

# HARBOR ISLAND CONDOS L+M

## OCEANSIDE EXTERIOR RENOVATIONS



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### LOCATION MAP



### VICINITY MAP



### CONTACT INFORMATION

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STRUCTURAL - 29e6  
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CONTRACTOR - TBD  
Contact: TBD  
Role: TBD

### ABBREVIATIONS

APC	ACOUSTICAL PANEL CEILING	MAX	MAXIMUM
AFF	ABOVE FINISH FLOOR	MFR	MANUFACTURER
A/C	AIR CONDITIONING	MIN	MINIMUM
AHU	AIR HANDLING UNIT	MISC	MISCELLANEOUS
CJ	CONTROL JOINT	MO	MASONRY OPENING
CL	CENTERLINE	N/A	NOT APPLICABLE
CLG	CEILING	NIC	NOT IN CONTRACT
CNU	CONCRETE MASONRY UNIT	NIS	NOT TO SCALE
CONT	CONTINUOUS	OC	ON CENTER
CT	CERAMIC TILE	OPH	OPPOSITE HAND
DIA	DIAMETER	OSB	ORIENTED STRAND BD.
DIM	DIMENSION	PERF	PERFORATED
DN	DOWN	PT	PRESSURE TREATED
DS	DOWNSPOUT	REQ'D	REQUIRED
DW	DISHWASHER	SF	SQUARE FEET
EA	EACH	SIM	SIMILAR
EQ	EQUAL	SPEC	SPECIFICATION
EQUIP	EQUIPMENT	STD	STANDARD
EXT	EXTERIOR	TBD	TO BE DETERMINED
FD	FLOOR DRAIN	T&G	TONGUE & GROOVE
FF	FINISH FLOOR	TEMP	TEMPORARY
FFE	FINISH FLOOR ELEV.	TV	TELEVISION
FIN	FINISH	TYP	TYPICAL
FT	FEET	U/C	UNDER COUNTER
GA	GALVE	W/D	WASHER/DRYER
GWB	GYPSUM WALLBOARD	WD	WOOD
HB	HOSE BIBB	WH	WATER HEATER
INT	INTERIOR		

## HARBOR ISLAND CONDOS

### BUILDING L+M OCEANSIDE EXTERIOR RENOVATIONS

1 HARBOR DR. N,  
ST HELENA ISLAND, SC 29920

REV#	DESCRIPTION	DATE
1	Addendum #1	9/24/2024

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FOR CONSTRUCTION

### PROPERTY INFORMATION

ADDRESS: 1 Harbor Dr N, St  
Helena Island, SC 29920  
PIN: R300 020 00A 121A 0000  
(L), R300 020 00A 121B 0000  
(M)  
Zoning: PUD (Existing Planned  
Unit Development)



## COVER SHEET

2023.32		G000
09/24/2024		
Drawn By	MNC	
Checked By	SGS	

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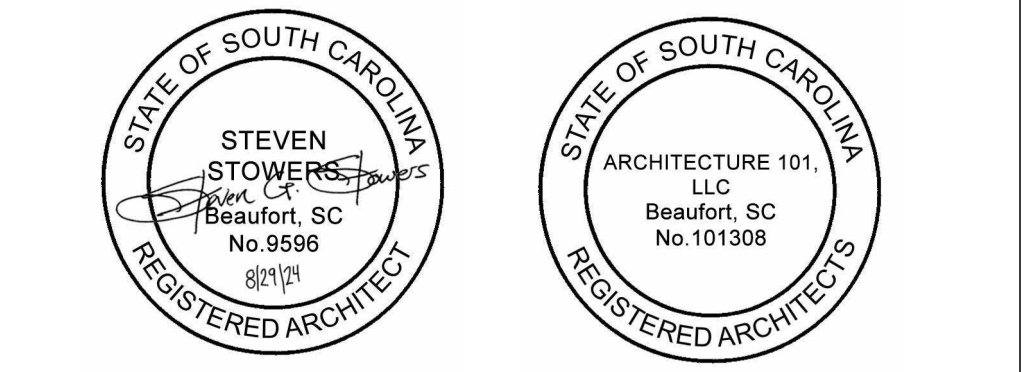
HARBOR ISLAND  
CONDOS

BUILDING L+M OCEANSIDE  
EXTERIOR RENOVATIONS

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FOR CONSTRUCTION

ARCHITECTURE  
**A101**  
BEAUFORT - SAVANNAH  
518 Martin Luther King, Jr. Boulevard | Savannah, Georgia  
www.A101.Design | 912.306.0945

SITE PLAN

2023.32	<b>G001</b>
09/24/2024	
Drawn By MNC	
Checked By SGS	



PROJECT NOTES

1. GENERAL CONDITIONS:

A. Haul off all construction debris to an approved landfill at regular intervals. Do not allow construction debris to accumulate on site. Dumpsters may be used within fenced in areas, but must be fully covered at all times.

B. Water can be used from hose bibbs on Building L or M. Coordinate connections with Architect.

C. Electricity can be used by building's house panel and general service receptacles. Do not used tenant's receptacles for construction activities. A temporary panel may be provided at the GC's expense.

D. Provide construction site coordination plan indicating locations and dates of affected construction areas, including parking. If a temporary construction office will be located onsite, provide location, fencing, and screening on plan.

E. Provide a moisture protection plan indicating how unit openings will be protected from inclement weather during construction.

F. Use of Owner's existing toilet facilities is not permitted. Provide temporary toilets, wash facilities, and drinking water for construction personnel.

G. Provide one Project Identification Sign. No unauthorized signs are permitted.

H. Project site security is the Contractor's responsibility.

I. Provide a hard copy and digital binder with all maintenance and warranty information for all products installed as part of this project.

J. General Contractor will provide a one-year warranty of all work installed as part of this project. This warranty stands above all other warranties on individual products and assemblies.

K. General Contractor should include all expenses for Contractor Gate passes in base bid. Passes are \$10 / day + \$25 for each additional Axel or \$200 / year for each vehicle.
2. PAYMENT PROCEDURES:

A. Applications for progress payments will be made by the 25th of each month utilizing the AIA G702/G703 Standard Application for Payment form.

B. Owner will withhold 10% retainage on each progress payment. Once the project has reached fifty percent of the contract value, no further retainage will be withheld if the Owner agrees that the project is on schedule.
3. UNIT PRICING: THE FOLLOWING UNIT PRICES ARE IN AFFECT FOR THIS PROJECT

A. REPLACEMENT OF DAMAGED SHEATHING:

a. The Contractor is instructed to replace all existing sheathing at all walls requiring siding replacement.

B. REPLACEMENT OF DAMAGED SHEATHING, STUDS, AND INSULATION:

a. The Contractor is instructed to include 300 SF of damaged areas where the sheathing, studs, and insulation must be replaced for both Building's L & M.

b. Additional sheathing, wall studs, and insulation requiring replacement will be compensated at \$4/SF.
4. CONSTRUCTION PROGRESS:

A. General Contractor will make diligent progress on the construction to meet the Owner's required completion date of April 1, 2025.

B. Allowed working hours within the Community are 7:30 AM - 6:00 PM, Monday - Friday.

C. No construction activities are allowed on Sundays and limited hours may be allowed on Saturday within the Community.

D. CATCH UP: Should at any point in the project, the Architect and Owner agree that the progress of the work is more than two weeks behind the Contractor's Proposed Schedule, the Contractor will be required to work additional hours / days to bring the progress of the work back in compliance with the proposal progress schedule.
5. CONSTRUCTION PROGRESS DOCUMENTATION:

A. Gantt Chart Schedule: Submit a comprehensive, fully developed, horizontal, Gantt-chart-type, Contractor's construction schedule within 30 days of date established for the Notice to Proceed. Base schedule on the startup construction schedule and additional information received since the start of Project.

B. Include critical milestones for start of construction, critical path, initiation and completion of construction for each group of units, and completion of all units, along with any additional milestones that are critical to project delivery.

C. Punch List and Final Completion: Include not more than 30 days for completion of punch list items and final completion.
6. SUBMITTALS:

A. Digital submittals are required to be submitted for Architect's approval for the following products:

a. PRODUCT DATA:

• Windows and Doors

• Metal Flashing

• Flexible Flashing

• Fluid-Applied Waterproofing

• Fiber-Cement Siding and Trim

• Paint and Stains

• Composite Decking Products

• Insect Screens

• Gutters and Downspouts

• Electrical Fixtures

b. SHOP DRAWINGS:

• Timber Railings

• Windows and Doors

• Gutters and Downspouts

c. DELEGATED DESIGN (SIGNED AND SEALED ENGINEERING WILL BE PROVIDED BY CONTRACTOR)

• Timber Railings

d. QUALIFICATIONS DATA (INSTALLER MUST SUBMIT QUALIFICATIONS FOR EACH PRODUCT LISTED BELOW):

• Fluid-Applied Waterproofing

• Windows and Doors

• Composite Decking Products

• Fiber-Cement Siding

1. Minimum 2 years' experience with installation of similar products.

e. WARRANTY (PROVIDE SAMPLE WARRANTIES FOR APPROVAL FOR THE FOLLOWING PRODUCTS):

• Windows and Doors

• Fiber-Cement Siding and Trim

7. SUBSTITUTIONS:

A. All named products included in this project are considered to be "or approved equal".

B. Submit all substitution requests to Architect in writing for approval prior to bid.

a. Note all details affected by substitution in submission and any additional building elements affected by substitution.

b. Following the Bid, General Contractor will indicate all cost ramifications for substitutions within submissions.

8. SITEWORK:

A. Take special precautions and care during construction with all landscaping.

B. Provide cyclone fencing with screening around all staging and storage areas.

9. TERMITE CONTROL:

A. Treat all soil areas under modified portions of the building against termite infestation.

10. WOOD FRAMING:

A. Sheath all exterior walls with 1/2" CDX plywood. Roof sheathing to be 3/4" CDX plywood.

B. All exterior wood framing to be pressure treated.

11. SIDING AND TRIM:

A. Provide Primed HardiePlank HZ10 Lap Siding. Exposure to match existing. Wood grain finish.

B. Install HardiePlank Lap Siding in accordance with Manufacturer's written installation instructions and ICC-ES ESR 2290.

C. Soffit panels - Hardie Soffit HZ10 Vented Panels unless noted otherwise.

D. Field prime all cut joints prior to installation.

E. Provide stainless steel fasteners throughout.

12. DECKING:

A. Duxback Dekk Composite Decking, 5/4" x 7 1/4".

B. Install Duxback Dekk in accordance with Manufacturer's written installation instructions.

C. Duxback must be installed with Manufacturer's minimum slope requirements.

D. Color selected by Architect from Manufacture's full color line.

13. FLUID-APPLIED VAPOR BARRIER:

A. Provide W.R. Meadows Air-Shield LMP Fluid-Applied Air/Liquid Moisture Barrier system at all exterior wall locations.

B. Install Air-Shield LMP in accordance with Manufacturer's written installation instructions.

C. Use only compatible flashing products in association with Air-Shield LMP.

14. METAL FLASHING:

A. All metal flashing to be factory coated aluminum flashing. Provide self-adhering flashing at top leg of all flashing locations.

15. WINDOWS:

A. Windows to be low-E 366 thermopane, MI v3000 Series vinyl impact-rated windows.

B. Exteriors will be medium bronze and interiors will be white.

16. EXTERIOR DOORS AND DOOR HARDWARE:

A. Sliding Doors will be Andersen A-Series Fiberglass Gliding French Door / Wood Interior with screens.

B. Exterior will be medium bronze and interiors will be white.

17. INTERIOR WOOD TRIM:

A. All interior wood trim to be clear, paint-grade poplar. Prime and painted "trim white" with low-VOC acrylic semi-gloss paint.

B. Thresholds will be clear, paint-grade white oak. Prime and painted "trim white" with low-VOC acrylic semi-gloss paint.
18. EXTERIOR PAINTING AND STAIN:

A. Primed exterior siding and trim to be painted with two coats of Sherwin Williams Exterior Emerald Rain Refresh, Satin Finish.

B. Rough carpentry at decks designed to be left exposed (without trim) to be stained with two coats of Sherwin Williams 9600 solid deck stain.

C. Maximum Moisture Content of Substrates:

a. Fiber Cement Board: 12 Percent

b. Wood: 15 Percent

D. All excess paint and stain to be labeled, sealed and to remain on site. Coordinate storage of paint with Owner.

E. Siding to be painted to match color on existing end walls. Paint 4x4' sample of color for Architect's approval prior to painting remaining siding.

