON**
645 **THE TERMS AND CONDITIONS AS SET FORTH HEREIN AND ACKNOWLEDGES RECEIPT OF A COPY OF THIS OFFER.**

646 (X)  2-3-2020
647 Seller's Signature ▲ Print Name Here ▶ Duane P. Vosberg Date ▲

648 (X) _____
649 Seller's Signature ▲ Print Name Here ▶ _____ Date ▲

650 This Offer was presented to Seller by (Licensee and Firm) _____
651 _____ on _____ at _____ a.m./p.m.

652 This Offer is rejected _____ This Offer is countered [See attached counter] _____
653 Seller Initials ▲ Date ▲ Seller Initials ▲ Date ▲

LEGAL DESCRIPTION

A parcel of land described as follows: Beginning at the Southeast corner of Government Lot Two (2), Section Two (2), Township Forty (40) North, of Range Sixteen (16) West, running from thence North Three Hundred Thirty-two and one-fourth (332¼) feet; thence in a Westerly direction to the shore of Mud Lake to a point approximately Three Hundred Thirty-one (331) feet North of the South line of said Lot 2; thence following the lake shore of said Mud Lake in a Southwesterly direction to the point where the said shore line crosses the West line of said Lot 2; thence South to the Southwest corner of said Lot 2; thence East to the place of beginning. The said parcel being situated in Government Lot Two (2), of Section Two (2), Township Forty (40) North, of Range Sixteen (16) West, Burnett County, Wisconsin.

Together with a general roadway easement over and across the presently existing roadway running into the above conveyed lands from "CCC" Road over and across lands of the grantor described as the North Half of the Southwest Quarter of the Southeast Quarter of Section 2-40-16 as an appurtenant easement to the above conveyed lands.

EXCEPTING THEREFROM: Lot 1, Certified Survey Map, Volume 15, pages 74, 75 and 76, as recorded in the office of the Register of Deeds for Burnett County, Wisconsin. Said Certified Survey Map being located in Government Lot 2, Section 2, Township 40 North, of Range 16 West, Burnett County, Wisconsin.

AND ALSO EXCEPTING THEREFROM: Lot Two (2), Certified Survey Map, Volume Fifteen (15), pages 74 to 76, as recorded in the office of the Register of Deeds for Burnett County, Wisconsin. Said Certified Survey Map being located in Government Lot Two (2), Section Two (2), Township Forty (40) North, Range Sixteen (16) West, Burnett County, Wisconsin.

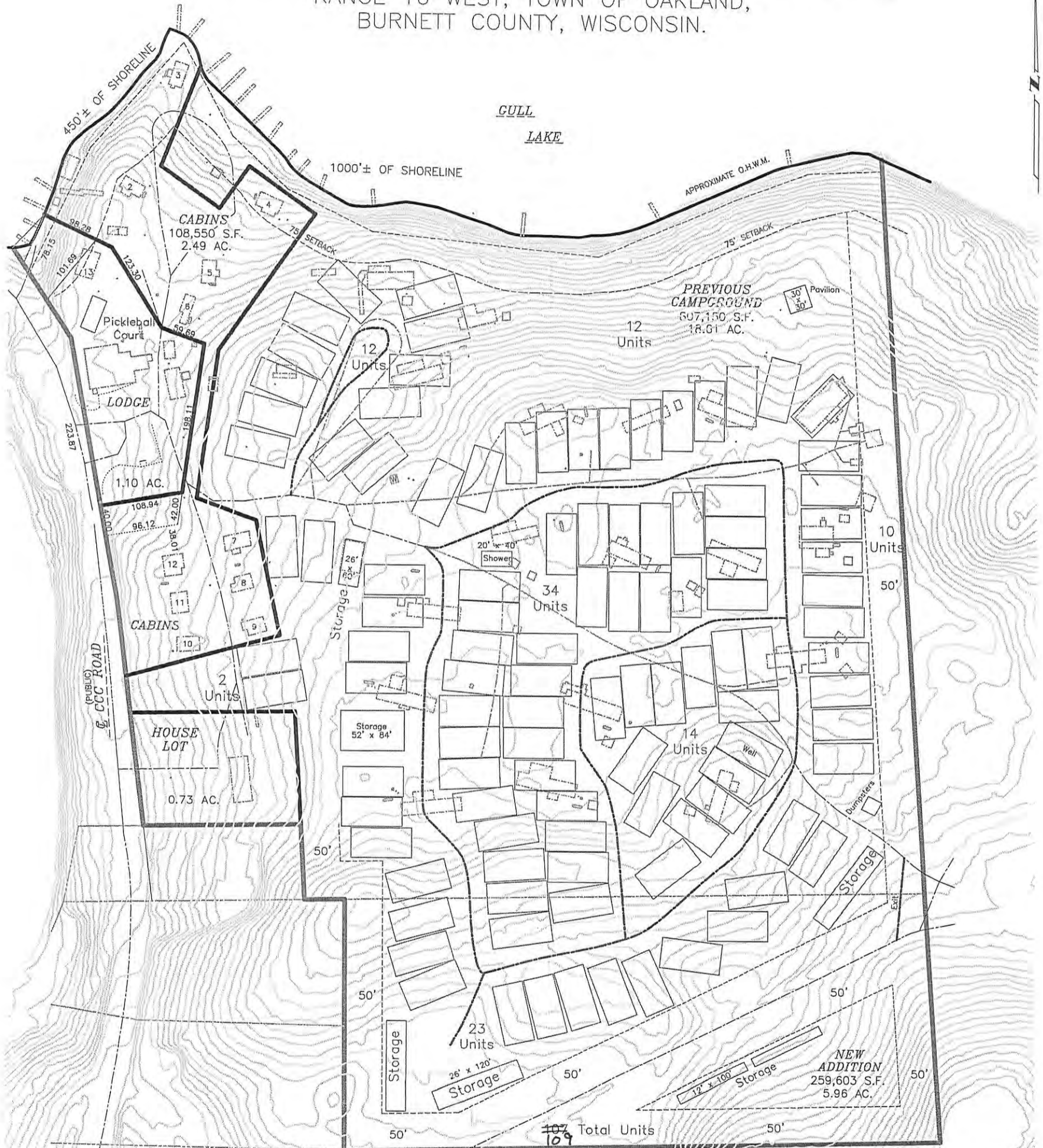
Together with a general roadway easement over and across the presently existing roadway running into the above conveyed lands from "CCC" Road over and across the North Half of the Southwest Quarter of the Southeast Quarter (N½ SW¼ SE¼) of Section Two (2), Township Forty (40) North, Range Sixteen (16) West, as an appurtenant easement to the above conveyed lands.

Subject to an easement for ingress and egress in favor of Lot 1 of said Certified Survey Map recorded in Volume 584 of records at page 167 in the office of the Burnett County Register of Deeds.



CONCEPT SITE PLAN: FOR NORTH CAMP PROPERTIES

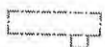
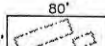
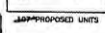

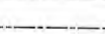

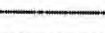

GOVERNMENT LOTS 1 & 2, SECTION 2, TOWNSHIP 40 NORTH,
RANGE 16 WEST, TOWN OF OAKLAND,
BURNETT COUNTY, WISCONSIN.



SCALE 1" = 100'

TOTAL ACREAGE
OF THE CAMPGROUND
24.57 ACRES

LEGEND

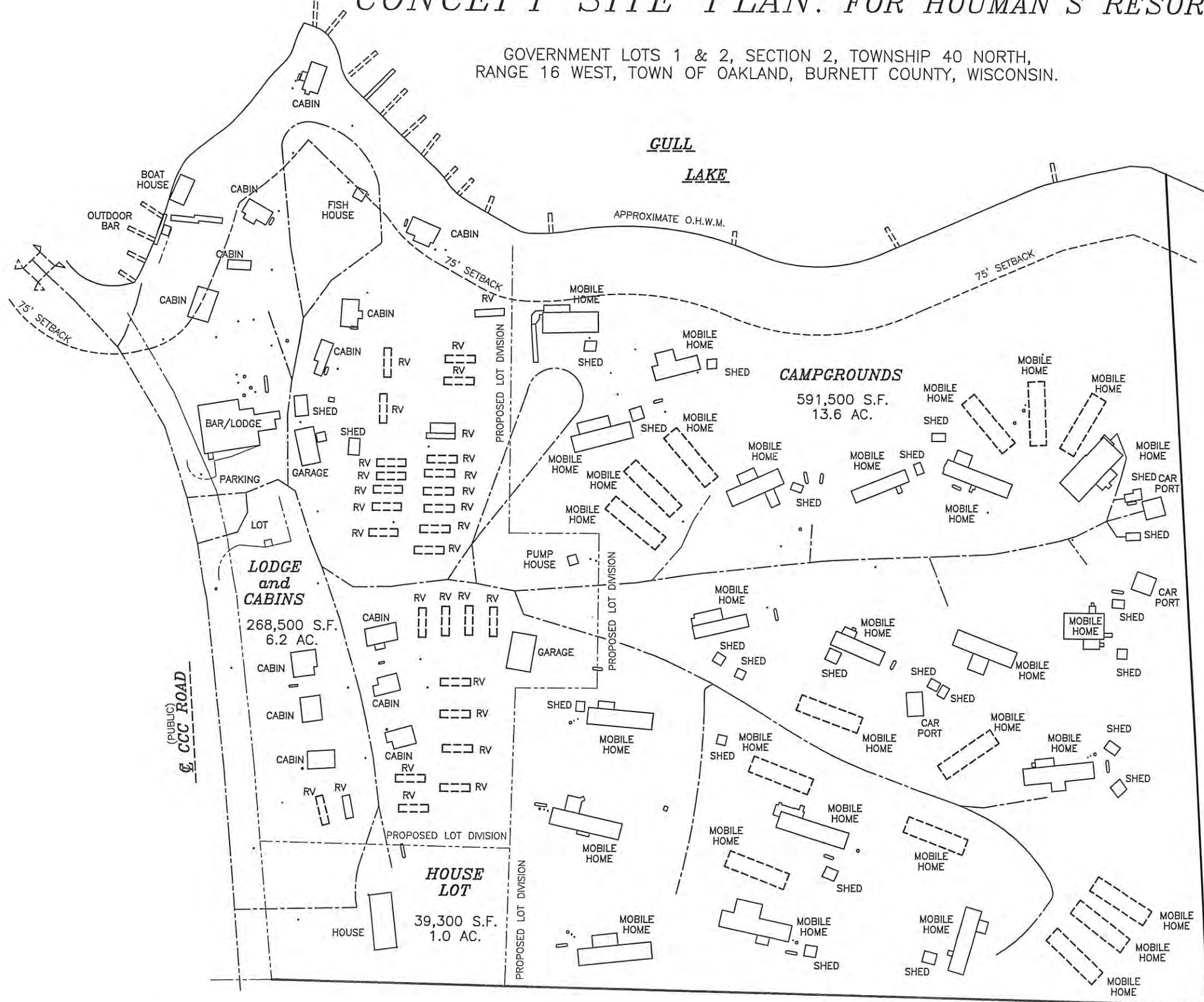
-  EXISTING RV/MOBILE HOME, BUILDING
-  PROPOSED RV/MOBILE HOME UNIT
-  EXISTING LOT LINE
-  PROPOSED LOT LINE
-  EXISTING CENTERLINE, CONTINUED USE
-  EXISTING CENTERLINE, TO BE ABANDONED
-  PROPOSED CENTERLINE
-  EXISTING ADJACENT PROPERTY LINES

February 7th, 2020

Wagner Surveying Associates, Inc.
26745 Lakeview Avenue N.
Webster, Wisconsin 54893
(715) 866-4295
wagnersurveying@centurytel.net

CONCEPT SITE PLAN: FOR HOUMAN'S RESORT



GOVERNMENT LOTS 1 & 2, SECTION 2, TOWNSHIP 40 NORTH,
RANGE 16 WEST, TOWN OF OAKLAND, BURNETT COUNTY, WISCONSIN.



13 EXISTING CABINS
BAR/LODGE AND HOUSE
29 RV SITES
35 MOBILE HOME SITES

AS APPROVED PER CONDITIONAL
USE PERMIT #CUP-19-17
DATED: JULY 2, 2019

LEGEND

-  (UNSEWERED) PREVIOUS RV/MOBILE HOME LOCATION (PROPOSED)
-  EXISTING RV/MOBILE HOME LOCATION

SCALE 1" = 120'

Wagner Surveying Associates, Inc.
26745 Lakeland Avenue N.
P.O. Box 89
Webster, Wisconsin 54893
(715) 866-4295
wagnersurveying@centurytel.net

Burnett County Staff Report

Application Request:

To divide the parcels into four parcels consisting of the following; the bar/lodge with 1 existing cabin on approximately 1.1 acre, the existing house on approximately 0.7 acres, the existing cabins on approximately 2.5 acres, and up to 109 camping units on approximately 18.6 acres. One storage shed up to 12 ft x 14 ft in size and one deck up to 12 ft x 14 ft in size per cabin and camping unit. Also adding up to 60 mini storage units. All changes to take place over the next three years.

Current facts about the parcels:

- PIN # 07-020-2-40-16-02-5 05-002-011001, PIN # 07-020-2-40-16-02-5 05-002-011100, and PIN # 07-020-2-40-16-02-5 05-002-017000, located in Section 2, T40N, R16W (Town of Oakland).
- Zoned RR-2: 1.5 acre minimum lot size, minimum width 200 ft. 30-413.
- The subject parcels in total are approximately 29 acres, with approximately 1,400 feet of frontage on Gull Lake.
- The parcel is conforming for lot width and lot area.
- The current owner (Houman) purchased the parcels (PIN's ending in 011001 and 011100) via Land Contract Doc # 295615 recorded on 8/4/1995. The current owner (Vosberg) purchased the parcel (PIN ending in 017000) via Warranty Deed Doc # 267915 recorded on 11/13/1990. The applicant has an offer to purchase accepted by the current owner (Houman) on 10/23/2019 and the applicant has an offer to purchase accepted by the current owner (Vosberg) on 2/3/2020.
- According to the FEMA floodplain map there is some floodplain area along the shoreline.
- According to the WI DNR wetland map there are no wetlands on the parcels.

Applicable Conditional Use:

Per 30-85(1), "Manufactured home parks and campgrounds subject to the provisions of article V of this chapter."

Per 30-85(3), "Recreational service oriented uses such as resorts and motels, restaurants and cocktail lounges, marinas, sport shops and bait sales, and other recreational services, which in the opinion of the land use and information committee are of the same general character or clearly incidental to a permitted use, or use authorized by conditional permit."

Per 30-85(5), Mini-storage rental buildings or storage rental buildings for storage of personal property."

Per 30-543, "Camping and camping grounds."

Per 45-386, "Camping and camping grounds."

Permits of Record with updates in Feb 2020:

- Land Use permit # 1020 issued on 4/29/1971 for an addition to cabin # 13. Has note "Expired" on the permit.
- Land Use permit # 1021 issued on 4/29/1971 for an addition to cabin # 1 (near the lake). Has note "Expired" on the permit.
- Sanitary and addition to cabins permit # 1595 issued on 11/1/1971. Sanitary system listed as inactive.
- Sanitary and addition to cabins permit # 1596 issued on 11/1/1971. Sanitary system listed as inactive.
- Sanitary and addition to cabins permit # 1618 issued on 10/10/1971. Sanitary system listed as inactive.
- Sanitary and addition to cabins permit # 1619 issued on 10/10/1971. Sanitary system listed as inactive.
- Sanitary and addition to cabins permit # 1992 issued on 6/26/1972. Has note "Expired" on the permit. Sanitary system listed as inactive.
- Sanitary and addition to cabins permit # 2985 issued on 8/14/1973. Has note "Expired" on the permit. Sanitary system listed as inactive.
- Conditional Use permit # 153 approved on 4/2/1974 to operate a 6 unit trailer park. Applied for a 12 unit trailer park, but approved for 6. Some opposition letters in the file.
- Sanitary and addition to restaurant permit # 3764 approved on 8/5/1974. Sanitary system not listed in our maintenance program, likely replaced by # 15720.
- Sanitary permit # 4072 approved on 11/7/1974. Sanitary system listed as inactive.
- Conditional Use permit # 245 approved on 12/2/1975 to replace an existing mobile home.
- Sanitary permit # 5139 issued on 6/23/1976 to replace the system with permit # 4072. Sanitary system listed as inactive.
- Conditional Use permit # 337 approved on 10/14/1977 to replace an existing mobile home.
- Land Use permit # 6715 issued on 8/15/1978 for a 28x40 pole building.
- Sanitary and dwelling permit # 6841 issued on 9/22/1978. Sanitary system listed as inactive.
- Conditional Use permit # 387 approved on 11/6/1978 to add two additional mobile homes to the existing mobile home park.
- Sanitary permit # 7279 issued on 6/18/1979 for 2 trailers. Sanitary system listed as inactive.
- Sanitary permit # 9382 issued on 4/22/1981 for a 2 bedroom system. Sanitary system listed as inactive.
- Conditional Use permit # 906 approved on 6/4/1991 to create a full restaurant at the resort.
- Sanitary permit # 11529 issued on 7/31/1984 for 2 mobile homes (one 1 bedroom and one 2 bedroom), unknown sites. Sanitary system listed as inactive.
- Land Use permit # 13569 issued on 4/15/1988 for a roof addition at Don Stanek site.
- Land Use permit # 14942 issued on 5/31/1990 for a deck at the restaurant.
- Sanitary permit # 15720 issued on 7/9/1991 for a 1530 GPD system to replace the existing system at the restaurant. Sanitary system last serviced 7/25/2019.
- Land Use permit # 15785 issued on 7/30/1991 for a deck at Bob Gloege site.

- Land Use permit # 16540 issued on 8/24/1992 for an 8x8 addition to the restaurant.
- Land Use permit # 19377 issued on 5/14/1996 for a deck and screen porch at unknown site.
- Land Use permit # 25184 issued on 6/19/2001 for a deck at William Baver trailer.
- Conditional Use permit # 1200 approved on 6/3/2003 to expand by adding 8 additional mobile homes sites and a pump house. Note - at this meeting it was stated that there are 13 existing cabin rentals, 18 existing mobile homes sites and then house/lodge/restaurant/bar (all in the same building) on the site. A total of 43 acres and 1,400 feet of frontage.
- Sanitary Permit # 28232 issued on 10/27/2003 for a 300 GPD system for one (2 bedroom) mobile home; site 7. No history of sanitary system being serviced.
- Sanitary Permit # 28233 issued on 10/27/2003 for a 900 GPD system for three (2 bedroom) mobile homes; sites 1, 2 and 3. No history of sanitary system being serviced.
- Sanitary Permit # 28234 issued on 10/27/2003 for a 900 GPD system for three (2 bedroom) mobile homes; sites 4, 5 and 6. Sanitary system last serviced 8/13/2018.
- Land Use permit # 32136 issued on 5/22/2007 for a three season porch at Gene Moore site.
- Land Use permit # 33198 issued on 7/30/2008 for a screen porch addition at site 15.
- Land Use permit # LUP-14-252 issued on 8/4/2014 to replace a mobile home at Robert Voreis site.
- Conditional Use permit # CUP-19-17 approved on 7/2/2019 to divide the parcel into three parcels and expand the uses to consist of: the bar/lodge with 13 existing cabins and up to 29 camping units on 6.2 acres, the house on 1.0 acre, and 18 existing mobile homes/manufactured homes and up to 17 additional manufactured homes on 13.6
- Subdivision permit # SUB-19-62 issued on 9/20/2019 to split the house parcel off per CUP-19-17.
- Sanitary Permit # SAN-19-209 issued on 10/10/2019 for a 5 bedroom system which is for cabins 1, 2 and 3.
- Sanitary Permit # SAN-19-210 issued on 10/10/2019 for a 5 bedroom system which is for cabins 4, 5 and 6.

Violations of Record from June 2019 site visit with updates in Feb 2020:

- Compost pile with shingles, tar paper, siding, plastics and buckets. The waste needs to be disposed of properly at a land fill. Unknown if corrected, snow cover at site.
- Some sanitary systems past due for servicing, some have no record of being serviced/reported. Feb 2020 status of sanitary systems: lodge/bar is current for maintenance, cabins 1-6 had a new sanitary systems installed in 2019, sanitary system # 28234 for 3 mobile homes is current for maintenance, sanitary system #28233 for 3 mobile homes is past due for maintenance, sanitary system # 28232 for 1 mobile home is past due for maintenance. Unknown sanitary system status for cabins 7-13, the home, and for many of the mobile homes.
- Numerous decks, sheds and additions without permits. Still no permits for these.
- Portable toilet within 25 ft of the lake. This is gone per 2/11/2020 site visit.

Comprehensive Plan:

Burnett County 2030 Comprehensive Plan adopted in 2010 shows this area as shoreland residential district.

- Purpose: Shoreland residential areas are “lands adjacent to lakes, rivers, and streams in Burnett County...historically prone to development pressure”.
- Primary Goal: To establish “appropriate strategies for management of future development of these areas that address: ensuring environmental quality, maintaining views and open space, maintaining community character, and potential recreational activity conflicts”.
- Preferred Use: “Residential uses that are compatible with their immediate surroundings.”

Possible items to resolve/address:

- Other concerns brought before the committee from other parties (neighbors, public, Town of Oakland, state agencies, other county departments, etc).

Correspondence (written) received as of report compilation:

- All correspondence through 4 pm on 2/25/2020 is included in the digital packet provided to the committee members.

Staff concerns:

- Compost pile with shingles, tar paper, siding, plastics and buckets. The waste needs to be disposed of properly at a land fill. Need to verify after snow is gone.
- Some sanitary systems past due for servicing, some have no record of being serviced/reported. Some structures have no record of a sanitary system.
- Numerous decks, sheds and additions without permits.

If considering approval then the following items may want to be included in the motion:

- 1- All sanitary systems to be serviced and reported to the county by 6/1/2020.
- 2- Sanitary systems for cabins 7-13 need to be evaluated by a WI licensed plumber and appropriate reports filed with the county by 6/1/2020 OR the cabins will need new sanitary systems by 6/1/2020.
- 3- All land use permits to be obtained for all violations by 12/1/2020.
- 4- A complete campground/manufactured home park (including all existing structures and camping units) map needs to be completed for the entire parcel and filed with the land services department (signed by a licensed architect, engineer or surveyor) which shows the entire layout, location of all sites, roads, property lines, setbacks, structures, water supplies, private waste disposal system(s), recreation areas, and any other information the land use and information committee shall deem necessary within 3 years of this approval. Any proposed changes in the approved campground/manufactured home park shall be presented to the land services

BURNETT COUNTY LAND SERVICES
BURNETT COUNTY GOVERNMENT CENTER

7410 County Road K, #120
Siren, Wisconsin 54872

Phone (715) 349-2109
landservices@burnettcounty.org

February 10, 2020

North Camp Properties II
Mike Hershberger & Steve Austin
4100 Misty Valley Dr
Middleton, WI 53562

RE: CONDITIONAL USE PERMIT #CUP-20-06

Dear Applicant,

Please be advised that a public hearing will be held before the Burnett County Land Use and Information Committee on Tuesday, March 3rd, 2020 at 9:00 a.m., in Room 165 at the Burnett County Government Center, Town of Meenon, Siren, Wisconsin.

This hearing will be held in order to receive comment on your request for a conditional use permit to divide the use into multiple parcel and add additional camping units at 29402/29460 CCC Rd.

It is expected that you, or a representative acting for you, be present at the hearing in order to provide any additional information, which may be necessary for a proper decision in the matter.

Please contact this office if you have any questions or comments.

Thanks,

Jason Towne

Jason Towne
Zoning Administrator

**BURNETT COUNTY ZONING ADMINISTRATION
BURNETT COUNTY GOVERNMENT CENTER**

7410 COUNTY ROAD K, #120
SIREN, WISCONSIN 54872

PHONE (715) 349-2109
EMAIL: landservices@burnettcounty.org

NOTICE OF PUBLIC HEARING

Notice of Public Hearing, State of Wisconsin, County of Burnett, Tuesday, March 3, 2020, at 9:00 a.m., at the Burnett County Government Center in Room 165, Town of Meenon, Siren, Wisconsin, regarding the following:

BURNETT COUNTY LAND USE/SHORELAND PROTECTION ORDINANCES

1. CONDITIONAL USE PERMIT #CUP-20-06 – NORTH CAMP PROPERTIES II

Public notice is hereby given to all persons in the Town of Oakland, Burnett County, Wisconsin, that Mike Hershberger and Steve Austin have made application for a conditional use permit per the terms of the Burnett County Land Use and Shoreland Protection Code of Ordinances to divide the existing parcels into four different parcels consisting of the following; the existing bar/lodge with one existing cabin on approximately 1.1 acres, the existing house on approximately 0.7 acres, the existing cabins on approximately 2.5 acres, and up to 109 camping units on approximately 18.6 acres. One storage shed up to 12 ft x 14 ft in size and one deck up to 12 ft x 14 ft in size per cabin and camping unit. Also adding up to 60 mini storage units. All changes to take place over the next three years, located at 29402 and 29460 CCC Rd, on Gull Lake, in the RR-2 zoning district, parcels in Government Lots 1 and 2, Section 2, T40N R16W.

2. CONDITIONAL USE PERMIT #CUP-20-07 – NORTH CAMP PROPERTIES III

Public notice is hereby given to all persons in the Town of Webb Lake, Burnett County, Wisconsin, that Mike Hershberger and Steve Austin have made application for a conditional use permit per the terms of the Burnett County Land Use and Shoreland Protection Code of Ordinances to build up to 130 storage units and allow outdoor storage of up to 75 watercraft over the next three years, located at State Rd 77 and Deer Lake Rd, on Jones Creek, in the RR-1 zoning district (see next item for proposed rezone of this parcel from RR-1 to C-1), parcel in the S ½ of the S ½ of the NW ¼ of the SE ¼, Section 18, T41N R14W.

3. MAP AMENDMENT #MAP-20-01 – NORTH CAMP PROPERTIES III

To rezone the S ½ of the S ½ of the NW ¼ of the SE ¼, in Section 18, T41N R14W, Town of Webb Lake, from RR-1 (Residential-Recreation) to C-1 (Commercial) zoning district. Zoning change requested by Mike Hershberger and Steve Austin. (See prior item for proposed conditional use of this parcel).

Details of the proposed revision are available at the Burnett County Land Services Department, the Burnett County Clerk's Office, and on the Burnett County website at <http://www.burnettcounty.com/index.aspx?NID=1108>.

(Continued on Page 2)

NOTICE OF PUBLIC HEARING

MARCH 3, 2020

PAGE 2

4. MAP AMENDMENT #MAP-20-02 – AMRHIEN

To rezone the N ½ of the E ½ of the SW ¼ of the SE ¼, in Section 33, T39N R16W, Town of Meenon, from RR-1 (Residential-Recreation) to C-1 (Commercial) zoning district. Zoning change requested by Charles Amrhien. (See next item for proposed conditional use of this parcel).

Details of the proposed revision are available at the Burnett County Land Services Department, the Burnett County Clerk's Office, and on the Burnett County website at <http://www.burnettcounty.com/index.aspx?NID=1108>.

5. CONDITIONAL USE PERMIT #CUP-20-02 – AMRHIEN

Public notice is hereby given to all persons in the Town of Meenon, Burnett County, Wisconsin, that Charles Amrhien has made application for a conditional use permit per the terms of the Burnett County Land Use and Shoreland Protection Code of Ordinances to allow outside storage of recreational equipment and outside storage of semi-trailers, located at 7096 State Rd 70, in the RR-1 zoning district (see prior item for proposed rezone of this parcel from RR-1 to C-1), in the E ½ of the SW ¼ of the SE ¼, Section 33, T39N R16W.

6. CONDITIONAL USE PERMIT #CUP-20-08 – BAGLIO

Public notice is hereby given to all persons in the Town of Swiss, Burnett County, Wisconsin, that Diane Baglio has made application for a conditional use permit per the terms of the Burnett County Land Use and Shoreland Protection Code of Ordinances to allow a camper year around for up to three years, located at 7116 Hill Dr, on Loon Creek, in the RR-3 zoning district, Lot 1 CSM V. 9 Pg. 263, in the SW ¼ of the NE ¼, Section 27, T41N R16W.

Burnett County
Land Use and Information Committee
Siren, WI
Dated this 10th day of February, 2020

NOTICE TO RUN IN SENTINEL FEBRUARY 12TH AND 19TH



COUNTY OF BURNETT
LAND USE AND INFORMATION COMMITTEE

Burnett County Government Center
Room 165 - 9:00 a.m.
March 3, 2020

Burnett County Clerk, 7410 County Road K, #105, Siren, WI 54872 • Phone 715-349-2173 • FAX / TTY 715-349-2169

MEMBERS

County Board Supervisors

Norm Bickford, Chair
Craig Conroy, Vice-Chair
Brent Blomberg, Secretary
Chuck Anderson
Ed Fisher
Duane Johnson
Jim Paden

DEPARTMENTS

- County Surveyor/Land Services
- Zoning/Land Use

AGENDA

1. Call to Order
2. Notice Posted in Accordance to Wis. Stat. 19.84 Open Meeting Law
3. Public Comments – Three Minute Time Limit Per Person
4. Approval of Agenda Order
5. Approval of Minutes of the February 4, 2020, Meeting
6. Public Hearing:
 - a. Conditional Use Permit #CUP-20-06: North Camp Properties II – Divisions, Campground and Storage Units
 - b. Conditional Use Permit #CUP-20-07: North Camp Properties III – Storage Units and Outdoor Storage
 - c. Amendment #MAP-20-01: North Camp Properties III – Rezone a Parcel from RR-1 to C-1
 - d. Amendment #MAP-20-02: Amrhien – Rezone a Parcel from RR-1 to C-1
 - e. Conditional Use Permit #CUP-20-02: Amrhien – Outdoor Storage
 - f. Conditional Use Permit #CUP-20-08: Baglio – Camper for up to Three Years
7. Land Services – Zoning and Property Information Division Reports
8. Future Agenda Items
9. Adjournment

Posted 02/26/2020

Persons requiring an interpreter, materials in alternate format or other accommodations to access this meeting are encouraged to contact the Burnett County Clerk at least 48 hours prior to the meeting.

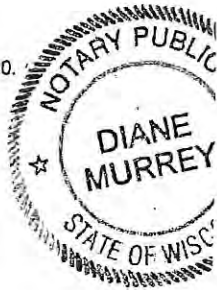
Affidavit of Publication

STATE OF WISCONSIN, Burnett County

Tom Stangl, being duly sworn, on oath, deposes and says that he is an authorized representative of The Burnett County Sentinel, which is a weekly newspaper published at Grantsburg, Wisconsin, and that a notice of which the printed slip, hereto annexed, is an exact and true copy, was published in said, newspaper once in each and every week for 2 successive weeks and that the date of the first insertion was the 12th of February, 2020; that the date of the last insertion was on the 19th of February, 2020.

HEARING MARCH 3

Subscribed and sworn to before me this 19th of February, 2020.

Notary Public, State of Wisconsin

My Commission expires 22nd day of April, 2022

STATE OF WISCONSIN
CIRCUIT COURT
BURNETT COUNTY

IN RE ESTATE OF

Deceased

Proof of Publication of

6. CONDITIONAL USE PERMIT #CUP-20-08 - BAGLIO

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Siren, WI
Dated this 10th day of February, 2020
WNAXLP
(Feb. 12, 19)

Recorded in Vol. _____ Page _____
Filed this _____ day of _____, 20____

County Judge

NOTICE OF PUBLIC HEARING

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for proposed rezone of this parcel from RR-1 to C-1), parcel in the S 1/2 of the S 1/2 of the NW 1/4 of the SE 1/4, Section 18, T41N R14W.

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Towne, Jason

From: Toay, Nicole <ntoay@wheelerlaw.com>
Sent: Thursday, May 07, 2020 11:48 AM
To: Bickford, Norm; Conroy, Craig; Blomberg, Brent; Anderson, Chuck; Awe, Charles; Paden, Jim; James Pearson
Cc: Hinrichs, Wanda; Towne, Jason; Peranteau, Mary Beth
Subject: Conditional Use Permit Application No. CUP-20-06
Attachments: 2020.05.07 S Burnett Co LUIC re CUP-20-06.pdf

Mr. Bickford and Committee Member,

Good afternoon. Attorney Peranteau has asked me to forward you the attached letter along with a copy of her previously sent open recorded request. Please let me know if you have any issues opening it.

Thank you,
Nikki



Nicole Toay
Legal Assistant, Mary Beth Peranteau
Wheeler, Van Sickle & Anderson, S.C.
44 East Mifflin Street, Suite 1000, Madison, WI 53703
wheelerlaw.com
firm 608.255.7277 | direct 608.441.3812
ntoay@wheelerlaw.com

This email is sent by a law firm and may contain information that is privileged or confidential. If you are not the intended recipient, please delete the e-mail and any attachments and notify us immediately.





ATTORNEYS AT LAW	Justin W. Chasco
Niles Berman	Andrew J. Parrish
Jeffrey L. Landsman	Denis R. Vogel
Thomas J. Zaremba	David A. Bolles
Stuart G. Mondschein	Robb E. Leach
William Pray O'Connor	Kari J. Fasulo
Rhea A. Myers	OF COUNSEL
Mary Beth Peranteau	Norman C. Anderson
Jessica J. Shrestha	Janet L. Kelly

May 7, 2020

VIA ELECTRONIC MAIL

Norman Bickford, Chair and Members
Burnett County Land Use & Information Committee
7410 County Road K
Siren, WI 54872



RE: Conditional Use Permit Application No. CUP-20-06

Dear Chairman Bickford and Committee Members:

This firm represents the Concerned Citizens for the Preservation of the Minerva Chain of Lakes, an association of Burnett County residents and property owners who are opposed to the above-referenced application for a conditional use permit to expand the campground/mobile home park at Houman's Resort.

During this week's Committee meeting, there was discussion concerning the necessity of a continued public hearing on the application, as well as the deadline for the applicant's submission of requested information to complete the application. These two issues are related. According to the Wisconsin Supreme Court's decision in *Weber v. Town of Saukville*, 209 Wis. 2d 214 (1997) (involving a CUP for a gravel quarry), the complete application must be available to the public at the time notice of the final public hearing is first given. According to that case:

"Such a rule ensures that interested individuals will have a meaningful opportunity to express informed opinions at the public hearings. . . . Requiring a complete application at the time that the last public hearing is noticed places no significant burden on conditional use applicants, and provides ample opportunity for interested citizens to inform themselves in preparation for the hearing."

It is implicit in the Court's ruling that the public hearing on a CUP application cannot be closed before the application is complete. The CUP application form and Section 30-634 of the County Ordinance require the application to include a scaled plot plan that includes, among other things, the dimensions, locations and setbacks of all existing and proposed structures, including all decks/porches/walkways and dimensions for all items; sanitary

Burnett County Land Use & Information Committee
RE: CUP-20-06
May 7, 2020
Page 2 of 2

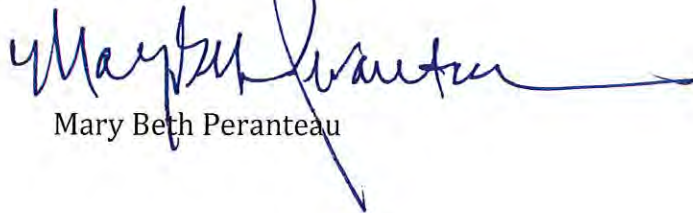
system, drainfield and well with distances to property lines, OHWM, wetlands, floodplains, existing and proposed buildings; and location and type of erosion control measures. This information is required for a complete application. Accordingly, there is no question that the public hearing must be continued after these items are received. Per the Committee's discussion, we understand the hearing will be held in early June. Under Wisconsin law, these application materials must be available to the public as of the first date of publication of the hearing notice as provided by Wis. Stat. § 59.69(5e)(c).

In anticipation of the Committee's receipt of that information, this letter will serve as a supplemental open record request for copies of all documents submitted by the applicant following the March 3rd public hearing. Please also refer to my original open record request dated March 18, 2020, a copy of which is attached. Wis. Stat. § 19.35(4) requires that the County shall, "as soon as practicable and without delay," either fill the request or notify of the reason why the request is being denied in whole or in part. We have not received any response to the original request in the six weeks since it was delivered. While a certain amount of delay is inevitable due to the COVID pandemic, the County's response is clearly overdue.

Thank you for your kind attention to these matters.

Very truly yours,

WHEELER, VAN SICKLE & ANDERSON, S.C.



Mary Beth Peranteau

/mbp

cc: Wanda Hinrichs, Clerk (via electronic mail to: whinrichs@burnettcounty.org)
Jason Towne, Land Services Director (via email to: jtowne@burnettcounty.org)





ATTORNEYS AT LAW
Niles Bernan
Jeffrey L. Landsman
Thomas J. Zarembo
Stuart G. Mondschein
William Pray O'Connor
Rhea A. Myers
Mary Beth Peranteau
Jessica J. Shrestha

Justin W. Chasco
Andrew J. Parrish
Denis R. Vogel
David A. Bolles
Robb E. Leach
Kari J. Fasulo
OF COUNSEL
Norman C. Anderson
Janet L. Kelly

March 18, 2020

VIA PRIORITY MAIL

Ms. Wanda Hinrichs, Clerk
Burnett County, Wisconsin
7410 County Road K
Siren, WI 54872

COPY

RE: Open Record Request Pursuant to Wis. Stat. § 19.35 et seq.

Dear Ms. Hinrichs:

This letter is to request copies of public records maintained by Burnett County pursuant to Section 19.35 of the Wisconsin Statutes. If the records custodian for any of the requested records is someone other than yourself, kindly notify me of the identity of the custodian of any such records.

RECORDS REQUESTED

Definitions: For purposes of this request, the term "Communications" means any document existing in any format including electronic files, reflecting verbal or written communications between two or more parties. This includes but is not limited to letters, email, memoranda, telephone notes and logs.

1. All County ordinances pertaining to fees, charges and procedures for responding to statutory open records requests under Wis. Stat. § 19.35.
2. The notice of hearing and proof of mailing and publication of such notice for the public hearing held by the Land Use & Information Committee on March 3, 2020, concerning the application of North Camp Properties II for zoning approvals for the property located at 29402 and 29460 CCC Road, on Gull Lake, parcels in Government Lots 1 and 2, Section 2, T40N R16W.
3. The Minutes and audiotape record of the Land Use & Information Committee's March 3, 2020 meeting and public hearing.

Ms. Wanda Hinrichs, Clerk
Burnett County, Wisconsin
March 18, 2020
Page 2 of 2

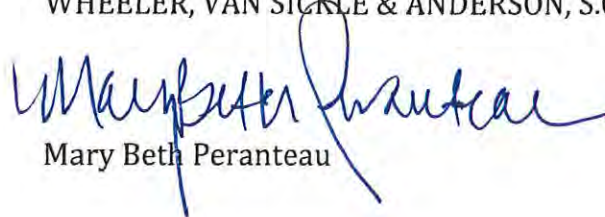
4. All Communications between any representative(s) of the County and North Camp Properties II related to zoning approvals for property located at 29402 and 29460 CCC Road, between January 1, 2020 and the date of your receipt of this request.
5. All Communications between any representative(s) of the County and the Town of Oakland related to zoning approvals for property located at 29402 and 29460 CCC Road, between January 1, 2020 and the date of your receipt of this request.
6. All Communications between member(s) of the public and the County or any of its elected officials, committee members, or staff received between March 1, 2020 and the date of your receipt of this request referring or relating to the property located at 29402 and 29460 CCC Road.
7. All reports, recommendations and other internal Communications between and among County elected officials, committee members and/or staff between January 1, 2020 and the date of this request referring to or relating to the property located at 29402 and 29460 CCC Road.

To the extent feasible, please provide electronic copies of responsive records. If prepayment is required for the record search and/or copies, please advise. We will promptly pay your invoice upon receipt.

Please contact me if you have any questions or require clarification. Thank you for your anticipated cooperation.

Very truly yours,

WHEELER, VAN SICKLE & ANDERSON, S.C.



Mary Beth Peranteau

/mbp

Towne, Jason

From: Steve Austin <bioniguy61@gmail.com>
Sent: Friday, May 15, 2020 10:00 AM
To: Towne, Jason
Subject: Upddate letter for the board
Attachments: CUP Update Letter 5-14-20.pdf; Proposed Conditions.pdf

This is what we have accomplished so far.

Jason please note that the septics may not all be pumped and serviced as of today but will be by June 1st.

We would also note that while we responded that all trailer homes will be removed by 6/1/2022 we are willing to let current campers stay until that camper no longer rents from us at which time they would have to remove the trailer. Trailers cannot be sold and stay at the property. Over time as the trailers leave they would be replaced with a Seasonal Campground RV model. We will follow the board's decision.

Thank you,

Steve Austin



Date: May 14, 2020
To: COUNTY OF BURNETT
LAND USE AND INFORMATION COMMITTEE
From: North Camp Properties II, LLC
RE: CONDITIONAL USE PERMIT #CUP-20-06 – NORTH CAMP PROPERTIES II, LLC



Please accept this letter as an update to the progress made with respect to the requested conditional use permit.

We have attached a revised site plan that reduced the original requested campsites by 23 with greater precision for the storage units. Since the last meeting, we have completed the purchase of the approximate 5.9 acre parcel to the south of the former Houman's resort, increasing the campground land portion by 33% from the previously approved Houman's CUP. We have hired licensed professionals to establish precise plans regarding erosion control, runoff management, grading scale, identified the septic systems existing locations and tested the soil to identify new replacement areas to accommodate the new ones shown by soil work. Our improvement team includes:

1. Wagner Surveying
2. Cashman Excavating
3. Jeff Fox Excavating and Septic
4. Northern Wisconsin-Based Engineers, Inc.

Additional work since the last meeting includes the following:

All sanitary systems were serviced and reported to the county. We also hired a licensed plumber to evaluate sanitary systems for cabins 7-13 on the map and filed appropriate reports with the county. We are in the process of obtaining all land use permits for all violations and will have the appropriate permits and or correct all violations by 12/1/2020.

We have attached a draft map of the complete campground/manufactured home park (including all existing structures and camping units) for the entire parcel. We will file the final map with the Land Services Department (signed by a licensed architect, engineer or surveyor) which shows the entire layout, location of all sites, roads, property lines, setbacks, structures, water supplies, private waste disposal systems, recreation areas and any other information the Land Use and Information Committee shall deem necessary within three years of approval. Any proposed changes in the approved campground/manufactured home park shall be presented to the Land Services Department for approval. No implementation of the proposed changes shall take place until written approval is received from the Land Services Department. Land

use permits will be obtained for all items before construction/placement of new items. This includes all decks/patios/sheds/etc.

No recreational vehicle transfer tanks shall be used on the property. All camping units shall be attached to a POWTS (Private Onsite Wastewater Treatment Systems). We have proposed what we believe is sufficient screening for the conditional use permit. We will work with the committee to revise screening as deemed necessary by the committee.

A copy of the state campground license will be provided to the county Land Services Department within nine months of this approval and we will ensure that camping units shall meet Wisconsin camping unit requirements. All mobile homes/manufactured homes will be removed from the site by 6/1/2022. We will follow all local, county, state and federal requirements for this activity.

Respectfully submitted,

Steve Austin
Authorized Member - North Camp Properties II, LLC



Proposed Conditions
CONDITIONAL USE PERMIT #CUP-20-06 – NORTH CAMP PROPERTIES II, LLC
May 14, 2020

1. All sanitary systems to be serviced and reported to the county by 6/1/2020.
2. Sanitary systems for cabins 7-13 to be evaluated by a Wisconsin licensed plumber and appropriate reports filed with the county 6/1/2020 or the cabins will need new sanitary systems by 6/1/2020.
3. All land use permits to be obtained for all violations by 12/1/2020.
4. A complete campground/manufactured home park (including all existing structures and camping units) map needs to be completed for the entire parcel and filed with the Land Services Department (signed by a licensed architect, engineer or surveyor) which shows the entire layout, location of all sites, roads, property lines, setbacks, structures, water supplies, private waste disposal system(s), recreation areas and any other information the Land Use and Information Committee shall deem necessary within three years of this approval. Any proposed changes in the approved campground/manufactured home park shall be presented to the Land Services Department for approval. No implementation of the proposed changes shall take place until written approval is received from the Land Services Department.
5. Land use permits to be obtained for all items before construction/placement of new items. This includes all decks/patios/sheds/etc.
6. No recreational vehicle transfer tanks shall be used. All camping units shall be attached to a POWTS (Private Onsite Wastewater Treatment Systems).
7. Screening shall consist of sufficient pine trees and bushes between North Camp Properties II, LLC and neighbors.
8. A copy of the state campground license must be provided to the county Land Services Department within nine months of approval.
9. Camping units shall meet Wisconsin camping unit requirements.
10. All mobile homes/manufactured homes need to be removed from the site by 6/1/2022.
11. Follow all local, county, state and federal requirements for this activity.



12. The number of campsites reduced by 23 from the original proposed conditional use permit.
13. Provide a more precise erosion control plan
14. Establish a water run off management plan
15. Establish a grading scale plan
16. Identification of all existing septic systems.
17. Test soils to identify areas to accommodate new septic systems
18. Each campsite shall have sufficient area for at least one vehicle parking on site.
19. Each annual camper shall be required to sign a season contract substantially similar to the attached agreement:



Seasonal Contract

North Camp Properties II, LLC doing business as 7 Lakes Campground
29460 CCC Rd, Danbury, WI 54830

Lot # _____

Email: 7lakescamp@gmail.com

Mailing Address: 7 Lakes campground, C/O Steve Austin, 3142 W Webb Lake Dr, Webb Lake,
WI 54830

Phone: _____ (_____, On-Site Manager)

_____ Rent: Seasonal site rent is \$_____. A non-refundable payment of \$_____
is due by October 1, 20__ to hold Your site for 20__. The balance is due as follows: \$_____ by
March 1st and the balance of \$_____ by May 1st. A \$_____ discount will be applied if paid in
full by March 1, 20___. A late payment fee of \$_____ per day will be added to Your total.
Visa and MasterCard are accepted with an 3% surcharge added.

1. Speed Limit on Seven Lakes Campground is 5 MPH.
2. You are allowed to access the ATV trail system via the road that runs to Your site subject to local rules and regulations. Operating an ATV anywhere other than on the road is not allowed. Please be considerate when driving Your ATV on the Campground roads to access the trail system.
3. Continual operation of motor vehicles on Seven Lakes Campground (does not include necessary travel) is not allowed. Operation of motor vehicles by underage, non-licensed drivers is not allowed, and Seven Lakes Campground does not accept responsibility for their safety.
4. No unlicensed, unused or non-running vehicles are allowed on Seven Lakes Campground. A 20-day grace period will be given after which a \$_____ per day charge will be assessed in addition to towing at the Camper's expense.
5. Trailers are to be kept in good repair and lots kept clean. Lots are to be raked and cleaned no later than the end of Memorial Day Weekend. If Seven Lakes Campground has to mow or pick up refuse in Your lot area, a minimum \$_____ charge will be assessed. You are expected to keep Your lot mowed and cleaned.
6. Seven Lakes Campground has the right to refuse any transfer of trailers to new tenants for trailers remaining on site. Seven Lakes Campground must approve all new tenants



and trailer sales. No subletting or renting is allowed without prior written approval. There will be no refunds or prorating of seasonal fees.

7. You will be responsible for Your own electric bill from Northwestern Wisconsin Electric Company. Failure to pay Your electric bill is grounds for termination of this contract.
8. You may not use a dock to park Your boat unless You have paid for a boat slip. No more than 1 boat per site.
9. Notify Seven Lakes Campground if You have trees to be cut.
10. No commercial operations are allowed without permission.
11. No unused boats or other articles are to be left in the dock area.
12. Quiet time in the park is 10:00 PM to 10:00 AM. Any disrespectful Camper will be asked to leave the park without a refund.
13. No fireworks can be discharged in the park
14. No hunting or discharging of firearms on premises is allowed.
15. All pets are to be on a chain, leash or in a kennel. Pick up after Your pet, put droppings in a plastic bag and dispose of it. Pet noise is to be kept to Your area. You are responsible for Your guest's pets.
16. You are responsible for the behavior Your guests. Please see that Your guests are aware of the rules. If Your guests do not follow the rules, they will be required to leave the premises immediately, whether You are present or not. Only one trailer is allowed per site. Additional trailers or guest trailers are not allowed.
17. No decks, sheds or additions of any kind is allowed without the written consent of Seven Lakes Campground. Seven Lakes Campground will identify which sheds are acceptable upon request. You are responsible for any permits, fees, taxes, fines or removal costs that may occur.
18. No storage or dumping of hazardous material is allowed.
19. The seasonal camping fee is limited to the sole occupancy of Your trailer and Your immediate family. Your immediate family is defined as You, Your spouse or significant other and all unmarried children.



20. You are responsible for any personal property tax that any regulatory body may levy on Your personal goods.
21. Seasonal rates apply for the full season, November 1, 20__ to October 31, 20__. You may use Your trailer in the off season if You will be leasing from Seven Lakes Campground the following year, however, the water will be turned off seasonally when freezing weather is a potential at the sole discretion of Seven Lakes Campground. This property, being privately owned, You accept camping privileges with the understanding that You hereby release Seven Lakes Campground, its officers and employees of all liability for the loss or damage to property and injury to his/her person arising out of his/her use of its camping facilities and agrees to indemnify Seven Lakes Campground, its officers and employees, against any claims resulting from loss or damage to property or injury to the person and any member of the family or guest of the camper, arising out of the use of this camping facility.
22. Default: If You default in payment of any installment of rent, or breach any of the terms, conditions, and provisions herein contained, the balance of the rent to the end of the camping season shall without notice of demand by Seven Lakes Campground, at once become due and payable. In addition, the Camper hereby authorizes and empowers Seven Lakes Campground to enter the camp site as needed and without notice, with or without legal process, and thereby terminate the tenant's right to use the site. The Camper also agrees to personally guarantee any payment to Seven Lakes Campground and pay reasonable attorney's fees.

Terms of seasonal camping: The seasonal camping contract terminates on October 31st of each year. Unless a new seasonal camping contract is entered into between the seasonal camper and Seven Lakes Campground prior to Sept. 16th of each year, the seasonal Camper will be responsible to physically remove their trailer and all personal property by October 31st.

Your signature on the contract indicates that You have received and read a copy of the contract and its rules and agree to the terms therein. Please sign and return contract to:

North Camp Properties II, LLC, 3142 W Webb Lake Dr, Webb Lake, WI 54830

Failure to return the signed contract by Sept. 15th, 20__ will indicate You no longer wish to keep Your site the following season.



Seasonal Contract

North Camp Properties II, LLC doing business as 7 Lakes Campground
29460 CCC Rd, Danbury, WI 54830

Lot # _____ Phone contact # _____

E-mail _____

Print Full Name and Home mailing address

_____ (referred to as "You", "Your" or "Camper")

Signature of Camper

Date

Signature of spouse/significant other

Date

Authorized Signature of 7 Lakes Campground:

Date



Towne, Jason

From: Wagner Surveying <wagnersurveying@centurytel.net>
Sent: Friday, May 15, 2020 4:18 PM
To: Towne, Jason; 'Steve Austin'; 'Michael Hershberger'
Cc: 'Gary T.Colbert'; 'Heather Harrington'
Subject: Storm Water and Erosion Control Plans forNorth Camp Properties (Houman's Resort)
Attachments: Houmans Resport Preliminary SW Treatment Design 051520.pdf; 61%_PreliminaryPlan-Reduced.pdf

Jason;

Attached please find the preliminary storm water management (sketch on pdf) and calcs.
Also preliminary storm water and erosion control cadd sheets for the road work.

In general the plan is to treat the storm water run-off with grassy swales at the low side of each individual lot or collectively in the roadside ditches. Due to the sandy soils the size of the swales is minimal. Per the Engineers.

There are several pages at the end of the cadd sheets that provide guidance on erosion control and is the basis of the final erosion control plan.

Thanks Mark
Have a good weekend.

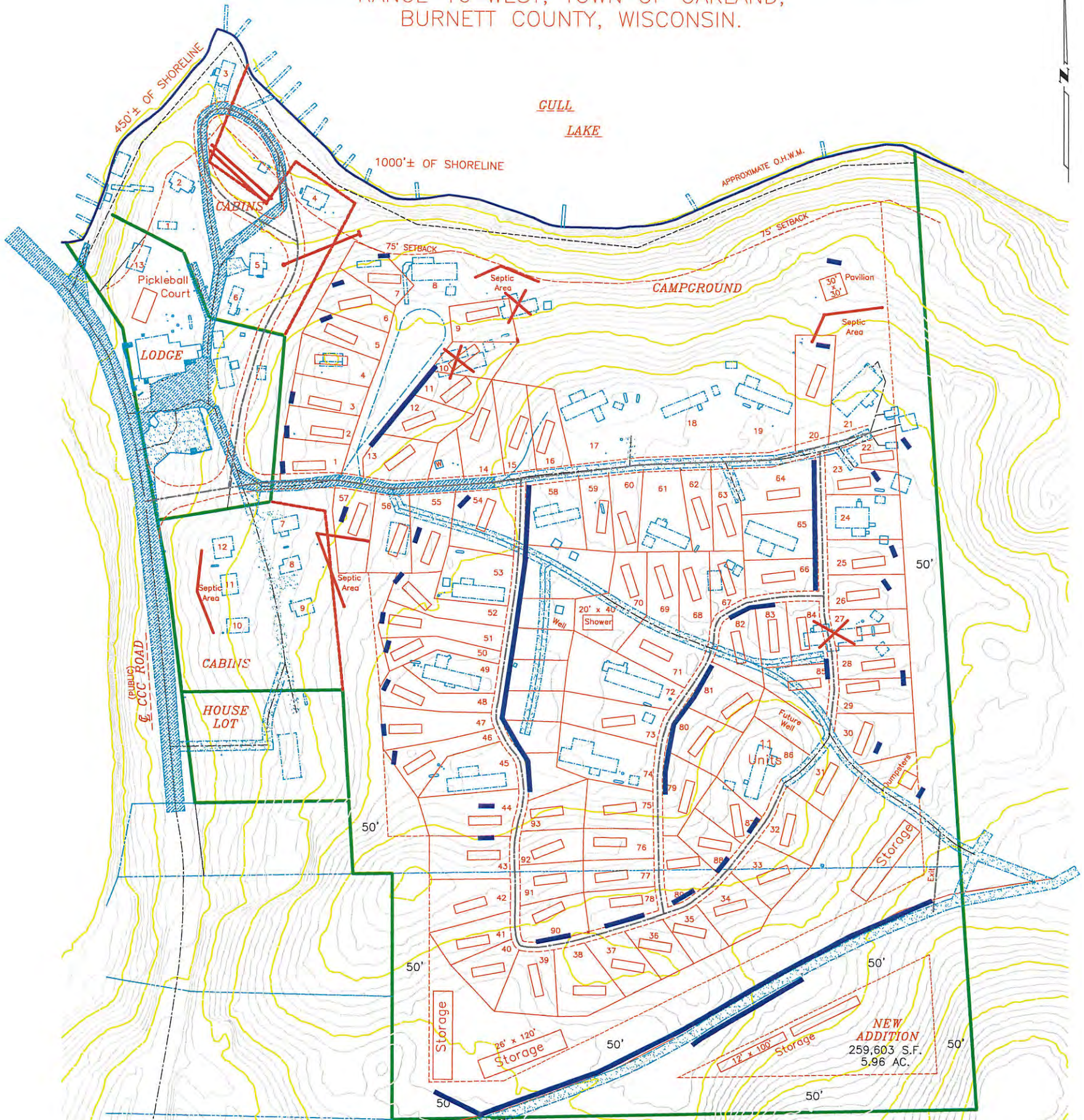
Mark E. Krause, PLS
Wagner Surveying Associates, Inc.
26745 Lakeland Ave. N. / PO Box 89
Webster, WI 54893
715-866-4295
Fax: 715-866-4206
wagnersurveying@centurytel.net



PRELIMINARY STORM WATER RUNOFF TREATMENT LAYOUT 5/15/20

CONCEPT SITE PLAN: FOR NORTH CAMP PROPERTIES










GOVERNMENT LOTS 1 & 2, SECTION 2, TOWNSHIP 40 NORTH,
RANGE 16 WEST, TOWN OF OAKLAND,
BURNETT COUNTY, WISCONSIN.



SCALE 1" = 100'

TOTAL ACREAGE
OF THE CAMPGROUND
24.57 ACRES

LEGEND

-  EXISTING RV/MOBILE HOME, BUILDING
-  PROPOSED RV/MOBILE HOME UNIT
-  EXISTING LOT LINE
-  PROPOSED LOT LINE
-  EXISTING CENTERLINE, CONTINUED USE
-  EXISTING CENTERLINE, TO BE ABANDONED
-  PROPOSED CENTERLINE
-  EXISTING ADJACENT PROPERTY LINES
-  PROPOSED VEGETATED SWALE

Wagner Surveying Associates, Inc.
26745 Lakeland Avenue N.
P.O. Box 89
Webster, Wisconsin 54893
(715) 866-4295
wagnersurveying@centurytel.net



5/15/2020

Houman's Resort, Danbury, WI

Storm Water Runoff Treatment Summary for Proposed Impervious Surfaces

RV/Mobile Home Unit #, or Building as described	SW Treatment Device & Location	Impervious Surface Area		Swale Volume	
		Subtotal SF	Total SF	Needed CF	Comments
1 thru 7	Individual swale on lot	528 each	3696	24	Each lot
11 thru 16	Swale along east side loop access rd to 12 units	528 each	3168	144	Total
20	Individual swale on lot	528 each	528	24	
30'x30' pavilion	Individual swale on downhill side	900	900	41	
22 & 23	Individual swale on lot	528 each	1056	24	Each lot
25 & 26, 28 thru 30	Individual swale on lot	528 each	2640	24	Each lot
30 thru 41, 3 - 26'x120' storage buildings	Swale along north side of existing road	528 ea, 3120 ea	6336	1113	Total
2 - 12'x100' storage buildings	Swale along south side of existing road	1200 each	2400	168	Total
43 & 44	Individual swale on lot	528 each	1056	24	Each lot
46 thru 48	Individual swale on lot	528 each	1584	24	Each lot
50 thru 52	Individual swale on lot	528 each	1584	24	Each lot
54 & 55	Individual swale on lot	528 each	1056	24	Each lot
57	Individual swale on lot	528 each	528	24	Each lot
59 & 60, 62-64, 66-71, 73, 75-83, 87-93, Shower	Swales along inner access roads	528 each, 800	15584	709	Total
20'x20' Dumpster Pad	Individual swale	400	400	18	



5/15/2020

Houman's Resort, CCC Road, Danbury, WI
 TR 55 Storm Water Runoff Modeling Summary

2 year storm Data												
VEG = Grassed Swale, INF = Infiltration Basin				Developed			Existing					
Treatment Location & Number	Impervious Area contributing		Runoff Amount	Peak Flow Rate	Q Post	Runoff Amount	Peak Flow Rate	Q Pre	Acre-Ft diff	TR55 Inf. Vol.	Outlet and Receiving Water	
	SF	acres	inches	cfs	acre-ft	inches	cfs	acre-ft		CF		
Park Model RV, each lot	INF, VEG	528	0.012	0.55	0.07	0.0006	0	0	0.0000	0.0006	24	Gull Lake or Falk Lake
Pavilion (30'x30')	INF	900	0.021	0.55	0.07	0.0009	0	0	0.0000	0.0009	41	Gull Lake
Shower (20'x40')	INF	800	0.018	0.55	0.07	0.0008	0	0	0.0000	0.0008	37	Gull Lake
Dumpster Pad (20'x20')	VEG	400	0.009	0.55	0.07	0.0004	0	0	0.0000	0.0004	18	Falk Lake
Storage Building (26'x120')	VEG	3120	0.072	1.057	0.29	0.0063	0	0	0.0000	0.0063	275	Falk Lake
Storage Building (12'x100')	VEG	1200	0.028	0.837	0.11	0.0019	0	0	0.0000	0.0019	84	Falk Lake
3 Large Storage Bldgs & RV #31 thru #42 to drain to Vegetated Grassed Swale along north side of road along south property line												
Swale volume storage needed:	12x24+3x275=	1113	cf									
2 Large Storage Bldgs to drain to Vegetated Grassed Swale along south side of road along south property line												
Swale volume storage needed:	2x84=	168	cf									



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no project subtitle provided			
SUB-AREA:			
Park RV Outlet	.00003	98.	.1
Lg StorageOutlet	.00013	98.	.1
Sm StorageOutlet	.00005	98.	.1
STREAM REACH:			
STORM ANALYSIS:			
2-Yr	2.8	Type II	2
STRUCTURE RATING:			
GLOBAL OUTPUT:			
2	0.05	YYYYN	YYYYNN



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STORM 2-Yr

SUB-AREA:

Line	Park RV	Outlet	Runoff Amount (in)	Elevation (ft)	Peak Time (hr)	Flow Rate (cfs)	Flow Rate (csm)
	.00003	98.	.1				
	Lg StorageOutlet	.00013	98.	.1			
	Sm StorageOutlet	.00005	98.	.1			
11.886	0.27	0.27	0.28	0.29	0.29	0.29	0.29
11.931	0.29	0.29	0.29	0.28	0.28	0.27	0.27
11.975	0.26	0.25	0.25	0.24	0.24	0.24	0.23
12.019	0.23	0.22	0.22	0.21	0.19	0.18	0.17
12.063	0.15	0.14	0.13	0.11	0.10	0.09	0.09
12.108	0.08	0.07	0.07	0.07	0.06	0.06	0.06
12.152	0.05	0.05					

Area or Reach Identifier	Drainage Area (sq mi)	Rain Gage ID or Location	Runoff Amount (in)	Elevation (ft)	Peak Time (hr)	Flow Rate (cfs)	Flow Rate (csm)
Sm Storage	0.500E-04		0.837		11.92	0.11	2261.72

WinTR-20 Version 1.10

Page 1

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no project subtitle provided

Line Start Time (hr)	Flow (cfs)	Flow Values @ time (cfs)	Flow Values @ time (cfs)	Flow Values @ time (cfs)	Flow Values @ time (cfs)	Flow Values @ time (cfs)	Flow Values @ time (cfs)
11.760	0.05	0.05	0.05	0.06	0.06	0.06	0.06
11.804	0.06	0.06	0.06	0.07	0.07	0.07	0.07
11.849	0.08	0.08	0.09	0.09	0.10	0.10	0.10
11.893	0.11	0.11	0.11	0.11	0.11	0.11	0.11
11.937	0.11	0.11	0.11	0.11	0.10	0.10	0.10
11.981	0.10	0.10	0.09	0.09	0.09	0.09	0.09
12.025	0.09	0.08	0.08	0.07	0.07	0.06	0.06
12.070	0.05						

Area or Reach Identifier	Drainage Area (sq mi)	Rain Gage ID or Location	Runoff Amount (in)	Elevation (ft)	Peak Time (hr)	Flow Rate (cfs)	Flow Rate (csm)
OUTLET	0.210E-03		0.930		11.92	0.47	2261.72

Line Start Time (hr)	Flow (cfs)	Flow Values @ time (cfs)	Flow Values @ time (cfs)	Flow Values @ time (cfs)	Flow Values @ time (cfs)	Flow Values @ time (cfs)	Flow Values @ time (cfs)
11.621	0.05	0.05	0.06	0.06	0.06	0.07	0.07
11.665	0.08	0.08	0.08	0.09	0.09	0.09	0.10
11.710	0.10	0.10	0.10	0.11	0.11	0.11	0.12
11.754	0.12	0.18	0.19	0.19	0.20	0.21	0.21
11.798	0.22	0.22	0.23	0.23	0.24	0.25	0.26
11.842	0.27	0.28	0.30	0.37	0.38	0.40	0.42
11.886	0.43	0.44	0.45	0.46	0.47	0.47	0.47

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Page 2

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STORM 2-Yr

SUB-AREA:

	Park RV	Outlet						
	Lg Storage	Outlet	.00003	98.	.1			
	Sm Storage	Outlet	.00013	98.	.1			
			.00005	98.	.1			
11.931	0.47	0.47	0.47	0.46	0.45	0.44	0.43	
11.975	0.42	0.41	0.40	0.40	0.39	0.38	0.38	
12.019	0.37	0.36	0.35	0.28	0.27	0.25	0.23	
12.063	0.21	0.19	0.17	0.11	0.10	0.09	0.09	
12.108	0.08	0.07	0.07	0.07	0.06	0.06	0.06	
12.152	0.05	0.05						

WinTR-20 Version 1.10

Page 2

05/14/2020 14:08

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no project subtitle provided

Area or Reach Identifier	Drainage Area (sq mi)	Alternate	2-Yr (cfs)	Peak Flow by Storm (cfs)	(cfs)	(cfs)	(cfs)	(cfs)
Park RV	0.300E-04		0.07					
Lg Storage	0.130E-03		0.29					
Sm Storage	0.500E-04		0.11					
OUTLET	0.210E-03		0.47					



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Page 3

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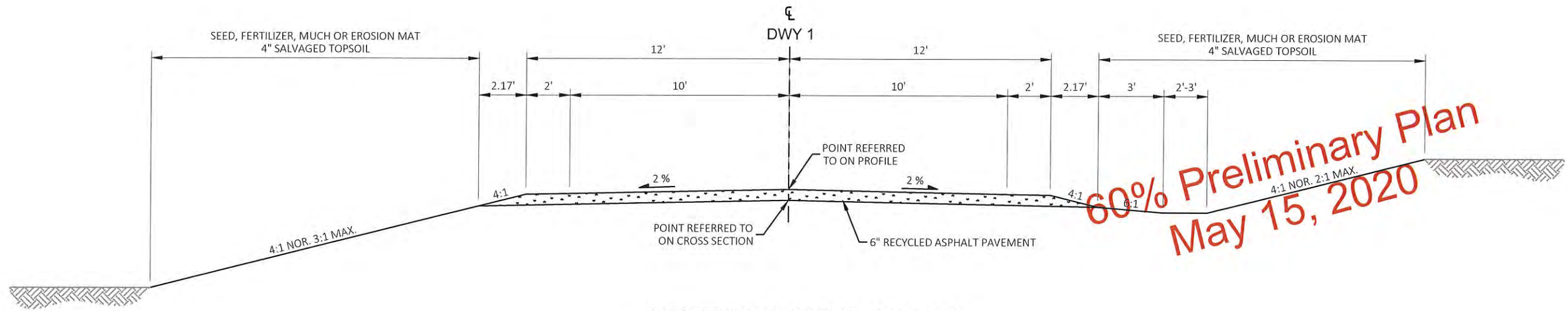
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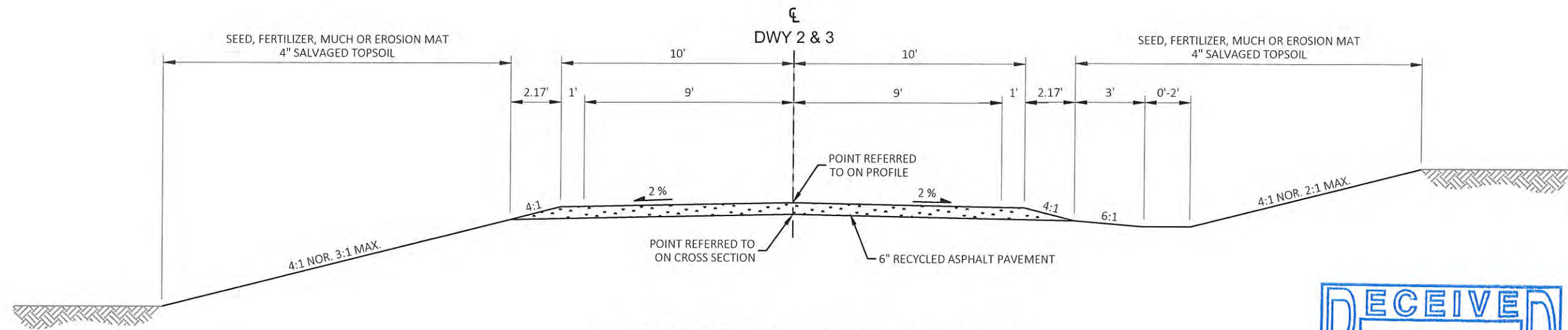
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Lg StorageOutlet	.00013	98.	.1
Sm StorageOutlet	.00005	98.	.1



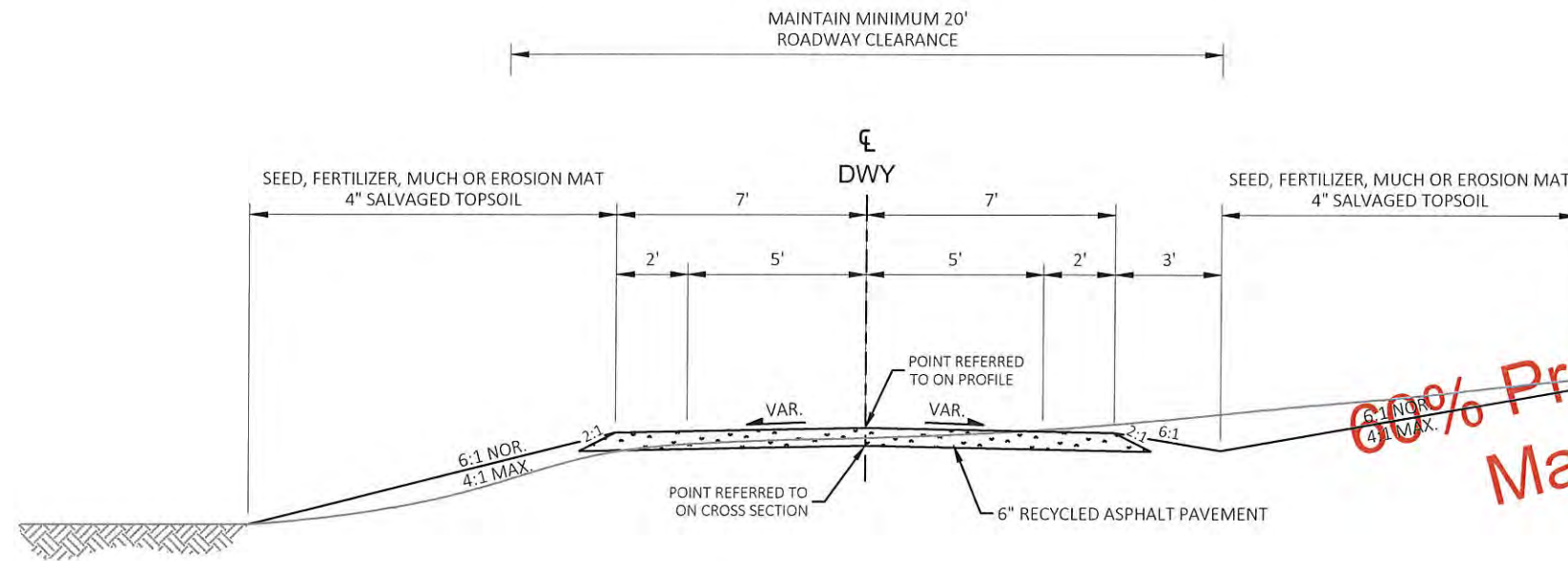


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STA 20+12.0 - 23+36.0



FINISHED TYPICAL SECTION - DRIVEWAY 2 AND 3
STA 30+12.0 - 34+25.0
STA 42+25.0 - 43+80.3

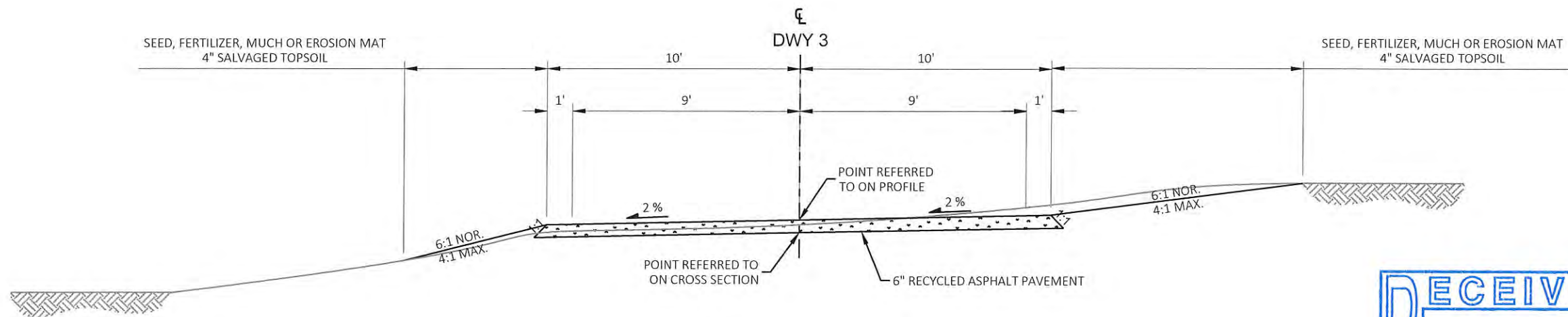




60% Preliminary Plan
May 15, 2020

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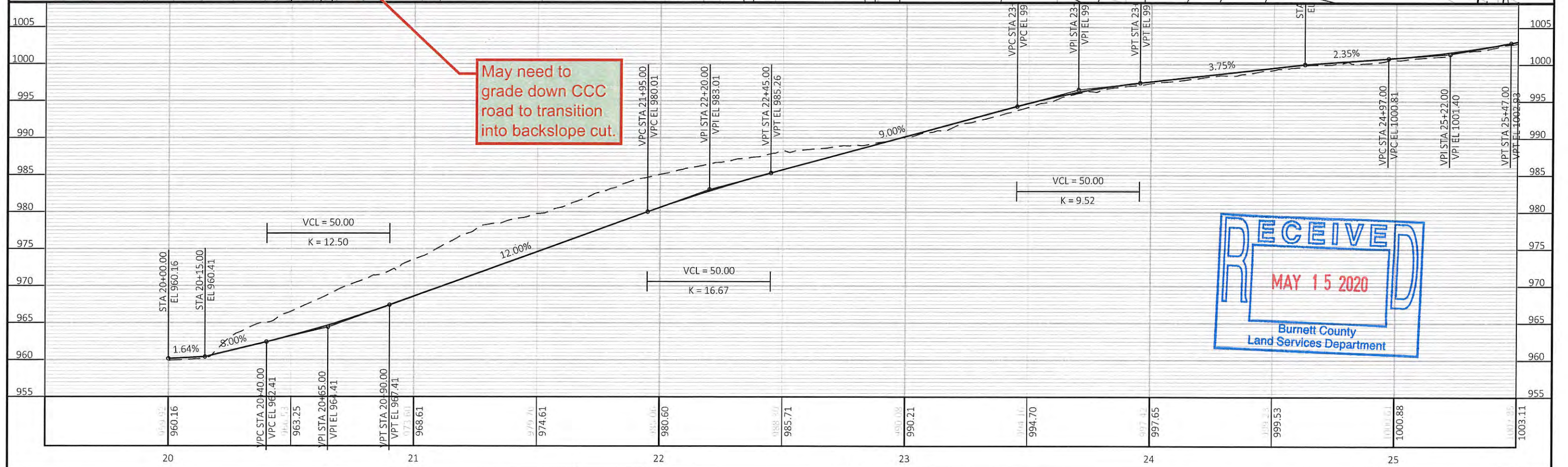
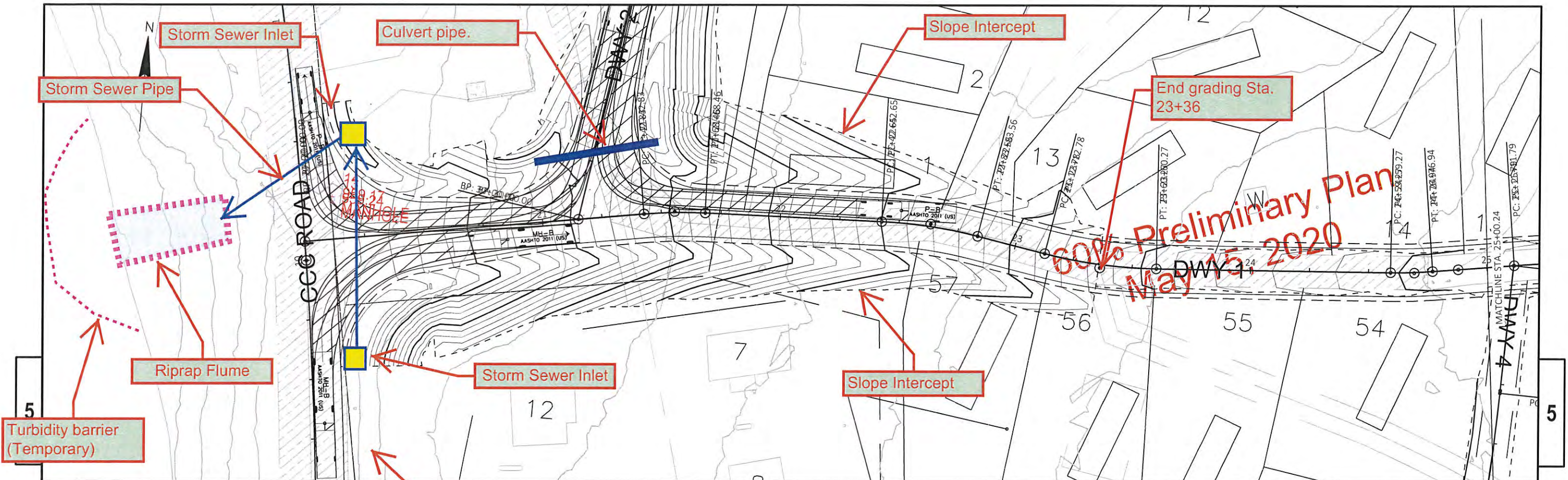
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- DWY 4 STA. 40+XX - XXX+XX
- DWY 5 STA. 50+XX - XXX+XX
- DWY 6 STA. 60+XX - XXX+XX
- DWY 7 STA. 70+XX - XXX+XX
- DWY 8 STA. 80+XX - XXX+XX
- DWY 9 STA. 90+XX - XXX+XX



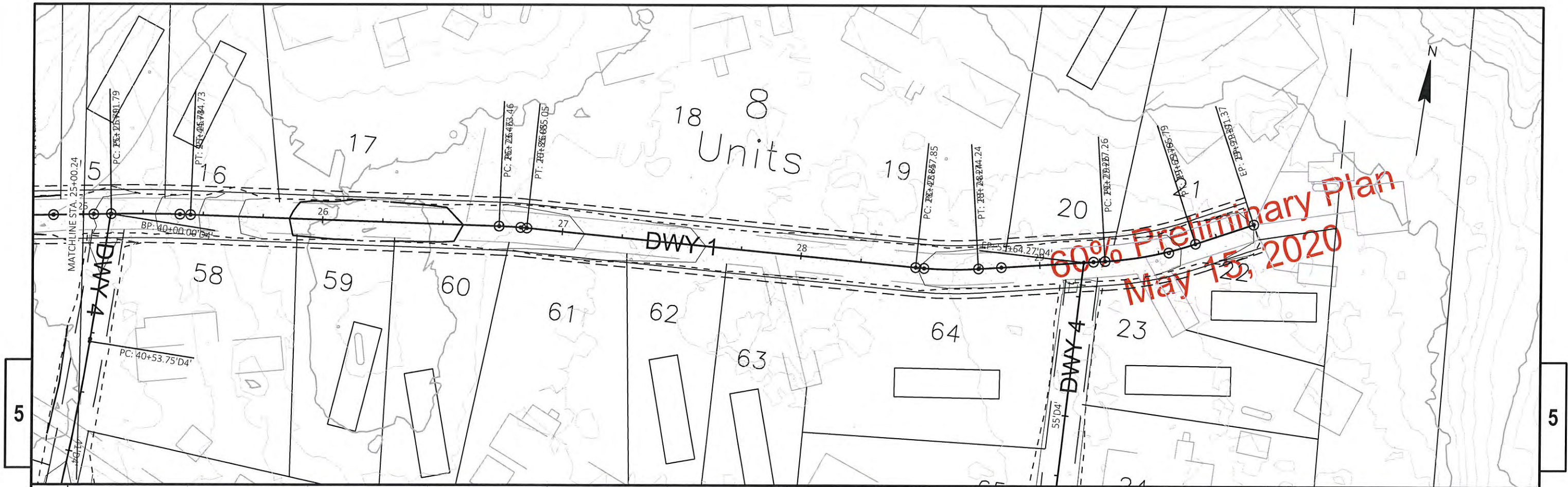
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STA 40+00.0 - 42+25.0