F. Stain color to match decking.
- HARBOR ISLAND CONDOS
- BUILDING L+M OCEANSIDE EXTERIOR RENOVATIONS
- I HARBOR DR. N,  
ST HELENA ISLAND, SC 29920
- | REV# | DESCRIPTION | DATE       |
|------|-------------|------------|
| 1    | Revision 1  | 09/09/2024 |
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- 
- 
- FOR CONSTRUCTION
- 
- PROJECT NOTES
- |            |     |      |  |
|------------|-----|------|--|
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# BUILDING 'L' OCEANSIDE RENOVATIONS



## HARBOR ISLAND CONDOS

### BUILDING L+M OCEANSIDE EXTERIOR RENOVATIONS

1 HARBOR DR. N,  
ST HELENA ISLAND, SC 29920

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FOR CONSTRUCTION

#### PROPERTY INFORMATION

ADDRESS: 1 Harbor Dr. N, St.  
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PIN: R300 020 00A 121A 0000  
ZONING: PUD (Existing  
Planned Unit Development)

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A504	WINDOW, WALL, AND DOOR DETAILS	09/24/24

#### BUILDING LOCATION MAP



#### VICINITY MAP



#### CONTACT INFORMATION

ARCHITECT - Architecture 101  
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Role: Project Manager  
Phone: (937)-416-9160  
Email: morgan@a101.design

STRUCTURAL - 29e6  
Contact: Andy Richardson, P.E.  
Email: andy@29e6.co

#### ABBREVIATIONS

APC	ACOUSTICAL PANEL CEILING	MAX	MAXIMUM
AFF	ABOVE FINISH FLOOR	MFR	MANUFACTURER
A/C	AIR CONDITIONING	MIN	MINIMUM
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FIN	FINISH	TYP	TYPICAL
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GA	GAUGE	W/D	WASHER/DRYER
GWB	GYPSUM WALLBOARD	WD	WOOD
HB	HOSE BIBB	WH	WATER HEATER
INT	INTERIOR		



#### COVER SHEET

2023.32		G000
09/24/2024		
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Checked By	SGS	

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A1 BUILDING L - OCEANSIDE - BACK RIGHT



A12 BUILDING L - OCEANSIDE - BACK LEFT

HARBOR ISLAND CONDOS  
Building L + M

1 HARBOR DR N,  
ST HELENA ISLAND, SC 29920

REV#	DESCRIPTION	DATE

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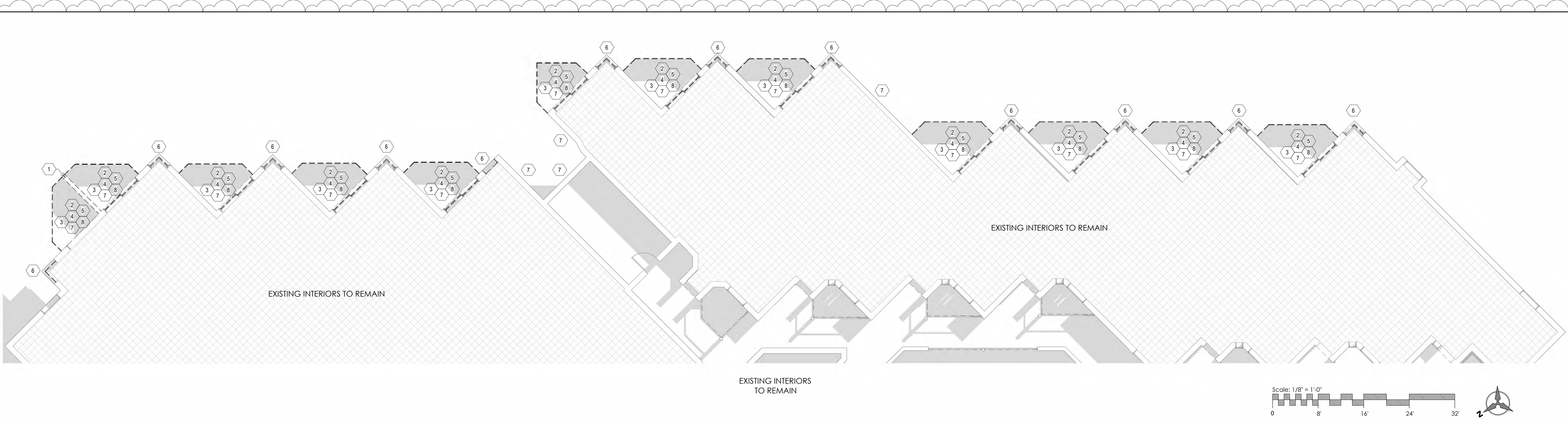
BUILDING L 3D  
VIEWS

2023.32	
09/24/2024	
Drawn By	MNC
Checked By	SGS

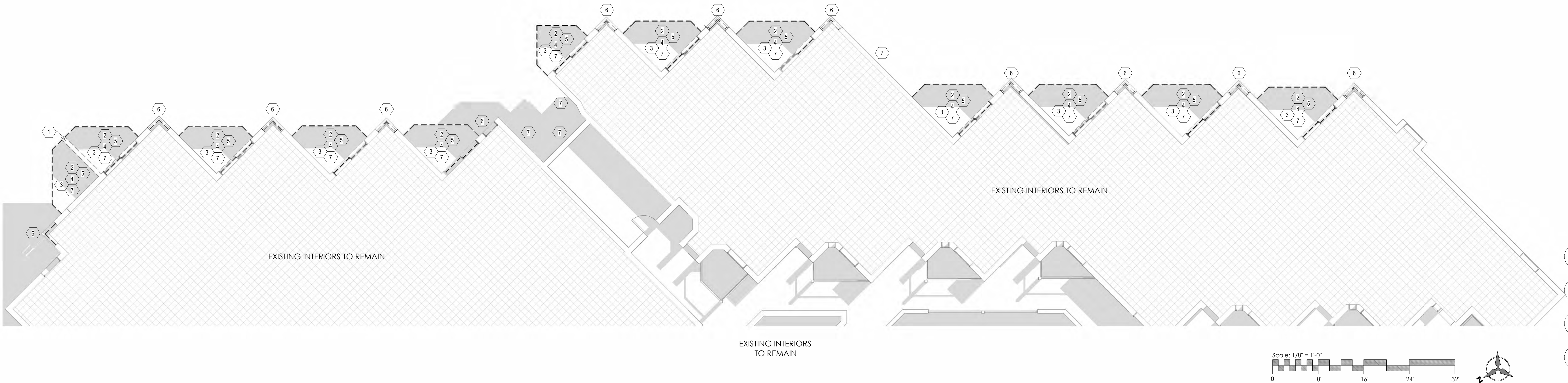
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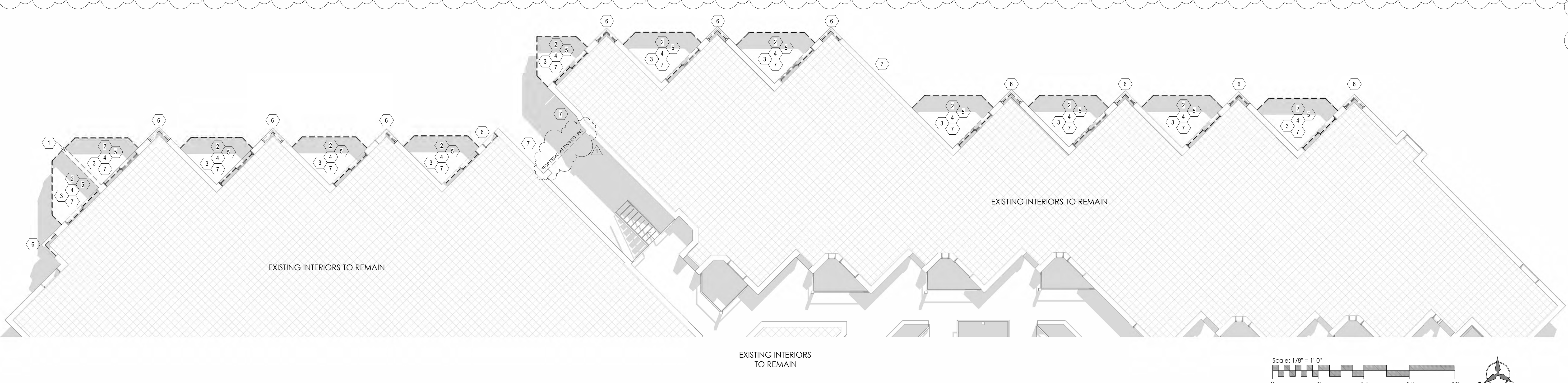




**THIRD FLOOR - BUILDING L - EXISTING**  
1/8" = 1'-0"



**SECOND FLOOR - BUILDING L - EXISTING**  
1/8" = 1'-0"



**FIRST FLOOR - BUILDING L - EXISTING**  
1/8" = 1'-0"

# HARBOR ISLAND CONDOS

## Building L + M

1 HARBOR DR N,  
ST HELENA ISLAND, SC 29920

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FOR CONSTRUCTION

### GENERAL NOTES

1. **GC TO VERIFY THAT ALL WALLS ARE NON-LOAD BEARING PRIOR TO REMOVAL.** Should a wall be determined as load bearing, alert architect immediately and leave wall in place for field verification.

### GENERAL DEMO. NOTES

- Contractor to conduct demolition operations as to prevent against damaging existing construction to remain. All damage created by the demolition operation shall be repaired and prepared to receive new finishes. Demolition operation shall be conducted as to prevent personal injury to all persons on site during the life of the demolition and construction phases of the project.
- Contractor to ensure the security of the building during off construction hours thru-out the life of the project. Security includes but is not limited to prevention from theft, vandalism, and damage by weather conditions.

### LEGEND

- BUILDING COMPONENT TO REMAIN
- BUILDING COMPONENT TO BE DEMOLISHED

### DEMOLITION NOTES

- Remove and dispose of existing partition wall construction. Included but not limited to all electrical, mechanical, and plumbing hidden within. Prepare for new wall construction as drawn.
- Remove and dispose of existing sliding door and all associated hardware. Existing door frame to remain.
- Remove and dispose of existing deck and all associated framing unless noted otherwise. Prepare for new deck construction as drawn.
- Remove and dispose of existing railing.
- Remove and dispose of existing screen around deck and all associated framing.
- Remove and dispose of existing window, frame, and all associated hardware.
- Remove and dispose of existing Hardi siding. If any type of sheathing BESIDES plywood sheathing exists, it is to be demolished and replaced with new plywood sheathing. If plywood sheathing exists and is not water damaged, it is to remain.
- Remove and dispose of existing ceiling. All roof construction above to remain.