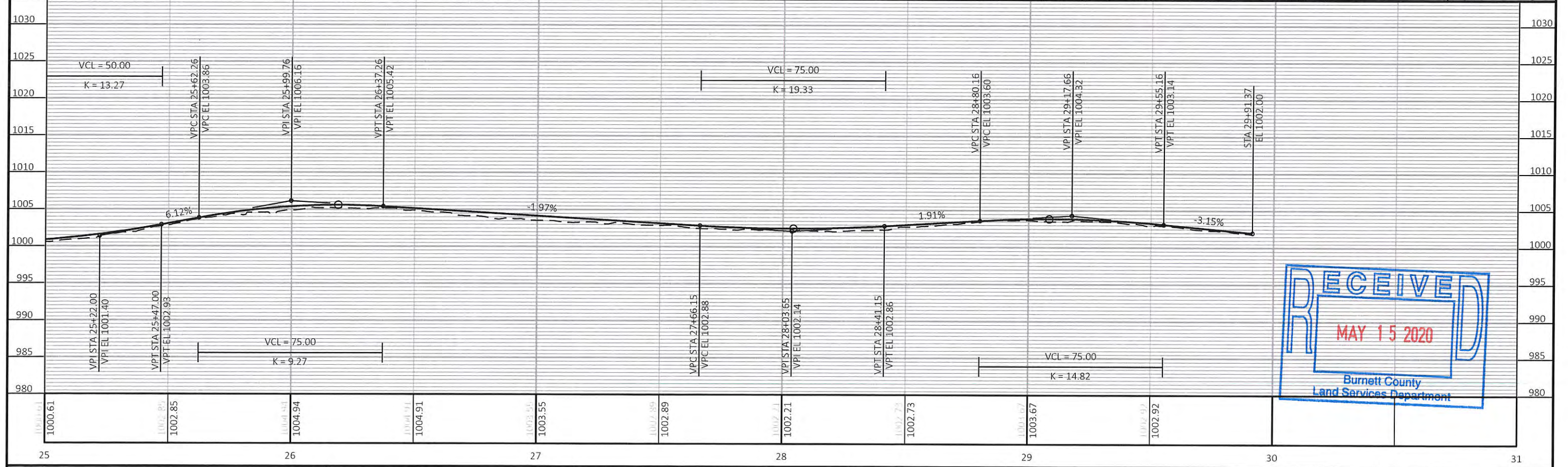




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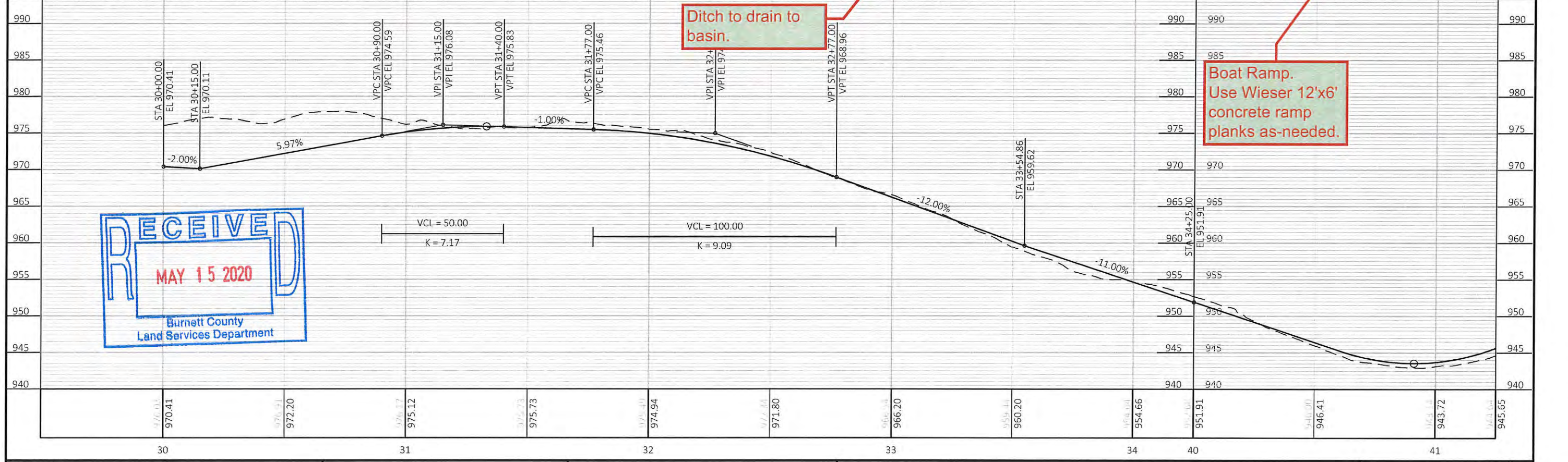
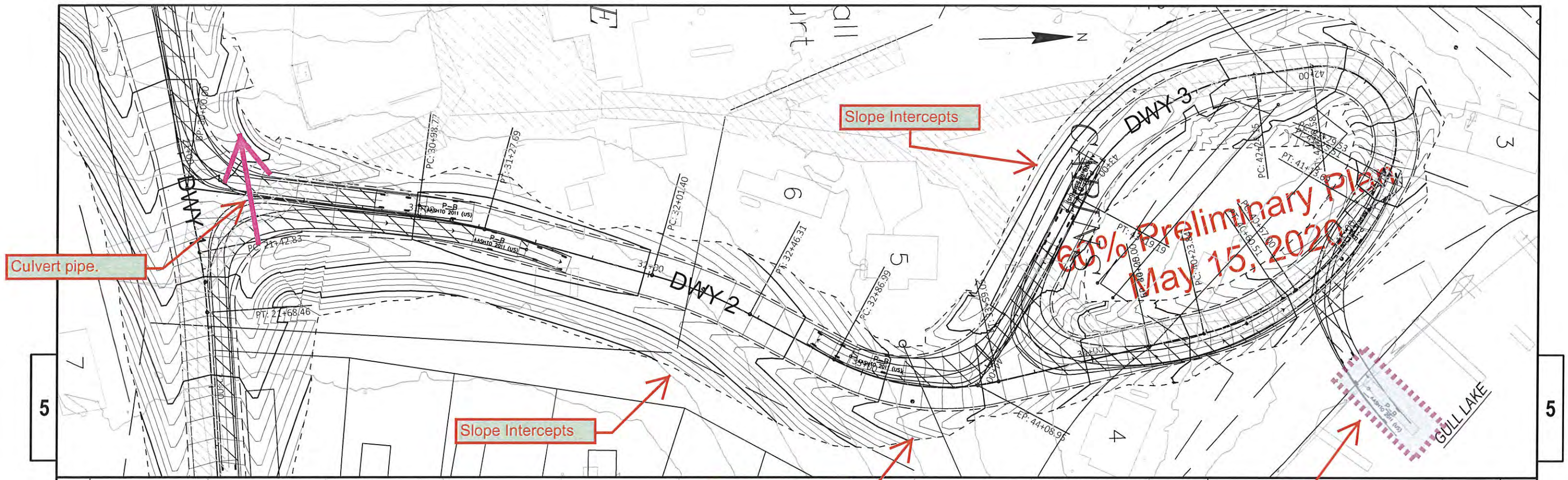


60% Preliminary Plan
May 15, 2020



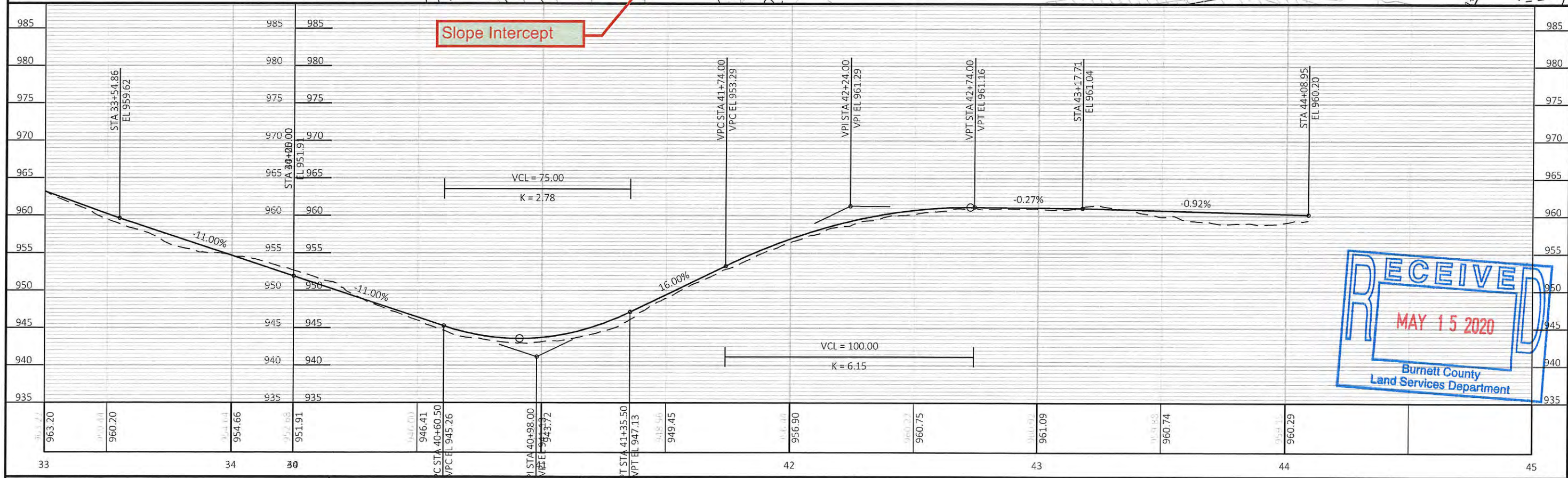
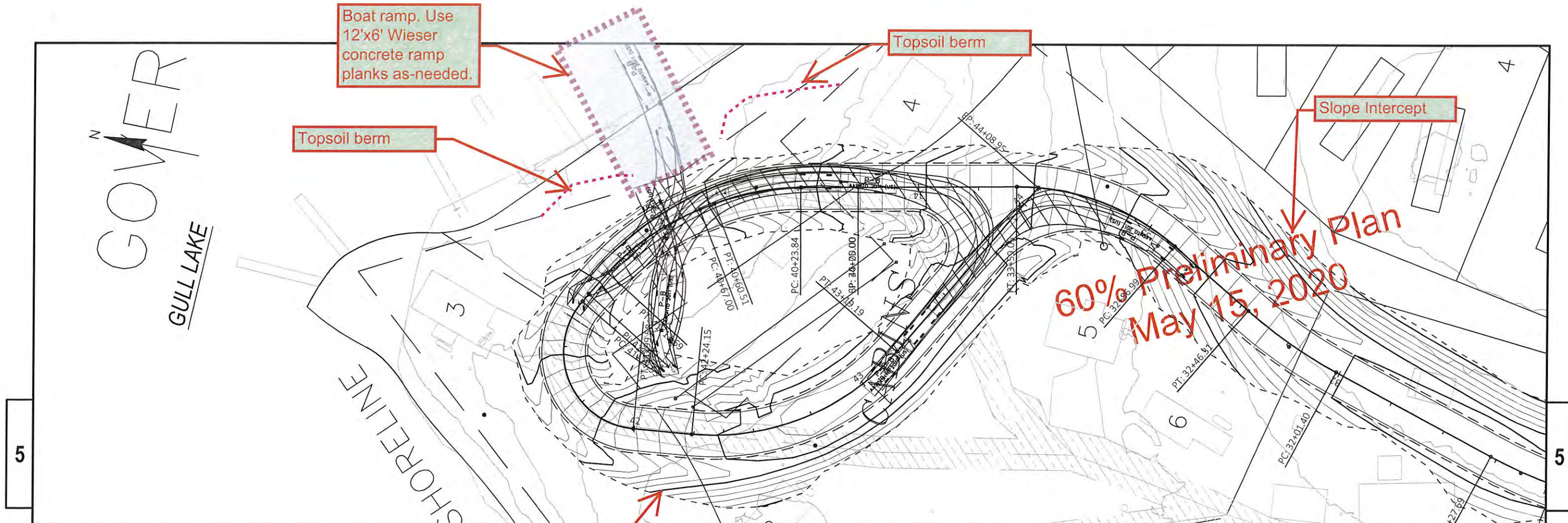
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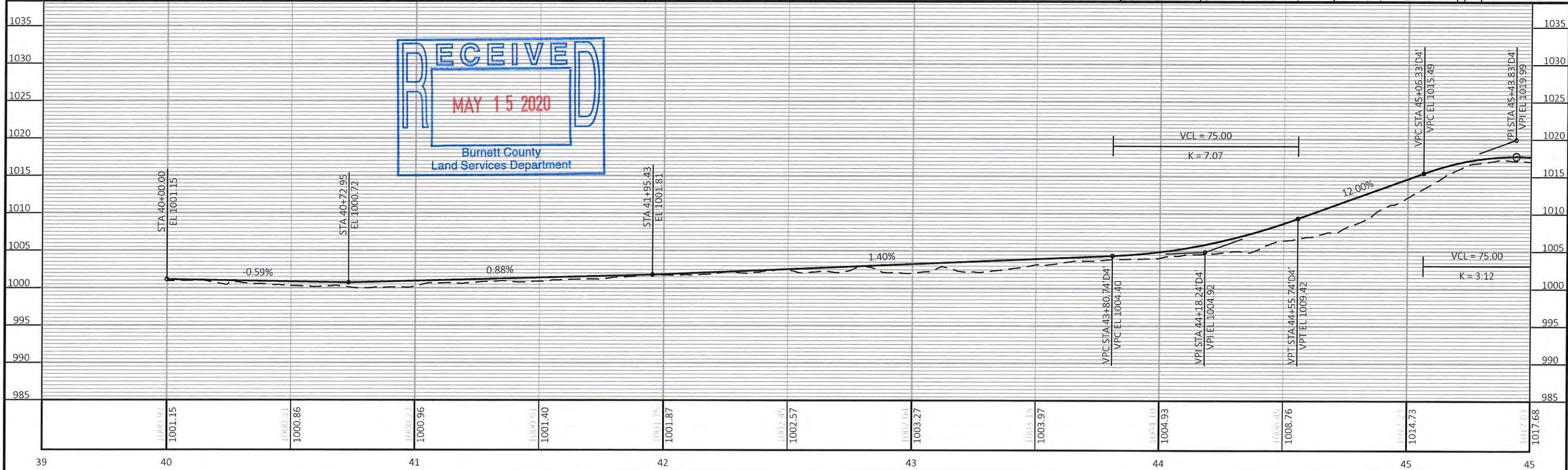
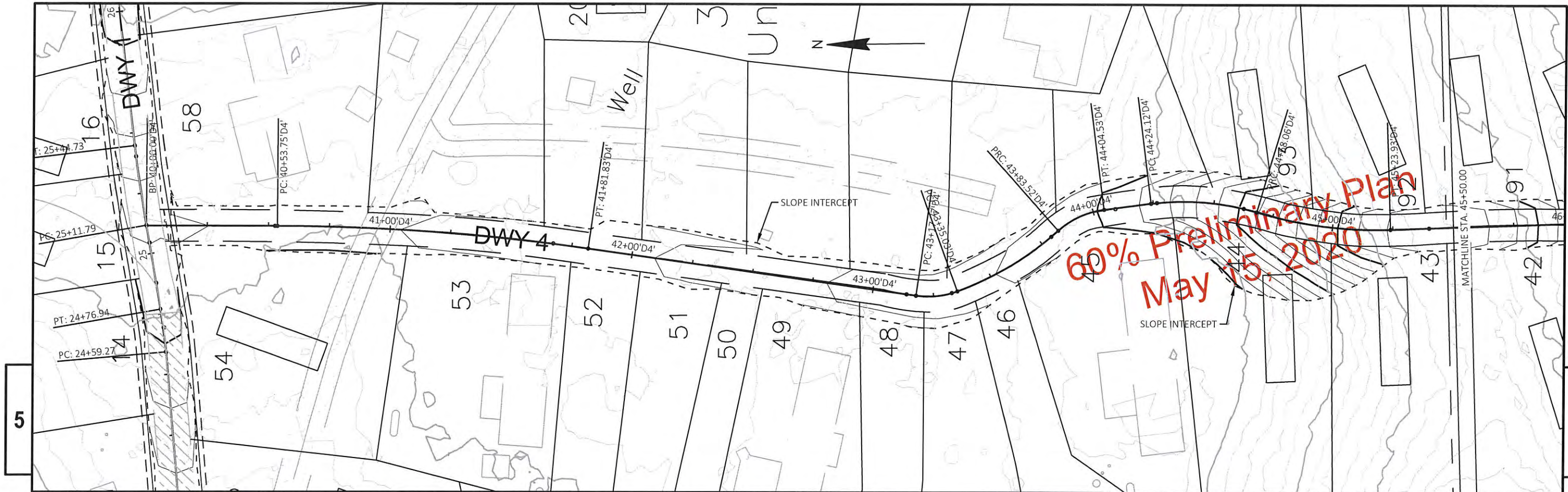


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Burnett County
Land Services Department

PROJECT NO: NWBE 2012	HWY: CCC ROAD	COUNTY: BURNETT	PLAN AND PROFILE: DRIVEWAY 2 - ACCESS TO BOAT LANDING	SHEET E
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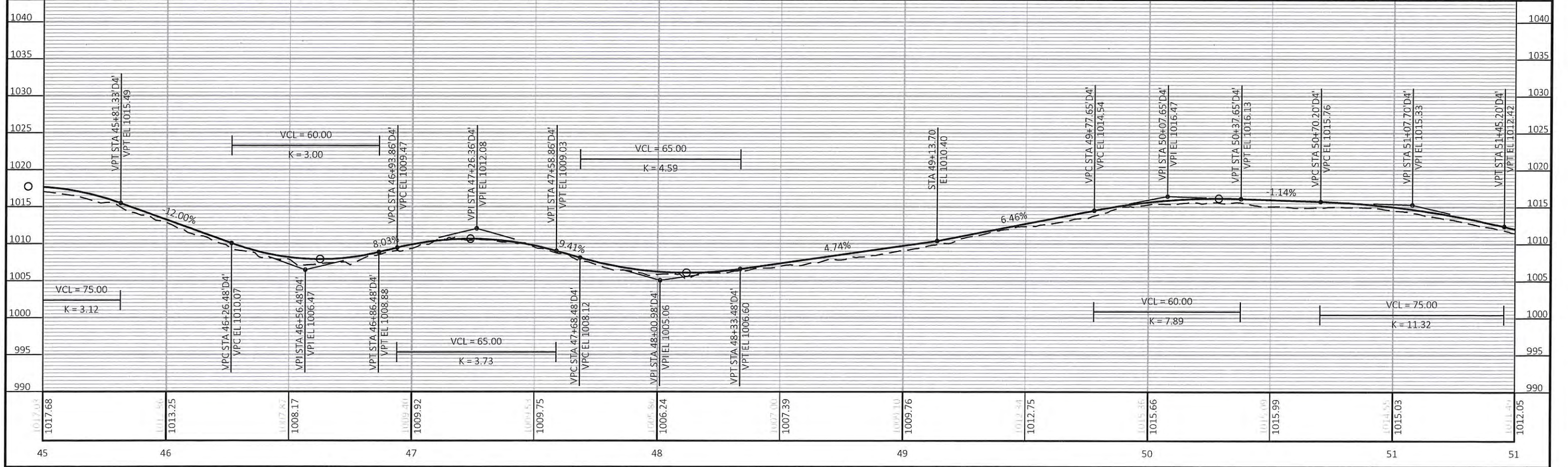
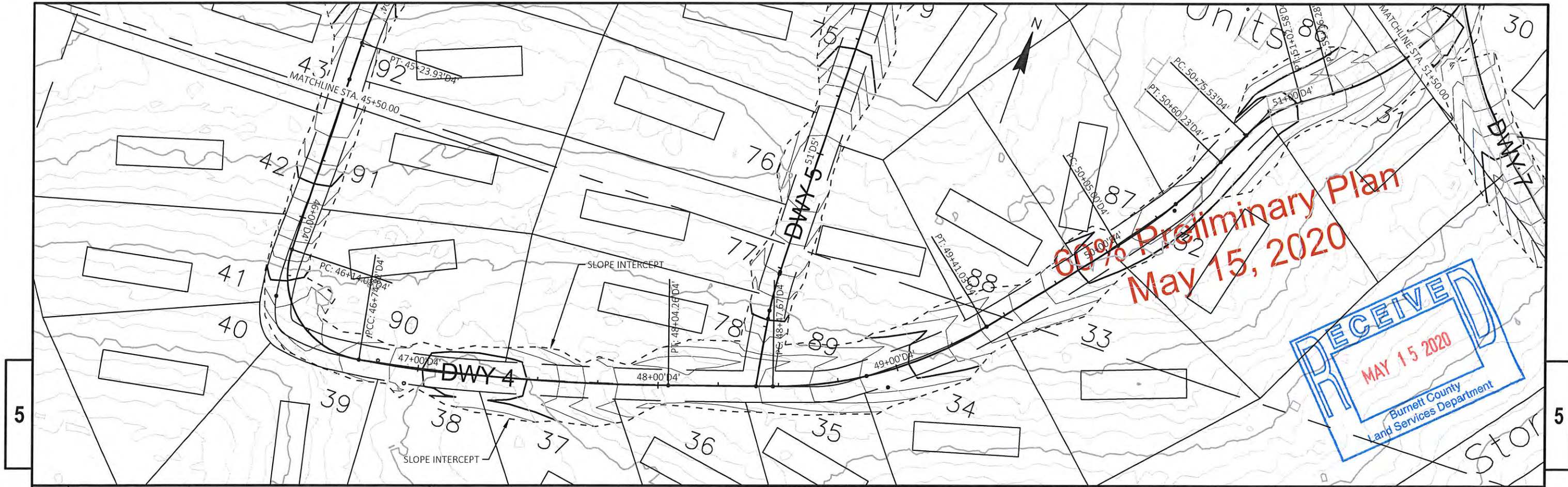


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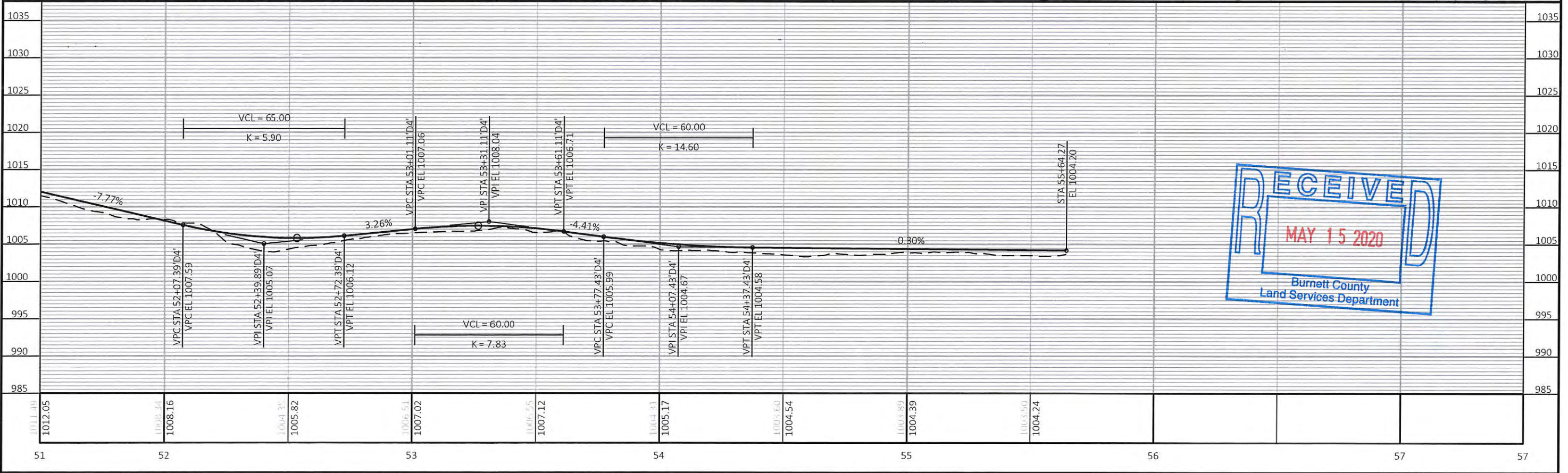
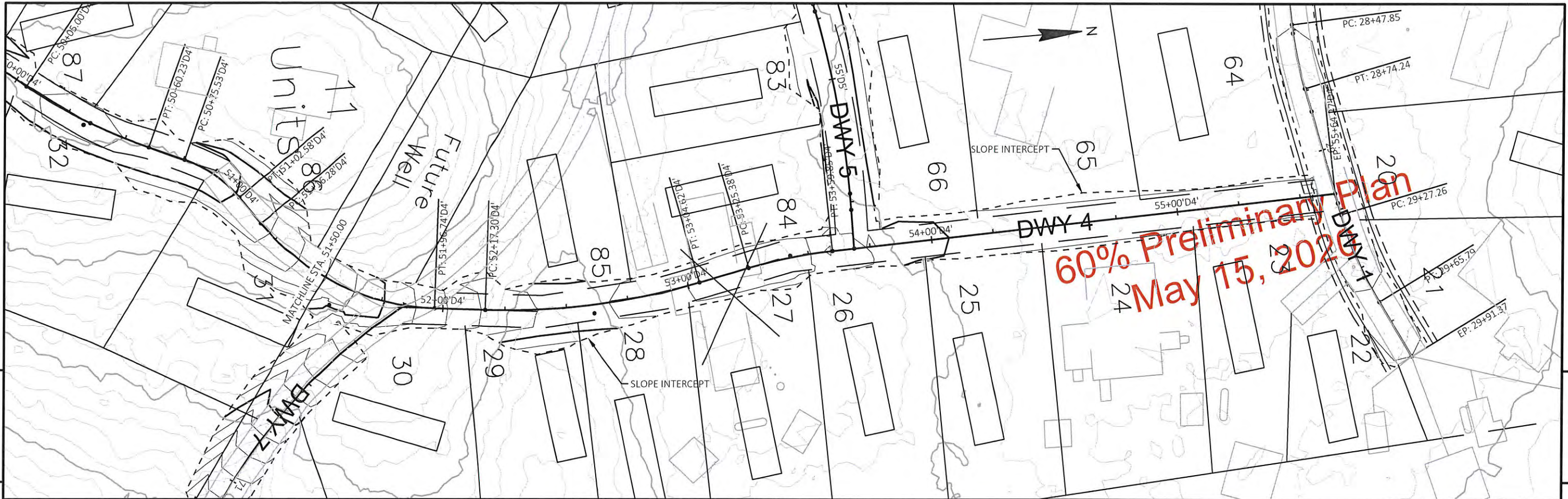


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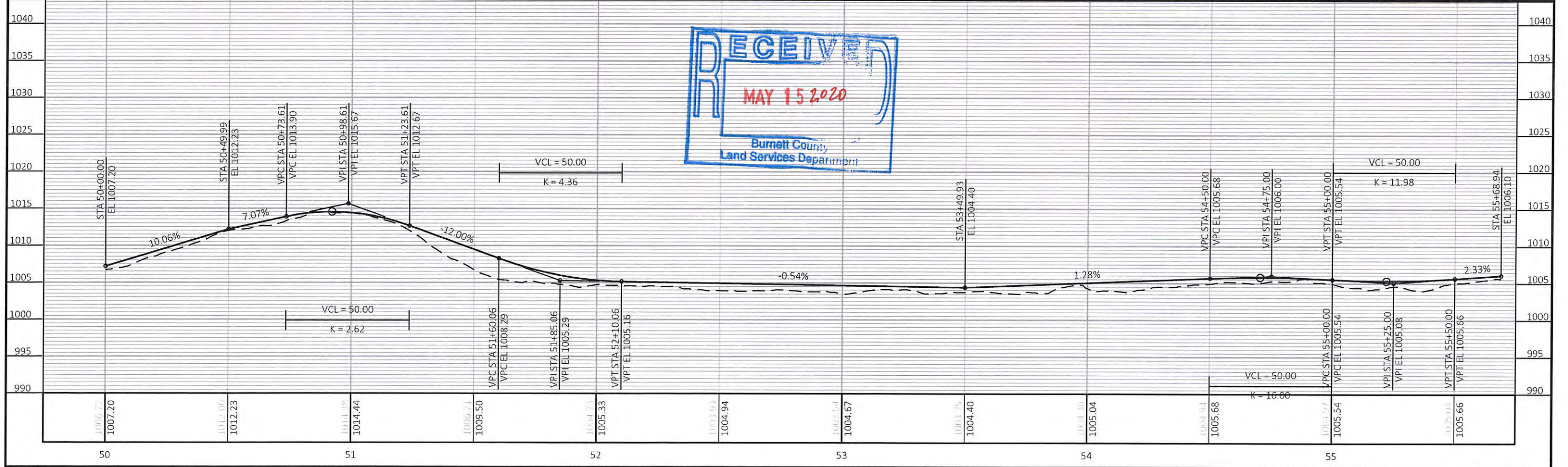


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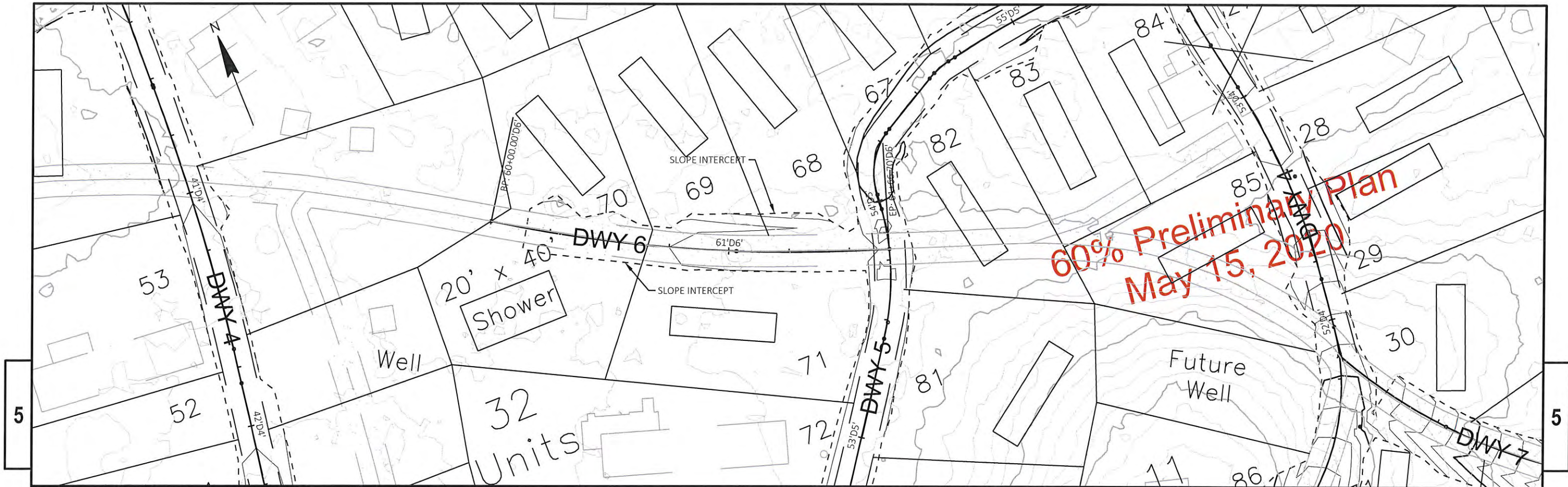


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 Burnett County
 Land Services Department

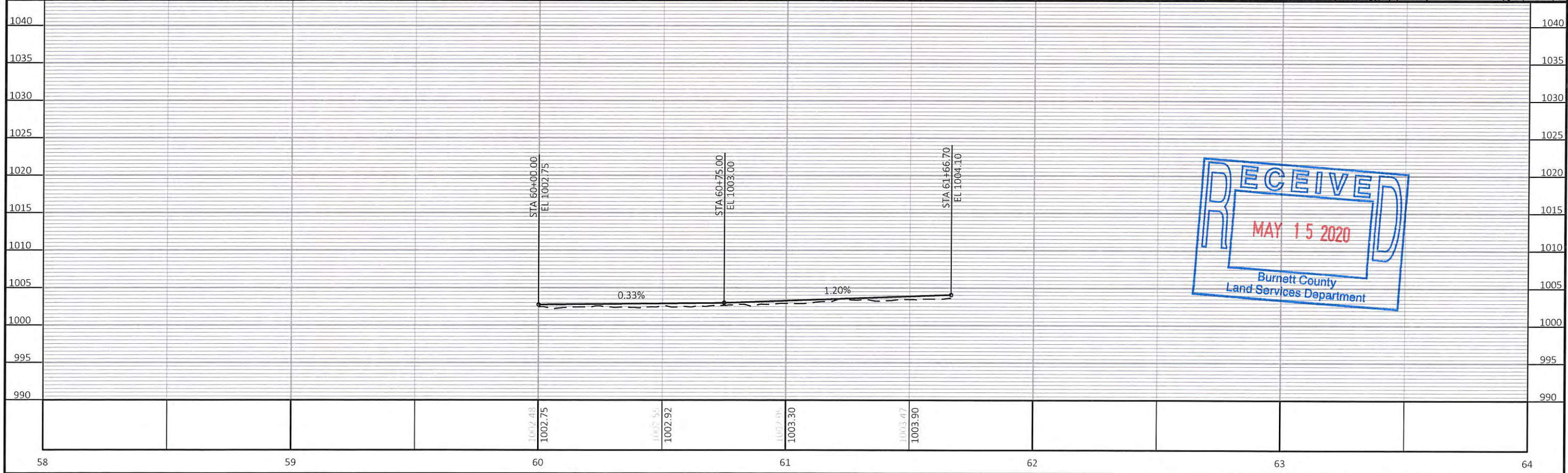
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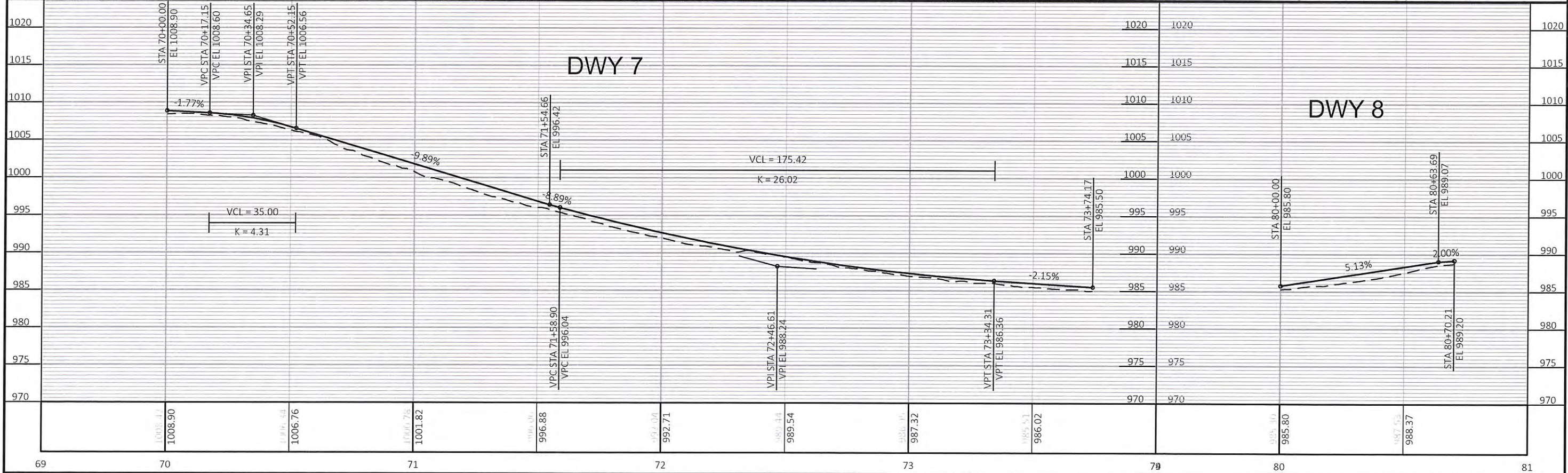
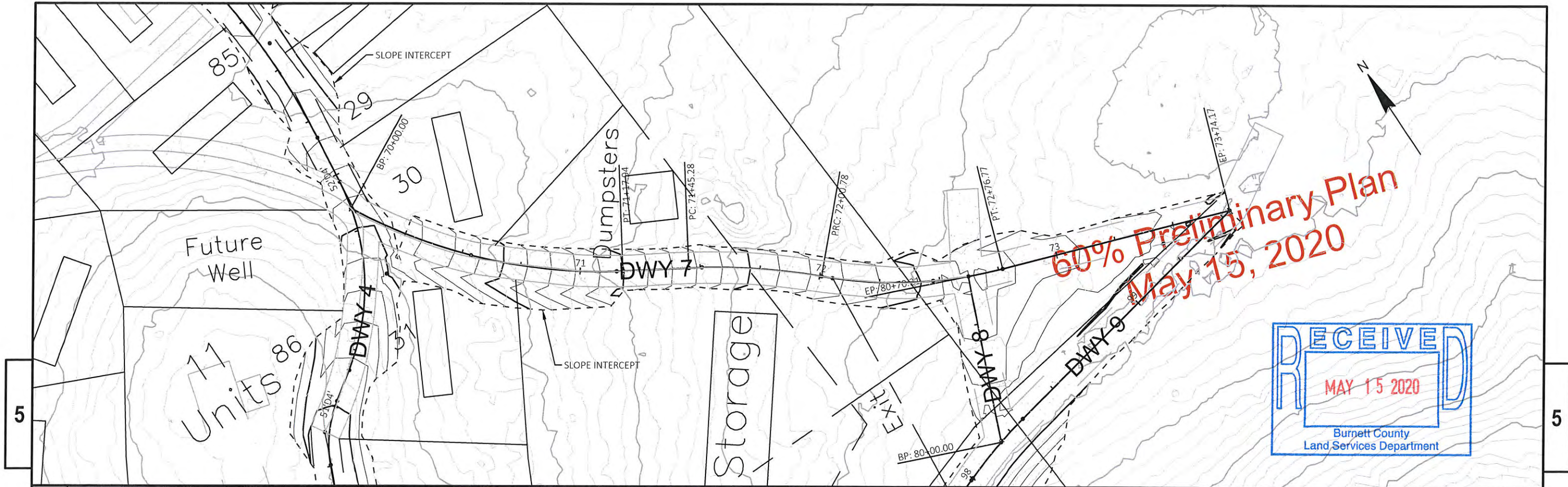


60% Preliminary Plan
May 15, 2020

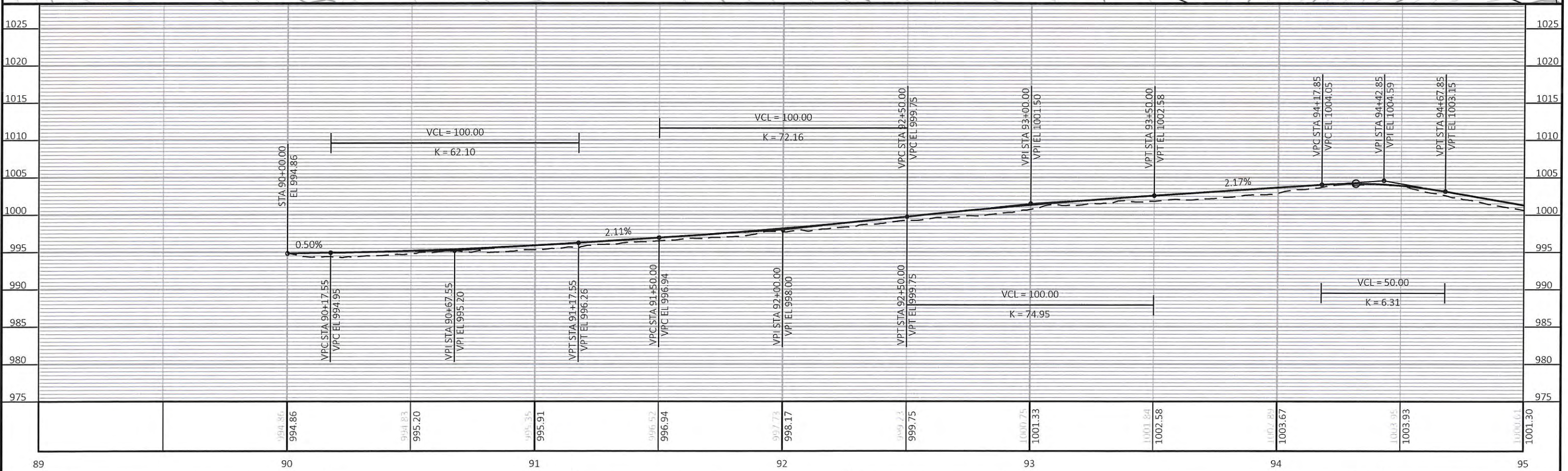
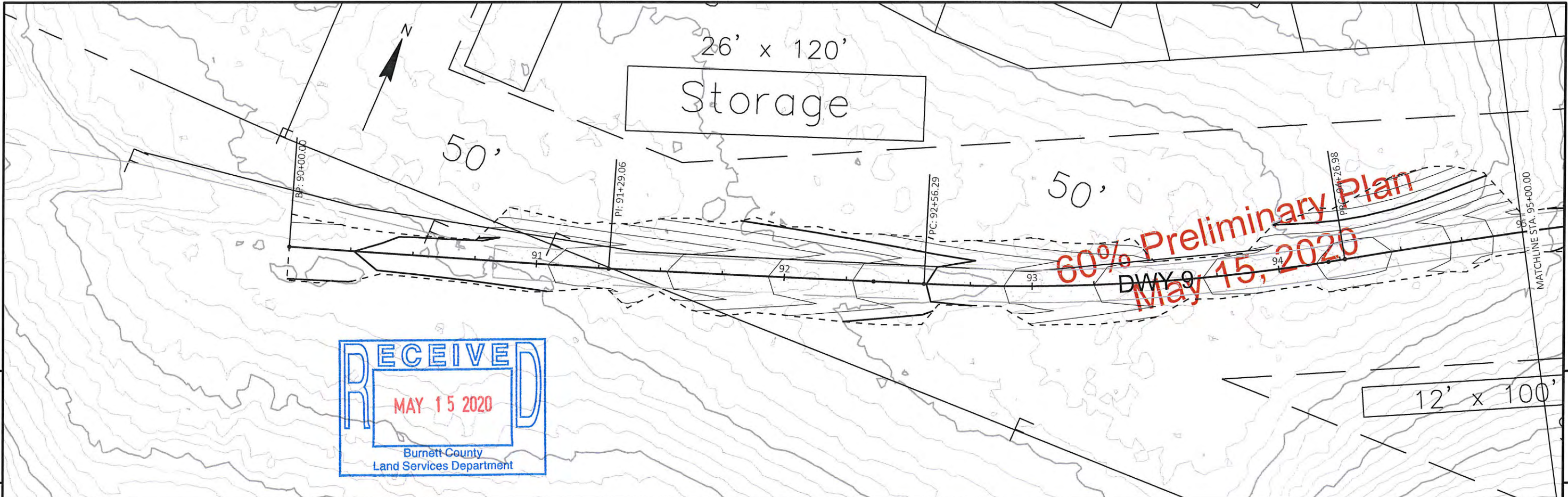


RECEIVED
MAY 15 2020
Burnett County
Land Services Department

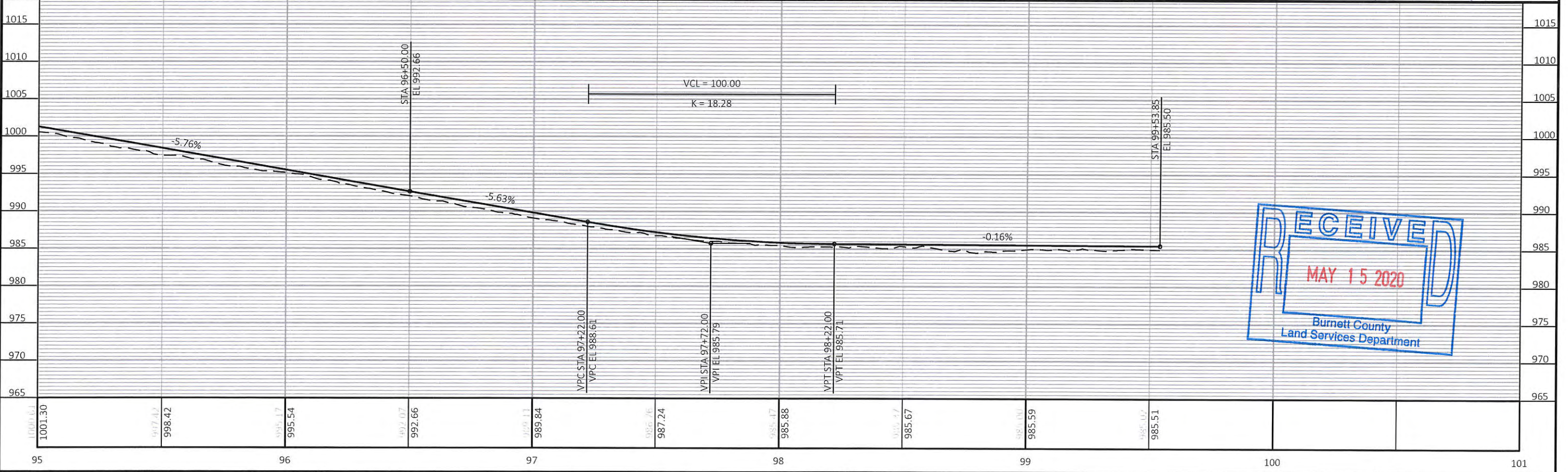
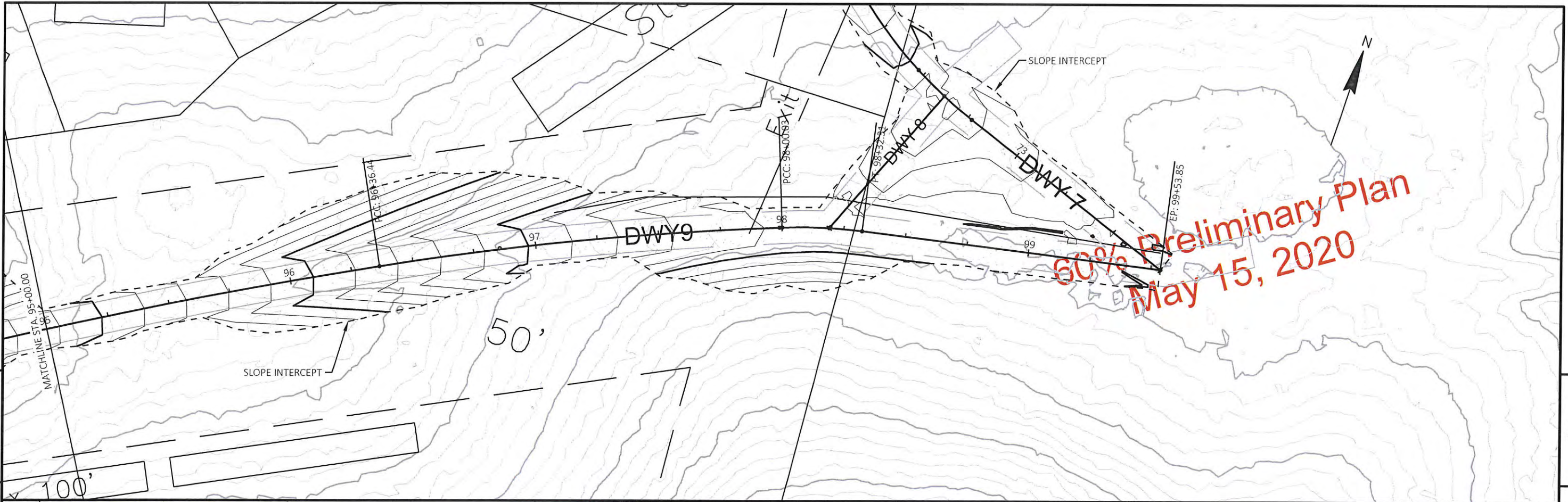
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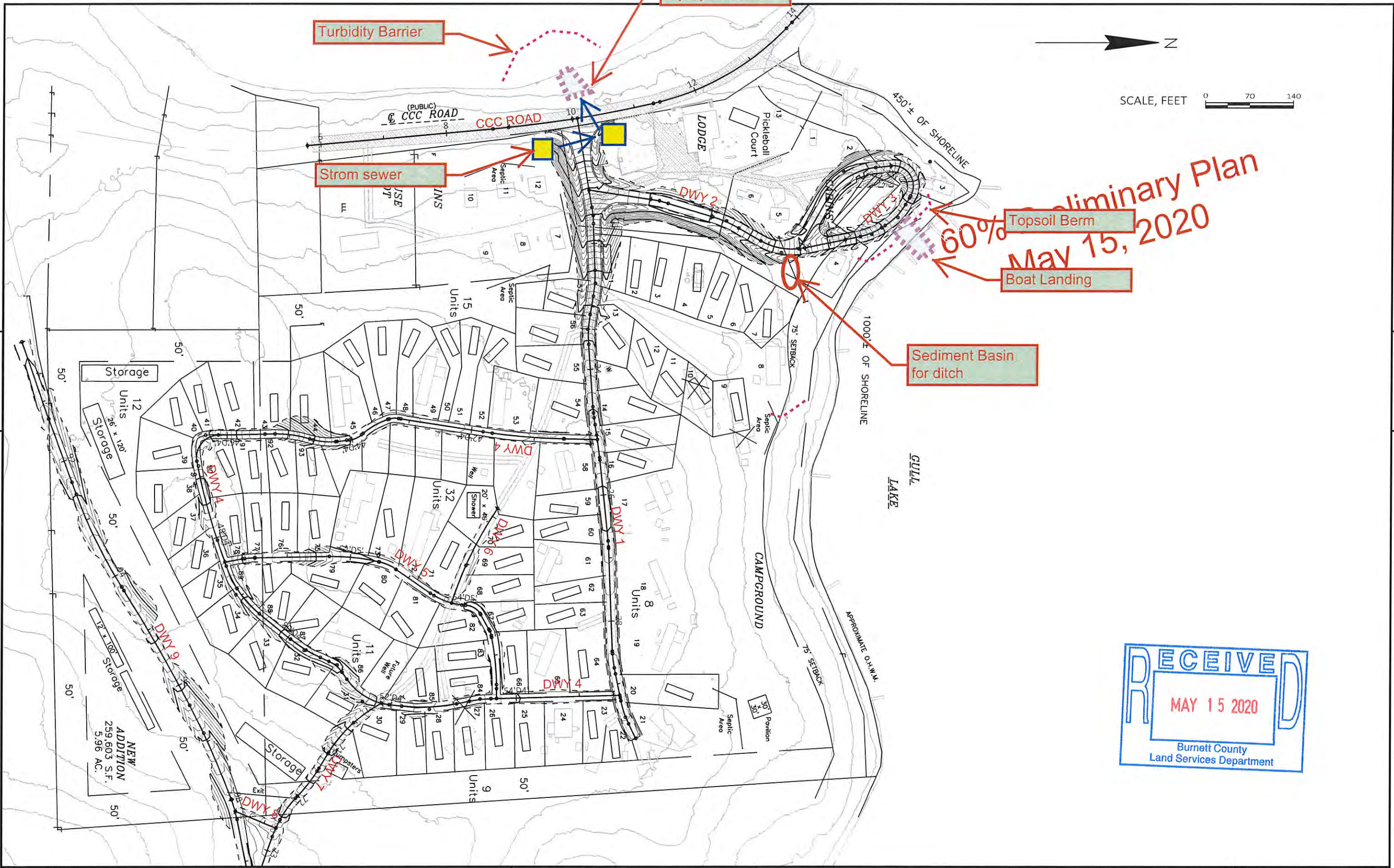


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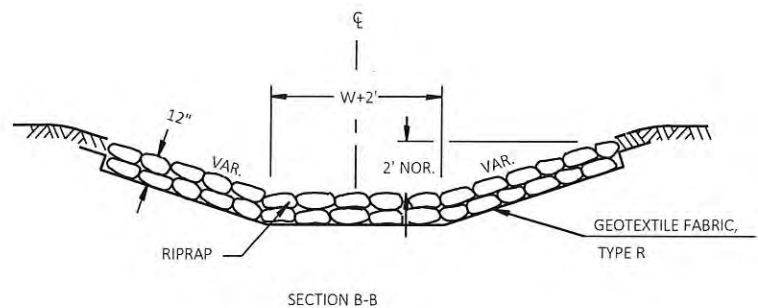
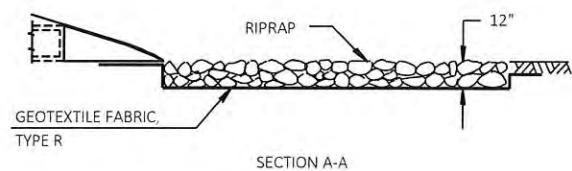
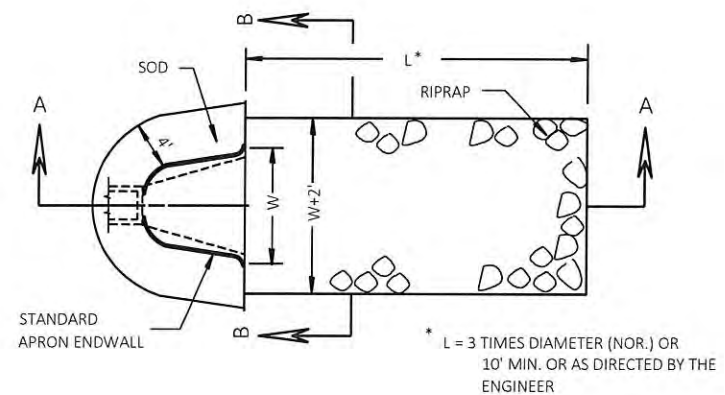
PROJECT NO: NWBE 2012 HWY: CCC ROAD COUNTY: BURNETT PLAN AND PROFILE: DRIVEWAY 9 SHEET **E**

FILE NAME: W:\NWBE_PROJECTS\DESIGN\2012_NORTHCAMP\PROP-RESORT-SWP\C3D-18\SHEETS\PLAN\050108_PP-DWY9.DWG PLOT DATE: 5/15/2020 1:07 PM PLOT BY: GARY COLBERT PLOT NAME: PLOT SCALE: 1 IN=40 FT WISDOT/CADD SHEET 44



Preliminary Plan
May 15, 2020
 60%
 Topsoil Berm
 Boat Landing

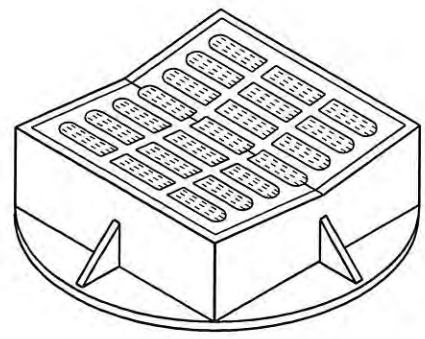
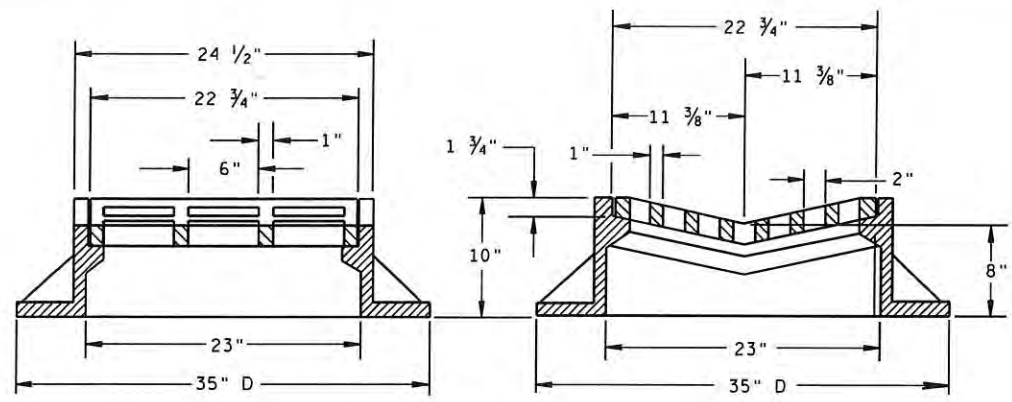




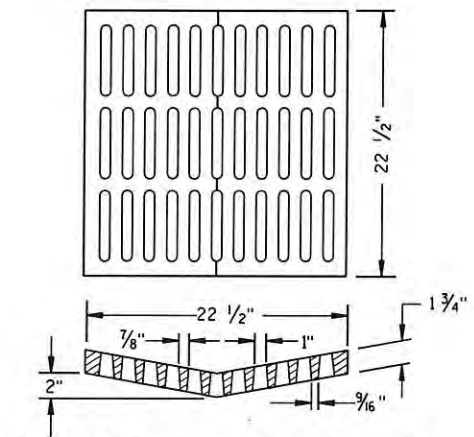
SOD, RIPRAP AND GEOTEXTILE FABRIC DETAIL AT APRON ENDWALLS

60% Preliminary Plan
May 15, 2020



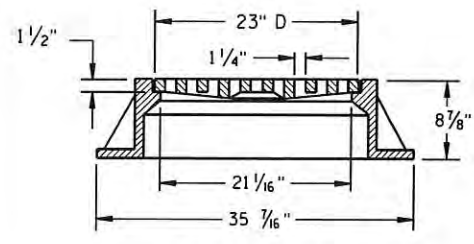
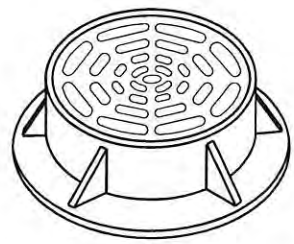
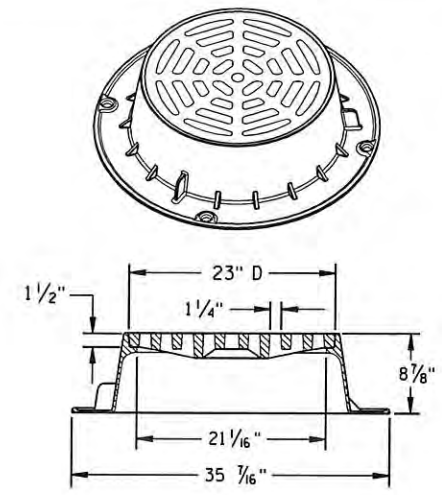


TYPE "B"



ALTERNATIVE GRATE FOR TYPE "B" COVER

USE WHERE PEDESTRIAN OR BICYCLE TRAFFIC IS POSSIBLE. NOTED AS TYPE B-A ON THE DRAINAGE TABLE



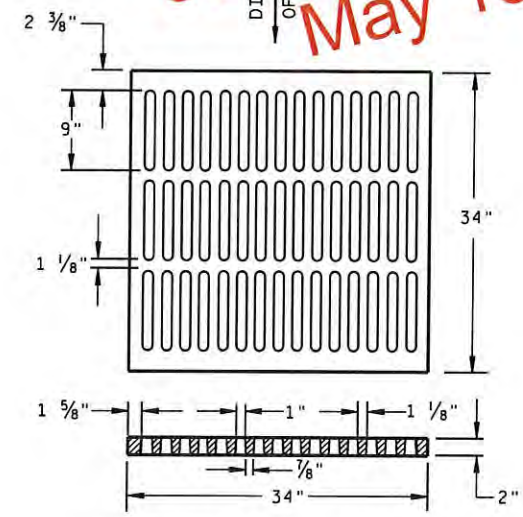
TYPE "C"

NOTE: EITHER CASTING IS ACCEPTABLE

GENERAL NOTES

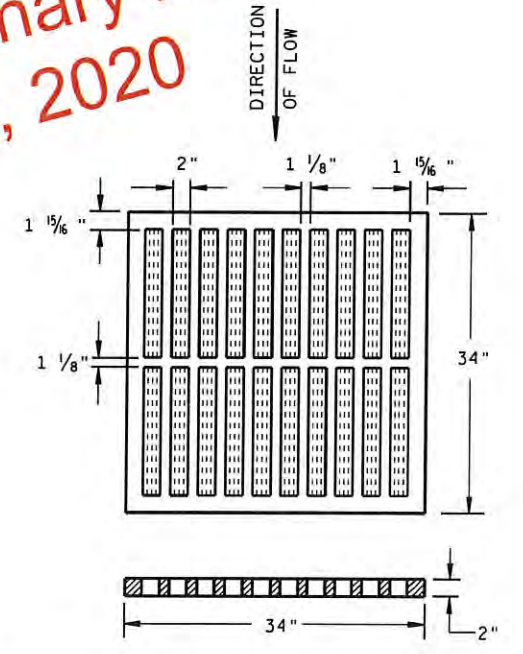
DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.
 DETAIL DRAWINGS FOR PROPOSED ALTERNATE DESIGNS FOR CATCH BASIN, MANHOLE AND INLET COVERS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PROVIDING THAT SUCH ALTERNATE DESIGNS MAKE PROVISION FOR EQUIVALENT CAPACITY AND STRENGTH.
 ROUND FRAMES AND COVERS SHALL HAVE CONTINUOUSLY MACHINED BEARING SURFACES TO PREVENT ROCKING AND RATTLING.

60% Preliminary Plan
 May 15, 2020



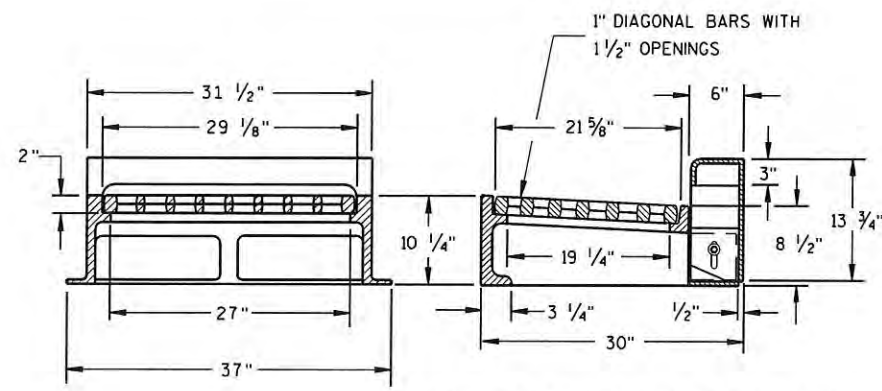
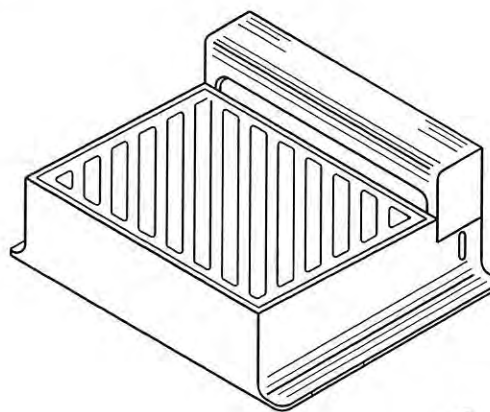
ALTERNATIVE TYPE "MS"

USE WHERE PEDESTRIAN OR BICYCLE TRAFFIC IS PERMITTED NOTED AS TYPE MS-A ON THE DRAINAGE TABLE



TYPE "MS"

USE ON FREEWAYS AND EXPRESSWAYS NOTED AS TYPE MS ON DRAINAGE TABLE



TYPE "WM"

NOTE: CURB BOX HEIGHT ADJUSTABLE 6" TO 9"

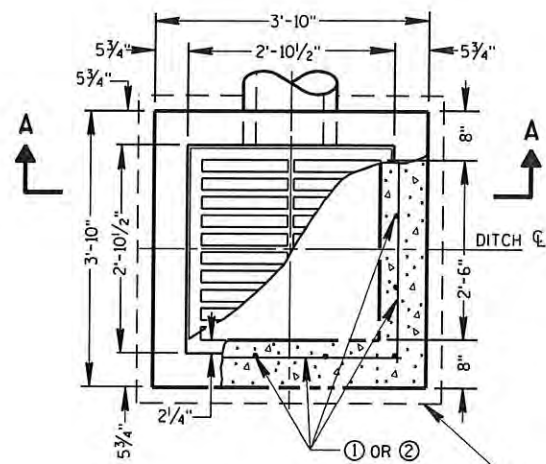
DIAGONAL SLOTS, SHALL BE ORIENTED TO THE DIRECTION OF FLOW AS ILLUSTRATED. GRATES ARE MANUFACTURED TO BE REVERSIBLE.



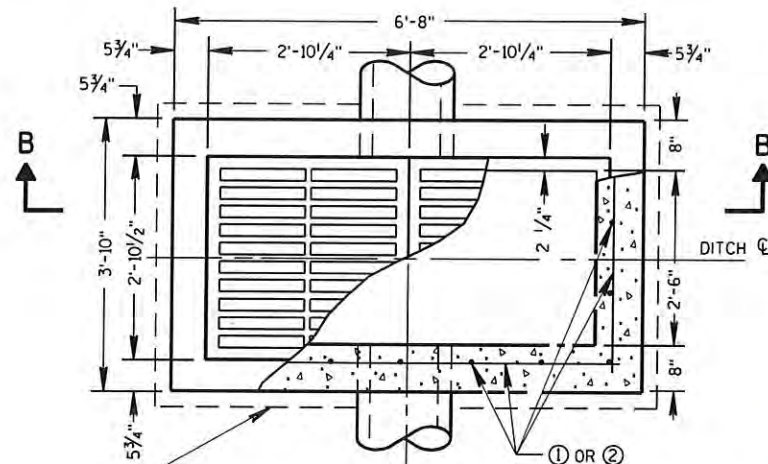
INLET COVERS
 TYPE B, B-A, C,
 MS, MS-A, & WM

STATE OF WISCONSIN
 DEPARTMENT OF TRANSPORTATION

APPROVED
 11/27/2013 /S/ Jerry H. Zogg
 DATE ROADWAY STANDARDS DEVELOPMENT
 FHWA ENGINEER



PLAN VIEW



PLAN VIEW

GENERAL NOTES

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

UNLESS OTHERWISE AUTHORIZED IN WRITING BY THE ENGINEER, THE CONTRACTOR SHALL NOT ORDER AND DELIVER PRECAST INLET UNITS REQUIRED FOR THE PROJECT UNTIL A LIST OF SIZES IS FURNISHED BY THE ENGINEER.

DETAILED DRAWINGS FOR PROPOSED ALTERNATE DESIGNS FOR INLETS WHICH MAY INCLUDE PRECAST REINFORCED CONCRETE INLETS, SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PROVIDING THAT SUCH ALTERNATE DESIGNS MAKE PROVISION FOR EQUIVALENT CAPACITY AND STRENGTH.

ALL MEDIAN INLETS ARE DESIGNATED ON THE PLANS AS "INLETS G-MS", ETC. THE FIRST NUMBER AND LETTER DESIGNATE THE TYPE OF STRUCTURE, AND THE FOLLOWING LETTERS DESIGNATE THE TYPE OF COVER TO BE USED TO COMPRISE THE COMPLETE UNIT. BASES SHALL BE PLACED ON A BED OF MATERIAL AT LEAST 6 INCHES IN DEPTH, WHICH MEETS THE REQUIREMENTS OF FOUNDATION BACKFILL. THIS BEDDING SHALL BE COMPACTED AND PROVIDE UNIFORM SUPPORT FOR THE ENTIRE AREA OF THE BASE.

ALL BAR STEEL REINFORCEMENT SHALL BE EMBEDDED 2 INCHES CLEAR UNLESS OTHERWISE SHOWN OR NOTED.

PRECAST REINFORCED RISERS SHALL HAVE A TONGUE AND GROOVE JOINT WITH TONGUE UP OR DOWN.

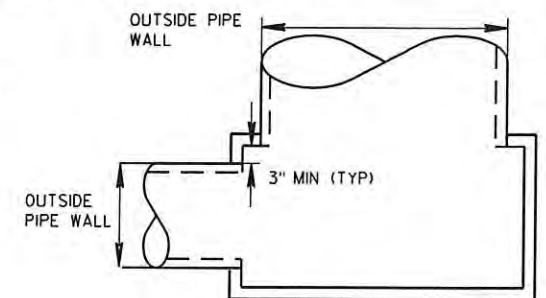
ALL PRECAST INLET UNITS SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF ASTM C 913.

MAXIMUM INSIDE PIPE DIAMETER DETERMINED BY 3" CLEARANCE ON EACH SIDE OF THE OUTSIDE WALL OF THE PIPE. SEE DETAIL "A". ASSUMES PIPE ENTERS PERPENDICULAR TO THE STRUCTURE.

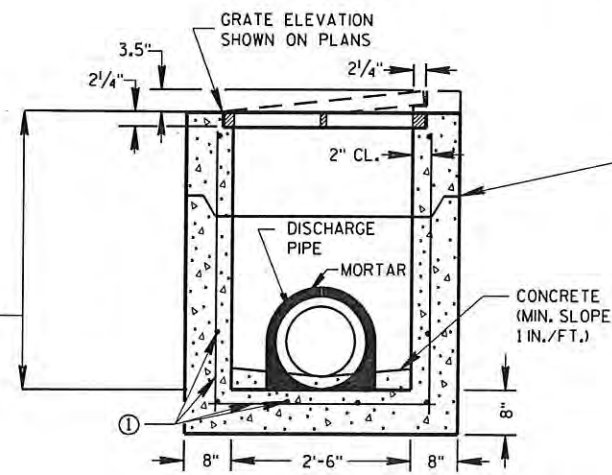
- ① FOR PRECAST INLETS PROVIDE REINFORCING STEEL IN ACCORDANCE TO ASTM C 913.
- ② CONTRACTOR TO PROVIDE DRAWING(S) STAMPED BY A PROFESSIONAL ENGINEER FOR STEEL REINFORCING DESIGN FOR CAST-IN-PLACE STRUCTURES.

PIPE MATRIX

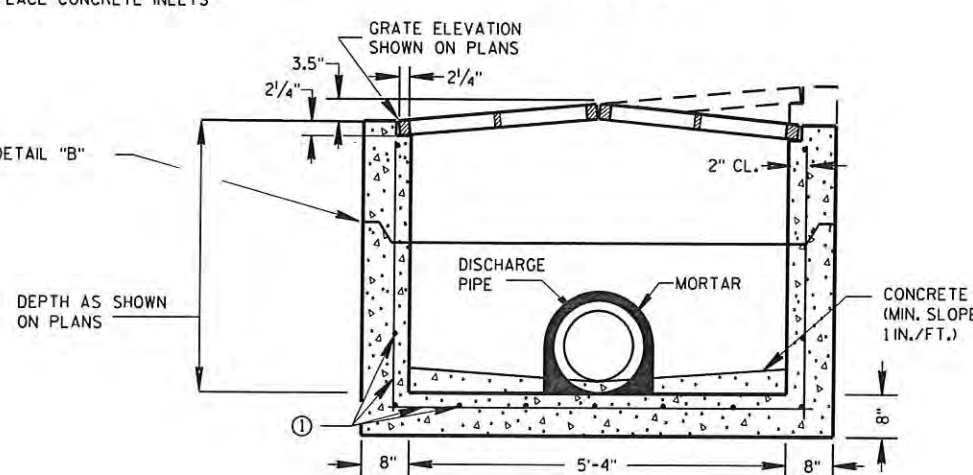
INLET SIZE	MAXIMUM INSIDE PIPE DIAMETER	
	WIDTH (IN)	LENGTH (IN)
1 GRATE	18	18
2 GRATE	18	42



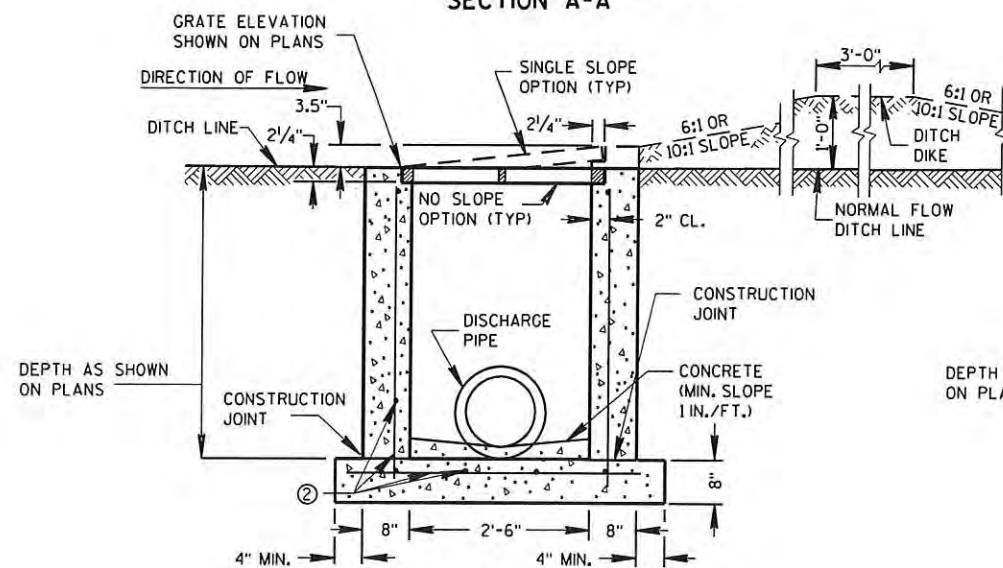
DETAIL "A"



PRECAST REINFORCED CONCRETE SECTION A-A

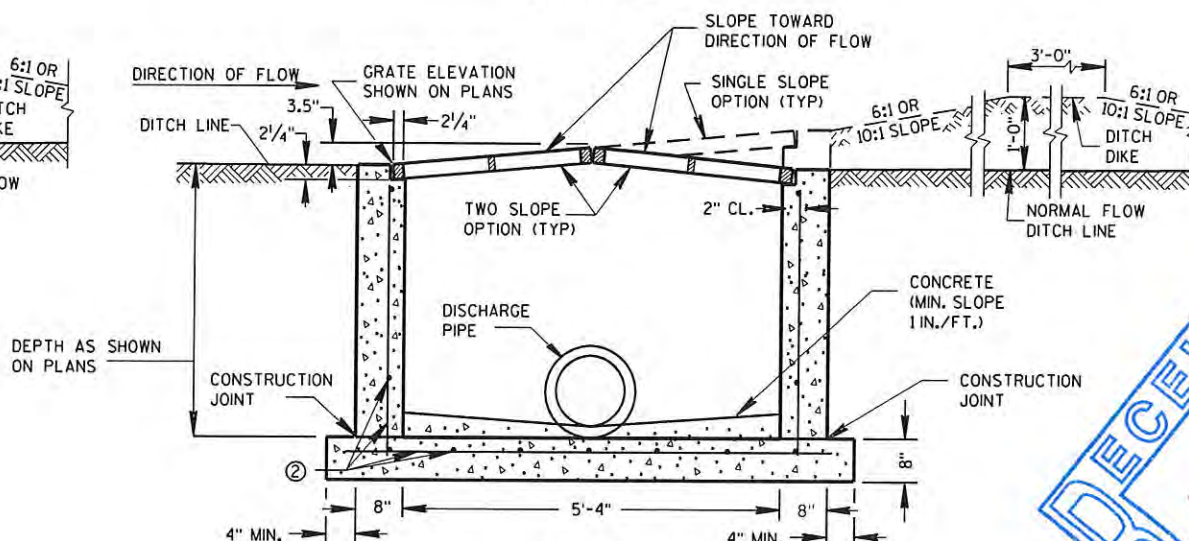


PRECAST REINFORCED CONCRETE SECTION B-B



REINFORCED CAST-IN-PLACE CONCRETE SECTION A-A

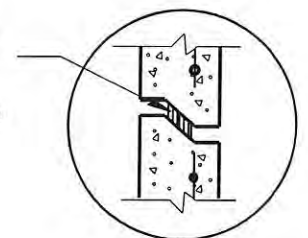
INLETS MEDIAN 1 GRATE



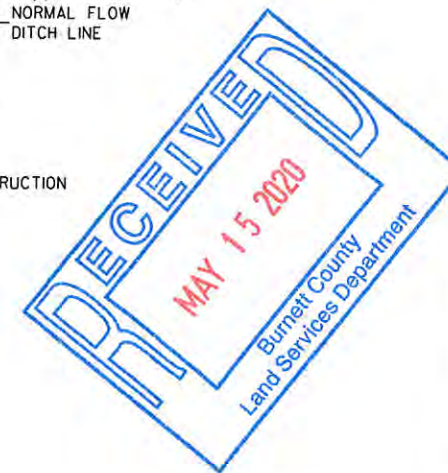
REINFORCED CAST-IN-PLACE CONCRETE SECTION B-B

INLETS MEDIAN 2 GRATE

JOINTS TO BE SEALED WITH A BUTYL RUBBER SEAL PER SEALANT MANUFACTURERS RECOMMENDATIONS CONFORMING TO ASTM C 990 (TYP)



DETAIL "B"

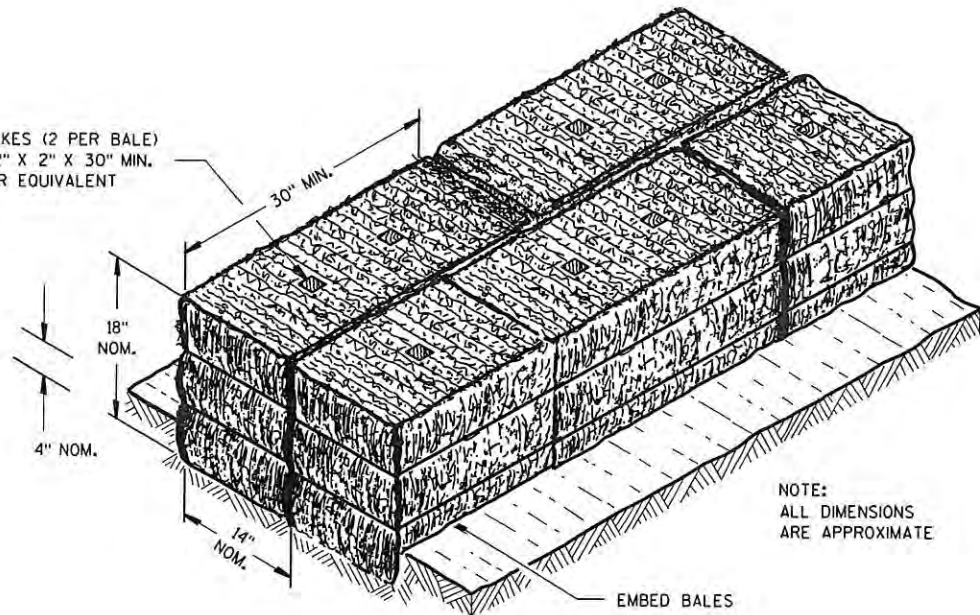


INLETS MEDIAN 1 AND 2 GRATE

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

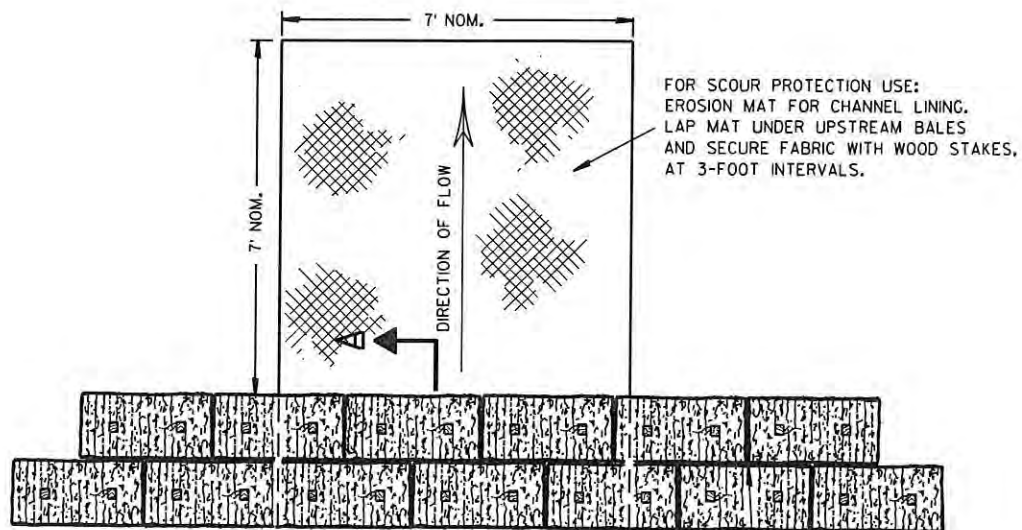
APPROVED
Sept., 2016 /S/ Rodney Taylor
DATE ROADWAY STANDARDS DEVELOPMENT
FHWA UNIT SUPERVISOR

WOOD STAKES (2 PER BALE)
NOMINAL 2" X 2" X 30" MIN.
LENGTH OR EQUIVALENT



NOTE:
ALL DIMENSIONS
ARE APPROXIMATE

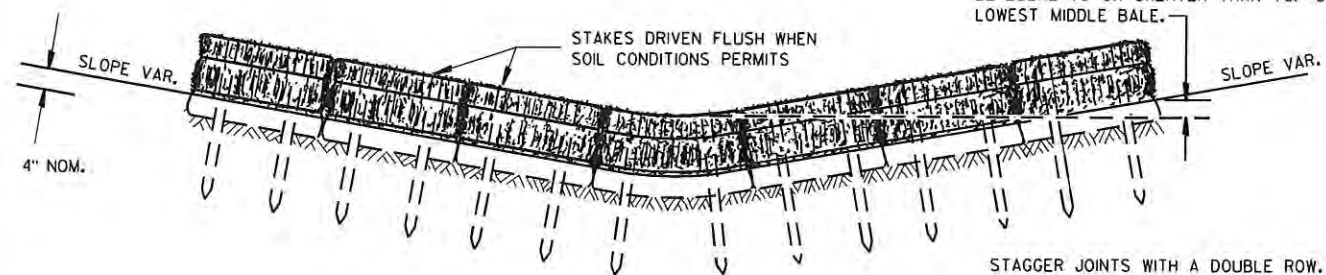
SECTION A-A



PLAN VIEW

STAGGER JOINTS BETWEEN ADJACENT
ROWS OF BALES.

BOTTOM ELEVATION OF END BALE SHALL
BE EQUAL TO OR GREATER THAN TOP OF
LOWEST MIDDLE BALE.



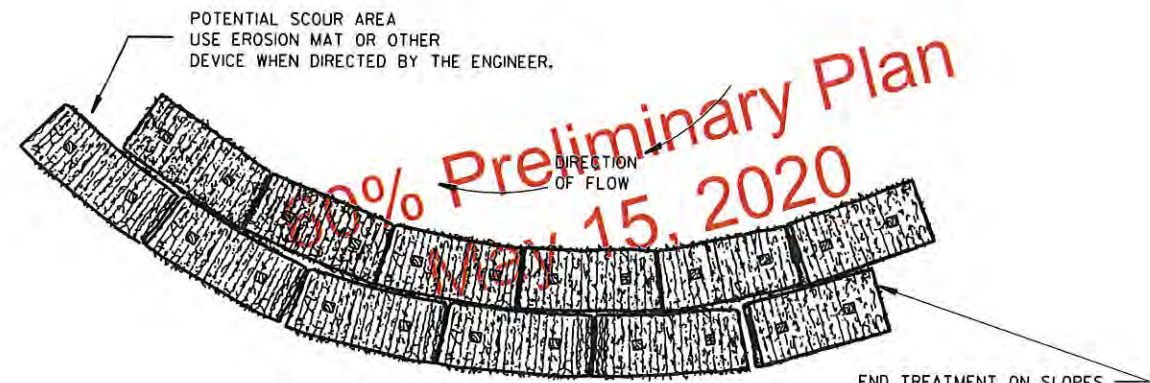
FRONT ELEVATION

TEMPORARY DITCH CHECK USING EROSION BALES ①

GENERAL NOTES

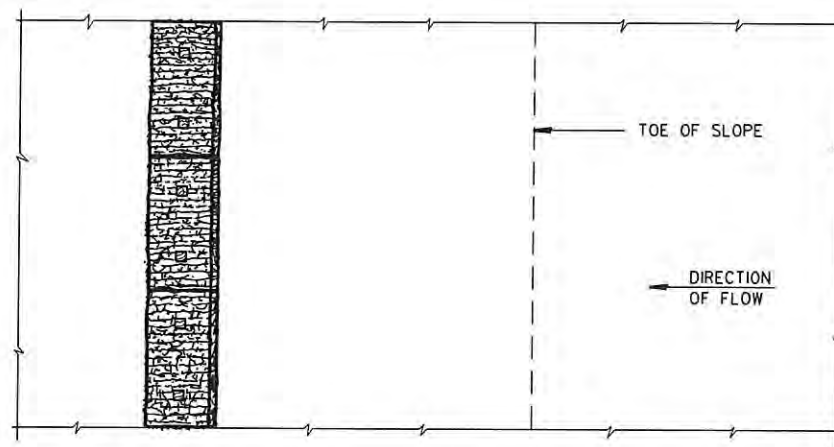
DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

- ① TEMPORARY DITCH CHECKS EITHER EROSION BALES OR MANUFACTURED SHALL BE PAID FOR UNDER THE BID ITEM OF TEMPORARY DITCH CHECK. THE DEPARTMENT WILL NOT PAY FOR TEMPORARY DITCH CHECKS CONSTRUCTED OF A SINGLE ROW OF EROSION BALES.