## DEMO PLANS - BUILDING L

2023.32
09/24/2024
Drawn By MNC
Checked By SGS

# D101

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GENERAL DEMOLITION NOTES

- REMOVAL AS DESCRIBED HEREIN SHALL BE ACCOMPLISHED WITHOUT STORING EXCESSIVE QUANTITIES OF ANY MATERIALS, RUBBISH, DIRT, DEBRIS OR WASTE OF ANY SORT RESULTING FROM THE REMOVAL OPERATIONS IN THE DEMOLITION AREA.
- ALL DEBRIS AND RUBBISH SHALL BE REMOVED FROM THE CONSTRUCTION SITE AS REQUIRED. CONTRACTOR TO COORDINATE ALL RECYCLING AND DISPOSAL OF ALL DEMOLISHED MATERIAL AND EQUIPMENT WITH THE APPROPRIATE WASTE MANAGEMENT AGENCY PRIOR TO REMOVAL AND DEMOLITION WORK.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO MAINTAIN PROTECTION FROM ACCESS OF THE PUBLIC THROUGH THE AREAS OF WORK.
- ALL DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES.
- THE CONTRACTOR SHALL REVIEW WITH THE OWNER AND ARCHITECT, ANY AND ALL ITEMS OF POSSIBLE DEMOLITION, NOT IMPLIED OR SPECIFIED ON THE DRAWINGS OR SPECIFICATIONS, THAT MAY PREVENT COMPLETION OF DEMO WORK IN ORDER TO COMPLETE THE DEMOLITION PHASE OF WORK.
- JBSITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHALL FOLLOW OSHA STANDARDS DURING THE ENTIRE CONSTRUCTION PROJECT.
- PROVIDE ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES AND PERFORM ALL OPERATIONS REQUIRED FOR COMPLETE EXTERIOR DEMOLITION AND RELATED WORK AS DESCRIBED AND SPECIFIED HEREIN, AND AS MAY BE REASONABLY IMPLIED AS NECESSARY TO COMPLETE THE WORK IN ALL RESPECTS.
- WORK SHALL CONFORM TO THE LATEST EDITION OF ALL APPLICABLE REFERENCE SPECIFICATIONS AND TO THE GOVERNING BUILDING CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- JBSITE INSPECTION MUST BE CONDUCTED TO EXAMINE EXISTING CONDITIONS, TO DETERMINE NATURE AND SCOPE OF WORK OR ANY DISCREPANCIES THAT MIGHT ARISE AT TIME OF WORK. IN ADDITION, EXAMINE ALL WORK THAT IS INTENDED TO REMAIN AS PART OF THE COMPLETED PROJECT AND REPORT ALL UNSATISFACTORY CONDITIONS TO THE OWNER AND ARCHITECT PRIOR TO COMMENCEMENT OF WORK. EXERCISE EXTREME CARE DURING DEMOLITION SO AS NOT TO DAMAGE CONSTRUCTION, OTHER STRUCTURES OR FURNISHINGS THAT ARE INTENDED TO REMAIN. ANYTHING DAMAGED AT TIME OF WORK IS TO BE REPAIRED AND/OR REPLACED TO MATCH EXISTING AT CONTRACTOR'S EXPENSE.
- DURING DEMOLITION, SHOULD ANY WORK AFFECT THE INTEGRITY OF THE STRUCTURE, WORK MUST STOP IMMEDIATELY AND THE OWNER AND ARCHITECT SHALL BE NOTIFIED. UNDER NO CIRCUMSTANCES SHALL REINFORCING OF ANY KIND BE DAMAGED, CUT OR BROKEN.
- FIRE ALARM AND LIFE SAFETY COMPONENTS TO REMAIN OPERATIONAL DURING DEMOLITION AND CONSTRUCTION.
- ALL SHORING NECESSARY FOR TEMPORARY SUPPORT OF EXISTING WALLS DURING DEMOLITION SHALL BE PROVIDED AND DESIGNED BY THE CONTRACTOR.
- IT IS UNDERSTOOD THAT THE EXISTING BUILDING MAY CONTAIN ASBESTOS OR OTHER HAZARDOUS & TOXIC MATERIAL. THE ARCHITECT'S SERVICES DO NOT INCLUDE ANY SERVICES RELATED TO ASBESTOS OR OTHER HAZARDOUS & TOXIC MATERIAL. IN THE EVENT ANY PARTY ENCOUNTERS SUSPECTED ASBESTOS OR OTHER HAZARDOUS & TOXIC MATERIAL AT THE JOB SITE, OR SHOULD IT BECOME KNOWN IN ANY WAY THAT SUCH MATERIALS MAY BE PRESENT AT THE JOB SITE OR ANY ADJACENT AREAS THAT MAY AFFECT THE PERFORMANCE OF THE WORK, THE OWNER AND THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY IN WRITING. THE ARCHITECT MAY AT THEIR DISCRETION AND WITHOUT LIABILITY FOR CONSEQUENTIAL OR ANY OTHER DAMAGES, SUSPEND SERVICES UNTIL THE OWNER RETAINS THE APPROPRIATE SPECIALIST CONSULTANTS OR CONTRACTORS TO IDENTIFY, ABATE AND/OR REMOVE ASBESTOS OR OTHER HAZARDOUS & TOXIC MATERIALS AND WARRANT THE JOB SITE IS IN FULL COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS.

HARBOR ISLAND CONDOS

Building L + M

1 HARBOR DR N,  
ST HELENA ISLAND, SC 29920

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FOR CONSTRUCTION

LEGEND

- BUILDING COMPONENT TO REMAIN
- - - - - BUILDING COMPONENT TO BE DEMOLISHED

DEMOLITION NOTES

- Remove and dispose of existing partition wall construction. Included but not limited to all electrical, mechanical, and plumbing hidden within. Prepare for new wall construction as drawn.
- Remove and dispose of existing sliding door and all associated hardware. Existing door frame to remain.
- Remove and dispose of existing deck and all associated framing unless noted otherwise. Prepare for new deck construction as drawn.
- Remove and dispose of existing railing.
- Remove and dispose of existing screen around deck and all associated framing.
- Remove and dispose of existing window, frame, and all associated hardware.
- Remove and dispose of existing Hardi siding. If any type of sheathing BESIDES plywood sheathing exists, it is to be demolished and replaced with new plywood sheathing. If plywood sheathing exists and is not water damaged, it is to remain.
- Remove and dispose of existing ceiling. All roof construction above to remain.



DEMO ELEVATIONS  
- BUILDING L

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SCOPE

THIS IS A STRUCTURAL PACKAGE INTENDED TO BRING THIS STRUCTURE TO THE REQUIREMENTS AS SET FORTH IN THE APPLICABLE BUILDING CODE. ANY ITEMS NOT SPECIFIED HEREIN SHALL FOLLOW THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE'S PRESCRIPTIVE REQUIREMENTS. SUCH ITEMS MAY INCLUDE DETAILING OF FRAMING CONNECTIONS, SIZES OF MEMBERS, MATERIAL SPECIFICATIONS, AND OTHER REQUIREMENTS RELATED TO THE STRUCTURE. WHERE MANUFACTURED PRODUCTS ARE USED, THE DETAILING AS ESTABLISHED BY THE MANUFACTURER SHALL BE USED.

STRUCTURAL DESIGN SPECIFICATIONS

- REFERENCE CODE
  - 2021 INTERNATIONAL BUILDING CODE WITH APPLICABLE STATE AMENDMENTS
- MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES DURING CONSTRUCTION ARE REQUIRED PER ASCE STANDARD NO.37-02 "DESIGN LOADS ON STRUCTURES DURING CONSTRUCTION"
- BUILDING DESIGN LOADS
  - LIVE LOAD INFORMATION
    - FLOOR LIVE LOAD: 40 PSF
  - DEAD LOAD INFORMATION
    - FLOOR DEAD LOAD: 15 PSF
  - WIND LOAD INFORMATION
    - DESIGN WIND SPEED = 145 MPH
    - WIND IMPORTANCE FACTOR ( $I_w$ ) = 1.0
    - RISK CATEGORY = II
    - WIND EXPOSURE = D
    - INTERNAL PRESSURE COEFFICIENT = +/- 0.18
    - COMPONENTS AND CLADDING = AS FOLLOWS
    - WIND PRESSURES ARE REPORTED AT ASD LEVEL. SEE ALSO FIGURE 1 (THIS PAGE).
      - ROOF
        - ZONE 1: -57 PSF
        - ZONE 2: -79 PSF
        - ZONE 3: -95 PSF
      - WALLS
        - ZONE 4 -20 PSF
        - ZONE 5 -23 PSF
  - SEISMIC DESIGN INFORMATION
    - RISK CATEGORY = II
    - SEISMIC IMPORTANCE FACTOR ( $I_e$ ) = 1.0
    - 0.2 SECOND SPECTRAL RESPONSE ACCELERATION ( $S_s$ ) = 0.842
    - 1 SECOND SPECTRAL RESPONSE ACCELERATION ( $S_1$ ) = 0.263
    - SITE CLASS = D
    - 0.2 SECOND DESIGN SPECTRAL RESPONSE ACCELERATION ( $S_{DS}$ ) = 0.673
    - 1 SECOND DESIGN SPECTRAL RESPONSE ACCELERATION ( $S_{D1}$ ) = 0.364
    - SEISMIC DESIGN CATEGORY = D
    - LATERAL FORCE RESISTING SYSTEM / RESPONSE MODIFICATION COEFFICIENT (R)
      - LIGHT FRAMED WOOD WALLS SHEATHED WITH WOOD STRUCTURAL PANELS (6.5)
    - DESIGN BASE SHEAR ( $V_c$ ) =  $W/C_s$
    - SEISMIC RESPONSE COEFFICIENT ( $C_s$ ) = 0.104
    - ANALYTICAL PROCEDURE = EQUIVALENT LATERAL FORCE PROCEDURE

GENERAL

- THE INTENT OF THESE DRAWINGS IS TO SHOW ALL ITEMS NECESSARY TO COMPLETE THE STRUCTURE. FOR ITEMS, METHODS, AND/OR MATERIALS NOT SHOWN, THE MINIMUM REQUIREMENTS OF THE REFERENCE CODE SHALL GOVERN. ALL WORK AND CONSTRUCTION SHALL COMPLY WITH ALL OTHER APPLICABLE BUILDING CODES, SOIL REPORTS, REGULATIONS, AND SAFETY REQUIREMENTS.
- THROUGHOUT THESE DRAWINGS, THE TERM ENGINEER REFERS TO THE ENGINEER OF RECORD FOR THIS PROJECT. OTHER ENGINEERING DISCIPLINES WILL BE EXPLICITLY DESCRIBED. THE TERM ARCHITECT REFERS TO THE ARCHITECT OF RECORD FOR THIS PROJECT.
- PLAN NORTH IS EXPLICITLY CALLED OUT ON THE SHEETS. TRUE NORTH IS TO BE INDICATED ON THE SPECIFIC PLANS WHERE APPLICABLE PER AN APPROVED SITE PLAN. PLAN NORTH IS FOR COORDINATION PURPOSES AND NOT FOR BUILDING LOCATION.
- METHODS, MEANS, AND MATERIALS ARE EXPLICITLY CALLED OUT IN THESE NOTES. ANY DEVIATION OR PROPOSED CHANGE IS TO BE COMMUNICATED IMMEDIATELY TO THE ENGINEER. NO DEVIATION OR CHANGE IS ACCEPTABLE WITHOUT WRITTEN APPROVAL BY THE ENGINEER.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, FORMWORK, ETC. AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING THE CONSTRUCTION OF THE BUILDING. SHORING AND TEMPORARY BRACING SHALL REMAIN IN PLACE UNTIL FLOORS, ROOF, AND LATERAL BRACING SYSTEMS HAVE BEEN ENTIRELY CONSTRUCTED, OR UNTIL THE PARTIALLY BUILT STRUCTURE IS PROVEN SAFE AND STABLE BY A REGISTERED ENGINEER ENGAGED BY THE CONTRACTOR. SHORING DRAWINGS AND CALCULATIONS SHALL BE SEALED BY A REGISTERED ENGINEER AND SUBMITTED TO THE ARCHITECT / ENGINEER FOR REVIEW. MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES DURING CONSTRUCTION SHALL BE MAINTAINED PER ASCE STANDARD NO. 37-02 "DESIGN LOADS ON STRUCTURES DURING CONSTRUCTION."
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS WITH THE ARCHITECTURAL, CIVIL, ELECTRICAL, AND MECHANICAL DRAWINGS BEFORE PREPARING SHOP DRAWINGS, FABRICATION, OR CONSTRUCTION. SEE ARCHITECTURAL, CIVIL, ELECTRICAL, AND MECHANICAL DRAWINGS FOR SIZE AND LOCATIONS OF PIPES, SLEEVES, PITS, VENTS, DUCTS, ROOF OPENINGS, TRENCHES, EQUIPMENT PADS, MISCELLANEOUS IRON, AND/OR ANY DETAILS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
- CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED ROOF OR FLOOR. THE LOAD SHALL NOT EXCEED THE DESIGN LOADS PER SQUARE FOOT. PROVIDE ADEQUATE SHORING AND/OR BRACING WHERE STRUCTURE HAS NOT ATTAINED DESIGN STRENGTH.
- ALL DRAWINGS ARE CONSIDERED TO BE A PART OF THE CONTRACT DOCUMENTS. DRAWINGS ARE NOT CONSIDERED ISSUED FOR CONSTRUCTION UNTIL THE ENGINEER HAS SIGNED AND SEALED EACH SHEET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENT OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN EXPENSE AND AT NO EXPENSE TO THE OWNER, ARCHITECT, OR ENGINEER.
- NOTES AND DETAILS ON DRAWING SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO NOTE OR DETAIL IS GIVEN, CONSTRUCTION SHALL BE PER TYPICAL STRUCTURAL, MANUFACTURER, OR ARCHITECTURAL DETAIL.
- OPENINGS, POCKETS, ETC. LARGER THAN 6" SHALL NOT BE PLACED IN CONCRETE SLABS, DECKS, OR WALLS UNLESS SPECIALLY DETAILED ON THE STRUCTURAL DRAWINGS. NOTIFY THE ENGINEER WHEN DRAWINGS BY OTHERS SHOW OPENINGS, POCKETS, ETC. LARGER THAN 6" THAT ARE NOT SHOWN ON THE STRUCTURAL DRAWINGS BUT ARE LOCATED IN STRUCTURAL MEMBERS. FOR ANY FURTHER RESTRICTIONS ON OPENINGS IN STRUCTURAL ELEMENTS, SEE APPLICABLE SECTIONS BELOW.

GENERAL NOTES (CONT.)