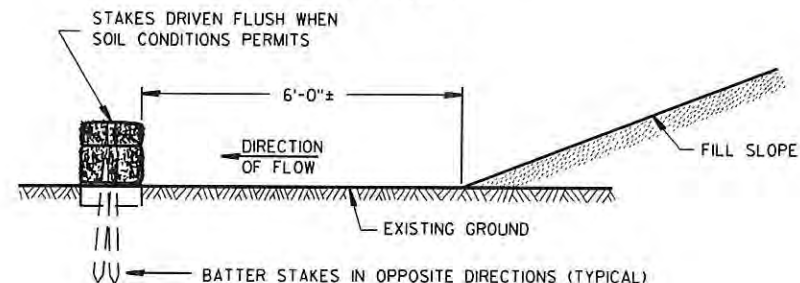


PLAN VIEW

WHEN ALTERING THE DIRECTION OF FLOW



PLAN VIEW



FRONT ELEVATION

WHEN EXISTING GROUND SLOPES AWAY FROM FILL SLOPE

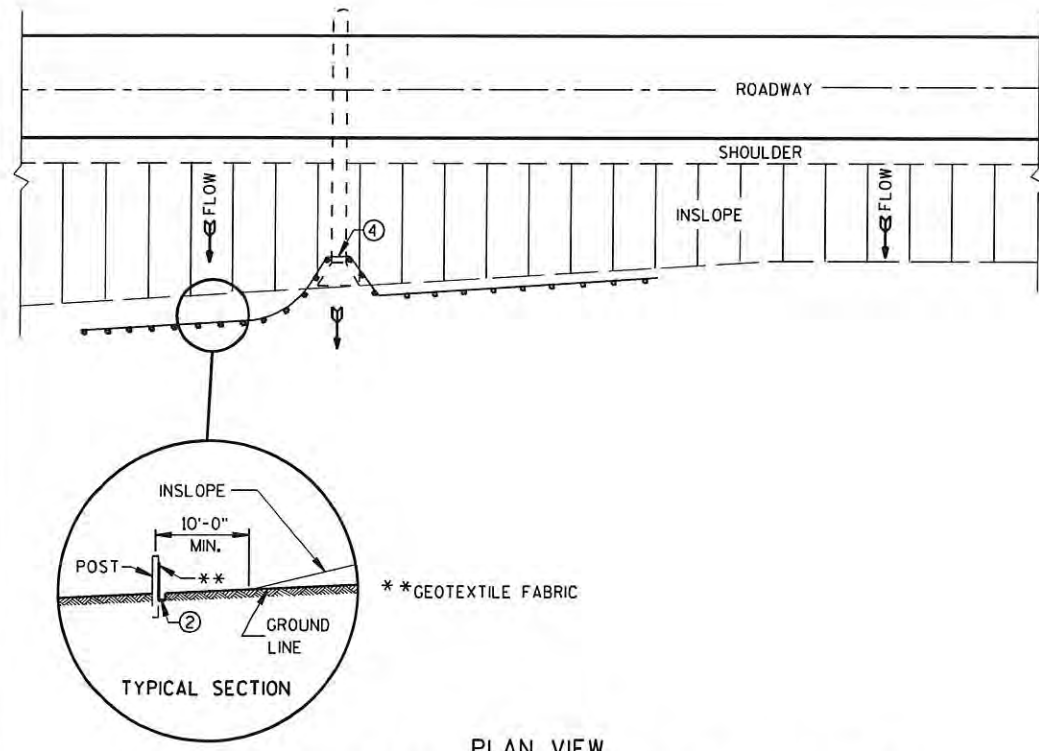
EROSION BALES FOR SHEET FLOW



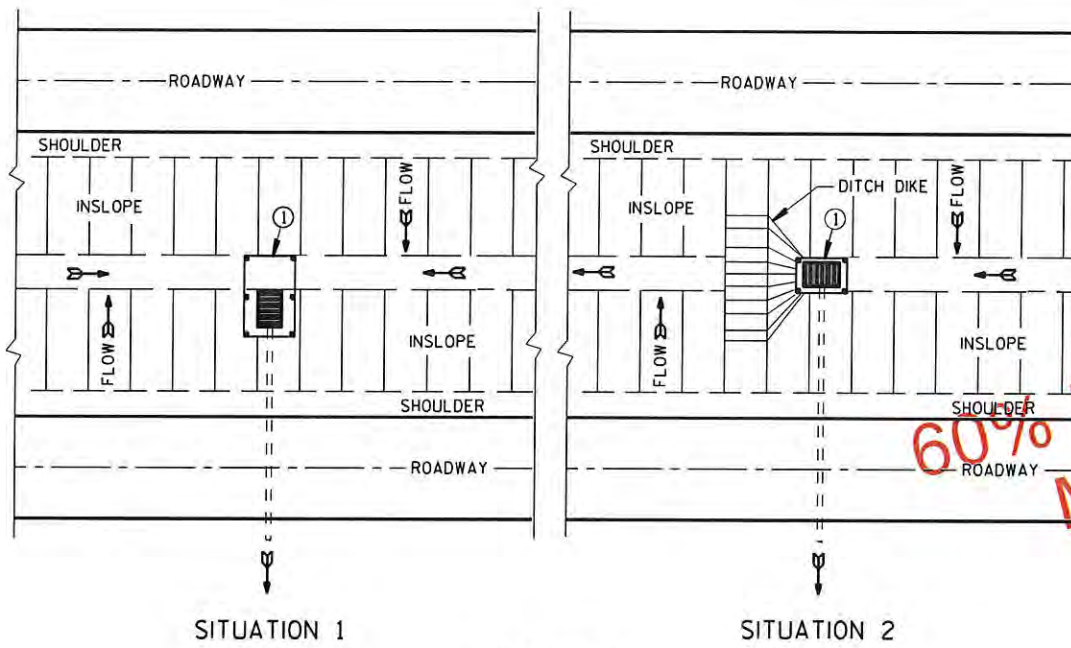
TYPICAL INSTALLATIONS OF
EROSION BALES / TEMPORARY
DITCH CHECKS

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

APPROVED
6/04/02 /S/ Beth Conestra
DATE /S/ CHIEF ROADWAY DEVELOPMENT ENGINEER
FHWA



PLAN VIEW
TYPICAL APPLICATION OF SILT FENCE

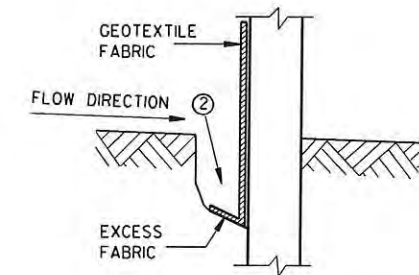


SITUATION 1 SITUATION 2
PLAN VIEW
SILT FENCE AT MEDIAN SURFACE DRAINS

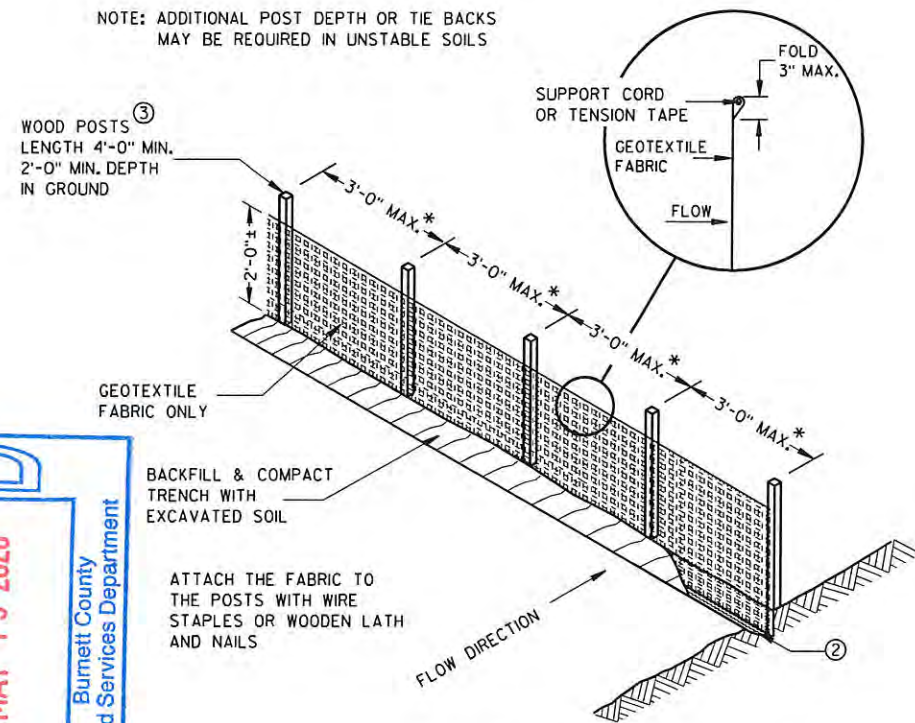
GENERAL NOTES

DETAILS OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.

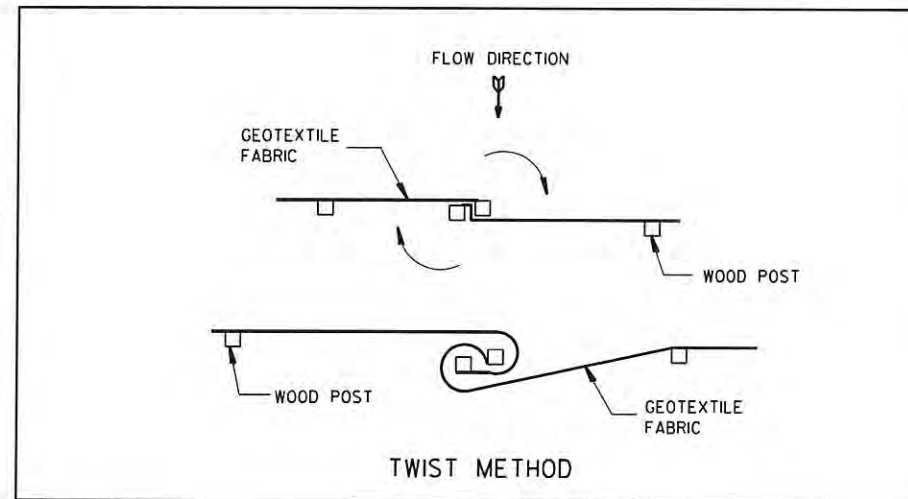
- ① HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
- ② FOR MANUAL INSTALLATIONS THE TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- ③ WOOD POSTS SHALL BE A MINIMUM SIZE OF 1/8" X 1/8" OF OAK OR HICKORY.
- ④ SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
- ⑤ CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 90 DEGREES, B) HOOK THE END OF EACH SILT FENCE LENGTH.



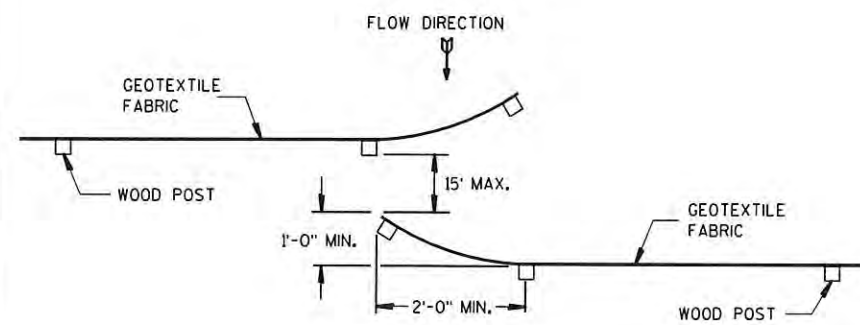
TRENCH DETAIL



SILT FENCE

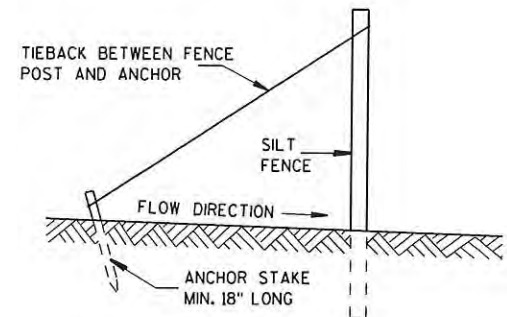


TWIST METHOD



HOOK METHOD

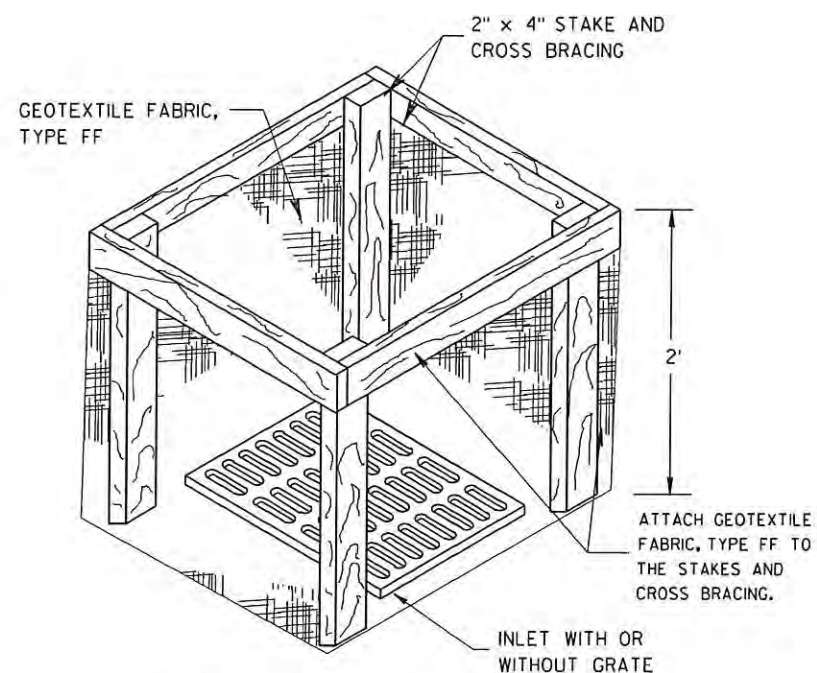
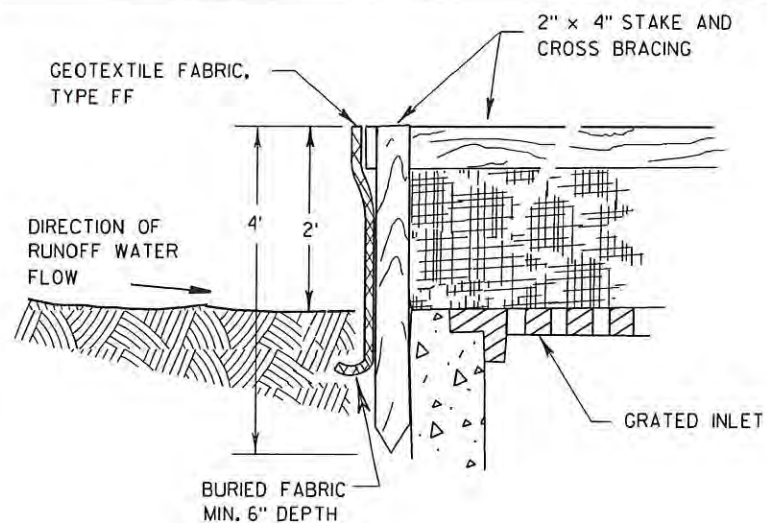
JOINING TWO LENGTHS OF SILT FENCE ⑤



SILT FENCE TIE BACK
(WHEN REQUIRED BY THE ENGINEER)

RECEIVED
 MAY 15 2020
 Burnett County
 Land Services Department

SILT FENCE	
STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION	
APPROVED 4-29-05 DATE	/S/ Beth Conestra CHIEF ROADWAY DEVELOPMENT ENGINEER
FHWA	



INLET PROTECTION, TYPE A

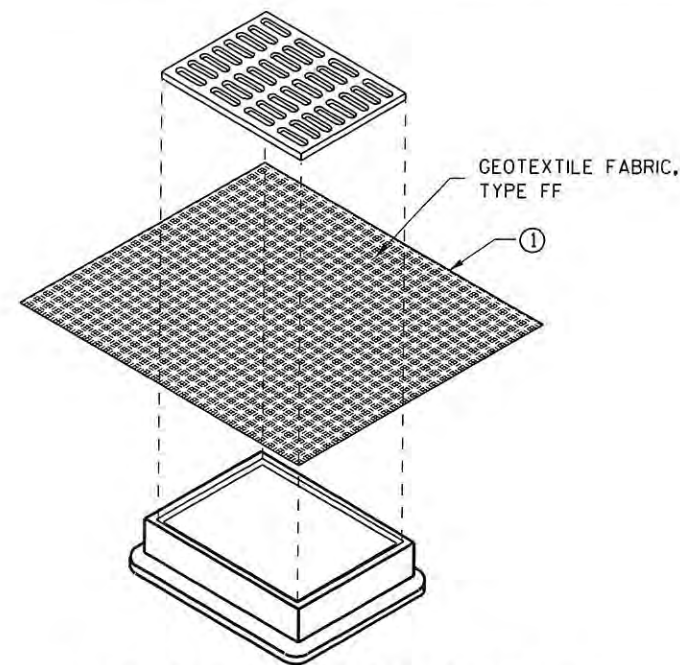
GENERAL NOTES

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

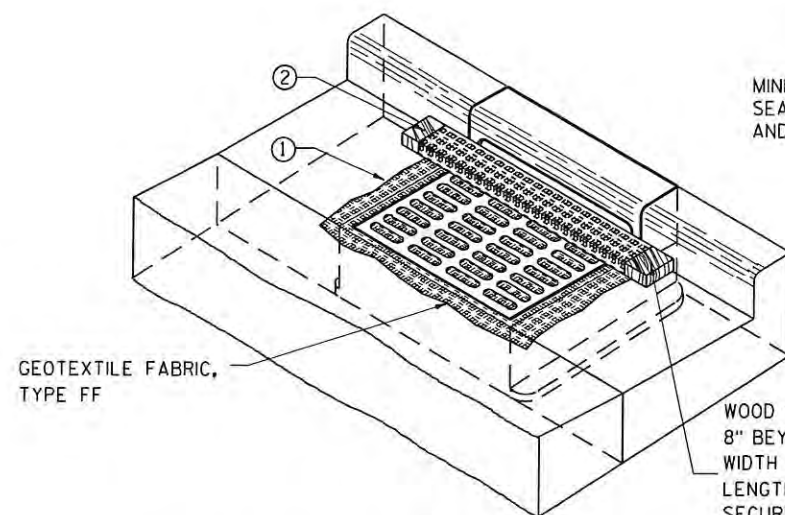
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

- ① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- ② FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- ③ FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.



**INLET PROTECTION, TYPE B
(WITHOUT CURB BOX)**

(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



INLET PROTECTION, TYPE C (WITH CURB BOX)

INSTALLATION NOTES

TYPE B & C

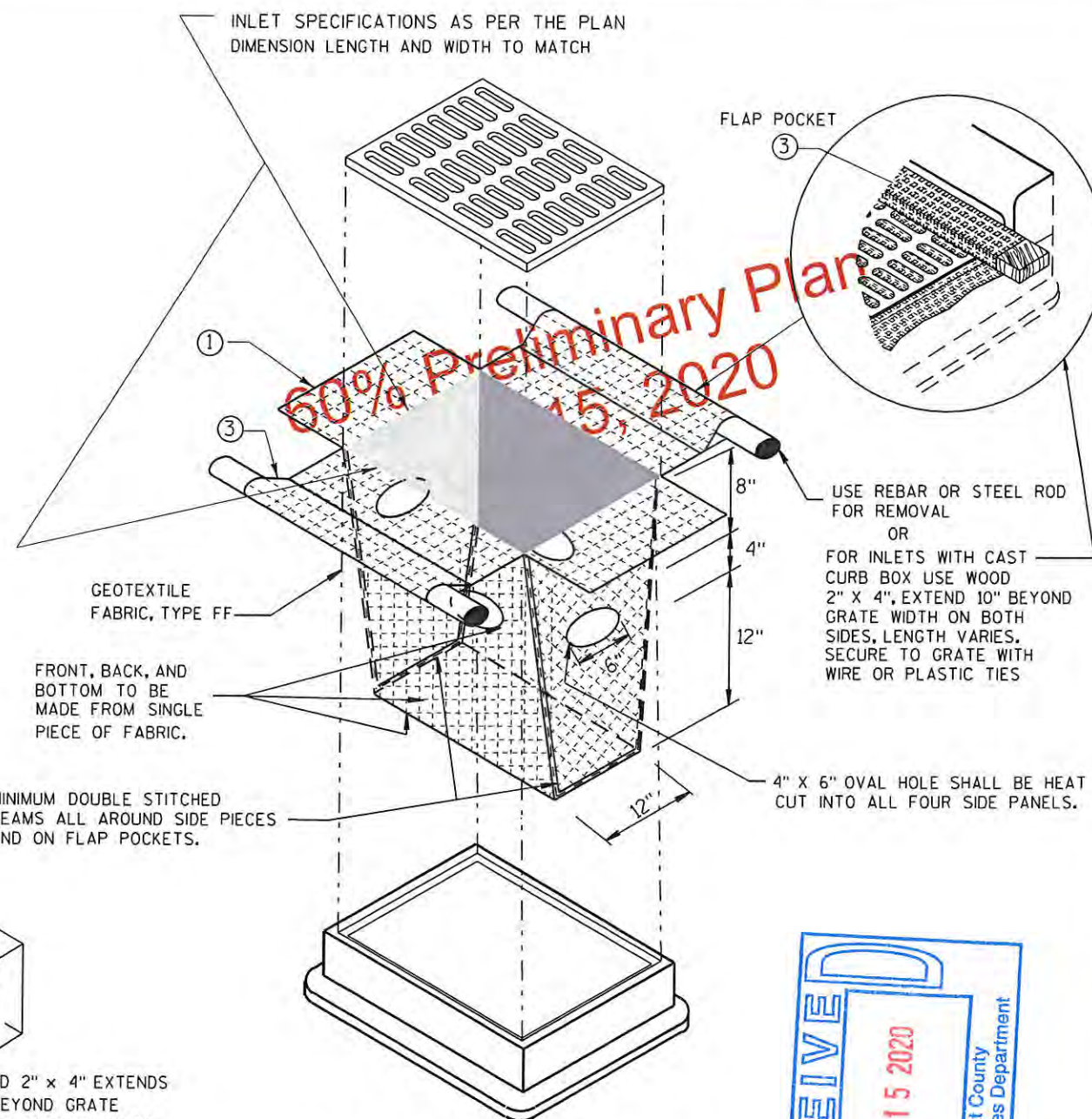
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE D

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



INLET PROTECTION, TYPE D

(CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT A CURB BOX AS PER NOTE ②)



**INLET PROTECTION
TYPE A, B, C, AND D**

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

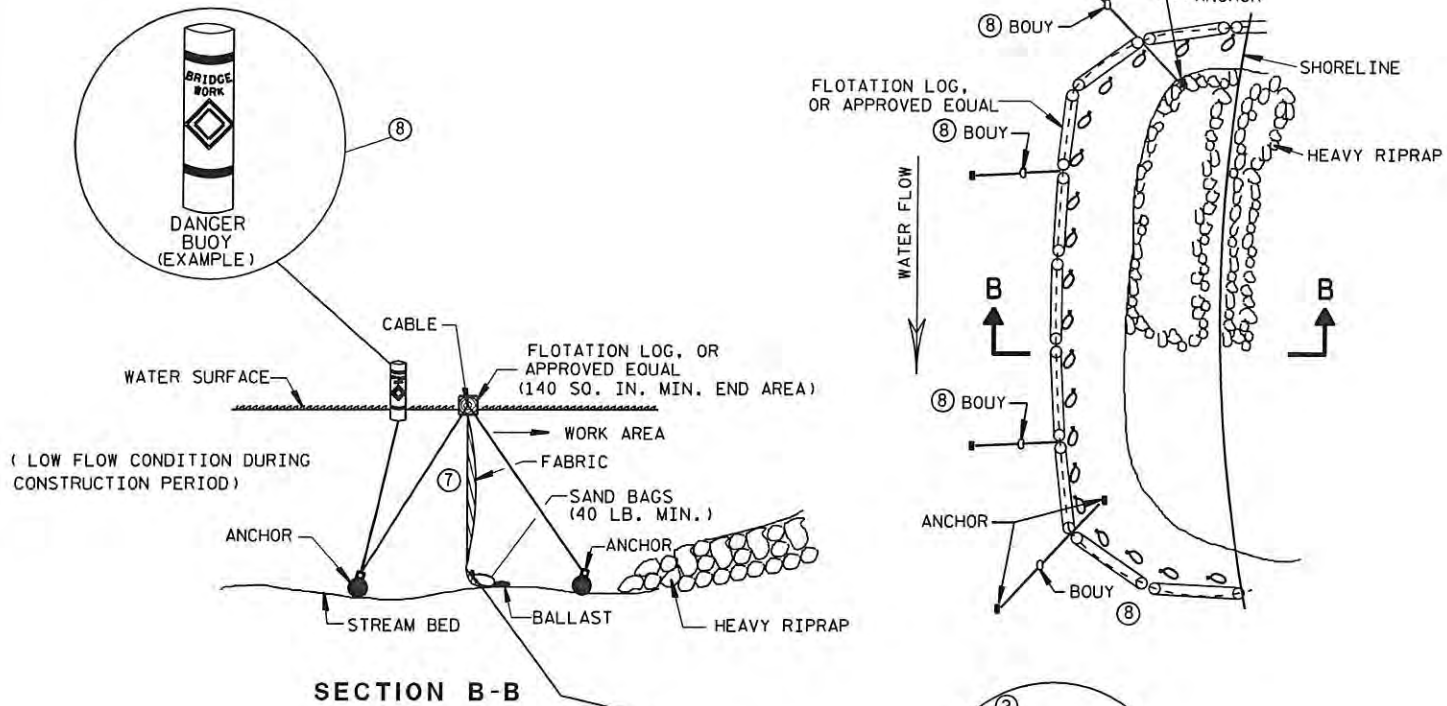
APPROVED
10-16-02 /S/ Beth Cannestra
DATE CHIEF ROADWAY DEVELOPMENT ENGINEER
FHWA

6

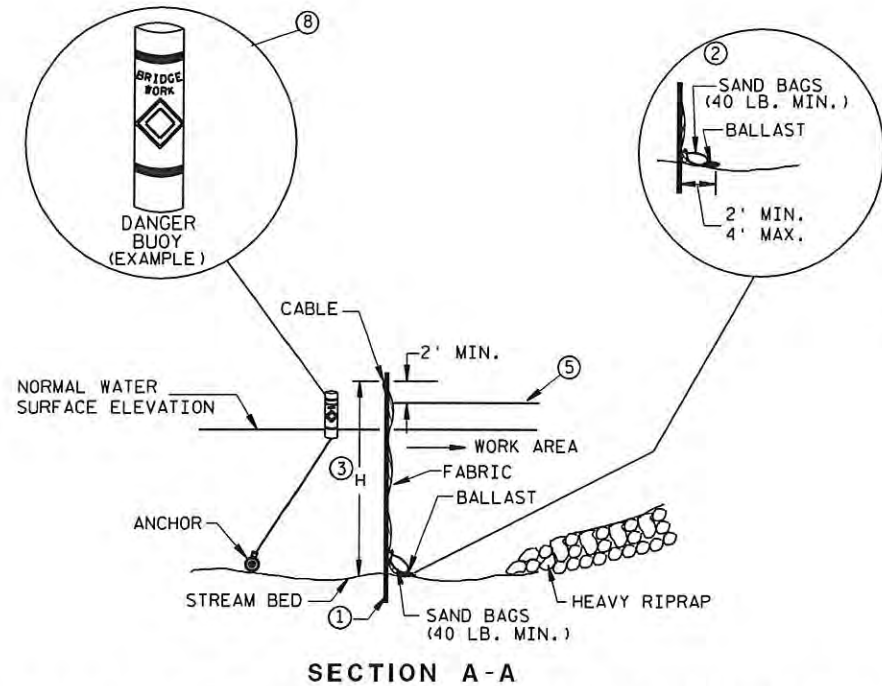
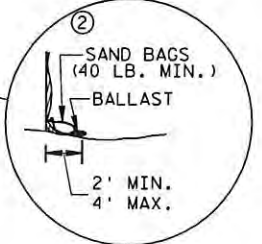
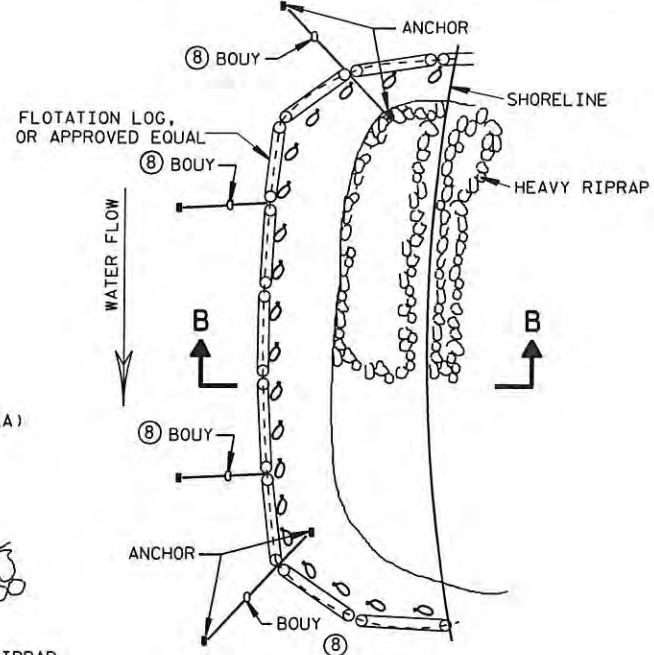
6

S.D.D. 8 E 10-2

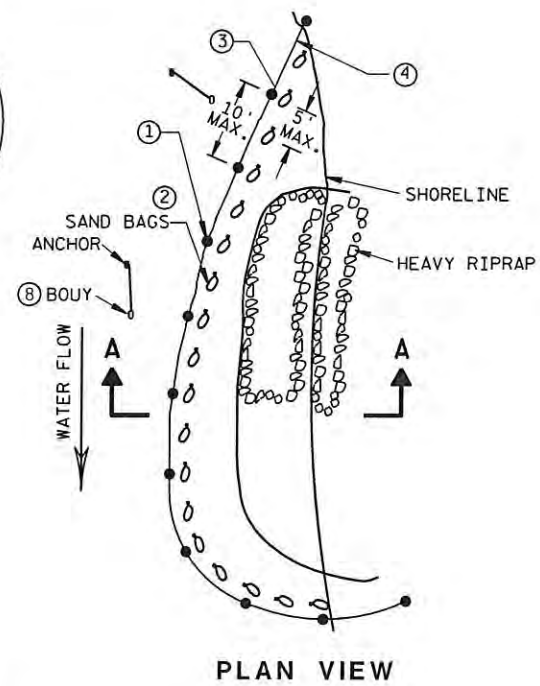
S.D.D. 8 E 10-2



SECTION B-B
TURBIDITY BARRIER FLOAT ALTERNATIVE
CAUTION - SEE NOTE 6



SECTION A-A
TURBIDITY BARRIER STANDARD POST INSTALLATION



PLAN VIEW

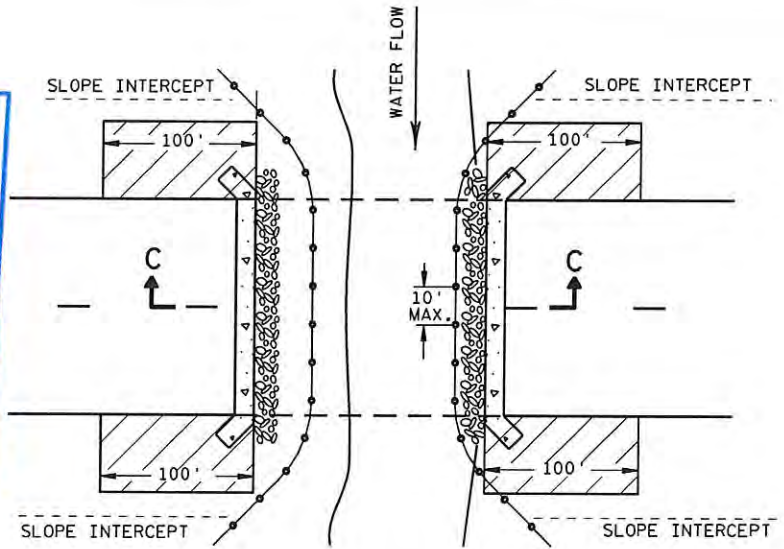
GENERAL NOTES

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

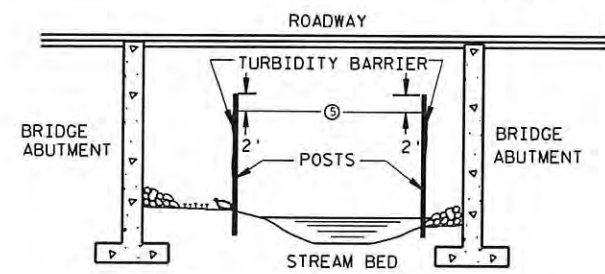
TURBIDITY BARRIER MAY BE REMOVED AT THE ENGINEERS DISCRETION, WHEN PERMANENT EROSION CONTROL MEASURES HAVE BEEN ESTABLISHED.

- ① DRIVEN STEEL POSTS, PIPES, OR CHANNELS. LENGTH SHALL BE SUFFICIENT TO SECURELY SUPPORT BARRIER AT HIGH WATER ELEVATIONS.
- ② SANDBAGS TO BE USED AS ADDITIONAL BALLAST WHEN ORDERED BY THE ENGINEER TO MEET ADVERSE FIELD CONDITIONS. SPACE AS APPROPRIATE FOR SITE CONDITIONS.
- ③ WHEN BARRIER HEIGHT, H, EXCEEDS 8 FT., POST SPACING MAY NEED TO BE DECREASED.
- ④ IN WATERWAYS SUBJECT TO FLUCTUATING WATER ELEVATIONS, PROVISIONS SHOULD BE MADE TO ALLOW THE WATER TO EQUALIZE ON EACH SIDE OF THE BARRIER. THIS MAY BE ACCOMPLISHED BY LEAVING A PORTION OF THE BARRIER OPEN ON THE UPSTREAM END.
- ⑤ ESTIMATED HIGH WATER ELEVATION DURING CONSTRUCTION PERIOD. MINIMUM BARRIER HEIGHT SHALL BE 2' GREATER THAN EITHER THE OF ELEVATION OR THE ESTIMATED HIGH WATER ELEVATION DURING CONSTRUCTION, WHICHEVER IS GREATER.
- ⑥ FLOAT ALTERNATIVE WILL ONLY BE ALLOWED WITH WRITTEN APPROVAL OF THE ENGINEER, AND IS MEANT FOR LOCATIONS WHERE BED ROCK PREVENTS THE INSTALLATION OF POSTS.
- ⑦ ALLOW SUFFICIENT SLACK VERTICALLY AND HORIZONTALLY SO THAT SEDIMENT BUILD UP WILL NOT SEPARATE OR LOWER THE TURBIDITY BARRIER.
- ⑧ USE AS DIRECTED BY COAST GUARD OR DNR PERMIT WHEN WORKING IN NAVIGABLE WATERWAYS.

RECEIVED
MAY 15 2020
Burnett County
Land Services Department



PLAN VIEW



SECTION C-C

TURBIDITY BARRIER DETAIL SHOWING TYPICAL PLACEMENT AT STRUCTURES

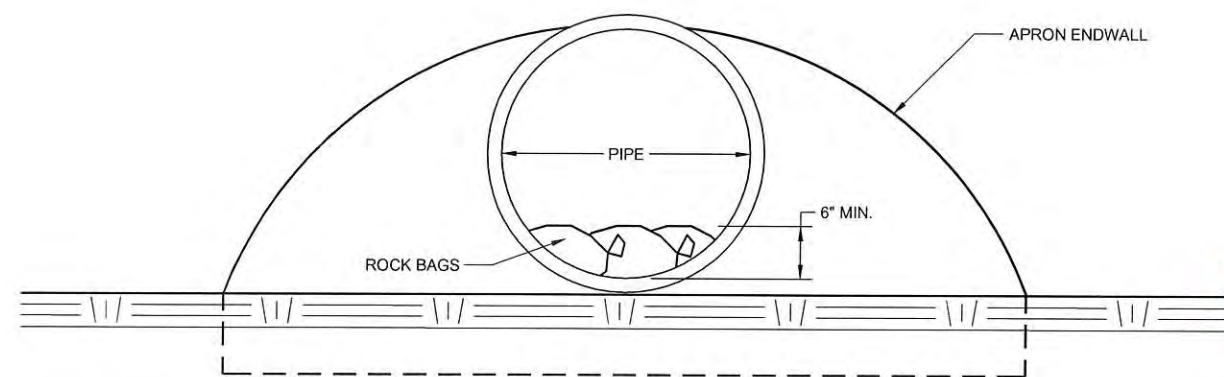
TURBIDITY BARRIER	
STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION	
APPROVED 6-04-02 DATE	/S/ Beth Conestro CHIEF ROADWAY DEVELOPMENT ENGINEER
FHWA	

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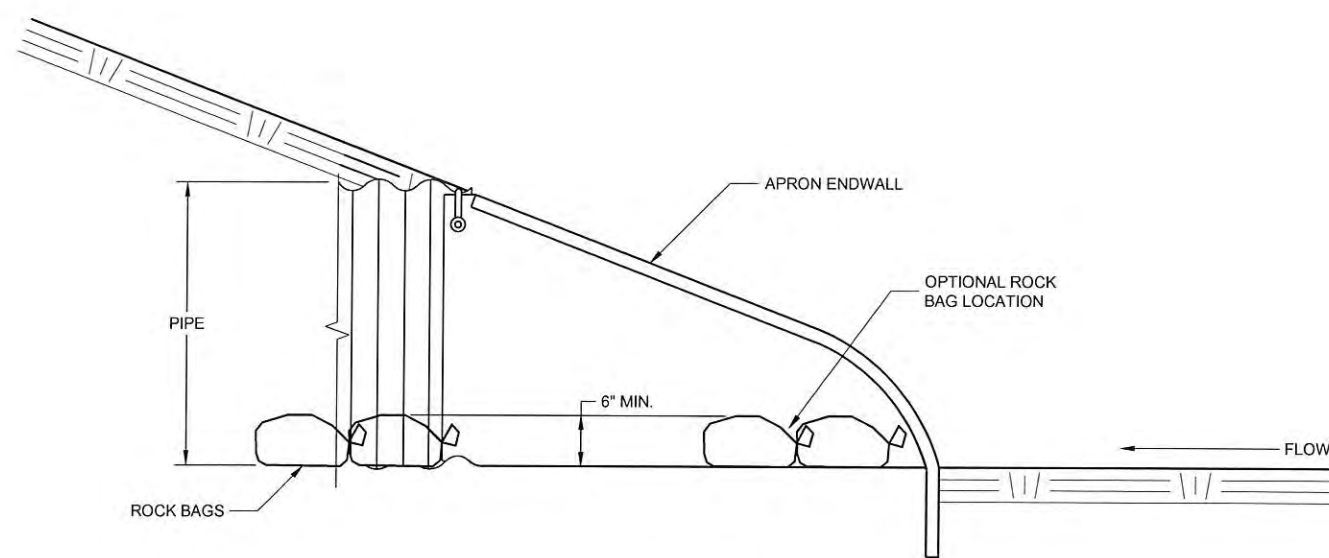
S.D.D. 8 E 11-2

S.D.D. 8 E 11-2



END VIEW

60% Preliminary Plan
May 15, 2020



SIDE VIEW

CULVERT PIPE CHECK
(INSTALL ON INLET END ONLY)



CULVERT PIPE CHECK	
STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION	
APPROVED May 2019 DATE	/s/ Daniel Schave EROSION CONTROL ENGINEER

6

SDD 08E15 - 01

6

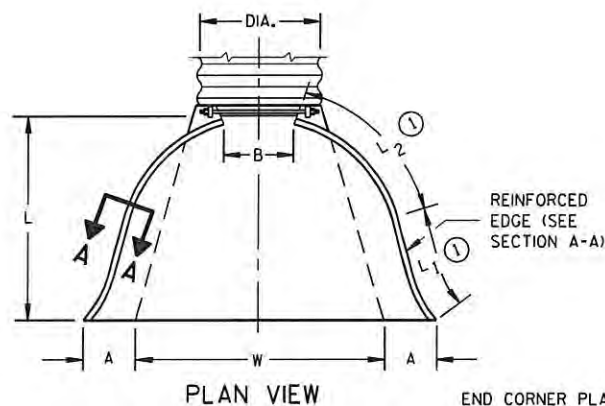
SDD 08E15 - 01

METAL APRON ENDWALLS											
PIPE DIA. (IN.)	MIN. THICK. (Inches)		DIMENSIONS (Inches)							APPROX. SLOPE	BODY
	STEEL	ALUM.	A (±1")	B (MAX.)	H (±1")	L (±1 1/2")	L ₁ (1)	L ₂ (1)	W (±2")		
12	.064	.060	6	6	6	21	12	17 1/2	24	2 1/2 to 1	1 Pc.
15	.064	.060	7	8	6	26	14	21 3/4	30	2 1/2 to 1	1 Pc.
18	.064	.060	8	10	6	31	15	28 1/4	36	2 1/2 to 1	1 Pc.
21	.064	.060	9	12	6	36	18	29 5/8	42	2 1/2 to 1	1 Pc.
24	.064	.075	10	13	6	41	18	37 1/4	48	2 1/2 to 1	1 Pc.
30	.079	.075	12	16	8	51	18	52 1/4	60	2 1/2 to 1	1 Pc.
36	.079	.105	14	19	9	60	24	59 3/4	72	2 1/2 to 1	2 Pc.
42	.109	.105	16	22	H	69	24	75 5/8	84	2 1/2 to 1	2 Pc.
48	.109	.105	18	27	12	78	24	81	90	2 1/2 to 1	3 Pc.
54	.109	.105	18	30	12	84	30	85 1/2	102	2 1/2 to 1	3 Pc.
60	.109x	.105x	18	33	12	87	—	—	114	2 to 1	3 Pc.
66	.109x	.105x	18	36	12	87	—	—	120	2 to 1	3 Pc.
72	.109x	.105x	18	39	12	87	—	—	126	2 to 1	3 Pc.
78	.109x	.105x	18	42	12	87	—	—	132	1 1/2 to 1	3 Pc.
84	.109x	.105x	18	45	12	87	—	—	138	1 1/2 to 1	3 Pc.
90	.109x	.105x	18	37	12	87	—	—	144	1 1/2 to 1	3 Pc.
96	.109x	.105x	18	35	12	87	—	—	150	1 1/2 to 1	3 Pc.

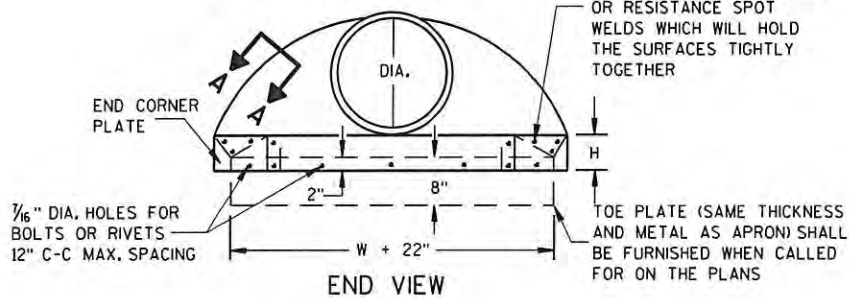
* EXCEPT CENTER PANEL SEE GENERAL NOTES

REINFORCED CONCRETE APRON ENDWALLS									
PIPE DIA. (IN.)	DIMENSIONS (Inches)							APPROX. SLOPE	
	T	A	B	C	D	E	G		
12	2	4	24	48 1/8	72 1/8	24	2	3 to 1	
15	2 1/4	6	27	46	73	30	2 1/4	3 to 1	
18	2 1/2	9	27	46	73	36	2 1/2	3 to 1	
21	2 3/4	9	36	37 1/2	73 1/2	42	2 3/4	3 to 1	
24	3	9 1/2	43 1/2	30	73 1/2	48	3	3 to 1	
27	3 1/4	10 1/2	49 1/2	24	73 1/2	54	3 1/4	3 to 1	
30	3 1/2	12	54	19 3/4	73 1/2	60	3 1/2	3 to 1	
36	4	15	63	34 3/4	97 3/4	72	4	3 to 1	
42	4 1/2	21	63	35	98	78	4 1/2	3 to 1	
48	5	24	72	26	98	84	5	3 to 1	
54	5 1/2	27	65	33 1/4	98 1/4	90	5 1/2	2 1/2 to 1	
60	6	30-35	60	39	99	96	5	2 to 1	
66	6 1/2	24-30	72-78	21-27	99	102	5 1/2	2 to 1	
72	7	24-36	78	21	99	108	6	2 to 1	
78	7 1/2	24-36	78	21	99	114	6 1/2	2 to 1	
84	8	36	90 1/2	21	111 1/2	120	6 1/2	1 1/2 to 1	
90	8 1/2	41	87 1/2	24	111 1/2	132	6 1/2	1 1/2 to 1	

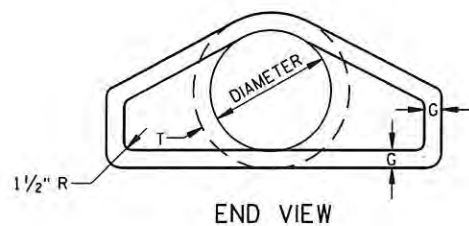
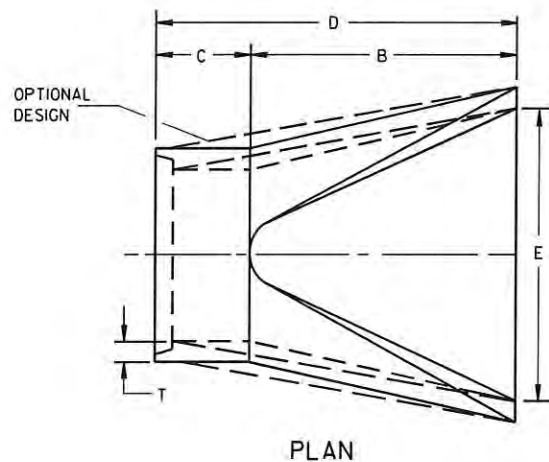
* MINIMUM
** MAXIMUM



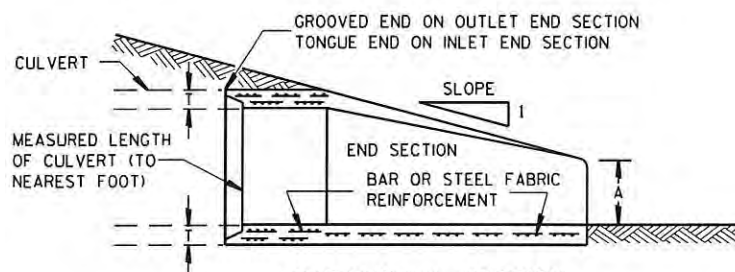
END CORNER PLATES MAY BE FASTENED TO APRON PROPER BY BOLTS, RIVETS, OR RESISTANCE SPOT WELDS WHICH WILL HOLD THE SURFACES TIGHTLY TOGETHER



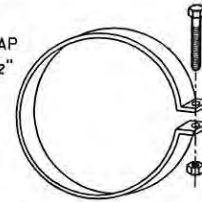
SIDE ELEVATION METAL ENDWALLS



LONGITUDINAL SECTION CONCRETE ENDWALLS

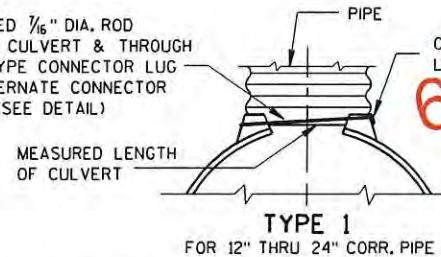


1" WIDE, 12 GA. (0.109" THICK) GALVANIZED STRAP WITH STANDARD 6" X 1/2" BAND BOLT AND NUT



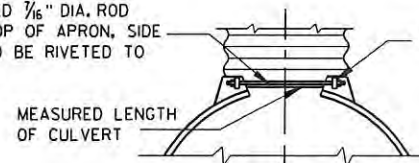
ALTERNATE FOR TYPE 1 CONNECTION END SECTION CONNECTOR STRAP

THREADED 1/16" DIA. ROD AROUND CULVERT & THROUGH TANK TYPE CONNECTOR LUG OR ALTERNATE CONNECTOR STRAP (SEE DETAIL)



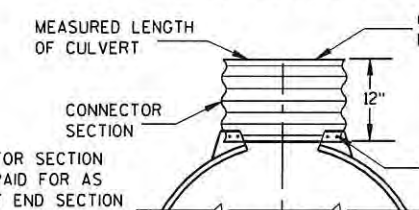
TYPE 1 FOR 12" THRU 24" CORR. PIPE

THREADED 1/16" DIA. ROD OVER TOP OF APRON, SIDE LUGS TO BE RIVETED TO APRON



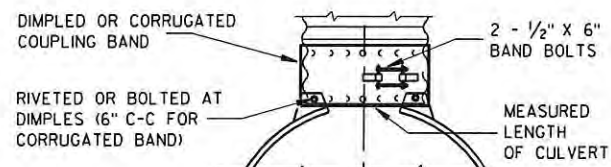
TYPE 2 FOR 30" THRU 96" CORR. PIPE

CONNECTOR SECTION TO BE PAID FOR AS PART OF END SECTION



TYPE 3 FOR 42" THRU 96" CORR. PIPE

DIMPLED OR CORRUGATED COUPLING BAND RIVETED OR BOLTED AT DIMPLES (6" C-C FOR CORRUGATED BAND)



TYPE 5 ALTERNATE FOR: ALL SIZES CORRUGATED CIRCULAR PIPE

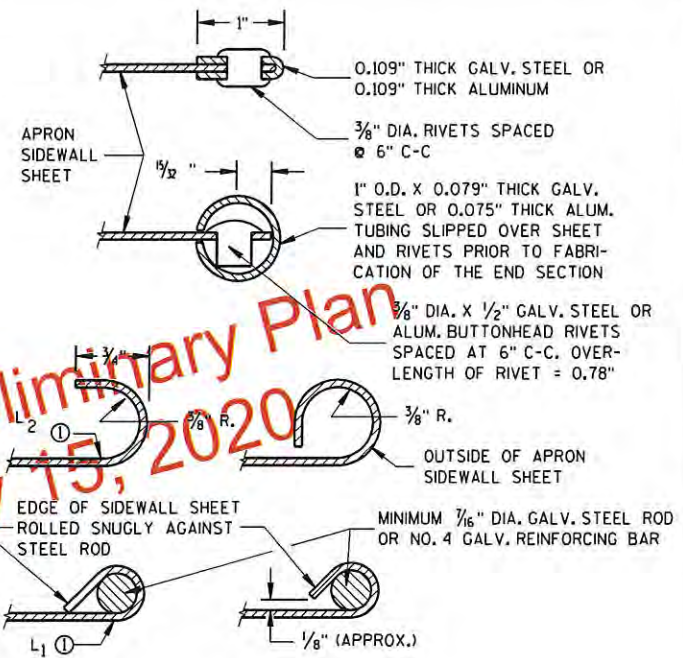
NOTE: DIMPLED BAND FITS OVER OUTSIDE OF ENDWALL, AND CORRUGATED BAND FITS INSIDE ENDWALL. DIMPLED BAND MAY BE USED WITH HELICALLY CORRUGATED PIPE.

FOR CIRCUMFERENTIALLY CORRUGATED PIPE USE ENDWALL CONNECTION DETAILS 1, 2, 3 OR 5 AS APPLICABLE.

FOR HELICALLY CORRUGATED PIPE USE ENDWALL CONNECTION DETAILS 1, 2 OR 5.

FOR HELICALLY CORRUGATED PIPES WITH TWO CIRCUMFERENTIAL CORRUGATIONS AT EACH END USE ENDWALL CONNECTION DETAILS 1, 2 OR 3.

CONNECTION DETAILS



SECTION A-A

GENERAL NOTES

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

CONCRETE CULVERT ENDWALLS MAY NOT BE USED WITH GALVANIZED STEEL OR ALUMINUM CULVERT PIPE OR VISE VERSA. GALVANIZED STEEL OR ALUMINUM ENDWALLS SHALL NORMALLY BE INSTALLED ON CULVERT PIPE OF THE SAME METAL.

ALL THREE PIECE STEEL APRON ENDWALLS FOR 60" DIAMETER PIPE AND LARGER SHALL HAVE 0.109" SIDES AND 0.138" CENTER PANELS. ALL THREE PIECE ALUMINUM APRON ENDWALLS FOR 60" DIAMETER PIPE AND LARGER SHALL HAVE 0.105" SIDES AND 0.134" CENTER PANELS. THE WIDTH OF CENTER PANELS SHALL BE GREATER THAN 20 PERCENT OF THE PIPE PERIMETER.

LAP SEAMS SHALL BE TIGHTLY JOINED BY GALVANIZED RIVETS OR BOLTS FOR STEEL UNITS AND ALUMINUM RIVETS AND BOLTS FOR ALUMINUM UNITS. FOR THE 60" THROUGH 96" DIAMETER APRON ENDWALL SIZES, THE REINFORCED EDGES AND CENTER PANEL SEAMS SHALL BE FURTHER REINFORCED WITH GALVANIZED STEEL OR ALUMINUM STIFFENER ANGLES. THE ANGLES SHALL BE ATTACHED BY GALVANIZED NUTS AND BOLTS FOR STEEL UNITS AND ALUMINUM NUTS AND BOLTS FOR ALUMINUM UNITS.

WHERE TWO OR MORE PIPES WITH APRON ENDWALLS ARE LAID ADJACENT TO EACH OTHER, THEY SHALL BE SEPARATED BY A DISTANCE SUFFICIENT TO PROVIDE A MINIMUM CLEARANCE OF 6 INCHES BETWEEN APRON ENDWALLS.

① FOR PIPE SIZES UP TO 60" DIAMETER, A 180° ROLLED EDGE MAY BE USED INSTEAD OF STEEL ROD REINFORCEMENT. SEE SECTION A-A.



APRON ENDWALLS FOR CULVERT PIPE	
STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION	
APPROVED 8-30-94 DATE	/s/ Rory L. Rhinesmith CHIEF ROADWAY DEVELOPMENT ENGINEER
FHWA	

Apron Endwalls for Culvert Pipe

References:[FDM 19-15-70](#)[FDM 13-1-15](#)[FDM 13-1-17](#)**Bid items associated with this drawing:**

<u>ITEM NUMBER</u>	<u>DESCRIPTION</u>	<u>UNIT</u>
520.1000 - 1199	Apron Endwalls for Culvert Pipe (size)	EACH
521.1000 - 1199	Apron Endwalls for Culvert Pipe Steel (size)	EACH
522.1000 - 1199	Apron Endwalls for Culvert Pipe Reinforced Concrete (size)	EACH
525.0300 - 0399	Apron Endwalls for Culvert Pipe Aluminum (size)	EACH

Standardized Special Provisions associated with this drawing:

<u>STSP NUMBER</u>	<u>TITLE</u>
SPV.0060	if non-standard size is specified.

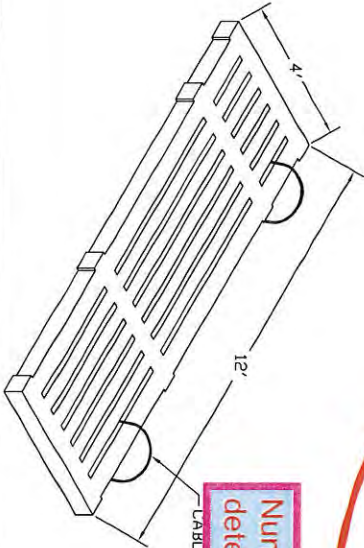
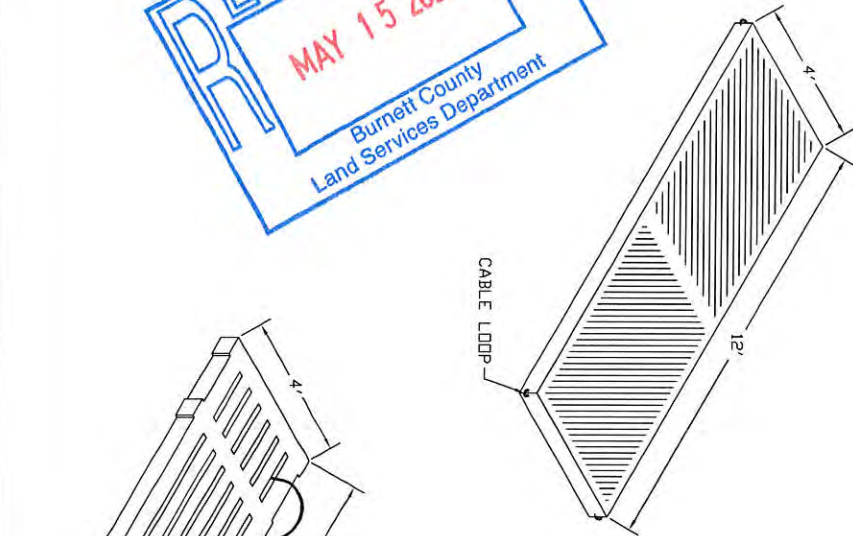
Other SDDs associated with this drawing:[SDD 8F4](#) Joint Ties for Concrete Pipe**Design Notes:**

Joint ties are required for the apron endwall and the last 2 sections of culvert and storm sewer pipe installations. See Standard Specifications.

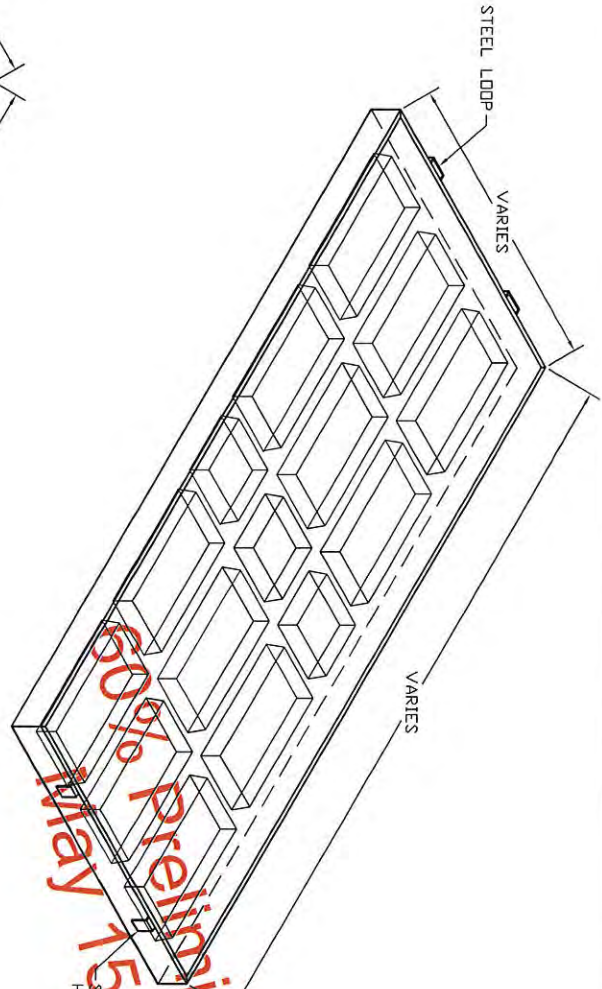
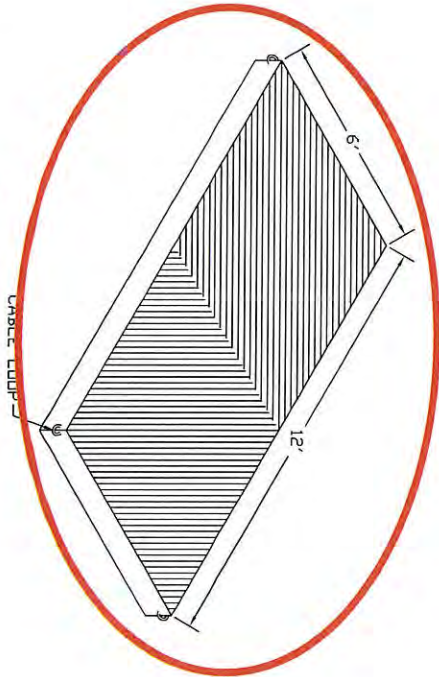
Contact Person:

Ed Lilla (608) 266-2312





Number of planks to be determined



60% Preliminary Plan
MAY 15 2020

SHEET NO. 0 OF 0

BOAT RAMP PLANK EXAMPLES

WIESER CONCRETE
W3716 US HWY10. MAIDEN ROCK, WI 54750
800-325-8456

SCALE: NTS	REV NO.	DATE:
DRAWN BY: SWT		
DATE: 1/1/02		
FILE:		



2. EROSION MAT –

General -

WisDOT defines "erosion mat" (Erosion Control Revegetative Mat, or ECRM) as a manufactured blanket or mat that is delivered to the work site in rolls or strips. These are for temporary erosion control during vegetation establishment. Turf Reinforcement Mats (TRM) are also classified in this category, and are for use as permanent root zone reinforcement under higher shear applications.

Classification and Primary Acceptance Criteria -

	Min. Thickness ¹ (in)	Max. C cover Factor ASTM D6459	Min. Perm. Shear (psf) ASTM D6460	Max. Slope	Channel use	Netting (Non, Single, Double, Any, TRM)	Organic/Synthetic/Either
CLASS 1							
Type A	0.25	0.10	1.0	2.5:1	No	Non or Single	Either
Type B	0.25	0.10	1.5	2.0:1	Yes	Double	Either
CLASS 1, URBAN							
Type A	0.38	0.20	1.0 ²	4:1	No	Any	Organic
Type B	0.38	0.10	1.0	2.5:1	No	Any	Organic
CLASS 2							
Type A	0.25	0.10	1.5	2:1	Yes	Single ³	Organic (Jute)
Type B	0.25	0.10	2.0	2:1	Yes	Any	Either
Type C	0.25	0.10	2.0	2:1	Yes	Any ⁴	Organic
CLASS 3							
Type A	0.25	0.10	2.0	2:1	Yes	Any	Either
Type B	0.4	0.20	2.0	2:1	Yes	TRM	Synthetic
Type C	0.7	0.20	3.5	2:1	Yes	TRM	Synthetic
Type D	0.7	0.20	5.0	1:1	Yes	TRM	Synthetic

1. Guideline; flexibility exists on this parameter depending on evaluation and test results
2. No minimum permissible shear for netted products
3. Sod reinforcement only
4. 1/2" max opening for woven

See FDM 10-5-35 and 10-10-15 for further information on applications:

<http://wisconsindot.gov/rdwy/fdm/fd-10-05.pdf>

<http://wisconsindot.gov/rdwy/fdm/fd-10-10.pdf>





Additional Criteria -

• **Class 1 –**

- Photo- or bio-degradable netting and stitching is allowed provided it can hold the parent material in place for at least 6 months, and is not used in installations after September 1 of a given year
- Netting shall comprise no more than 15% of the total mat weight
- Bonding of the netting and parent material shall be sufficient to prevent separation of the two components
- Type B mats may be used in lieu of Type A at the contractor's option, with no additional cost to the Department

• **Class 1 Urban –**

- Bonding of the netting and parent material shall be sufficient to prevent separation of the two components
- Mat and installation shall be able to sustain moderate foot traffic without damage or presenting a safety hazard to pedestrians
- Anchoring devices for Urban mats shall:
 - Be completely biodegradable per ASTM D6400 specification and D5338 testing
 - Contain no petroleum-based materials
 - Pose no soil or water contamination risk
 - Not be made of metal or solid wood
 - Maintain anchorage capacity for a minimum of 2 months and degrade substantially within 4 months with soil temperature above 53°F
 - Be barbed or shaped to enhance mechanical anchorage
- Type B mats may be used in lieu of Type A at the contractor's option, with no additional cost to the Department

• **Class 2 –**








- Netting shall comprise no more than 15% of the total mat weight
- Bonding of the netting and parent material shall be sufficient to prevent separation of the two components
- Type B mats may incorporate photo- or bio-degradable netting and stitching provided it can hold the parent material in place for at least 6 months, and are not used in installations after September 1 of a given year
- Type C mats for use in environmentally sensitive areas where animal entrapment is a concern
- Class 2 Types B & C shall have the following properties:
 - Maximum water absorption of 300% by weight per ASTM D1117
 - Maximum swell (wet thickness change) of 30% per ASTM D1777
 - Minimum lignin content equal to or greater than 33% per Klason method¹

¹ Technical Association of the Pulp and Paper Industry Test Method for Acid Insoluble Lignin in Wood Pulp, T222 om-98

60% Preliminary Plan
May 15, 2020











EROSION CONTROL MEASURES

TREATMENT PRACTICE	ADVANTAGES	DISADVANTAGES
ROADWAY DITCHES		
<p>Check Dams</p> 	<p>Maintain low velocities Catch sediment Can be constructed of logs, rock, lumber, masonry or concrete</p>	<p>Close spacing on steep grades Require clean-out Unless keyed at sides and bottom, erosion may occur</p>
<p>Sediment Trap/ Erosion Bale Combination</p> 	<p>Can be located as necessary to collect sediment during construction Clean-out often can be done with on-the-job equipment Simple to construct Top of lowest bale must be lower than bottom of end bale. See S.D.D.</p>	<p>Little direction on spacing and size Sediment disposal may be difficult Must be periodically cleaned. May require seeding or sodding when removed during final cleanup.</p>
<p>Sodding</p> 	<p>Easy to place with a minimum of preparation Can be repaired during construction Immediate protection May be used on sides of riprapped ditches to provide increased capacity.</p>	<p>Requires water during first few weeks Sod not always available Will not withstand high velocity or severe abrasion from sediment load May not be salt tolerant. May not work well on sandy soils.</p>
<p>Seeding with Mulch</p> 	<p>Usually least expensive Effective for ditches with very low velocity. Easily placed in small quantities with inexperienced personnel</p>	<p>Will not withstand higher velocities.</p>
<p>Seed with Erosion Mat</p> 	<p>Three classes of mat available. Higher classes are able to withstand greater velocities. Cost effective alternative to riprap or rigid liners. Easily placed.</p>	<p>Requires proper installation. Initial cost greater than seed and mulch.</p>
<p>Riprap, Grouted Riprap</p>	<p>Effective for high velocities May be part of the permanent erosion control effort</p>	<p>Cannot always be placed when needed because of construction traffic and final grading and dressing Initial cost is high</p>
ROADWAY SURFACE		
<p>Crowning to Ditch or Sloping to Single Temporary Berm</p> 	<p>Directing the surface water to a prepared or protected ditch minimizes erosion</p>	<p>None - should be part of good construction procedures</p>
<p>Compaction</p>	<p>The final lift of each day's work should be well compacted and bladed to drain to ditch or berm section. Loose or uncompacted material is more subject to erosion</p>	<p>None - should be part of good construction procedures</p>
<p>Crushed Aggregate Cover</p> 	<p>Minimizes surface erosion Permits construction traffic during adverse weather May be used as part of permanent base construction</p>	<p>Requires reworking and compaction if exposed for long periods of time Loss of surface aggregates can be anticipated</p>
<p>Seed/Mulch</p>	<p>Minimizes surface erosion</p>	<p>Must be removed or is lost when construction of pavement is commenced.</p>

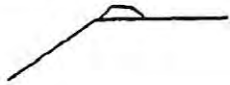

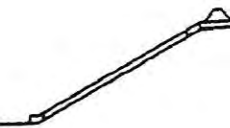


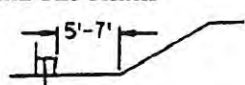


Rec 5/15/2020 J.T.

EROSION CONTROL MEASURES (Continued)

TREATMENT PRACTICE	ADVANTAGES	DISADVANTAGES
CUT SLOPES		
<p>Intercepting Embankment (Permanent Berm at top of cut)</p> 	<p>A permanent device Diverts water from cut Collects water for slope drains/ditches May be constructed before grading is started</p>	<p>Access to top of cut Difficult to build on steep natural slope or rock surface Concentrates water and may require channel protection or energy dissipation devices Can cause water to enter ground, resulting in sloughing of the cut slope</p>
<p>Diversion Dike</p> 	<p>May be either temporary or permanent Collects and diverts water at a location selected to reduce erosion potential May be incorporated in the permanent project drainage</p>	<p>Access for construction May be continuing maintenance problem if not paved or protected Disturbed material or berm is easily eroded</p>
<p>Slope Benches</p> 	<p>Slows velocity of surface runoff Collects sediment Provides access to slope for seeding, mulching and maintenance Collects water for slope drains or may divert water to natural ground</p>	<p>May cause sloughing of slopes if water infiltrates Requires additional ROW Not always possible due to rotten material etc. Requires maintenance to be effective Increases excavation quantities</p>
<p>Slope Drains or Flumes</p> 	<p>Prevents erosion on the slope Can be temporary or part of permanent construction Can be constructed or extended as grading progresses</p>	<p>Requires berms to collect water. Permanent construction is not always compatible with other project work Usually requires some type of energy dissipation</p>
<p>Seeding/Mulching or Erosion Mat</p> 	<p>The end objective is to have a completely grassed slope. Early placement is a step in this direction. The mulch provides temporary erosion protection until grass is rooted. Temporary or permanent seeding may be used. Mulch should be anchored. Larger slopes can be seeded and mulched with smaller equipment if stage techniques are used. For steep slopes erosion mat may be used in place of mulch.</p>	<p>Difficult to schedule high production units for small increments Time of year may prevent seeding. May require supplemental water Contractor may perform this operation with untrained or inexperienced personnel and inadequate equipment if stage seeding is required</p>
<p>Sodding</p> 	<p>Provides immediate protection Can be used to protect adjacent property from sediment and turbidity</p>	<p>Difficult to place until cut is complete Sod not always available May be expensive</p>
<p>Slope Pavement, Riprap</p> 	<p>Provides immediate protection for high risk areas and under structures May be cast in place or off site</p>	<p>Expensive Difficult to place on high slopes May be difficult to maintain</p>
<p>Temporary Cover</p>	<p>Plastic or geotextile fabrics are available in wide rolls and large sheets that may be used to provide temporary protection for cut or fill slopes Easy to place and remove Useful to protect high risk areas from temporary erosion</p>	<p>Provides only temporary protection Original surface usually requires additional treatment when plastic is removed Must be anchored to prevent wind damage</p>
<p>Temporary Seccrated Slope</p> 	<p>Lowers velocity of surface runoff Collects sediment Holds moisture Minimizes amount of sediment reaching roadside ditch</p>	<p>May cause minor sloughing if water infiltrates Construction compliance</p>

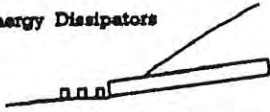

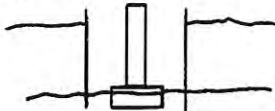


Rec 5/15/2020 J.T.

EROSION CONTROL MEASURES (Continued)

TREATMENT PRACTICE	ADVANTAGES	DISADVANTAGES
FILL SLOPES		
<p>Temporary Fill Diversion (Berms at Top of Embankment)</p> 	<p>Prevent runoff from embankment surface from flowing over face of fill Collect runoff for slope drains or protected ditch Can be placed as a part of the normal construction operation and incorporated into fill or shoulders</p>	<p>Cooperation of construction operators to place final lifts at edge for shaping into berm Failure to compact outside lift when work is resumed Sediment buildup and berm failure Can cause water to enter embankment resulting in sloughing of the slope.</p>
<p>Diversion Dike</p> 	<p>May be either temporary or permanent Collects and diverts water at a location selected to reduce erosion potential May be incorporated in the permanent project drainage</p>	<p>Access for construction May be continuing maintenance problem if not paved or protected Disturbed material or berm is easily eroded</p>
<p>Slope Drains or Flumes</p> 	<p>Prevent fill slope erosion caused by embankment surface runoff Can be constructed of full or half section pipe, asphalt, metal, concrete, plastic or sod Can be extended as construction progresses May be either temporary or permanent</p>	<p>Permanent construction as needed may not be considered desirable by contractor Removal of temporary drains may disturb growing vegetation Energy dissipation devices are required at the outlets Consider salt tolerant sod for flumes.</p>
<p>Fill Berms or Benches</p> 	<p>Slows velocity of slope runoff Collects sediment Provides access for maintenance Collects water for slope drains</p>	<p>Requires additional fill material if waste is not available May cause sloughing Additional ROW may be needed</p>
<p>Seeding/Mulching or Erosion Mat</p>	<p>Timely application of mulch and seeding decreases the period a slope is subject to severe erosion Mulch that is cut in or otherwise anchored will collect sediment. The furrows made will also hold water and sediment For steep slopes erosion mat may be used in place of mulch.</p>	<p>Time of year may prevent seeding. Watering may be necessary Steep slopes or locations with low velocities may require supplemental treatment</p>
PROTECTION OF ADJACENT PROPERTY		
<p>Brush Barriers</p> 	<p>Use slashing and logs from clearing operation Can be covered and seeded rather than removed Eliminates need for burning or disposal off ROW</p>	<p>May be considered unsightly in urban areas</p>
<p>Erosion Bale Barriers</p> 	<p>Bales are readily available in many areas When properly installed, they filter sediment and some turbidity from runoff</p>	<p>Require removal Subject to vandal damage Flow is slow through straw requiring considerable area</p>
<p>Sediment Traps</p> 	<p>Collects most of the sediment spill from fill slopes and storm drain ditches Inexpensive Can be cleaned and expanded to meet need</p>	<p>Does not eliminate all sediment and turbidity during construction Space is not always available Must be periodically cleaned</p>
<p>Retention/Retention Ponds</p> 	<p>Can be designed to handle large volumes of flow Both sediment and turbidity are removed May be incorporated into permanent erosion control plan</p>	<p>Requires prior planning, additional ROW and/or flow easement If removal is necessary, can present a major effort during final construction stage Clean-out volumes can be large Access for clean-out not always convenient</p>






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EROSION CONTROL MEASURES (Continued)

TREATMENT PRACTICE	ADVANTAGES	DISADVANTAGES
PROTECTION OF ADJACENT PROPERTY (continued)		
<p>Energy Dissipators</p> 	<p>Slows velocity to permit sediment collection and to minimize channel erosion</p> <p>Can be constructed of concrete, rock, wood or other suitable materials.</p>	<p>Collects debris and requires cleaning. Requires special design and construction.</p>
PROTECTION OF LAKES OR STREAMS		
<p>Construction Dike</p> 	<p>Usually constructed of earth.</p> <p>Permits work to continue during normal stream stages</p> <p>Controlled flooding can be accomplished during periods of inactivity</p>	<p>Usually requires pumping of work site water into sediment pond</p> <p>Subject to erosion from stream and from direct rainfall on dike</p>
<p>Sheet Piling Cofferdam</p> 	<p>Work can be continued during most anticipated stream conditions</p> <p>Clear water can be pumped directly back into stream</p> <p>No material deposited in stream</p> <p>Good for heavy flow conditions.</p>	<p>Expensive</p> <p>May cause sediment release into waterway when removed.</p>
<p>Temporary Stream Channel Change or Diversion Channel</p>	<p>Temporary channel to keep flows away from construction</p> <p>Good for heavier flows when cofferdams cannot be used</p>	<p>New channel usually will require protection</p> <p>Stream must be returned to old channel and temporary channel refilled</p>
<p>Riprap or Grouted Riprap</p>	<p>Easy to stockpile and place</p> <p>Can be installed in increments as needed</p> <p>Grouted riprap is a rigid liner and can withstand higher velocities.</p>	<p>Expensive</p>
<p>Temporary Culverts for Haul Roads</p> 	<p>Eliminates stream turbulence and turbidity</p> <p>Provides unobstructed passage for fish and other water life</p> <p>Capacity for normal flow can be provided with storm water flowing over the roadway</p>	<p>Space not always available without conflicting with permanent structure work</p> <p>May be expensive, especially for larger sizes of pipe</p> <p>Subject to washout</p>
<p>Rock-lined Low-Level Crossing</p> 	<p>Minimizes stream turbidity</p> <p>Inexpensive</p> <p>May also serve as ditch check or sediment trap</p>	<p>May not be fordable during rainstorms</p> <p>During periods of low flow, passage of fish may be blocked</p>
<p>Silt Screen</p>	<p>Minimizes sediment transport into water.</p> <p>See detail drawing.</p>	<p>Not to be used where current exceeds 1.65 ft./sec. (0.5 m/sec.)</p> <p>Do not place perpendicular to flow.</p>
<p>Turbidity Barrier</p>	<p>Eliminates sediment transport into water.</p> <p>See detail drawing.</p>	<p>Not to be used where current exceeds 4.95 ft./sec. (1.5 m/sec.)</p> <p>Do not place perpendicular to flow.</p>

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SUMMARY OF CONTROL MEASURE APPLICATIONS

CONTROL MEASURE	PURPOSE	CONDITION NEEDING CONTROL					
		CUT SLOPES	FILL SLOPES	DENUDED GENTLY SLOPING OR FLAT AREA	ERODING STREAMBANK	ERODING SWALE	PROTECTION OF ADJACENT PROPERTY
Temporary and permanent planting of exposed soils 	To stabilize soils by absorbing the impact of raindrops, reducing velocity of runoff, and allowing precipitation to enter the soil.	●	●	●			●
Temporary and permanent grass protection of waterways, swales and ditches 	To protect drainageways by lowering water velocity over the soil surface and by binding soil particles with roots.				●	●	●
Intercepting embankment 	To intercept storm runoff from small upland areas and divert it to an outlet.	●					●
Temporary fill diversion 	To intercept storm runoff and divert it to a stable outlet or sediment-trapping device, or to prevent runoff from entering a disturbed area and to direct sediment-laden runoff leaving the disturbed area.	○	●	●			●
Temporary grade stabilization structure 	To convey concentrated, high-velocity runoff down slopes without causing erosion.	●	●				

KEY: ● Preferred control measure ○ Alternative but less effective control measure.








SUMMARY OF CONTROL MEASURE APPLICATIONS (con't)

CONTROL MEASURE	PURPOSE	CONDITION NEEDING CONTROL					
		CUT SLOPES	FILL SLOPES	DENUDED GENTLY SLOPING OR FLAT AREA	ERODING STREAMBANK	ERODING SWALE	PROTECTION OF ADJACENT PROPERTY
Check dam 	To reduce the velocity of concentrated stormwater flows in swales or ditches draining small areas.				●	●	●
Diversion dike (1) 	To prevent runoff from entering a disturbed area and sediment-laden runoff from leaving the disturbed area. Diversion dike can be placed at either position 1 or 2.		●				●
Riprap or grouted riprap 	To protect a soil surface, drainageway or outlet from the erosive forces of water.	○			●	●	●
Culvert pipe 	To convert pipe flow to channel flow and reduce water velocity.				●	●	○
Permanent subsurface drain 	To remove runoff from and prevent water movement into a wet area, to regulate the water table and groundwater flow to improve plant growth and to dewater a sediment basin.	○	○	○			○

KEY: ● Preferred control measure ○ Alternative but less effective control measure.




SUMMARY OF CONTROL MEASURE APPLICATIONS (con't)

CONTROL MEASURE	PURPOSE	CONDITION NEEDING CONTROL					
		CUT SLOPES	FILL SLOPES	DENUDED GENTLY SLOPING OR FLAT AREA	ERODING STREAMBANK	ERODING SWALE	PROTECTION OF ADJACENT PROPERTY
Retention/Detention ponds 	To collect and hold runoff to allow suspended sediment to settle out.	●	●	●			●
Sediment trap 	To intercept small quantities of sediment-laden runoff and trap the sediment.	○	○	●			●
Temporary stabilized construction entrance 	To reduce the tracking or flowing of sediment onto public rights-of-way.						●
Erosion bale dike 	To intercept and detain small amounts of sediment from small unprotected areas.			○			○
Silt fence 	To intercept and detain the sediment in runoff from small erodible areas while decreasing the velocity of the runoff.			○			○

KEY: ● Preferred control measure ○ Alternative but less effective control measure.

RECEIVED
 MAY 15 2020
 Burnett County
 Land Services Department

SUMMARY OF CONTROL MEASURE APPLICATIONS (con't)

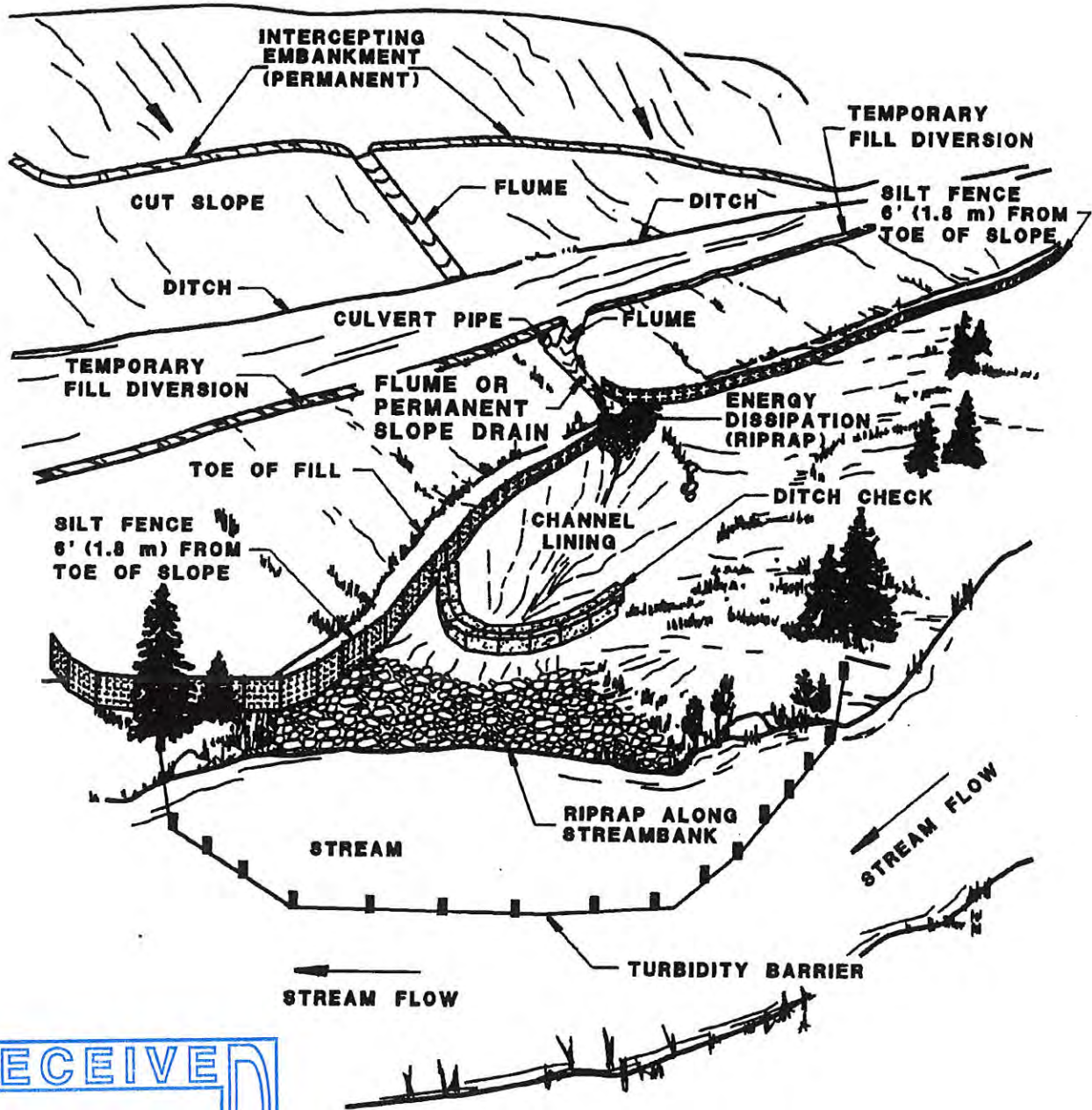
CONTROL MEASURE	PURPOSE	CONDITION NEEDING CONTROL					
		CUT SLOPES	FILL SLOPES	DENUDED GENTLY SLOPING OR FLAT AREA	ERODING STREAMBANK	ERODING SWALE	PROTECTION OF ADJACENT PROPERTY
General land grading practices for minimizing erosion 	To provide for erosion control and plant establishment on areas where topography is to be re-shaped by grading	●	●	●			●

KEY: ● Preferred control measure

○ Alternative but less effective control measure.