- PIPES LARGER THAN 1-1/2" DIAMETER SHALL NOT BE EMBEDDED IN STRUCTURAL CONCRETE EXCEPT WHERE SPECIFICALLY APPROVED.
- ALL CONTRACTOR DESIGNED ELEMENTS SHALL BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER. CONTRACTOR SHALL SUBMIT CALCULATIONS CERTIFYING THAT ELEMENTS ARE DESIGNED FOR THE STATED UNFACTORED LOADS.
- ALL TESTING AND INSPECTION OF WELDS SHALL BE DONE BY AN INDEPENDENT TESTING SERVICE ACCEPTABLE TO THE ENGINEER AND SHALL CONFORM TO THE LATEST EDITION OF ANSI/AWS 01.1. WELD INSPECTORS ARE TO BE AWS CERTIFIED.
- ANY SLOPE SHALL BE CONSTRUCTED AT A MAXIMUM GRADIENT OF 2:1 (HORIZONTAL TO VERTICAL). FILL AND CUT SLOPES SHOULD BE VEGETATED AS SOON AS POSSIBLE TO MINIMIZE EROSION OF SOIL.
- ANY VERTICAL SOIL CUTS MUST BE PROVIDED WITH PROPER SHORING TO PROTECT WORKERS AND ADJACENT PROPERTY. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, AND THE PROTECTION OF ADJACENT PROPERTY.
- SHOP DRAWINGS PREPARED BY SUPPLIERS AND SUBCONTRACTORS SHALL BE REVIEWED BY THE GENERAL CONTRACTOR PRIOR TO SUBMITTING TO THE ENGINEER.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS SHOWING SIZE, METHOD OF ANCHORAGE, AND WEIGHT OF ALL EQUIPMENT THAT IS TO BE SUPPORTED BY THE STRUCTURE FOR REVIEW BY THE ENGINEER. THIS IS TO DETERMINE ADEQUACY OF THE STRUCTURE PRIOR TO ORDERING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND DETAIL OF SIMPLE (SHEAR ONLY) CONNECTIONS NOT SHOWN ON DRAWINGS.
- SHOP DRAWINGS AND OTHER ITEMS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION. ALL SHOP DRAWINGS SHALL BE REVIEWED BY THE GENERAL CONTRACTOR BEFORE SUBMITTAL. THE ENGINEER'S REVIEW IS INTENDED TO REVIEW FOR CONFORMANCE WITH THE DESIGN CONCEPT AND GENERAL COMPLIANCE WITH THE RELEVANT CONTRACT DOCUMENTS. THE ENGINEER'S REVIEW DOES NOT RELIEVE THE CONTRACTOR OF THE SOLE RESPONSIBILITY TO REVIEW, CHECK, AND COORDINATE THE SHOP DRAWINGS PRIOR TO SUBMISSION. THE CONTRACTOR REMAINS SOLELY RESPONSIBLE FOR ERRORS AND OMISSIONS ASSOCIATED WITH THE PREPARATION OF SHOP DRAWINGS AS THEY PERTAIN TO MEMBER SIZES, DETAILS, DIMENSIONS, ETC. REPRODUCTIONS OF CONTRACT DOCUMENTS SHALL NOT BE USED TO PREPARE SHOP DRAWINGS. SHOP DRAWINGS AND SUBMITTALS SHALL BE SUBMITTED "CONTRACTOR APPROVED."

LUMBER FRAMING

- STRUCTURAL LUMBER SHALL BE SOUTHERN YELLOW PINE #2, SPRUCE PINE FIR #2 OR BETTER, UNLESS NOTED OTHERWISE.
- ALL STRUCTURAL WOOD USED IN THE CONSTRUCTION OF EXTERIOR COMPONENTS (E.G. STEPS, PORCHES, AND DECKS), EXPOSED TO WEATHER, AND / OR IN CONTACT WITH CONCRETE / SOIL SHALL BE PRESSURE TREATED OR EQUALLY ROT RESISTANT.
- ALL STRUCTURAL WOOD COMPONENTS (E.G. PLYWOOD AND ALL LUMBER) BELOW FLOOD ELEVATION SHALL BE PRESSURE TREATED OR EQUALLY ROT RESISTANT.
- ALL FASTENERS AND CONNECTORS (HARDWARE) SHALL BE GALVANIZED OR STAINLESS STEEL. ALL HARDWARE SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- REPLACEMENT WALL SHEATHING: 15/32" MINIMUM 24/16 APA-RATED PLYWOOD, WITH 0.131" DIAMETER X 2.5" LONG (8D COMMON) NAILS AT 3" ON CENTER AT ALL PANEL EDGES / BOUNDARIES, AND 12" ON CENTER IN THE FIELD. BLOCK ALL EDGES OF PLYWOOD UNLESS NOTED OTHERWISE.

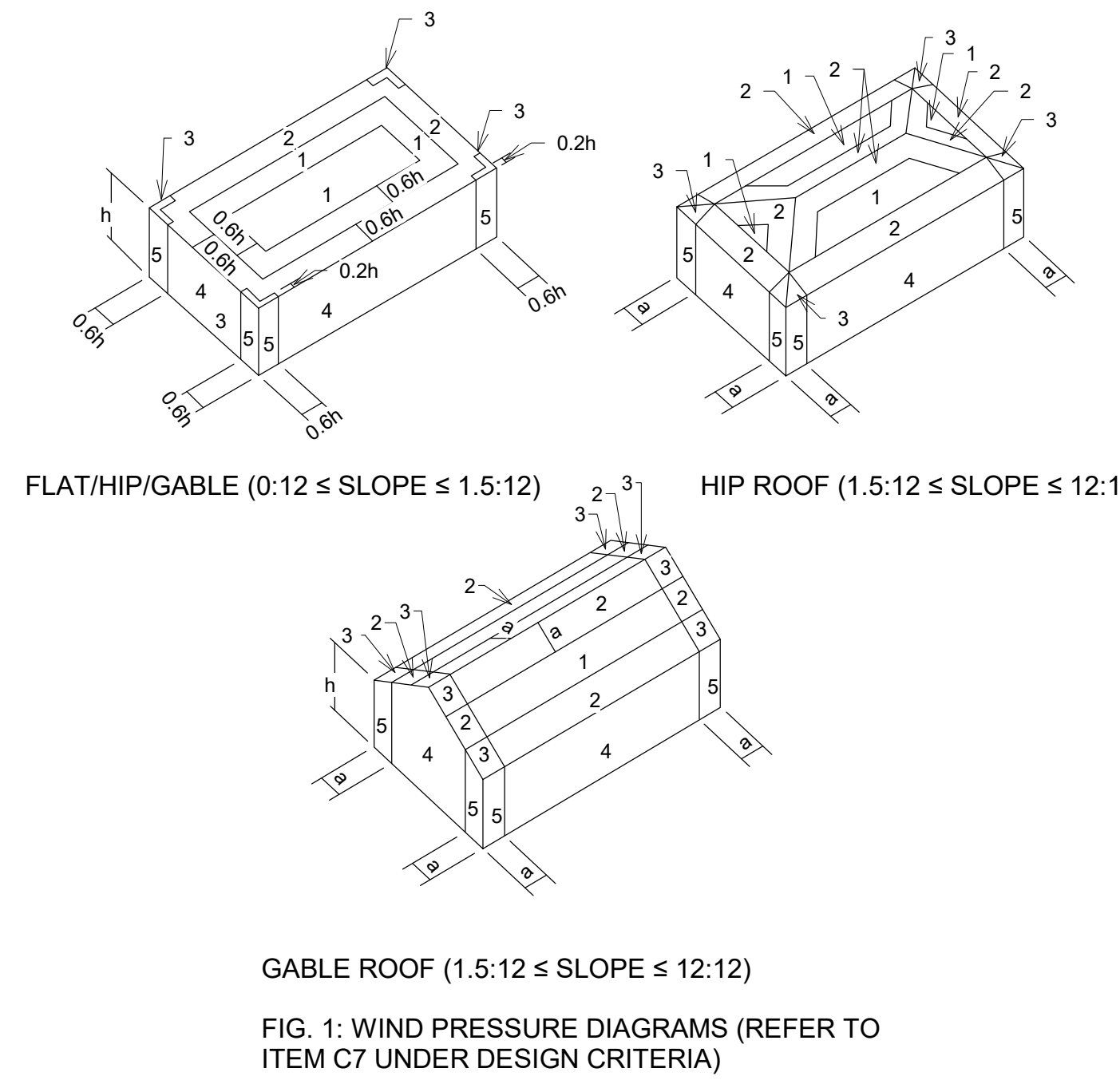


FIG. 1: WIND PRESSURE DIAGRAMS (REFER TO ITEM C7 UNDER DESIGN CRITERIA)

STRUCTURAL ABBREVIATIONS

- |        |                            |
|--------|----------------------------|
| A.B.   | -ANCHOR BOLT               |
| ADD/L  | - ADDITIONAL               |
| AFF    | - ABOVE FINISHED FLOOR     |
| ARCH   | - ARCHITECT/ARCHITECTURAL  |
| BFF    | - BELOW FINISHED FLOOR     |
| B.N.   | - BOUNDARY NAILING         |
| CA     | - COLUMN ABOVE             |
| C.I.P. | - CAST IN PLACE            |
| C.J.   | - CONTRL JOINT             |
| CL     | - CENTER LINE              |
| CLR    | - CLEAR                    |
| COL    | - COLUMN                   |
| CONC   | - CONCRETE                 |
| CONN   | - CONNECTION               |
| CONST  | - CONSTRUCTION             |
| CONT.  | - CONTINUOUS               |
| COORD. | - COORDINATE               |
| DET.   | - DETAIL                   |
| DIA    | - DIAMETER                 |
| DIAG   | - DIAGONAL                 |
| DIM    | - DIMENSION                |
| DWG    | - DRAWING                  |
| (E)    | - EXISTING                 |
| EA     | - EACH                     |
| EJ     | - EXPANSION JOINT          |
| EL     | - ELEVATION                |
| ENGR   | - ENGINEER                 |
| EOD    | - EDGE OF DECK             |
| EOS    | - EDGE OF SLAB             |
| EQ     | - EQUAL                    |
| EQUIP  | - EQUIPMENT                |
| EW     | - EACH WAY                 |
| EXP    | - EXPANSION                |
| EXT    | - EXTERIOR                 |
| F.F.   | - FINISHED FLOOR           |
| FDN    | - FOUNDATION               |
| FFE    | - FINISHED FLOOR ELEVATION |
| FIN.   | - FINISH(ED)               |
| FLR.   | - FLOOR                    |
| FT     | - FOOT / FEET              |
| FTG.   | - FOOTING                  |
| GA     | - GAUGE                    |
| GALV.  | - GALVANIZE (D) (ING)      |
| HI     | - HIGH                     |
| HORIZ. | - HORIZONTAL               |
| JBE    | - JOIST BEARING ELEVATION  |
| MFR    | - MANUFACTURER             |
| (N)    | - NEW                      |
| O.C.   | - ON CENTER                |
| PSF    | - POUNDS PER SQUARE FOOT   |
| P.T.   | - PRESSURE TREATED         |
| REINF  | - REINFORCEMENT            |
| SYP    | - SOUTHERN YELLOW PINE     |
| U.N.O. | - UNLESS NOTED OTHERWISE   |
| VERT   | - VERTICAL                 |
| V.I.F. | - VERIFY IN FIELD          |
| W/     | - WITH                     |
| WWF    | - WELDED WIRE FABRIC       |

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1"=8'

1"=4'

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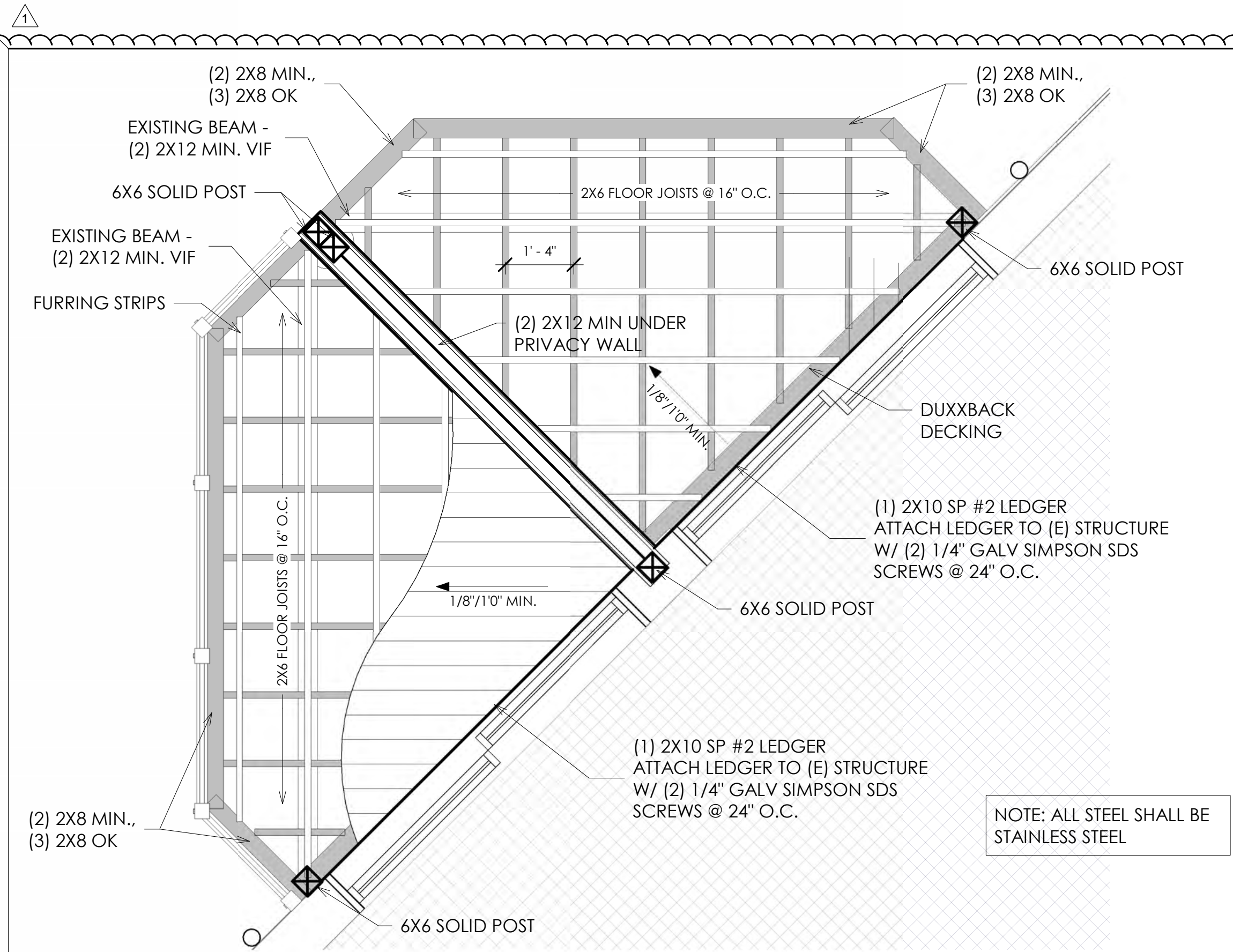
HARBOR ISLAND CONDOS  
BUILDING L + M  
1 HARBOR DR. N  
ST HELENA ISLAND, SC 29920  
PROJECT NO: 20-012

STRUCTURAL NOTES

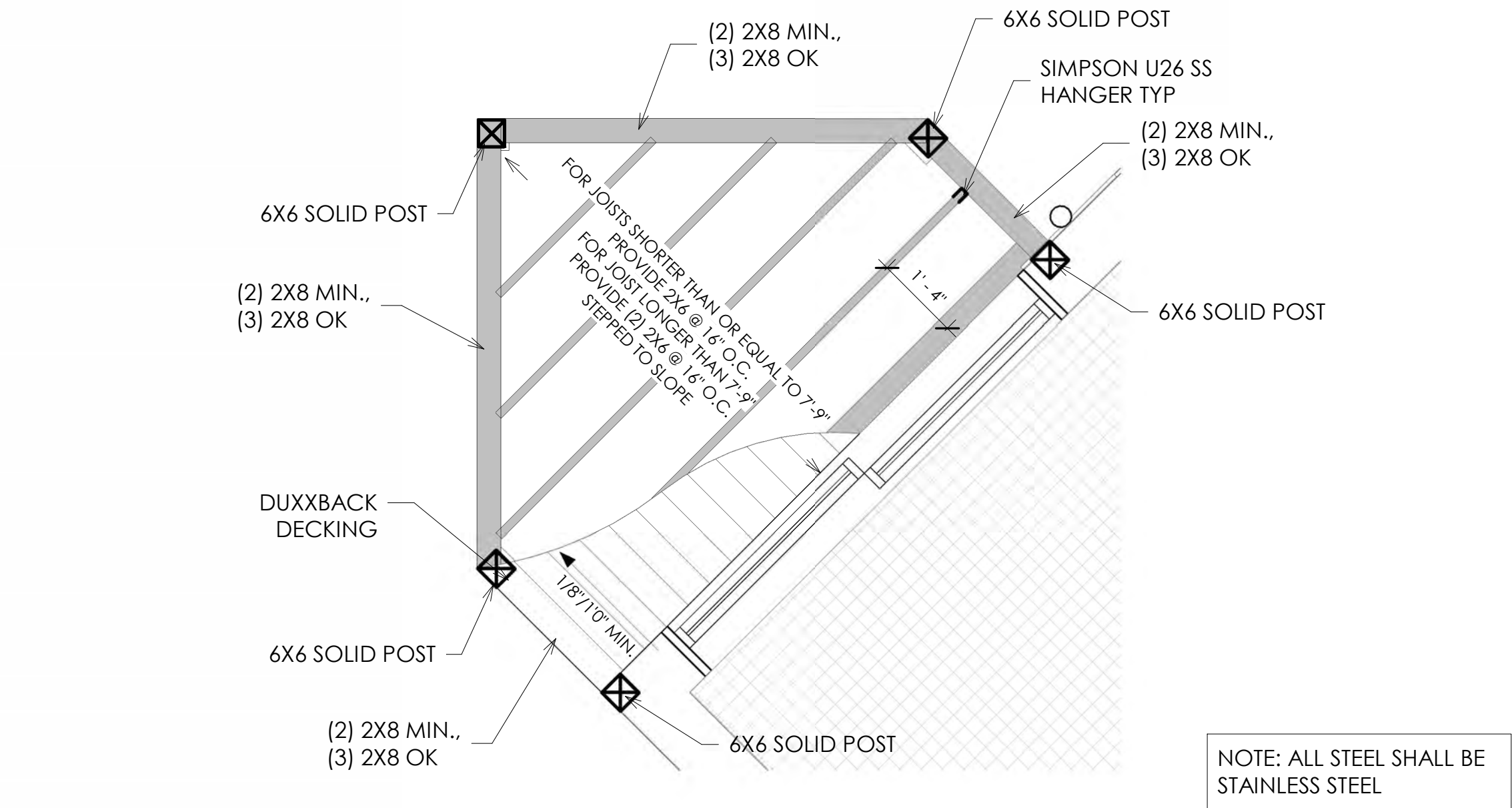
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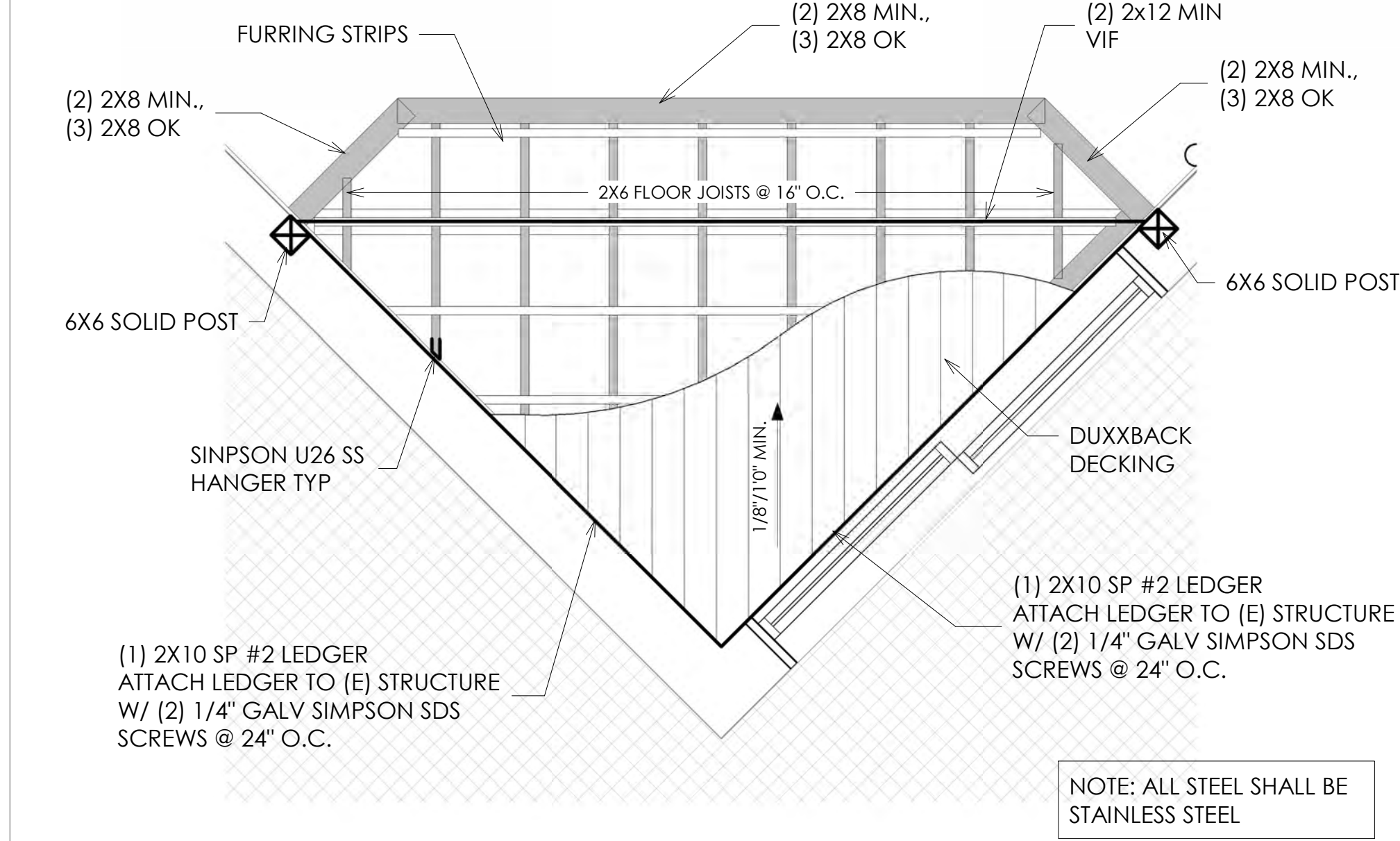




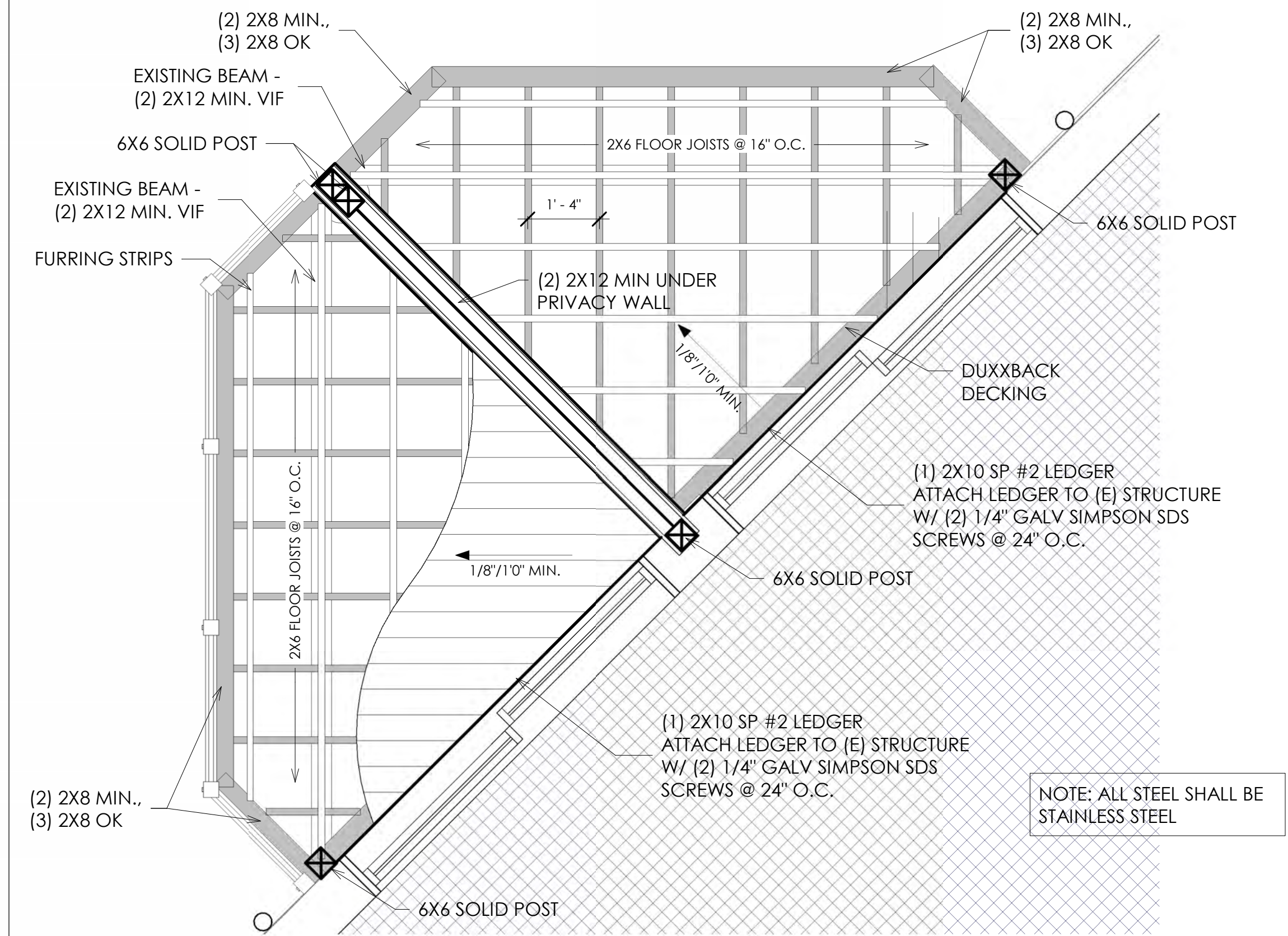
1 FRAMING PLAN - THIRD FLOOR - PORCH TYPE 1 - BUILDING L  
1/2" = 1'-0"