EXAMPLE OF SELECTED CONTROL MEASURES USED IN COMBINATION



EROSION MAT

**CLASS I
SHORT TERM
ORGANIC**

**CLASS II
MODERATE TERM
ORGANIC**

**CLASS III
PERMANENT
SYNTHETIC**

60% PRO...
MAY 15, 2020

TYPE A
SHEAR 1.0
SLOPES UP TO 2 1/2:1

TYPE A
JUTE
FOR SOD REINFORCEMENT

TYPE A
SHEAR 2.0
ECRM MAT
SLOPES UP TO 2:1
CHANNEL LINER

TYPE B
SHEAR 1.5
SLOPES UP TO 2:1
LIGHT DUTY
CHANNEL LINER

TYPE B
SHEAR 2.0
SLOPES UP TO 2:1
MEDIUM DUTY CHANNEL
LINER
SYNTHETIC NETTING
ALLOWED

TYPE B
SHEAR 2.0
TRM MAT
SLOPES UP TO 2:1
CHANNEL LINER

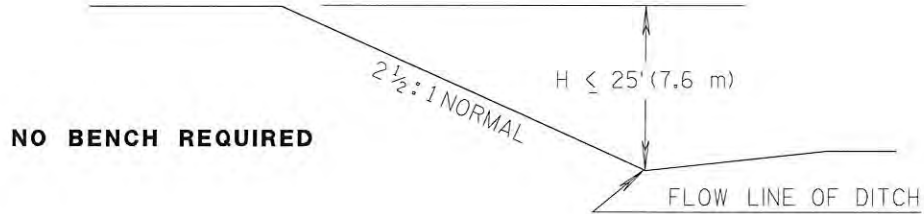
TYPE C
SHEAR 2.0
SLOPES UP TO 2:1
MEDIUM DUTY CHANNEL
LINER
100% ORGANIC FIBER
REQUIRED

TYPE C
SHEAR 3.5
TRM MAT
SLOPES UP TO 2:1
HEAVY DUTY
CHANNEL LINER

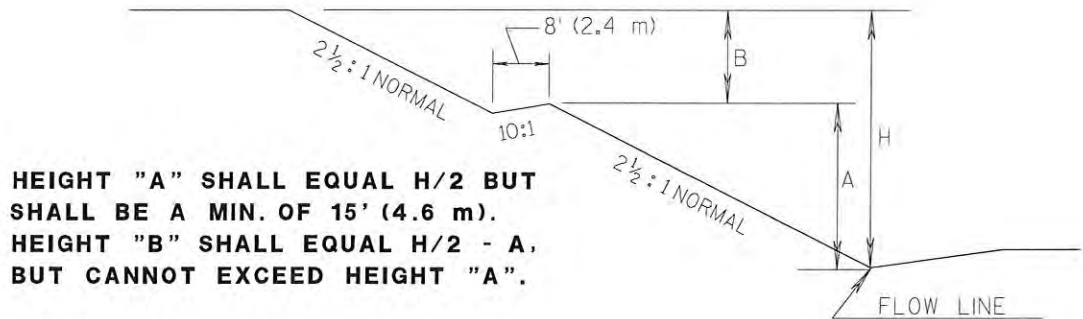
TYPE D
SHEAR 5.0
TRM MAT
SLOPES UP TO 1:1
HEAVY DUTY
CHANNEL LINER



CONDITION 1: SLOPES LESS THAN 25' (7.6 m) IN HEIGHT
 $H \leq 25' (7.6 \text{ m})$



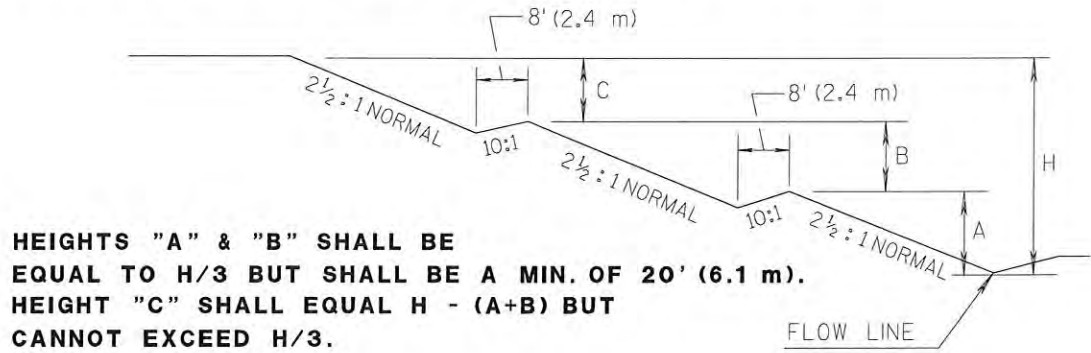
CONDITION 2: SLOPES WITH $25' (7.6 \text{ m}) < H$ AND $\leq 50' (15.2 \text{ m})$



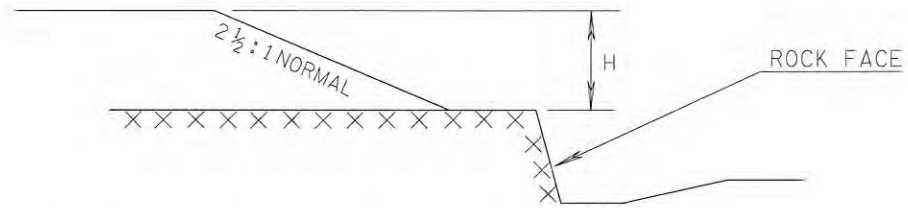
BENCHED SLOPE EXAMPLES
(SLOPES IN UNCONSOLIDATED MATERIAL)



CONDITION 3: SLOPE WITH H > 50' (15.2 m)



CONDITION 4: SLOPES ABOVE ROCK CUTS



CONDITIONS 1, 2 & 3 SHALL APPLY BUT HEIGHT "H" SHALL BE TAKEN AS THE HEIGHT ABOVE THE EXPOSED ROCK FACE.

**BENCHED SLOPE EXAMPLES
 (SLOPES IN UNCONSOLIDATED MATERIAL)**



Mulches can increase the infiltration rate of the soil, reduce soil moisture loss by evaporation, prevent crusting and sealing of the soil surface, modify soil temperatures, and provide a suitable microclimate for seed germination. Organic mulch materials have been found to be the most effective.

The choice of materials for mulching depends on site conditions, season and economics. It is especially important to mulch liberally in mid-summer and prior to winter, and on steep slopes and southern slope exposures.

If wood chips, wood fibers or similar materials are used for mulching, treat areas with one pound of available nitrogen per 1000sf either before or after applying the mulch, because decomposing wood fiber uses and thereby decreases available nitrogen in the soil.

Certified weed seed free mulch is available but should be reserved for mulching next to native areas due to cost. The certification is through the Wisconsin Crop Improvement Association. When used this should be a separate bid item.

The use of mulch behind curb and gutter areas is not recommended when adjacent to live traffic lanes due to turbulence from the traffic that displaces the mulch. Consider the use of erosion mat or sod as an alternative.

There are three approved methods of anchoring mulch: netting, tacking, and crimping. These are at the option of the contractor unless otherwise specified. Details can be found in Chapter 627 of the Standard Specifications for Highway and Structure Construction.

Tackifiers are used to bind organic mulches together to prevent displacement. They are generally spray applied and act like glue over the mulch, holding it in place. In areas where lawn type turf will be established, the use of tackifiers is the preferred anchoring method and should be specified. Crimping will tend to leave an uneven surface and plastic netting can become entangled in mowing equipment.

Crimping the mulch into the soil is the most common method chosen by contractors. It is done with a pull behind crimper that looks like a disc with teeth and crimps the mulch to a depth of at least 1 ½ inches.

Placing netting, like erosion mat netting, over the mulch is the least common method chosen.

FDM 10-10-15 Erosion Mat

April 27, 2011

15.1 Definition

Erosion mat is a general term for any rolled protective soil covering mat or soil retention blanket that is installed on a prepared planting area of a slope, channel or shoreline. Erosion mats are made from straw, wood, coconut, or synthetic fibers, and are held together by plastic or biodegradable netting on one or both sides, and/or stitched together. They have varying life spans depending upon the type of fiber used.

An "Erosion Control Revegetative Mat" (ECRM), is a blanket-like covering laid on top of a prepared seed bed to protect the soil and seed from the erosive forces of nature.

A "Turf Reinforcement Mat" (TRM), helps to permanently stabilize the soil by acting as reinforcement for the roots of the vegetation. This open-weaved, synthetic mat is installed on top of soil and then filled with topsoil and seeded. As the vegetation grows, the roots intertwine into the mat, "reinforcing the turf." In vegetated channels, this reinforcement helps to raise the channel's maximum permissible shear stress.

In addition to this procedure, designers should refer to [FDM 10-5-35](#) and [Chapter 13](#) for further guidance on placement and design considerations.

15.2 Application

Many of the permanent erosion mats are cost effective when compared with structural channel lining. For slope protection applications, erosion mats are excellent in preventing the loss of topsoil, thereby reducing surface erosion and promoting a rapid establishment of permanent grass cover on cut or fill slopes.

Conditions warranting the application of erosion mat are:

1. On vegetated channels where additional reinforcement is necessary. See [FDM 10-5 Attachment 35.1](#).
2. On steep slopes or roadway embankments where the erosion potential is high, and planting is likely to be too slow in providing adequate protective cover. Erosion mat should be considered to help stabilize and revegetate sensitive slopes steeper than 3:1. See [FDM 10-5 Attachment 35.2](#).
3. On stream banks or channels where moving water is likely to wash out new plantings. Refer to Chapter 13 and consult with the Hydraulic, Stormwater or Soils Engineer when designing for these conditions.

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4. In areas where the forces of wind or traffic turbulence prevent standard mulching practices from remaining in place until vegetation becomes established.
5. Whenever typical revegetation measures do not provide the desired degree of erosion control or revegetation emphasis.
6. As an alternative to slope paving or structural channel linings. Note: With the exception of bridge applications, slope paving and paved channels are not recommended since they promote rapid runoff, are prone to undermining and are susceptible to frost heave.

See [FDM 10-15 Attachment 5.10](#) and [FDM 10-15 Attachment 5.11](#) for illustrations of the proper application of erosion mat.

15.3 Design Guidance

Erosion mats should be selected so that they last long enough for the grass or other vegetation to become densely established.

Use Urban grade erosion mats in locations where shortly mowed turf or lawn grasses are to be established. These mats do not have plastic netting that can wrap around the blades of lawn mowers, or snag in the shoes and trip pedestrians.

Consider using Class I Urban Type A, Class I Urban Type B, or Class II Type C mats in or next to sensitive areas where the plastic netting on other categories of mat may trap small animals, snakes, or frogs. Select the type based on calculated shear values. Since Class II Type C mats tend to be expensive, they should only be specified for environmentally sensitive areas where Class I Urban mats do not have sufficient shear values for the site.

Class III mats may be appropriate as a replacement for riprap as a channel liner especially in areas where infiltration is desired or there are clear zone concerns. Check the shear stress criteria for the channel to determine mat applicability.

It may be difficult to establish permanent vegetation and adequate erosion protection in a channel with continuous flow. Consider using riprap, articulated concrete blocks (ACB's), or wetland species with a coconut or synthetic ECRM.

Because of the variety of erosion mats available on the market, installation varies depending on the mat used. As per the Product Acceptability List, prior to actual installation of the mats, contractors will be required to provide the construction project engineer with one full set of the manufacturer's literature and installation instructions for each erosion mat product selected. This information will be used to verify conformance with the Department's approved materials list and for use by the construction erosion control inspector.

For channels not conforming to the typical section showed in [FDM 10-5 Attachment 35.1](#) or those having a depth of flow greater than 6 inches the designer must compare the CALCULATED MAXIMUM SHEAR STRESS of their channel to the PERMISSIBLE SHEAR STRESS of the erosion mat. See [FDM 10-5-40](#) for the Procedure and an example of its application.

If the calculated maximum shear stress exceeds the permissible shear stress of the mat being considered, the design should be adjusted. This may involve one or more of the following:

1. Specify a higher class or type of erosion mat.
2. Modify the channel's cross section, e.g., widen the ditch bottom to decrease the depth of flow.
3. Choose another device such as riprap or articulated concrete block.

Once vegetation is established, the permissible shear stress of the channel increases. Engineering judgment should be used based on the sensitivity of the area prior to vegetation establishment as well as long term performance requirements.

When erosion mat is the desired alternative for flexible channel lining and the calculated maximum shear stress is greater than 5.0 lbs/ft², the designer should contact the regional erosion control specialist, stormwater or drainage engineer to assist in the design. [FDM 19-1-5](#) should be used to specify the product in a special provision. With high stress values, there is no substitute for a thorough understanding of the manufacturer's instructions and recommendations. In addition, a site visit by the designer, soils engineer, and manufacturer is recommended to verify the product's appropriateness.

Caution: Even though the calculated shear stress may be less than the permissible shear stress, designers should still use their engineering judgment to decide whether the mat is appropriate given their project-specific conditions. For example, if the calculated shear stress value falls just under the permissible shear stress for the

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mat, it may be appropriate to use a higher-class mat or a different type of channel liner, if the project is adjacent to a critical environmental or customer sensitive area such as a wetland or residential property.

Erosion mats that are made out of organic materials will degrade after a period of time, leaving a naturally vegetated channel. Organic erosion mats are used in channels that are expected to withstand a shear stress not exceeding 2.0 lbs/ft².

Erosion mats made of synthetic materials generally do not degrade and often remain as a permanent element within the drainage channel. Synthetic materials are generally used in channels that are expected to withstand shear stresses greater than 2.0 lbs/ft² or on unstable or highly erodible slopes of 1:1 or flatter.

Costs should be analyzed to compare the erosion mat selected to other erosion and sediment control devices that would perform similarly. This analysis should be weighed against the risks associated should another device be chosen.

15.4 Erosion Mat Classes and Types

There are eleven erosion mat types listed below which fall under three different classes. These erosion mat classes are also outlined in [Attachment 15.1](#). When erosion mat is the preferred alternative, care must be taken to choose the type of mat which is most appropriate for the specific needs of the project. For additional guidance in determining the location of these devices, designers should refer to [FDM 10-5-35](#).

15.4.1 Class I

Class I erosion mats are light-duty, organic ECRM mats. Non-organic, photodegradable or biodegradable netting is allowed for the non-urban mats. They are short term in duration (6-month minimum duration). There are four types of Class I erosion mats.

Type A (Minimum Permissible Shear Stress: 1.0 lbs/ft²: For use on slopes 2½:1 and flatter with a C factor from the Revised Universal Soil Loss Equation of 0.20 or less. Not to be used in channels.

Type B (Minimum Permissible Shear Stress: 1.5 lbs/ft²: This is a double netted product for use on slopes 2:1 or flatter with a C factor from the Revised Universal Soil Loss Equation of 0.20 or less, or in channels where the calculated shear stress is 1.5 lbs/ft² or less.

15.4.1.1 Class I Urban

In addition to the requirements under Class I, the urban mats must be 100% organic and biodegradable, this shall include parent material, stitching, and netting. Urban mats are to be used where mowing may need to be accomplished within two weeks with little or no snagging of the netting or mat. *Recommended for use in environmentally sensitive areas that have a high probability of entrapping animals in plastic netting such as near streams or wetlands.* Not to be used in channels.

Urban, Type A (No Minimum Permissible Shear Stress Required for netted products, Minimum Permissible Shear Stress: 1.0 lbs/ft² for non-netted products); For use on slopes 4:1 and flatter with a C factor from the Revised Universal Soil Loss Equation of 0.20 or less.

Urban, Type B (Minimum Permissible Shear Stress: 1.0 lbs/ft²): For use on slopes 2.5:1 and flatter with a C factor from the Revised Universal Soil Loss Equation of 0.20 or less.

15.4.2 Class II

Class II erosion mats are long lasting (3 years minimum), organic ECRMs. Class II Type B and C mats are intended for use on slopes 2:1 or flatter or in channels where the calculated shear stress does not exceed the permissible shear stress. Slopes steeper than 2:1 may have to consider other alternatives such as using the mat in combination with other erosion control devices or measures, modifying the slope, etc.

Type A: 100% jute fiber mats used for reinforcing sod. This item shall conform to Section 628.2.2 of the Standard Specifications, no products are identified in the Product Acceptability List.

Type B (Minimum Permissible Shear Stress: 2.0 lbs/ft²): These are intended for use on slopes 2:1 or flatter or where vegetation may be slower to establish such as shady locations.

Type C (Minimum Permissible Shear Stress: 2.0 lbs/ft²): Type C erosion mats are high-strength, 100% organic fiber mats which include the coconut fiber mats. Woven mats are allowed with a maximum opening of ½ inch. *Recommended for use in environmentally sensitive areas that have a high probability of entrapping animals in plastic netting such as near streams or wetlands.*

15.4.3 Class III

Class III erosion mats are synthetic mats that are primarily used to stabilize steep channels or slopes

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permanently. Compared to Classes I and II, they have the greatest strength and survivability. They do, in many instances, offer a cost-effective alternative to structural devices such as riprap or grouted riprap. Class III mats area required to provide a C factor from the Revised Universal Soil Loss Equation of 0.20 or less.

Type A (Minimum Permissible Shear Stress: 2.0 lbs/ft²): This is an ECRM mat for use on slopes 2:1 or flatter or in channels where the calculated shear stress does not exceed the permissible shear stress. Class III, Type A mats tend to be quite dense. In addition, because they are a synthetic mat, they do not decompose. Decomposition helps to promote good grass germination by creating additional void space as the grass begins to grow. Therefore, designers should use caution when selecting these mats since they may be slow in producing vegetation.

Type B (Minimum Permissible Shear Stress: 2.0 lbs/ft²): This is a TRM for use on slopes 2:1 or flatter or in channels where the calculated shear stress does not exceed the permissible shear stress.

Type C (Minimum Permissible Shear Stress: 3.5 lbs/ft²): This is a TRM for use on slopes 2:1 or flatter or in channels where the calculated shear stress is less than the permissible shear stress.

Type D (Minimum Permissible Shear Stress: 5.0 lbs/ft²): This is a TRM for use on slopes 1:1 and flatter or in channels where the calculated shear stress is less than the permissible shear stress.

Class III, Types B, C and D mats are open weaved TRMs installed prior to seeding. The voids are then filled with soil. Though their open weave allows grass to germinate, this openness can create a tendency for some initial soil loss which interferes with the establishment of vegetation. To prevent this, the specification requires either the application of an approved soil stabilizer type A or ECRM over the TRM on slopes, or an ECRM over the TRM in channels, after installation is complete. Installed in this manner, these mats provide superior erosion protection and offer long-term turf reinforcement

Compared to Class I and II mats, conditions that may benefit from the use of Class III mats include:

1. Unstable soils.
2. Highly erodible soils.
3. Areas where vegetation may be difficult to establish such as in shady areas.
4. In some constant flow conditions. Depending on the velocity of flow and/or wave action, alternative measures such as heavy riprap, interlocking cells, gabions or structural devices may be necessary.

Designers should refer to [Chapter 13](#) and consult with the Stormwater, Hydraulic and/or Soils Engineers to help determine appropriate stabilization measures.

15.5 General Performance Measures

The following general performance measures are included for information purposes only.

15.5.1 Maximum Acceptable Sediment Loss Standards

All approved erosion mats are tested to meet the minimum product C factor in the Revised Universal Soil Loss Equation as specified for each category of mat in WisDOT's Product Acceptability List (PAL).

15.5.2 Minimum Acceptable Vegetation Density Standards

All approved erosion mats in the PAL are required to allow vegetation to achieve the following minimum vegetation density standards.

- Clay Soils: 80%
- Sandy Soils: 70%

Density is compared to undisturbed areas within one year from the date of installation.

15.5.3 Netting

All plastic-netted products listed in the PAL are to be bonded sufficiently to prevent separation of the net from the parent material for the life of the product. This is particularly important as the vegetation starts to grow. If not sufficiently bonded, the net tends to "float" or "tent" which causes damage to maintenance equipment when slopes are mowed and increases the risk of small animals being caught.

LIST OF ATTACHMENTS

[Attachment 15.1](#) Erosion Mat

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Wisconsin Department of Transportation

TACKIFIER - Incidental to Bid Item 627.0200/05

Date last edited: 4/30/2016

MANUFACTURER	PRODUCT	WDNR USE RESTRICTION (Maximum App. Rate)
Central Fiber Corp.	Hydroboost Tacpac GT	*
Profile Products	Con-Tack A/T	*
Eastern Products Inc.	Eco Tak-OP	*
Eastern Products Inc.	Eco Tak-SAT	*
HydroStraw	Fiber RX	*
Innovative Turf Solutions	Hydra Tac	*
Mat Inc.	Mat-ST-SS	*

* - Product approved prior to WDNR toxicity review requirement - apply per manufacturer's instructions

60% Preliminary Plan
May 15, 2020





Wisconsin Department of Transportation

EROSION MAT CLASS I TYPE A - Bid Item 628.2002

Date last edited: 4/30/2019

MANUFACTURER	PRODUCT	MIN. ANCHOR FREQUENCY (#/SY)
American Excelsior	*Curlex I WH	**
American Excelsior	Curlex I	**
American Excelsior	Curlex I CL	1.1
American Excelsior	Premier Straw SN	**
East Coast Erosion Blankets	ECS-1	1.7
East Coast Erosion Blankets	*ECS-1D	1.7
East Coast Erosion Blankets	ECX-1	**
Enviroscape	S1000	1.5
Enviroscape	*S1000D	1.5
Erosion Control Blanket	S31	1.7
Erosion Control Blanket	*S31UVD	1.7
Erosion Control Systems	SS	**
Ero-Guard	EG-1s	1.7
Ero-Guard	*EG-1s RD	1.7
Erosion Tech	ETRS-1	1.7
Erosion Tech	*ETRS-1 BN	1.7
Kansas Erosion Products	S1	1.2
North American Green	S75	1.7
North American Green	*DS75	1.7
North American Green	*DS150	1.7
North American Green	SC150	1.7
Propex	Landlok S1	**
Propex	*Landlok S1RD	**
SoilTex	SNS	**
Western Excelsior	Excel SR-1	1.7
Western Excelsior	Excel SR-1 Rapid Go	1.7
Winters Excelsior	*WintersStraw SNW	**
Hanes Geo Components	*TerraGuard SS	**
Winters Excelsior	Winters Straw SNG	**

60% Preliminary Plan
May 15 2020

*Products with rapid-degradable netting - not to be installed after September 1st
**D6459 test anchor frequency unavailable - Use 1.7 anchors/SY





Wisconsin Department of Transportation

EROSION MAT CLASS I TYPE B - Bid Item 628.2004

Date last edited: 4/30/2019

MANUFACTURER	PRODUCT	MIN. ANCHOR FREQUENCY (#/SY)
American Excelsior	Curlex High Velocity	**
American Excelsior	Premier Straw DN	**
American Excelsior	Curlex II	3.8
American Excelsior	Curlex II CL	3.8
American Excelsior	Curlex LT	**
American Excelsior	Premier Straw/Coconut	**
East Coast Erosion Blankets	ECS-2	**
East Coast Erosion Blankets	*ECS-2D	**
Enviroscape	S2000	3.0
Enviroscape	*S2000D	3.0
Ero-Guard	EG-2S	3.8
Erosion Control Blanket	S32	**
Erosion Control Blanket	*S32UVD	**
Erosion Tech	ETX2 HV	3.8
Erosion Tech	ETRS-2	3.8
Erosion Tech	*ETRS-2 BN	3.8
Erosion Control Systems	ProGuard DS	**
Kansas Erosion Products	S2	3.8
North American Green	S150	3.4
North American Green	DS150	3.4
North American Green	SC 150	3.4
Propex	Landlok CS2	**
Propex	Landlok S2	**
SoilTex	DNS	**
US Erosion Control	US-2S	**
Western Excelsior	Excel SS-2	3.8
Western Excelsior	*Excel SS-2 Rapid Go	3.8
Winters Excelsior	*Winters Straw HVW	**
Hanes Geo Components	*TerraGuard DS	**
Winters Excelsior	Winters Straw HVG	**
Winters Excelsior	Winters Choice HV	**

60% Preliminary Plan
May 15, 2020



*Products with rapid-degradable netting - not to be installed after September 1st

**D6460 test frequency unavailable - Use 3.4 anchors/SY



Wisconsin Department of Transportation

EROSION MAT URBAN CLASS I TYPE A - Bid Item 628.2006

Date last edited: 11/13/2018

MANUFACTURER	PRODUCT	MIN. ANCHOR FREQUENCY (#/SY)
American Excelsior	Curlex I Fibrenet	**
American Excelsior	Curlex II Fibrenet	**
American Excelsior	Premier Straw Fibrenet Single Net	**
East Coast Erosion Blankets	ECC-2B	1.75
East Coast Erosion Blankets	ECS-2B	1.7
Enviroscape	S1000BD	1.7
Ero-Guard	EG-1S NN	2.5
Erosion Control Blanket	S 31 BD	1.7
North American Green	S 75 BN	1.7
North American Green	S 150 BN	1.7
North American Green	SC 150 BN	1.7
North American Green	C 125 BN	**
Western Excelsior	Excel SR-1 All Natural	1.8
Winters Excelsior	WintersStraw Bio	**

60% Preliminary Plan
May 15, 2020

**D6459 test frequency unavailable - Use 1.7 anchors/SY





Wisconsin Department of Transportation

EROSION MAT URBAN CLASS I TYPE B - Bid Item 628.2008

Date last edited: 4/30/2019

MANUFACTURER	PRODUCT	MIN. ANCHOR FREQUENCY (#/SY)
American Excelsior	Curlex NetFree	**
American Excelsior	Premier Straw Fibrenet Double Net	1.7
Ero-Guard	EG-2S NN	2.5
Erosion Control Blanket	S32BD	1.7
Erosion Tech	ETRS2BN	1.7
Kansas Erosion Products	S2 Natural	1.2
North American Green	S75BN	1.7
Western Excelsior	EXCEL SS-2 All Natural	**

**D6459 test frequency unavailable - Use 1.7 anchors/SY

60% Preliminary Plan
May 15, 2020





Wisconsin Department of Transportation

ANCHORING DEVICES FOR CLASS I, URBAN EROSION MAT - Incidental To Bid Items 628.2006,8

Date last edited: 4/30/2019

MANUFACTURER	PRODUCT
American Excelsior	E-Staple
CFM Corp.	CF Bio Staple
Eco-Turf	Bio-Plus
Green Stake	Green Stake
North American Green	Bio-Stake
ODC Inc.	Enviro-Stake

60% Preliminary Plan
May 15, 2020





Wisconsin Department of Transportation

EROSION MAT CLASS II TYPE A - Bid Item 628.2021

Date last edited: 7/6/2015

100% Jute Mats only no specific products identified or approved.

See 628.2.2 of the Wisconsin Department of Transportation Standard Specifications for specific requirements, used for sod Reinforcement.

**60% Preliminary Plan
May 15, 2020**





Wisconsin Department of Transportation

EROSION MAT CLASS II TYPE B - Bid Item 628.2023

Date last edited: 4/30/2019

MANUFACTURER	PRODUCT	MIN. ANCHOR FREQUENCY (#/SY)
American Excelsior	AEC Premier Coconut	**
Erosion Control Blanket	C 32	3.8
Enviroscape	C4000	3.8
Kansas Erosion Products	C100	3.8
North American Green	C 125	**
North American Green	C 125 BN	**
North American Green	C 350	3.8
Propex	LandLock C2	**
SoilTex	DNC	**
Western Excelsior	Excel CC-4	**
Winters Excelsior	WintersCoir HV	**

60% Preliminary Plan
May 15, 2020

**D6460 test frequency unavailable - Use 4.0 anchors/SY





Wisconsin Department of Transportation

EROSION MAT CLASS II TYPE C - Bid Item 628.2027

Date last edited: 4/30/2019

MANUFACTURER	PRODUCT	MIN. ANCHOR FREQUENCY (#/SY)
Belton Industries	GeoCoir 700	**
Kansas Erosion Products	C100 Natural	3.8
RoLanka	BioD-Mat 70	**
Hanes Geocomponents	Coirmat 780	3.8

**D6460 test frequency unavailable - Use 4.0 anchors/SY

60% Preliminary Plan
May 15, 2020





Wisconsin Department of Transportation

EROSION MAT CLASS III TYPE A - Bid Item 628.2031

Date last edited: 8/11/2017

MANUFACTURER	PRODUCT	MIN. ANCHOR FREQUENCY (#/SY)
American Excelsior	Pek Mat	**
American Excelsior	Recyclex	3.8
American Excelsior	Recyclex TRM V	3.8
Erosion Tech	ETPP-10	3.8
Erosion Control Blanket	P-42	3.8
North American Green	P550	2.25
North American Green	P300	3.8
North American Green	SC250	3.8
North American Green	C350	3.8
Propex	Landlok 450	**
Propex	Landlok 1060	**

60% Preliminary Plan
May 15 2020

**D6460 test frequency unavailable - Use 4.0 anchors/SY





Wisconsin Department of Transportation

EROSION MAT CLASS III TYPE B - Bid Item 628.2033

Date last edited: 5/16/2017

MANUFACTURER	PRODUCT
Bonar Civil Products	Enkamat 7010
Bonar Civil Products	Enkamat 7018
Maccaferri	MacMat N10

60% Preliminary Plan
May 15, 2020





Wisconsin Department of Transportation

EROSION MAT CLASS III TYPE C - Bid Item 628.2037

Date last edited: 7/28/2017

MANUFACTURER	PRODUCT
Bonar Civil Products	Enkamat 7020
Maccaferri	MacMat N20
Propex	Pyramat 25

60% Preliminary Plan
May 15, 2020





Wisconsin Department of Transportation

EROSION MAT CLASS III TYPE D - Bid Item 628.2039

Date last edited: 7/28/2017

MANUFACTURER	PRODUCT
Bonar Civil Products	Enkamat R45
Propex	Pyramat 75

60% Preliminary Plan
May 15, 2020





Wisconsin Department of Transportation

SOIL STABILIZER TYPE A - Bid Item 628.6505

Date last edited: 4/16/2018

MANUFACTURER	PRODUCT	MINIMUM APP. RATE (#/ac)	WDNR USE RESTRICTION (Maximum App. Rate, #/ac)
American Excelsior	Bindex	3200	3413
Mat, Inc.	Soil Guard	3500	*
North American Green	Hydra CX-2	3500	4000
North American Green	Hydra CM	3500	4000
Profile Products	Flexterra HP	3500	3500
Profile Products	ProMatrix	3500	3500
Terra Novo	Earth Guard Fiber Matrix	3000	3000
US Gypsum Company	Airtrol Plaster (to be used only in combination with a wood mulch)	4500# in addition to 1650# of a standard processed wood fiber mulch	*

60% Preliminary Plan
May 15 2020

*Product approved prior to WDNR toxicity review requirement - apply per manufacturer's instructions





Wisconsin Department of Transportation

SOIL STABILIZER TYPE B - Bid Item 628.6510

Date last edited: 4/16/2018

MANUFACTURER	PRODUCT	MINIMUM APP. RATE (#/ac)	WDNR USE RESTRICTION (Maximum App. Rate, #/ac)
Agrecol	B100	20	*
Construction Fabrics and Materials	CF 2000	20	89
ENCAP	PAM-12 Plus **	2000	6000
Polymer Plus, LLC	PolyPlus	20	*
Soilnet	TRIPAM	54	88
Soilnet	35	54	75
Soilnet	50	54	97

*Product approved prior to WDNR toxicity review requirement - apply per manufacturer's instructions

**Product is furnished with a paper tracer - this is not a mulch

60% Preliminary Plan
May 15, 2020





Wisconsin Department of Transportation

INLET PROTECTION

Date last edited: 5/25/2018

TYPE A - Bid Item 628.7005

MANUFACTURER	PRODUCT
Alpine Stormwater Management Co.	Verti – Pro
Suntree Isles Inc.	Grate Inlet Protector, PCD-1000

TYPE B - Bid item 628.7010

Dandy Products Inc.	Dandy Bag
---------------------	-----------

TYPE C - Bid Item 628.7015

Alpine Stormwater Management Co.	Slammer
Dandy Products Inc.	Dandy Curb Bag

Type D - Bid Item 628.7020

ACF Environmental	Siltsac
Marathon Materials Inc. (Mar Mac)	Catch-All (WisDOT Model)
WIMCO	Road Drain Curb and Gutter High Flow
Lange Industries	Inlet Protection
Inlet & Pipe Protection, Inc. (IPP)	FLEXSTORM (WisDOT Model)

GEOTEXTILE FABRIC TYPE FF - Incidental to above items

Kintex	WevTex 403
Linq	GTF 403
Hanes Geocomponents	TerraTex EP12
Winfab	2105FF

60% Preliminary Plan
May 15, 2020





Wisconsin Department of Transportation

TEMPORARY DITCH CHECKS - Bid Item 628.7504

Date last edited: 7/6/2015

PRODUCT	MANUFACTURER
American Excelsior	Curlex 12 inch Sediment Log
American Excelsior	Curlex 20 inch Sediment Log
American Excelsior	AEC Premier 12 inch Wattle
American Excelsior	AEC Premier 20 inch Wattle
American Excelsior	Curlex Bloc
American Excelsior	Curlex Bloc HD
Ero-Guard	EG Straw Log12
Erosion Control Blanket.com	Stemlog 12
Erosion Tech	Nature Log Excelsior WTL10 (12")
Erosion Tech	Nature Log Excelsior WTL13 (20")
Erosion Tech	Nature Log WTL8 (12" straw)
Erosion Tech	Nature Log WTL9 (20" straw)
Filtrexx	Ditch Chexx
Ro Lanka	Bio-D Silt Check
Tensor North American Green	Sedimax - SW12
Triangular Silt Dike	Triangular Silt Dike
Western Excelsior	EXCEL Straw Log 12"
Western Excelsior	EXCEL Straw Log 18"
Western Excelsior	EXCEL Straw Log 20"
Western Excelsior	Aspen Xcel Excelsior Log

60% Preliminary Plan
MAY 15, 2020



Towne, Jason

From: Wagner Surveying <wagnersurveying@centurytel.net>
Sent: Friday, May 15, 2020 2:31 PM
To: Towne, Jason
Cc: 'Steve Austin'; 'Michael Hershberger'
Attachments: North Camp Properties Concept Site Plan 5_15_2020.pdf

Jason;

Attached is the revised Site Concept Plan for the North Camp Properties (Houman's).
See Site Plan Note on bottom right corner for some direction on the sites and numbers.

Not sure regarding Septic Plans etc. We have three sites shown and borings connected for them.
I have the # of sites to be served and have located the new cabin systems and proposed one.
The internal campground loop was not tested yet but has 6-8 mobile home systems existing
(too much uncertainty yet on what is going and staying). The South sites were not tested yet
but there is lots of space and can be tested before the meeting if needed.

I also filed the ALTA Survey for the original (Houmans Resort) property and a copy should be added with this
to have a documented copy of the existing improvements (dated Feb.26,2020).

If any questions or comments please let me know.
Waiting for the Engineer Plans.

Thanks Mark

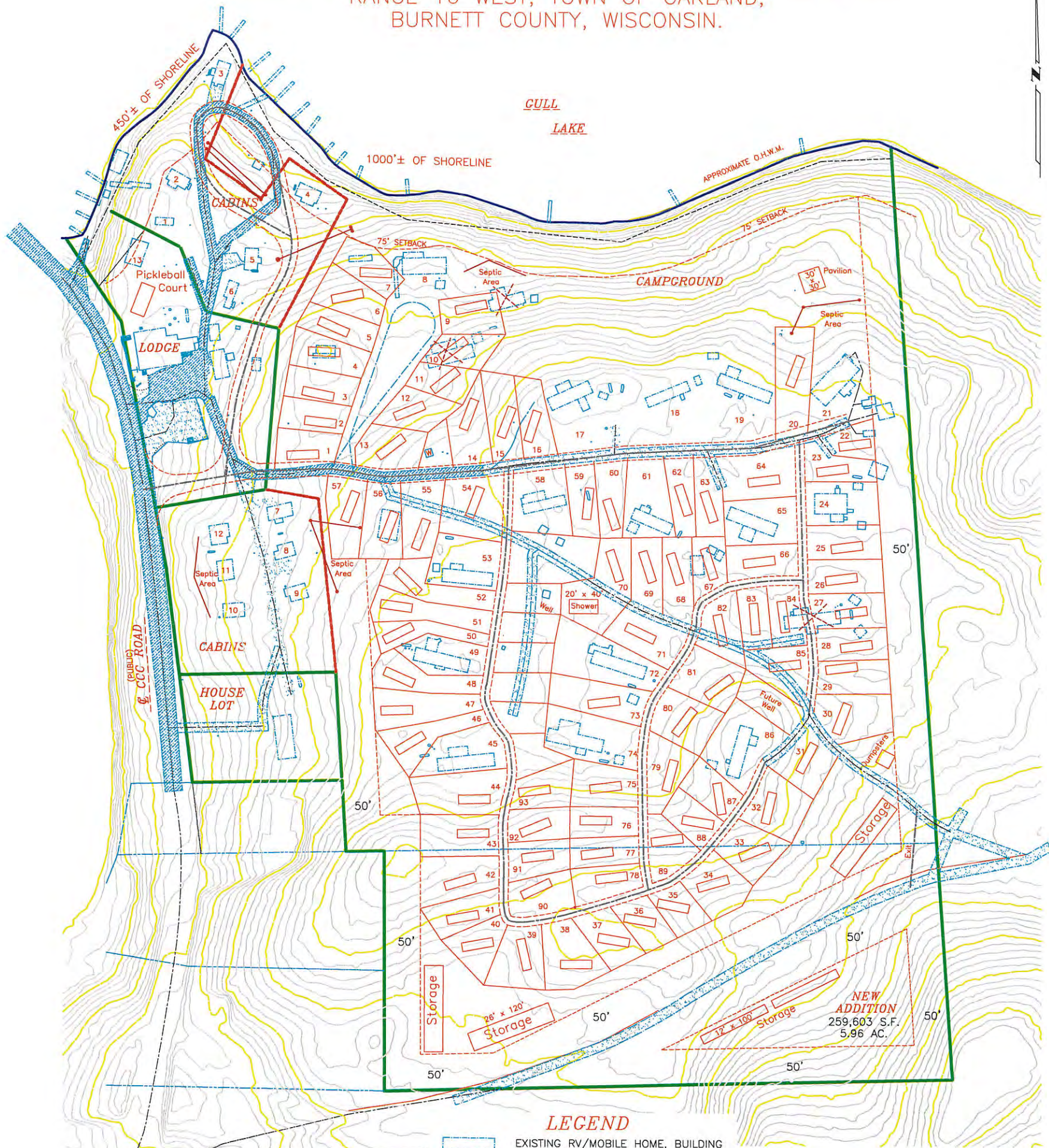
Mark E. Krause, PLS
Wagner Surveying Associates, Inc.
26745 Lakeland Ave. N. / PO Box 89
Webster, WI 54893
715-866-4295
Fax: 715-866-4206
wagnersurveying@centurytel.net





CONCEPT SITE PLAN: FOR NORTH CAMP PROPERTIES

GOVERNMENT LOTS 1 & 2, SECTION 2, TOWNSHIP 40 NORTH,
RANGE 16 WEST, TOWN OF OAKLAND,
BURNETT COUNTY, WISCONSIN.