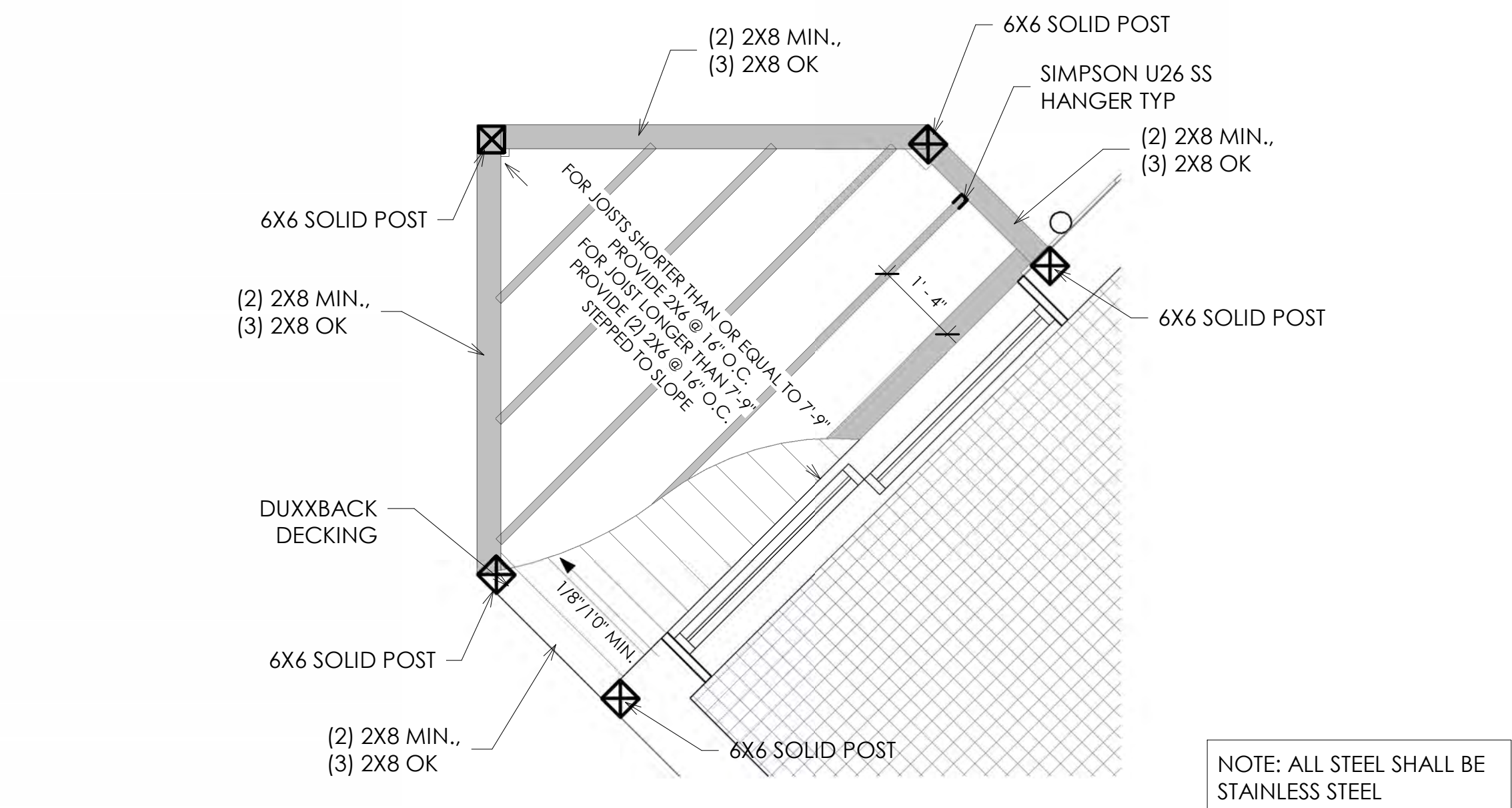
2 FRAMING PLAN - THIRD FLOOR - PORCH TYPE 2 - BUILDING L  
1/2" = 1'-0"



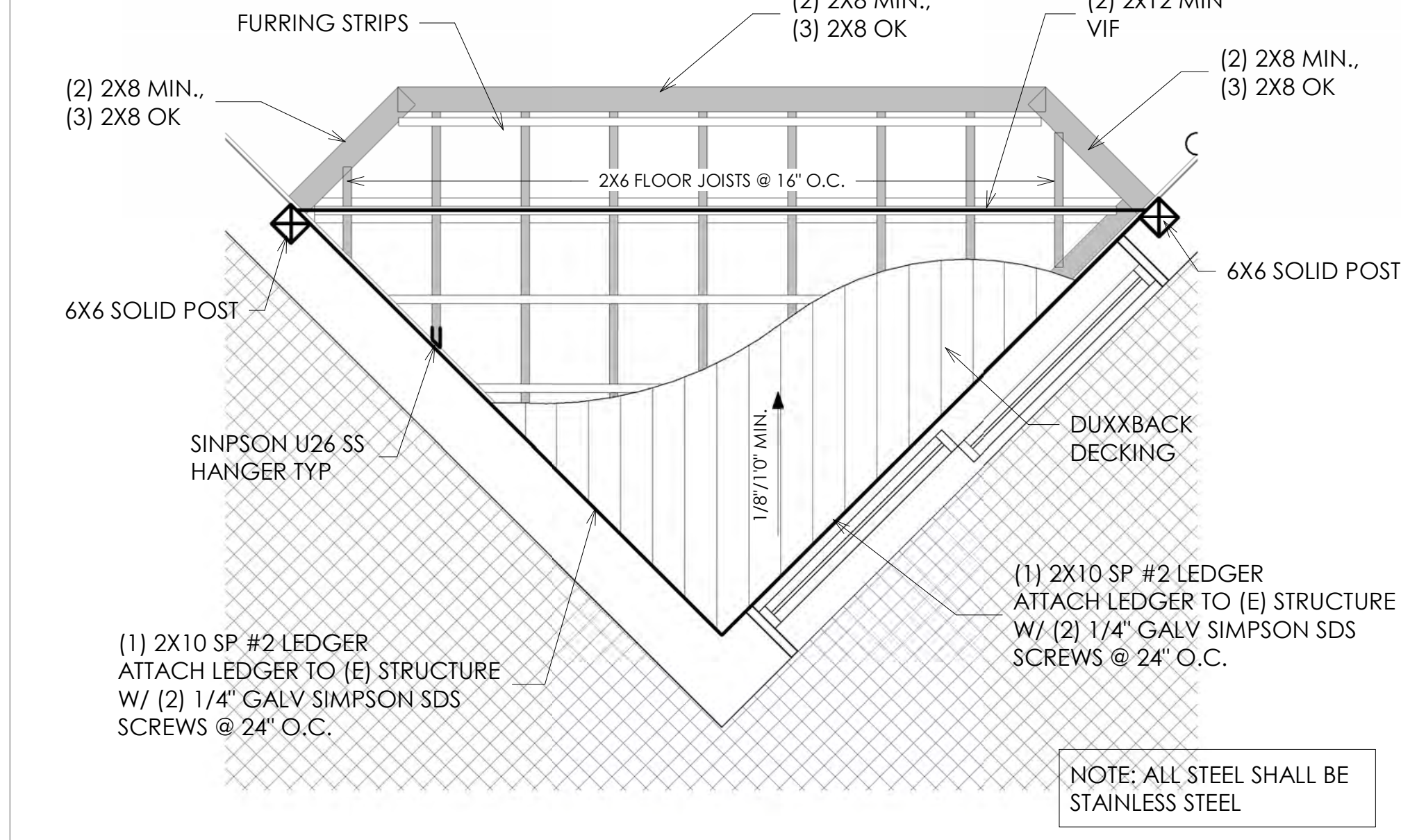
3 FRAMING PLAN - THIRD FLOOR - PORCH TYPE 3 - BUILDING L  
1/2" = 1'-0"



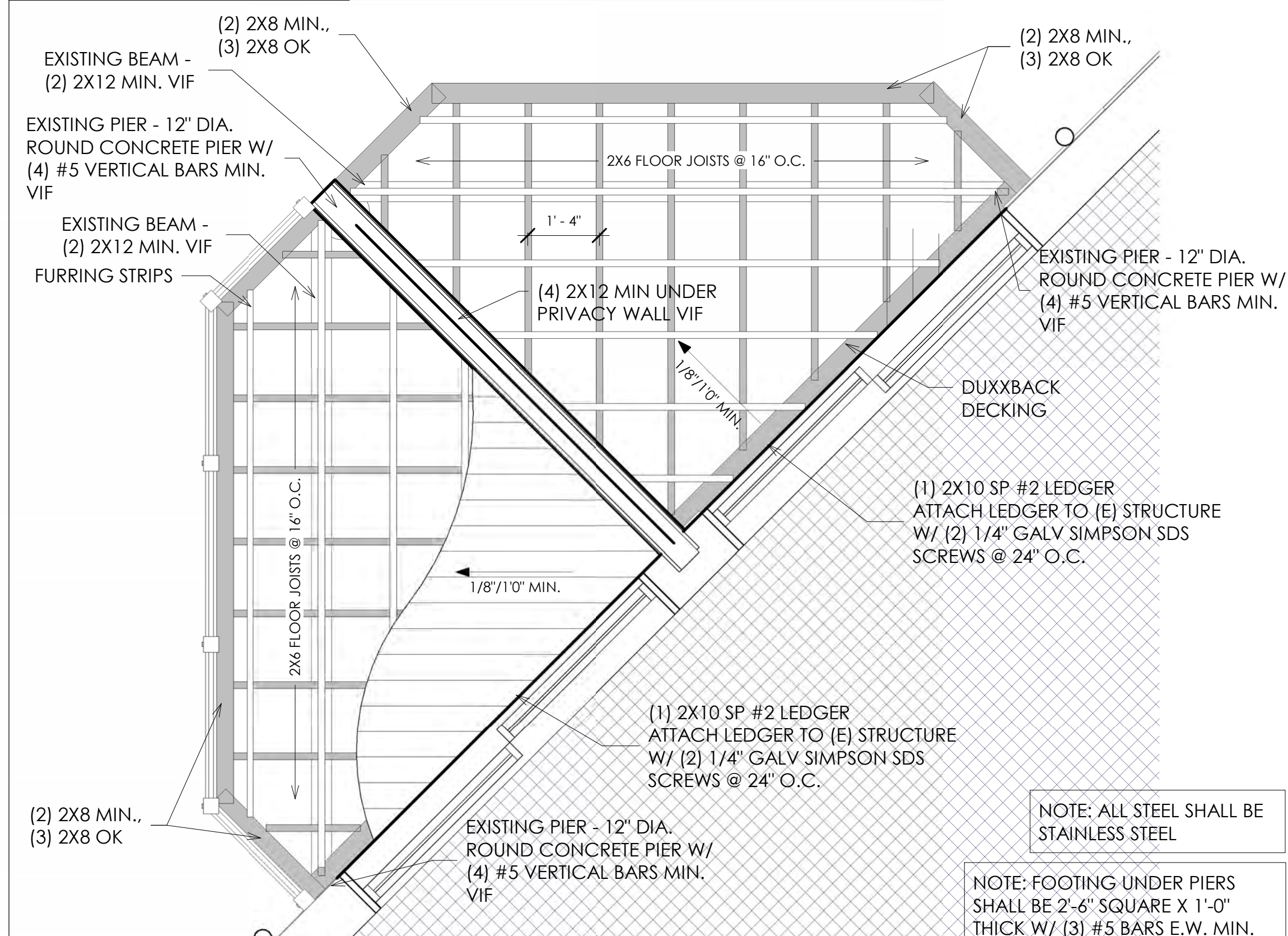
4 FRAMING PLAN - SECOND FLOOR - PORCH TYPE 1 - BUILDING L  
1/2" = 1'-0"