SCALE 1" = 100'
TOTAL ACREAGE
OF THE CAMPGROUND
24.57 ACRES

- LEGEND**
- EXISTING RV/MOBILE HOME, BUILDING
 - PROPOSED RV/MOBILE HOME UNIT
 - MOBILE HOMES TO BE REMOVED
 - EXISTING LOT LINE
 - PROPOSED LOT LINE
 - EXISTING CENTERLINE, CONTINUED USE
 - EXISTING CENTERLINE, TO BE ABANDONED
 - PROPOSED CENTERLINE
 - EXISTING ADJACENT PROPERTY LINES

SITE PLAN NOTES:

THE REVISED REQUEST IS FOR 23 ADDITIONAL UNITS - WHICH WOULD BE UP TO 88 CAMPING UNITS/SITES PLUS THE 12 CABINS. 93 SITES AND EXISTING MOBILE HOMES ARE NUMBERED ON THIS PLAN AND ADDITIONAL POLYGONS SHOWN, THIS IS FOR FLEXIBILITY FOR THE FINAL SITE LOCATIONS OF SITES, SEPTIC, UTILITIES, AND OTHER PLANNED AMMENITIES. THE DESIGN FOR THE INTERNAL CAMPGROUND LOOP IS NOT FIXED AT THIS TIME.

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P.O. Box 89
Webster, Wisconsin 54893
(715) 866-4295
wagnersurveying@centurytel.net

MAY 15, 2020

Towne, Jason

From: Steve Austin <bionicguy61@gmail.com>
Sent: Friday, May 15, 2020 3:31 PM
To: Towne, Jason
Cc: Mark Krause; Michael Hershberger
Subject: Re:

No trailers or structures will be located within that 50 ft. I believe those lines are just line drawings showing the approximate sizes of lots but the actual structures the trailers will be set back farther than that

Steve Austin

On Fri, May 15, 2020, 3:24 PM Towne, Jason <jtowne@burnettcounty.org> wrote:

You still show some sites within the 50 ft setback near the existing cabins and the lodge, sites 1-7 and 57. This was mentioned as an issue at the last hearing. The public will likely bring this up, might seem trivial, but the ordinance doesn't allow it. Do you want to give the public a reason to show that items were ignored from the first hearing?

From: Wagner Surveying <wagnersurveying@centurytel.net>
Sent: Friday, May 15, 2020 2:31 PM
To: Towne, Jason <jtowne@burnettcounty.org>
Cc: 'Steve Austin' <bionicguy61@gmail.com>; 'Michael Hershberger' <hershgroup@gmail.com>
Subject:

Jason;

Attached is the revised Site Concept Plan for the North Camp Properties (Houman's).

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If any questions or comments please let me know.

Waiting for the Engineer Plans.

Thanks Mark

Mark E. Krause, PLS

Wagner Surveying Associates, Inc.

26745 Lakeland Ave. N. / PO Box 89

Webster, WI 54893

715-866-4295

Fax: 715-866-4206

wagnersurveying@centurytel.net

Towne, Jason

From: Wagner Surveying <wagnersurveying@centurytel.net>
Sent: Friday, May 15, 2020 3:54 PM
To: Towne, Jason
Cc: 'Steve Austin'; 'Michael Hershberger'
Subject: RE:

This is / was all part of the same property and the setbacks will be met on all of the neighboring properties. The Campground , Cabins and Bar all share the existing and new driveways , access to the lake, utility lines and part of the septic systems -- so even though they may be new identities and owners they will still share / have easements and setbacks areas being used for septic systems and roads. Shared, common and active areas for the normal required buffers. This is all open yard -park and will continued to be heavily used for pedestrian activities

Shared agreement documents exist with the bar property and will be made for the Cabins with the future Condo documents.

These documents can be provided and modified as needed to have the adjoining properties agree to this setback issue to hold the county for being liable for the shared encroaching uses.

Thanks Mark

Mark E. Krause, PLS
Wagner Surveying Associates, Inc.
26745 Lakeland Ave. N. / PO Box 89
Webster, WI 54893
715-866-4295
Fax: 715-866-4206
wagnersurveying@centurytel.net

From: Towne, Jason [mailto:jtowne@burnettcounty.org]
Sent: Friday, May 15, 2020 3:25 PM
To: Wagner Surveying
Cc: 'Steve Austin'; 'Michael Hershberger'
Subject: RE:

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Sent: Friday, May 15, 2020 2:31 PM
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Cc: 'Steve Austin' <bionicguy61@gmail.com>; 'Michael Hershberger' <hershgroup@gmail.com>
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Fax: 715-866-4206
wagnersurveying@centurytel.net

ALTA/NSPS LAND TITLE SURVEY

GOVERNMENT LOTS 1 & 2, SECTION 2, TOWNSHIP 40 NORTH,
RANGE 16 WEST, TOWN OF OAKLAND,
BURNETT COUNTY, WISCONSIN.

ANY LAND BELOW THE ORDINARY HIGH WATER
MARK OF A LAKE OR A NAVIGABLE STREAM IS
SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE
WATERS THAT IS ESTABLISHED UNDER ARTICLE
IX, SECTION 1 OF THE STATE CONSTITUTION.

PROPERTY DESCRIPTION

(AS PER SCHEDULE A OF BURNETT COUNTY ABSTRACT COMPANY, INC.
FILE NUMBER: BCA-20-0004-8)

A PARCEL OF LAND IN GOVERNMENT LOTS ONE (1) AND TWO (2), SECTION
TWO (2), TOWNSHIP FORTY (40) NORTH, RANGE SIXTEEN (16) WEST, BURNETT
COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF GOVERNMENT LOT 2, SECTION
2-40-16;

THENCE NORTH 1'27" WEST 332.25 FEET ON THE EAST LINE OF SAID
GOVERNMENT LOT 2 TO THE POINT OF BEGINNING;

THENCE NORTH 1'27" WEST 955.95 FEET TO THE NORTHEAST CORNER OF
SAID GOVERNMENT LOT 2;

THENCE DUE WEST 97.70 FEET ON THE NORTH LINE OF SAID GOVERNMENT
LOT 2 AND TO ALSO INCLUDE SUCH LANDS LYING NORTH OF THIS LINE TO
THE LINE TO THE HIGH-WATER MARK ON GULL LAKE;

THENCE SOUTH 71'46" WEST 100 FEET ON THE MEANDER LINE OF GULL
LAKE;

THENCE SOUTH 69'26" WEST 200 FEET ON SAID MEANDER LINE;

THENCE NORTH 81'57" WEST 300 FEET ON SAID MEANDER LINE;

THENCE NORTH 61'22" WEST 125.90 FEET ON SAID MEANDER LINE;

THENCE NORTH 44'34" WEST 100 FEET ON SAID MEANDER LINE;

THENCE NORTH 26'06" WEST 138 FEET ON SAID MEANDER LINE;

THENCE SOUTH 43'24" WEST 185 FEET ON SAID MEANDER LINE;

THENCE SOUTH 27'49" WEST 184 FEET ON SAID MEANDER LINE TO THE
EAST RIGHT-OF-WAY OF THE TOWN ROAD;

THENCE SOUTH 31'07" EAST 100 FEET ON SAID RIGHT-OF-WAY;

THENCE SOUTH 7'53" EAST 350 FEET ON SAID RIGHT-OF-WAY;

THENCE SOUTH 4'30" EAST 400.10 FEET ON SAID RIGHT-OF-WAY TO A
POINT THAT IS 331.13 FEET NORTH OF THE SOUTH LINE OF SAID
GOVERNMENT LOT 2;

THENCE SOUTH 88'41" EAST 1024.60 FEET TO THE POINT OF BEGINNING,
EXCEPTING THEREFROM A PARCEL OF LAND DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF GOVERNMENT LOT 2, 2-40-16;

THENCE NORTH 1'27" WEST 332.25 FEET ON THE EAST LINE OF SAID
GOVERNMENT LOT 2;

THENCE NORTH 88'41" WEST 1024.60 FEET TO THE EAST RIGHT-OF-WAY OF
TOWN ROAD, FOR A POINT OF BEGINNING;

THENCE NORTH 4'30" WEST ON THE EAST RIGHT-OF-WAY OF THE TOWN
ROAD A DISTANCE OF 100 FEET;

THENCE SOUTH 88'41" EAST A DISTANCE OF 200 FEET;

THENCE SOUTH 4'30" EAST AND PARALLEL TO THE EAST RIGHT-OF-WAY OF
SAID TOWN ROAD A DISTANCE OF 100 FEET;

THENCE NORTH 88'41" WEST AND PARALLEL TO THE NORTH LINE OF THE
PARCEL HEREIN DESCRIBED A DISTANCE OF 200 FEET TO THE POINT OF
BEGINNING.

THE ABOVE-DESCRIBED PARCEL INCLUDES: LOT ONE (1) OF CERTIFIED
SURVEY MAP #4898, AS RECORDED IN VOLUME 27, PAGES 207 AND 208,
DOCUMENT #458356, IN THE OFFICE OF THE REGISTER OF DEEDS FOR
BURNETT COUNTY AND LOCATED IN GOVERNMENT LOT TWO (2), TOWNSHIP
FORTY (40) NORTH, RANGE SIXTEEN (16) WEST, BURNETT COUNTY, WISCONSIN.

TAX PINS: 07-020-2-40-16-02-5 05-002-011100;
07-020-2-40-16-02-5 05-002-011001

BOUNDARY-SURVEY-MAP NOTES

(TO SATISFY TABLE A 7A, 8, 9)

EXISTING PARKING LOT AND ROADS ARE GRAVEL.

ALL BUILDINGS ARE ACCURATELY LOCATED AND DEPICTED AS SHOWN.
DIMENSIONS ARE AVAILABLE, BUT WERE NOT PLACED ON THIS MAP.

THIS PROPERTY WAS SURVEYED AND DOCUMENTED AS (MAP OF SURVEY
D-052 BY SURVEYOR RW BUGGERT, DATED JULY 25, 1992 AS FILED IN THE
BURNETT COUNTY SURVEYORS RECORDS). THE TITLE COMMITMENT LEGAL
DESCRIPTION IS THE SAME AS FOUND ON THE MAP. THE EXCEPTION IN THE
SOUTHWEST CORNER WAS DEEDED AND A SURVEY OF THE BOUNDARY WAS
FILED AS RF-39, PAGES 91-93. THE EAST BOUNDARY IS THE GOVERNMENT
LOT LINE AND A CERTIFIED SURVEY MAP #4051 WAS RECORDED ACCEPTING
THAT LINE. EXISTING MONUMENTS WERE FOUND IN PLACE AND UNDISTURBED
FROM THE ORIGINAL SURVEY EXCEPT ALONG THE TOWN ROAD ON THE WEST
REBUILT FROM FOUND MONUMENTS AND SURVEY RETRACEMENT
METHODS.

ACCESS NOTES

ACCESS FROM TOWN ROAD CCC IS JUST SOUTH OF THE BAR/LODGE MAIN
DRIVE ACCESS AND PARKING LOT AS WELL AS A DRIVEWAY ACCESS TO THE
HOUSE NEAR THE SOUTHWEST CORNER OF THE PROPERTY.

ENCROACHMENT NOTES

(PER SCHEDULE B - PART 2 (16))

THE DRIVEWAY-RECREATIONAL TRAIL IN THE SOUTHEAST CORNER OF THIS
PROPERTY ENCLOSES ONTO THE NEIGHBORING PROPERTY TO THE EAST
BEFORE IT REACHES SOUTH GULL LAKE TRAIL, A PRIVATE ROAD. THIS TRAIL
HAS BEEN USED SINCE THE ORIGINAL PROPERTY WAS PURCHASED.

THE PROPERTY IMMEDIATELY SOUTH OF THIS SURVEY IS BEING PURCHASED
BY THE PURCHASERS OF THIS SURVEY AND WILL BE CONNECTED IN THE
FUTURE AND WILL HAVE DIRECT ACCESS TO SOUTH GULL LAKE TRAIL.

FLOWAGE EASEMENT NOTES

(PER SCHEDULE B - PART 2 (12))

DEED VOLUME 72, PAGE 377, DOCUMENT #9843, LOON CREEK DAM WAS
CONSTRUCTED IN 1940, WITH GULL LAKE BEING PART OF LOON CREEK
FLOWAGE. GULL LAKE PRIOR TO 1940 WAS WETLAND, CREEK, AND BOTTOMS.
LAND WAS PURCHASED IN 1982 AND TREATED AS LAKEBED AND MEANDERED
AS SUCH PER THE TITLE COMMITMENT. SOME OWNERSHIP RIGHTS MAY EXIST
FOR THE BOTTOM AND BED OF GULL LAKE AS IT EXISTS TODAY.

ZONING NOTES

WAGNER SURVEYING DOES NOT WARRANT THAT THE PROPERTY OR IMPROVE-
MENTS MEET ALL APPLICABLE ZONING OR BUILDING CODES.

PROPERTY IS CURRENTLY ZONED RR-2 (RESIDENTIAL-RECREATION DISTRICT)

SETBACK REQUIREMENTS FOR THE RR-2 ZONE:
FRONT - 30 FEET
SIDE - 10 FEET
REAR - 40 FEET
75' SETBACK FROM OHWM (AS SHOWN)

FLOOR AREA REQUIREMENTS FOR THE RR-2 ZONE:
1 BEDROOM - 500 SQUARE FEET
2 BEDROOM - 600 SQUARE FEET
3 BEDROOM - 700 SQUARE FEET

THIS IS NOT A COMPLETE LIST OF ZONING REQUIREMENTS OR BUILDING
REQUIREMENTS. FOR MORE DETAILS CONTACT THE BURNETT COUNTY ZONING
DEPARTMENT AT (715) 349-2109

DESCRIPTION OF PROPERTY SURVEYED

(METES AND BOUNDS DESCRIPTION AS REQUIRED BY WISCONSIN S. A-E 7.04)

A RETRACEMENT OF MAP OF SURVEY #D-052, FILED BY SURVEYOR BUGGERT,
DATED JULY 25, 1992 LOCATED IN THE GOVERNMENT LOTS 1 AND 2,
SECTION 2, TOWNSHIP 40 NORTH, RANGE 16 WEST, TOWN OF OAKLAND,
BURNETT COUNTY, WISCONSIN EXCEPTING THE LANDS DESCRIBED IN THE
DEED DOCUMENT #405158, AND INCLUDING ALL OF LOT 1 OF CERTIFIED
SURVEY MAP #4898, VOLUME 27, PAGES 207-208 AND MORE PARTICULARLY
DESCRIBED AS FOLLOWS:

COMMENCING FROM THE SOUTH QUARTER CORNER OF SECTION 2;

THENCE N 08'53'54" E 1770.46 FEET TO THE SOUTHWEST CORNER OF
LOT 1 OF CERTIFIED MAP #4898, VOLUME 27, PAGES 207-208 BEING THE
POINT OF BEGINNING;

THENCE N 06'49'52" W 299.70 FEET ALONG THE EAST RIGHT-OF-WAY OF
CCC ROAD AS PLATTED ON MAP OF SURVEY #D-052;

THENCE N 10'13'37" W 350.10 FEET ALONG SAID EAST RIGHT-OF-WAY
OF CCC ROAD;

THENCE N 33'30'34" W 99.84 FEET ALONG SAID EAST RIGHT-OF-WAY
OF CCC ROAD TO THE MEANDER LINE OF GULL LAKE;

THENCE N 25'36'14" E 183.90 FEET ALONG THE SAID MEANDER LINE;

THENCE N 41'11'07" E 185.46 FEET ALONG THE SAID MEANDER LINE;

THENCE S 28'09'10" E 138.27 FEET ALONG THE SAID MEANDER LINE;

THENCE S 46'51'42" E 100.12 FEET ALONG THE SAID MEANDER LINE;

THENCE S 63'53'41" E 125.40 FEET ALONG THE SAID MEANDER LINE;

THENCE S 84'12'38" E 299.88 FEET ALONG THE SAID MEANDER LINE;

THENCE N 66'57'12" E 199.97 FEET ALONG THE SAID MEANDER LINE;

THENCE N 69'49'49" E 99.92 FEET ALONG THE SAID MEANDER LINE;

THENCE N 87'26'32" E 98.15 FEET ALONG THE SAID MEANDER LINE TO
A POINT ON THE EAST LINE OF GOVERNMENT LOT 2;

THENCE S 03'38'56" E 954.56 FEET ALONG THE EAST LINE OF
GOVERNMENT LOT 2;

THENCE S 88'55'39" W 821.22 FEET;

THENCE N 03'09'13" W 99.81 FEET TO A POINT ON THE SOUTH LOT LINE
OF SAID LOT 1 OF CERTIFIED SURVEY MAP #4898;

THENCE S 88'56'28" W 207.95 FEET ALONG THE SOUTH LOT LINE OF
LOT 1 OF SAID CERTIFIED SURVEY MAP #4898 TO THE POINT OF BEGINNING.

THIS PROPERTY CONTAINS 995.350 SQUARE FEET (22.85 ACRES) MORE OR
LESS AND INCLUDES THOSE LANDS LYING BETWEEN THE MEANDER LINE AND
THE SHORELINE OF GULL LAKE AND IS SUBJECT TO EASEMENTS AND
RESTRICTIONS OF RECORD.

THIS DESCRIPTION CONFORMS TO CURRENT REQUIREMENTS AND DIFFERS
FROM THE PROPERTY DESCRIPTION IN THAT IT COMMENCES FROM A KNOWN
SECTION CORNER AND TRAVERSES COUNTERCLOCKWISE.

UTILITY NOTES

UTILITY LOCATIONS WERE REQUESTED PER DIGGERS HOTLINE, INC.
(WISCONSIN) TICKET NUMBERS 20200705794 AND 20200705803.

NORTHWESTERN WISCONSIN ELECTRIC COMPANY AND CENTURYLINK LOCATED
THEIR MAIN UNDERGROUND LINES BETWEEN MOST OF THE PROPERTY WHICH
WERE FOUND AND LOCATED, BUT DID NOT LOCATE INDIVIDUAL SERVICE LINES.
THESE LINES HAVE BEEN LOCATED AS MARKED IN THE FIELD BY THE UTILITY
COMPANIES.

OVERHEAD POWERLINES, UTILITY POLES, AND GUY WIRES WERE LOCATED AS
SHOWN. SEPTIC TANKS, VENTS, LIDS BELIEVED TO BE ON THE SURFACE WERE
LOCATED. THE WELL LOCATIONS KNOWN ARE SHOWN, DISTRIBUTION LINES
ARE UNKNOWN.

THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES
SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR
ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE
UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED
ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS
POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT
PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. PRIOR TO ANY
EXCAVATION, GRADING, OR CONSTRUCTION CONTACT DIGGERS HOTLINE, INC.
(WISCONSIN) FOR AND ON-SITE LOCATION (1-800-242-8511).

EASEMENT NOTES

NO TELEPHONE EASEMENTS WERE NOTED IN THE TITLE COMMITMENT.

THE NORTHWESTERN WISCONSIN ELECTRIC COMPANY EASEMENTS RECORDED IN
VOLUME 89, PAGE 49, AS DOCUMENT #116868 10-18-1945 COVERS
MULTIPLE TRANSMISSION LINES BETWEEN MOST OF THE PROPERTY AND TRIM
TREES WITHIN 25 FEET ON EACH SIDE OF SAID TRANSMISSION LINE.

MULTIPLE TRANSMISSION LINES EXIST OR HAVE EXISTED. THE EXISTING
MULTIPLE TRANSMISSION LINE ALONG THE EAST RIGHT-OF-WAY LINE OF CCC
ROAD IS SHOWN AS EXISTING WITH A 50' EASEMENT. THE PREVIOUS OVER-
HEAD TRANSMISSION LINE ALONG THE SOUTH PROPERTY LINE HAS BEEN RE-
MOVED RECENTLY. AN ELECTRIC POWER BOX IS LOCATED APPROXIMATELY ON
THE OLD LINE 200 FEET WEST OF THE SOUTHEAST PROPERTY CORNER AND
THE SERVICE ONLY COMES FROM THE EAST. MOST OF THE POWER FOR THIS
PROPERTY APPEARS TO COME FROM THE OVERHEAD POLE MIDWAY ON THE
WEST PROPERTY LINE. THEN PROCEEDS UNDERGROUND EASTERLY THROUGH
THE MIDDLE OF THE EXISTING CAMPGROUND TO THE ADJOINING PROPERTY ON
THE EAST AND SOUTH TO SOUTH GULL LAKE TRAIL WHERE IT CONTINUES
EAST AND ALSO WEST TO THE POWERBOX NOTED PREVIOUSLY. IT IS
UNKNOWN IF AN EASEMENT EXISTS FOR THIS LINE AND IF THE PRIOR LINE
EASEMENT SHOULD BE VACATED.

ALTA/NSPS CERTIFICATION

TO THE OWNERS OF NORTH CAMP PROPERTIES II, LLC, CITIZENS COMMUNITY
FEDERAL N.A., BURNETT COUNTY ABSTRACT COMPANY, INC., AND THE
UNDERWRITER, FIRST AMERICAN TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT
IS BASED WAS MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD
DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY
ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 7A,
8, 9, 11, 16, 17 OF TABLE A THEREOF, SUBJECT TO THE ABOVE NOTES.
PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS
AND 1 EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER
CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A PROFESSIONAL LAND
SURVEYOR IN THE STATE OF WISCONSIN, THE RELATIVE POSITIONAL ACCURACY
OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

I, MARK E. KRAUSE, A PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY
THAT PURSUANT TO A REQUEST BY NORTH CAMP PROPERTIES II, LLC, THAT
I HAVE SURVEYED AND MAPPED THE SHOWN LAND, THAT THIS MAP IS A
TRUE AND CORRECT REPRESENTATION OF THE SHOWN LAND, AND THAT I
HAVE COMPLIED WITH THE PROVISIONS OF CHAPTER A-E 7 OF THE
WISCONSIN ADMINISTRATIVE CODE.

Mark E. Krause DATE: FEB 26, 2020
MARK E. KRAUSE, REGISTRATION #1808 COMMITMENT DATE: FEBRUARY 26, 2020

LEGEND

- COUNTY MONUMENT FOUND AS NOTED
- ANGLE IRON FOUND
- 1 1/4" (O.D.) IRON PIPE FOUND
- 3/4" X 18" IRON BAR SET
○ PAVEMENT NAIL SET
- THEORETICAL POSITION
- (R.A.) RECORDED AS
- (F.A.) FILED AS
- (D.A.) DEEDED AS
- UTILITY POLE
- LP TANK
- OVERHEAD LINES
- BURIED TELEPHONE CABLE
- BURIED ELECTRIC CABLE

TOTAL DISTANCE AND BEARING
FROM POINT A TO B =
N 06'49'52" W - 400.00'
(F.A. S 04'40" E - 400.10')

TOTAL DISTANCE AND BEARING
FROM POINT B TO C =
S 88'55'39" W - 1022.73'
(F.A. S 88'41" E - 1024.60')

WIT. to
M.C. #23
SEC. 2
(1 1/4"
ROD)

P.O.C.
S 1/4
COR.
SEC. 2
(2 3/4"
C.I.M.)

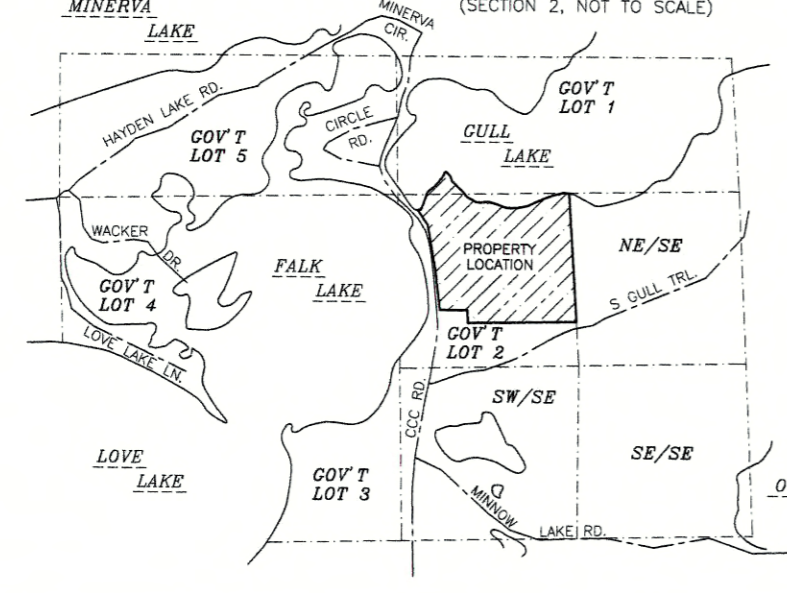
SCALE 1" = 100'

FIELD WORK COMPLETED ON 02/24/2020

Wagner Surveying Associates, Inc.

26745 Lakeland Avenue N.
P.O. Box 89
Webster, Wisconsin 54893
(715) 866-4285
wagnersurveying@centurytel.net

LOCATION SKETCH



UTILITY CONTACTS

- DIGGERS HOTLINE
14100 W. NATIONAL AVE.
NEW BERLIN, WI 53151
(800) 242-8511
TICKET #'S: 20200705794 &
20200705803
- NORTHWESTERN WISCONSIN ELECTRIC COMPANY
P.O. BOX 9, 104 SOUTH PINE ST.
GRANTSBURG, WI 54840
(715) 463-5371
- CENTURYLINK
105 WISCONSIN AVE. N
FREDRIC, WI 54837
(715) 327-4247
(800) 201-4102



Towne, Jason

From: Steve Austin <bionicguy61@gmail.com>
Sent: Monday, May 18, 2020 10:08 AM
To: Towne, Jason
Cc: Wagner Surveying; Michael Hershberger
Subject: Re:

I know seven of those trailers/manufactured homes are moving out for sure and probably more. Our plan is with board approval to transition those to seasonal sites as they leave. We will not allow people to sublease to someone else or to sell those homes to someone else and leave them in the campground.

The direct answer to your question is I believe that is correct on the number..

Steve Austin

On Mon, May 18, 2020, 10:03 AM Towne, Jason <jtowne@burnettcounty.org> wrote:

I am working on writing the notice which I need to have out this morning. Is the plan to keep 15 manufactured homes?

There would be 15 manufactured homes and 74 camping units for a total of 89?

From: Wagner Surveying <wagnersurveying@centurytel.net>
Sent: Friday, May 15, 2020 2:31 PM
To: Towne, Jason <jtowne@burnettcounty.org>
Cc: 'Steve Austin' <bionicguy61@gmail.com>; 'Michael Hershberger' <hershgroup@gmail.com>
Subject:

Jason;

Attached is the revised Site Concept Plan for the North Camp Properties (Houman's).

See Site Plan Note on bottom right corner for some direction on the sites and numbers.

Not sure regarding Septic Plans etc. We have three sites shown and borings connected for them.

I have the # of sites to be served and have located the new cabin systems and proposed one.

The internal campground loop was not tested yet but has 6-8 mobile home systems existing

(too much uncertainty yet on what is going and staying). The South sites were not tested yet

but there is lots of space and can be tested before the meeting if needed.

I also filed the ALTA Survey for the original (Houmans Resort) property and a copy should be added with this to have a documented copy of the existing improvements (dated Feb.26,2020).

If any questions or comments please let me know.

Waiting for the Engineer Plans.

Thanks Mark

Mark E. Krause, PLS

Wagner Surveying Associates, Inc.

26745 Lakeland Ave. N. / PO Box 89

Webster, WI 54893

715-866-4295

Fax: 715-866-4206

wagnersurveying@centurytel.net

Towne, Jason

From: Eric Krenz <eric.krenz2@gmail.com>
Sent: Friday, May 22, 2020 3:41 PM
To: Towne, Jason
Subject: Re: Houmans Resort

Thank you Jason. Here is the link. It is statute 710.15 (4).

<https://docs.legis.wisconsin.gov/statutes/statutes/710/15>

Have a great weekend!
Eric



On Fri, May 22, 2020 at 12:30 PM Towne, Jason <jtowne@burnettcounty.org> wrote:

I have passed your comments onto the Committee members. Thanks - Jason

From: Eric Krenz <eric.krenz2@gmail.com>
Sent: Friday, May 22, 2020 12:25 PM
To: Towne, Jason <jtowne@burnettcounty.org>
Subject: Re: Houmans Resort

Thank you for the information Jason. However what Steve is proposing is not legal. Under state law he can not deny us the right to sell. Can you please inform the board members?

Thank you,

Eric

On Fri, May 22, 2020 at 11:00 AM Towne, Jason <jtowne@burnettcounty.org> wrote:

Attached is the latest note about the existing manufactured/mobile homes. Thanks - Jason

From: Eric Krenz <eric.krenz2@gmail.com>
Sent: Thursday, May 21, 2020 6:08 PM
To: Towne, Jason <jtowne@burnettcounty.org>
Subject: Houmans Resort

Hello Jason,

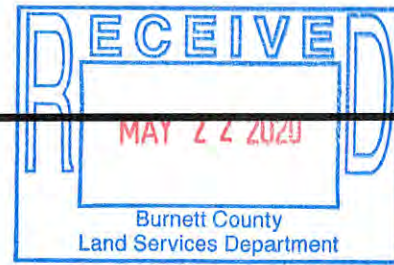
Hope you're doing well. I see that the CUP is on the agenda for June 4. It also looks like it has been altered to include our mobile homes. Did Mike and Steve send an adjusted CUP? And if they did can you please send it to me?

Thank you!

Eric Krenz

Towne, Jason

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Sent: Friday, May 22, 2020 12:25 PM
To: Towne, Jason
Subject: Re: Houmans Resort



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Thank you!

Eric Krenz

Towne, Jason

From: Steve Austin <bioniguy61@gmail.com>
Sent: Wednesday, May 20, 2020 2:32 PM
To: Towne, Jason
Subject: ammended note

To clarify our last email to the board we would like to amend it to say manufacturer/mobile homes, instead of trailers. Below is an updated note with the replacement of the term.

We would also note that while we responded that all manufacturer/mobile homes will be removed by 6/1/2022 we are willing to let the current tenant stay until that manufactured/mobile home tenant no longer rents from us at which time they would have to remove the manufacturer/mobile homes. Manufacturer/mobile homes cannot be sold and stay at the property. Over time as the manufacturer/mobile homes leave they will be replaced with a Seasonal Campground RV model. We will follow the board's decision.

Steve Austin



CUP-20-06

Towne, Jason

From: Peranteau, Mary Beth <MPeranteau@wheelerlaw.com>
Sent: Wednesday, May 27, 2020 4:15 PM
To: Towne, Jason
Subject: CUP-20-06, 1 of 2
Attachments: 2020.05.27 Ltr to LUIC Opposing CUP-20-06.pdf

copy for file

Dear Jason,

I'm forwarding two attachments to you separately due to the size limit on your mailbox. It does appear that these documents went through to the LUIC members and Corp Counsel.

I am wondering what happened with the documents that were responsive to my original open records request. My assistant spoke to your IT person who said the material was ready to send. Can you let me know?

Thanks,

Mary Beth



Mary Beth Peranteau
Attorney At Law
Wheeler, Van Sickle & Anderson, S.C.
44 East Mifflin Street | Suite 1000 | Madison, WI 53703
wheelerlaw.com
firm 608.255.7277 | direct 608.441.3832
mperanteau@wheelerlaw.com

THIS EMAIL CONTAINS CONFIDENTIAL AND/OR ATTORNEY-CLIENT PRIVILEGED COMMUNICATIONS. IF YOU RECEIVED THIS EMAIL AND ARE NOT THE INTENDED RECIPIENT, PLEASE DELETE FROM YOUR INBOX AND TRASH FOLDERS. THANK YOU.





ATTORNEYS AT LAW
Niles Berman
Jeffrey L. Landsman
Thomas J. Zaremba
Stuart G. Mondschein
William Pray O'Connor
Rhea A. Myers
Mary Beth Peranteau
Jessica J. Shrestha
Justin W. Chasco
Andrew J. Parrish
Denis R. Vogel
David A. Bolles
Robb E. Leach
Kari J. Fasulo
OF COUNSEL
Norman C. Anderson
Janet L. Kelly

May 27, 2020



VIA ELECTRONIC MAIL

Norman Bickford, Chair and Members
Burnett County Land Use & Information Committee
7410 County Road K
Siren, WI 54872

RE: Conditional Use Permit Application No. CUP-20-06

Dear Chairman Bickford and Committee Members:

On behalf of the Concerned Citizens for the Preservation of the Minerva Chain of Lakes, UA (the "Association") this letter sets forth the reasons why the Committee should deny the application of North Camp Properties II LLC (Michael Hershberger and Steve Austin) for a conditional use permit to expand the campground/mobile home park at the former Houman's Resort.

The Applicants' plan to increase the number of units, along with accompanying decks/screen porches and sheds, will significantly increase the density of structures and intensity of the land use. The plan includes 29 existing units and 18 sewerred units, plus the 17 sites requested (but not developed) by Houmans in December 2019, together with 23 additional sewerred units.¹ The revised site plan shows that the campground/mobile home park will be 24.57 acres in size, consisting of a parcel subdivided from the original resort plus a 5.226-acre addition on the south.

According to the site plan, all but one of the 13 existing resort cabins will be located on a 2.5-acre lot subdivided from the original parcel. The Ordinance clearly prohibits the creation of, or an increase in the density of structures on a non-conforming parcel. For this reason alone, the CUP must be denied. In addition, there is substantial evidence in the record that the proposed expansion will not meet Ordinance criteria for issuance of a

¹ This totals 87 units per the information is stated in the application, however the updated site plan provided on May 15th states that there will be up to 88 units.



conditional use permit. Finally, the record shows that the Applicants do not satisfy their statutory burden to show that they will comply with CUP conditions necessary to prevent detrimental impacts of the expanded use on adjacent properties and the County as a whole. For these reasons, described in more detail below, the CUP should be denied.

The Application must be denied because it proposes to create non-conforming parcels. Section 30-435 of the Ordinance states: “The use of any land or water; the size, shape, and placement of lots; the use, size, height, type, and location of structures thereon; and the provisions for open spaces” shall be in compliance with the zoning regulations in Ch. 30. In the case of resort cabins, lot size is determined by sec. 30-454, which states: “To determine the number of total cabins/dwelling units allowed, take the total lot or parcel size and divide by the zoning district requirement.” As provided in sec. 30-83(b) for the RR-2 district, each resort cabin requires an area of 1.5 acres. Applicants are seeking approval for 12 of the 13 existing cabins to be located on a 2.5-acre lot, or an average of 0.21 acres per cabin. Stated another way, the Ordinance allows 1.67 resort cabins on 2.5 acres. Section 30-466(a) expressly states: “***After adoption of this chapter, no lot area shall be so reduced that the dimensional and yard requirements required by this chapter cannot be met.***” It is a violation of the Ordinance to reduce the lot area for the cabins as the Applicants have proposed.

Furthermore, even if the acreage designated for the cabins and campground/ mobile home park were combined, the Applicant does not have enough land for the 19.5 acres necessary for the cabins (12 x 1.5 acres) plus the 8.8 acres needed for the camping units (88 units at 10 units/acre²). After splitting off a 1.2-acre lot containing the existing house and 1.5-acre lot containing the bar/lodge, the Applicant’s remaining land totals 27 acres, which is more than an acre short of what is required. Accordingly, the plan will immediately violate sec. 30-466(a) of the Ordinance. Transferring the cabins into condominium ownership as the Applicants propose would simply increase that nonconformity. At minimum, the Applicants would need to obtain a variance (including proof of “undue hardship”) in order to proceed.³

² A mobile home park would require even more acreage, because the density standard is 6/acre. According to the Ordinance, a “camping unit” means “any portable device, no more than 400 square feet in area, used as a temporary shelter.” Park model RVs are larger than this, and thus fall under the definition of a mobile home.

³ The County GIS map shows that the Applicants have already split off a 1.2-acre lot (PIN 05-002-011100) containing the existing house. Since the zoning regulations require 1.5 acres for a residence in the RR-2 district, it is not clear how this was approved without a variance.

Burnett County Land Use & Information Committee
RE: CUP-20-06
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The proposed use is contrary to the standards for approval of a CUP. The general criteria for approval of a CUP are listed in sec. 30-633(b)(2) of the Ordinance and include “the health, general welfare, safety and economic prosperity of the county and of the immediate area in which such use would be located.” In addition, sec. 45-504 sets forth the standard for consideration of conditional uses in the shoreland zone. It provides that the Committee shall evaluate the effects of the proposed use on (among other things): The prevention of noise pollution; the prevention and control of water pollution including sedimentation; the erosion potential of the site; the location of the site with respect to existing roads; and the compatibility of the proposed use with uses on adjacent land.

Substantial evidence supports a finding that the economic prosperity of the immediate area and the County would suffer from the grant of the CUP. Accompanying this letter is a copy of an analysis completed by professional appraiser Craig L. Solum. In Mr. Solum’s 38 years as head of Solum & Associates, he has performed appraisals for corporate clients, lenders, numerous Wisconsin municipalities and state and federal agencies (see pp. 103-108 of the enclosed for Mr. Solum’s qualifications). He has testified as an expert appraiser in dozens of cases in Wisconsin and Minnesota. Controlling for all other variables, Mr. Solum’s analysis of two Burnett County lakefront campgrounds concludes that real estate values in the proximity of a campground are 13-20% lower than comparable properties. Lower real estate values translate to lower tax revenues for the affected towns and the County. Conversely, campgrounds such as the Applicant’s do not pay real estate taxes on mobile dwelling units and thus do not fairly share in the cost of road maintenance and essential services.

It is not the purpose of this letter to repeat the large volume of comments in opposition to the Applicant’s proposed expansion, except to note that most of these comments speak directly to the CUP standards in the Ordinance, including noise pollution, detrimental impacts on water quality, road congestion and safety. The Committee has more than substantial evidence in the record on which to base a finding that the proposed campground expansion will negatively impact the general welfare, safety and economic prosperity of the county and immediate area in which the use is located.

The Applicants’ record of noncompliance shows that they will not meet the conditions of the CUP necessary to limit detrimental impacts of the proposed expansion. As the Committee is aware, 2017 Wis. Act 67 added new sections to the statutes governing the County’s consideration and approval of conditional use permits. However, the Act did not alter the burden of proof which remains on the Applicant to provide substantial evidence that it will meet the requirements specified in the County ordinance and additional conditions imposed by the Committee.

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Co-applicant Steve Austin is the owner of the Oakridge campground on Webb Lake. A CUP to expand the number of sites at Oakridge was approved by the Committee in 2015, subject to the condition that Mr. Austin address numerous violations identified by Staff (many of which carried over from the earlier 2007 CUP). Violations included mobile homes and campers that did not meet setbacks and spacing requirements; unpaved drives and parking areas; insufficient number of parking spaces; lack of screening from road; and access road issues. In 2019, Mr. Austin applied for a CUP to increase the number of decks and the size of sheds at Oakridge. The Staff report in connection with this application advised that many of the campground sanitary systems had not been serviced or reported for over ten years, and further reported: "Many items/ conditions from 2015 CUP approval not completed. *It will take staff at least an entire day to inventory all violations on the site.*"

Mr. Austin's past neglect of his permit obligations establishes a clear and present danger that the Applicants will treat zoning compliance for the current project with the same level of disregard. Mr. Austin's ongoing failure to comply with numerous CUP conditions for the Oakridge development provide substantial evidence to refute any claim that he and his partner will comply with CUP conditions in this case. If the Applicants were serious about zoning compliance, they would have cured all of the outstanding violations prior to requesting the expansion.

Wis. Stat. § 59.69(5e) provides that "[t]he applicant must demonstrate that the application and all requirements and conditions ... relating to the conditional use are or shall be satisfied which must be supported by substantial evidence." Act 67 does not require the Committee to take the Applicants at their word. Rather, it places the burden on the Applicants to provide substantial evidence of their willingness to comply with the requirements and conditions of a CUP. Incredibly, despite clear direction from the Zoning Administrator that the revised site plan "still show[s] some sites within the 50 ft setback near the existing cabins and lodge, sites 1-7 and 57." (Towne email dated 5/15/2020), the Applicant apparently takes the position that undeveloped area on the adjacent property is included as part of the setback.

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On this record, the Committee should find that the Applicants have not only failed to provide “substantial evidence” that conditions to be imposed by the Committee will actually be satisfied, but they are in fact ignoring existing zoning standards.⁴

In closing, the Association acknowledges that the State legislature has placed some limits on the discretion customarily reserved to local zoning boards. But this does not mean that the Committee is required to grant a CUP in every case, and especially not in this case. The Applicants must still carry their burden of proof, and they must still comply with all of the County’s other zoning regulations. Because they have not done so, the CUP should be denied.

Thank you for your consideration.

Very truly yours,

WHEELER, VAN SICKLE & ANDERSON, S.C.

Mary Beth Peranteau

/mbp

cc: Attorney David Grindell, Corporation Counsel
Jason Towne, Land Services Director

⁴ While Mr. Austin has been the “face” of the Applicant who interacts with zoning staff, his partner Michael Hershberger is a named defendant in a federal securities fraud class action alleging that Hershberger, as CFO of Health Innovations, Inc. (HIIQ) intentionally misled investors in SEC filings and orchestrated a fraud upon consumers in the sale of sham health insurance policies, while trading on insider knowledge. See <https://casetext.com/case/keippel-v-health-ins-innovations-inc> (M.D. Fl. 2019). The company recently changed its name and terminated Mr. Hershberger’s employment. See <https://finance.yahoo.com/news/health-insurance-innovations-inc-announces-211000509.html>. Mr. Hershberger’s participation in this scheme clearly shows his disregard of regulatory authority and severely diminishes his credibility.