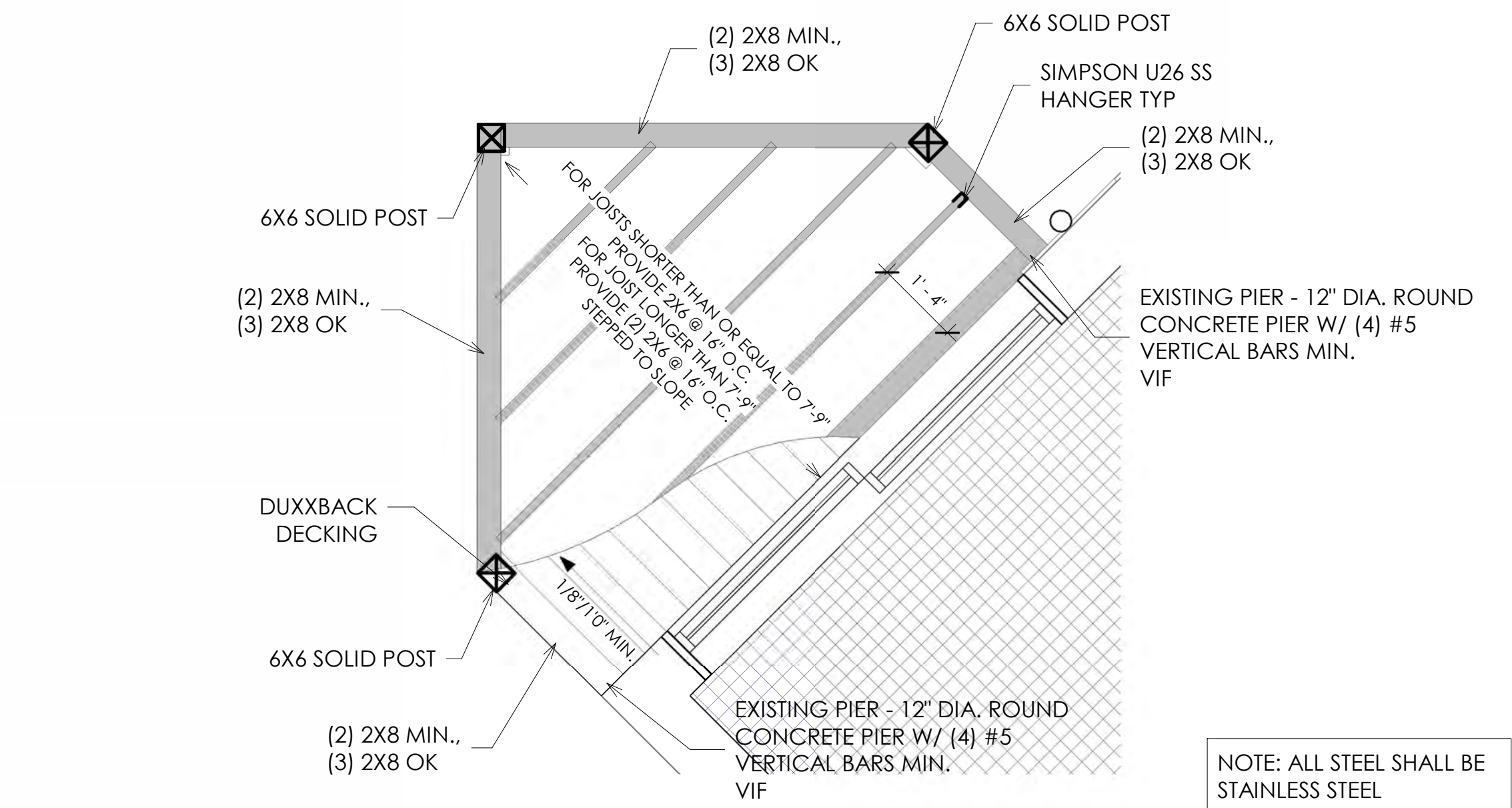
5 FRAMING PLAN - SECOND FLOOR - PORCH TYPE 2 - BUILDING L  
1/2" = 1'-0"



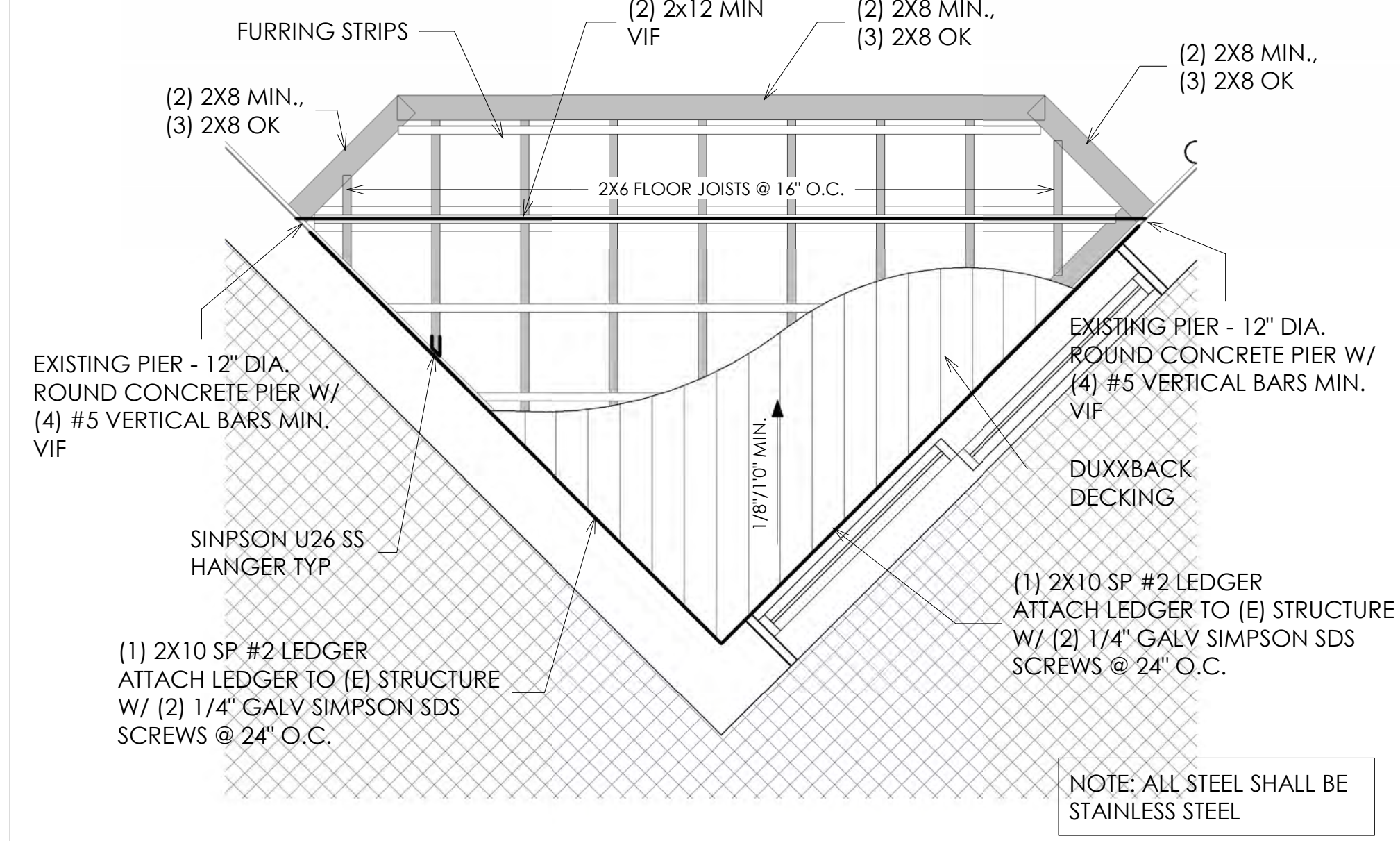
6 FRAMING PLAN - SECOND FLOOR - PORCH TYPE 3 - BUILDING L  
1/2" = 1'-0"



7 FRAMING PLAN - FIRST FLOOR - PORCH TYPE 1 - BUILDING L  
1/2" = 1'-0"



8 FRAMING PLAN - FIRST FLOOR - PORCH TYPE 2 - BUILDING L  
1/2" = 1'-0"



9 FRAMING PLAN - FIRST FLOOR - PORCH TYPE 3 - BUILDING L  
1/2" = 1'-0"

# HARBOR ISLAND CONDOS

L+M

1 HARBOR DR N  
ST HELENA ISLAND, SC 29920

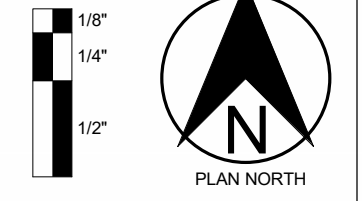
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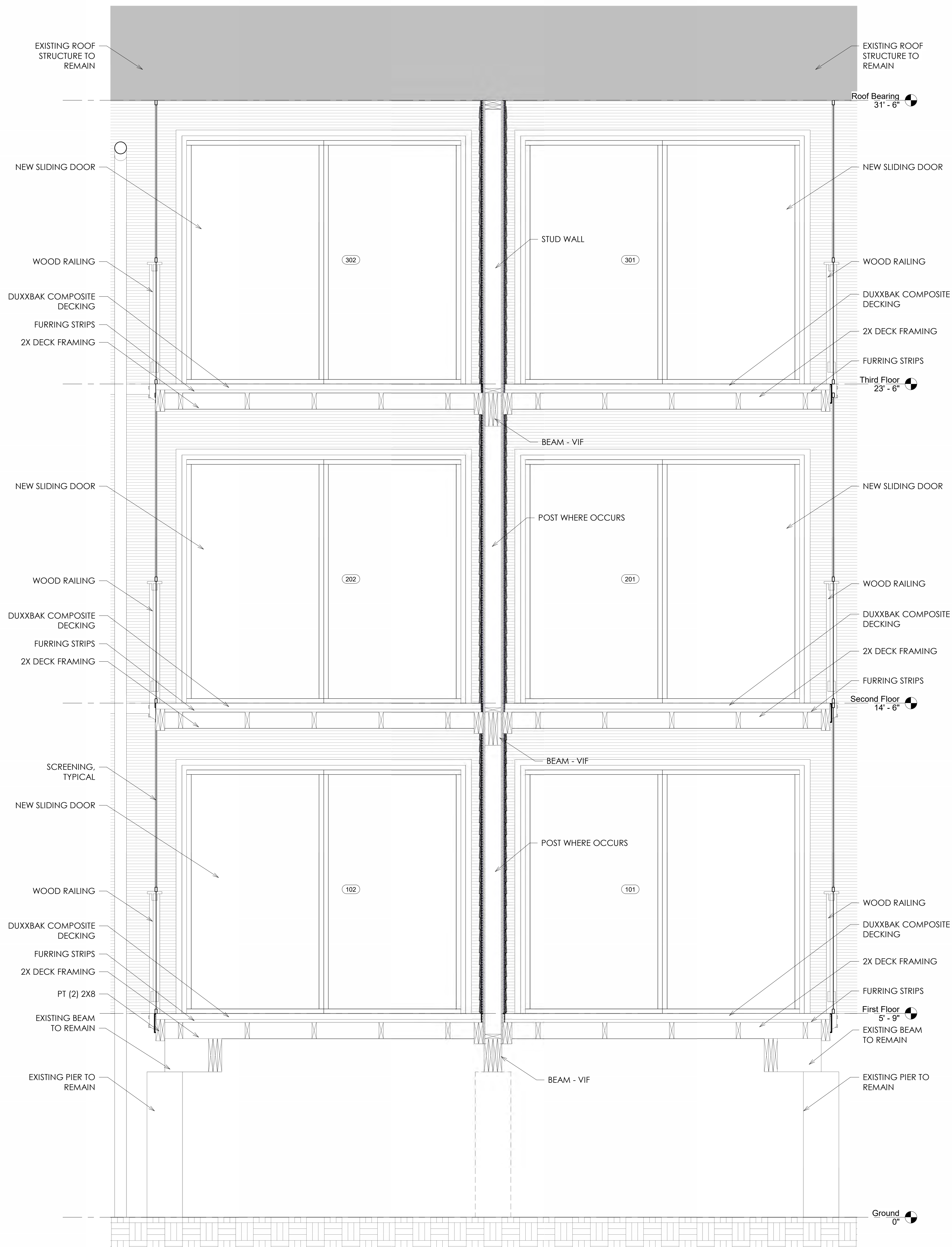


## PORCH FRAMING PLANS - BUILDING L

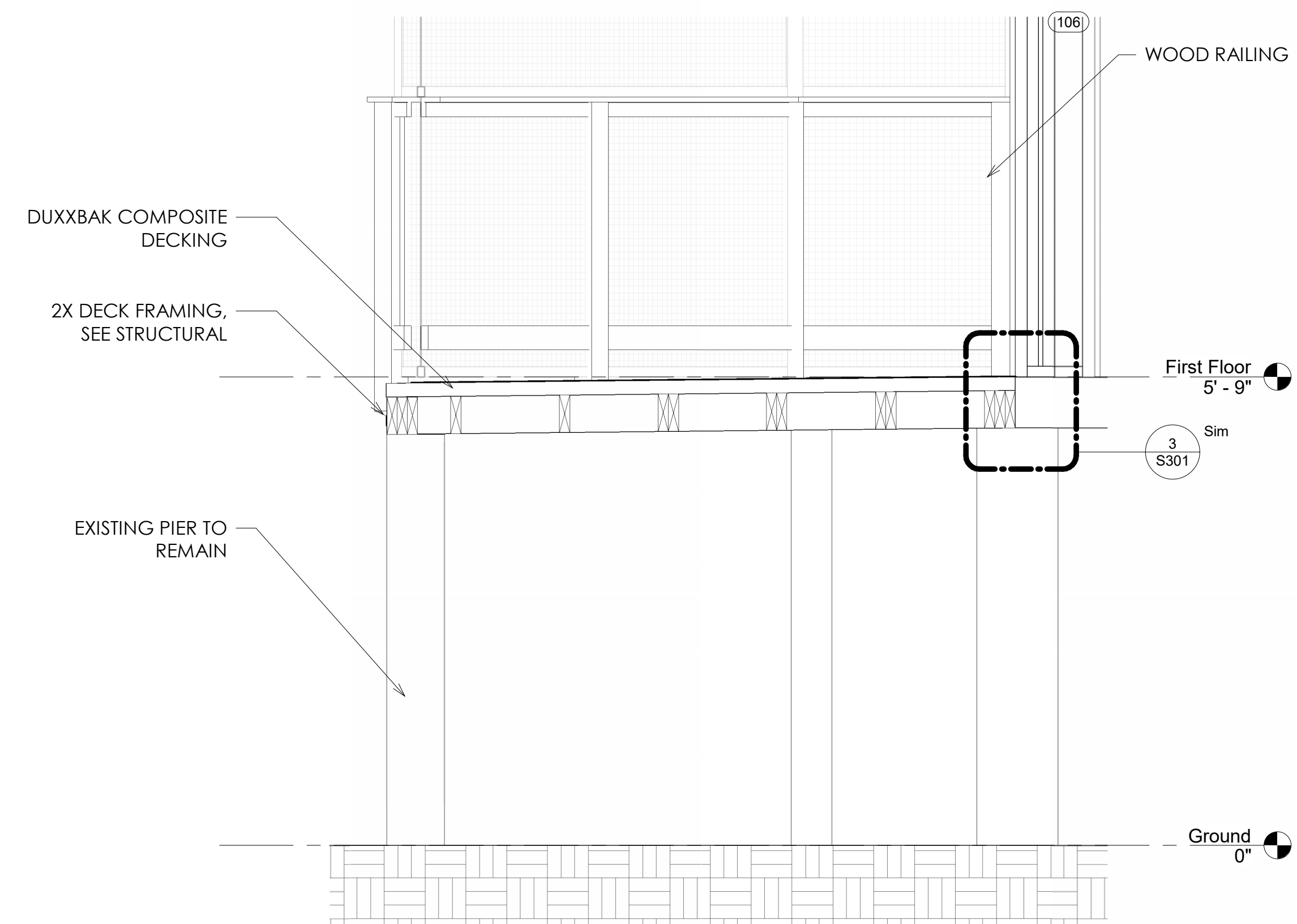
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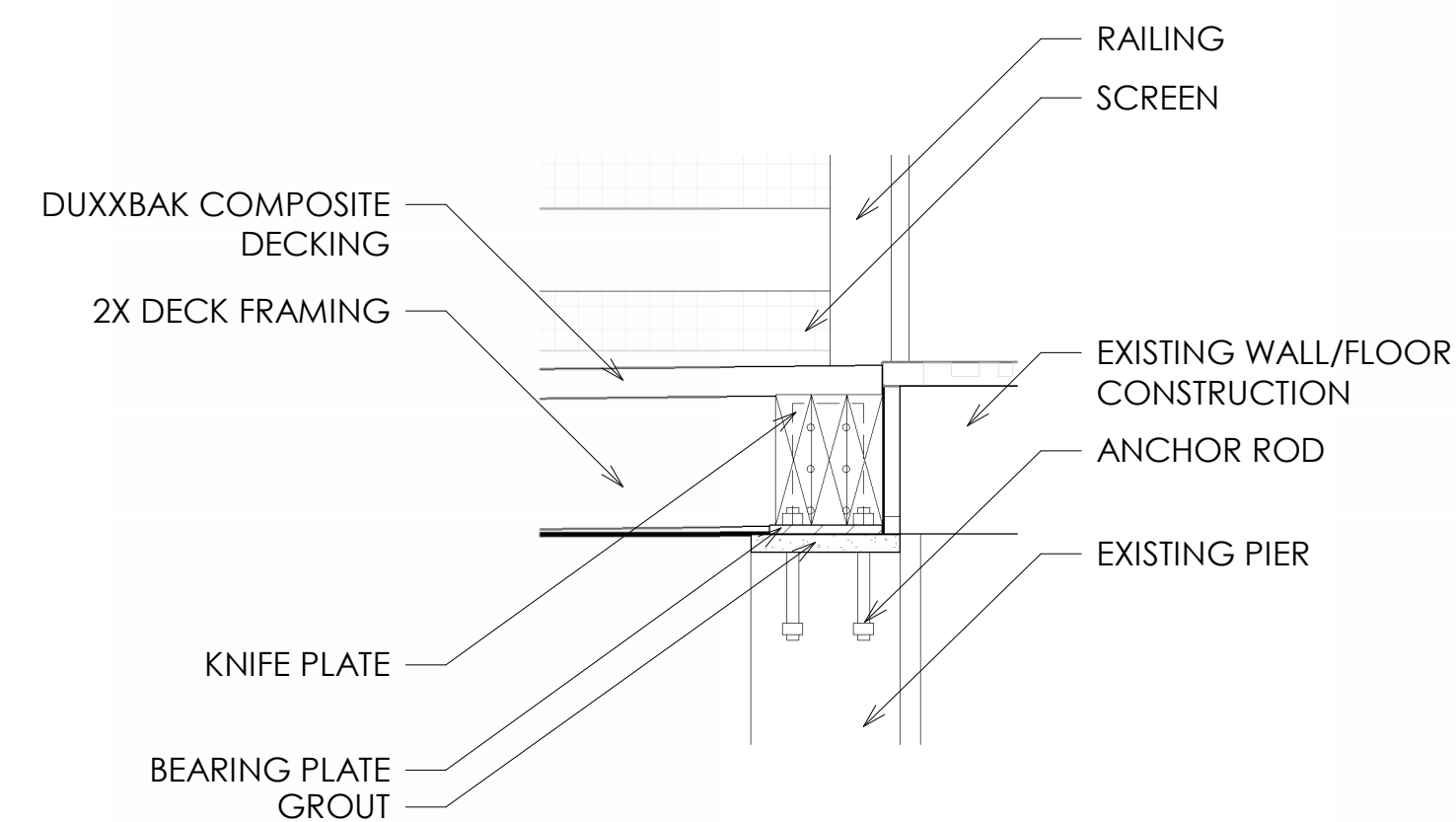




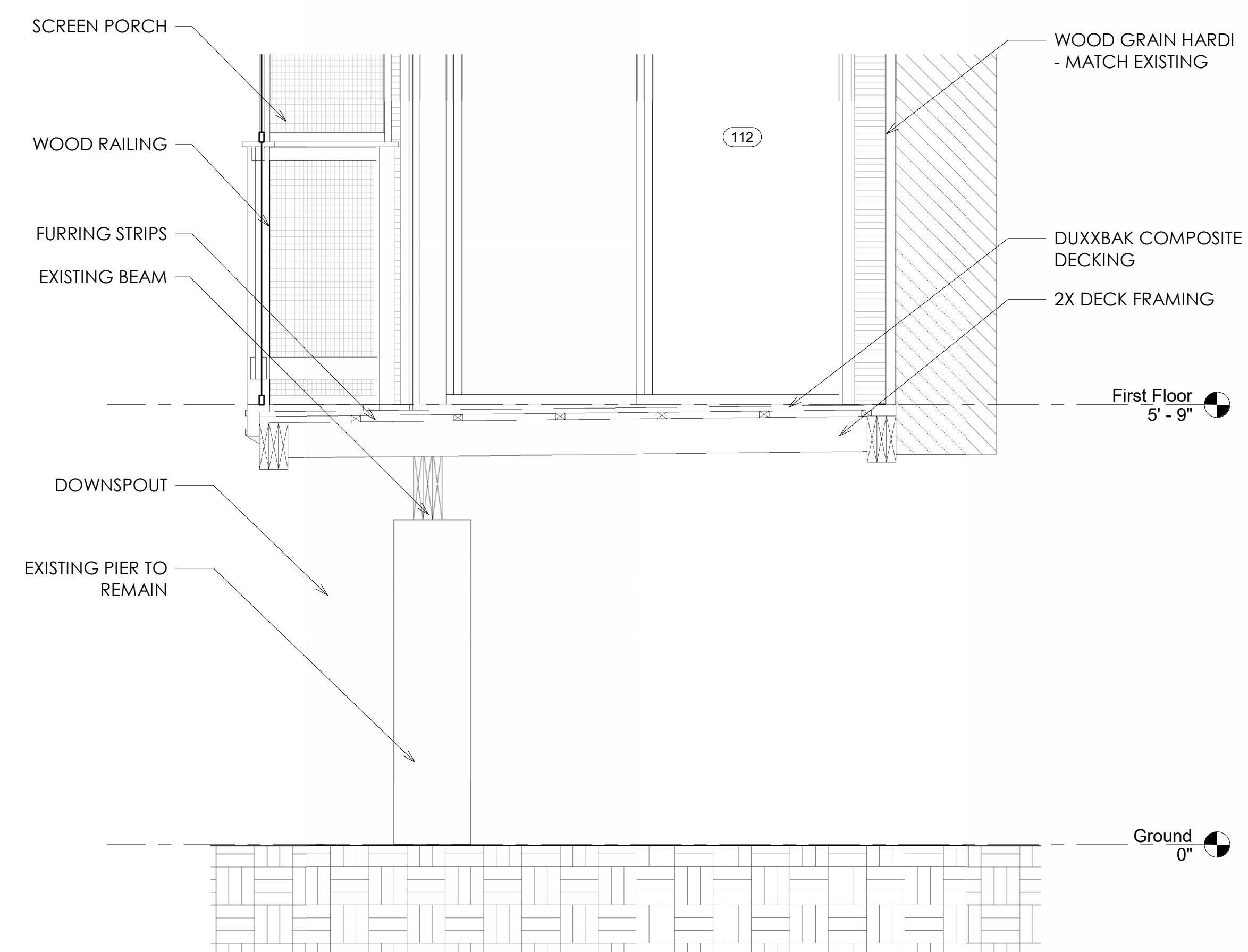
1 DECK TYPE 1 - SECTION  
3/4" = 1'-0"



2 DECK TYPE 2 - SECTION  
3/4" = 1'-0"



3 EXISTING PIER CONNECTION  
1 1/2" = 1'-0"



4 DECK TYPE 3 - SECTION  
3/4" = 1'-0"

# HARBOR ISLAND CONDOS

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1 HARBOR DR N  
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1	Addendum #1	9/24/2024

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## PORCH SECTIONS - BUILDING L

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Door Schedule						
Mark	Width	Height	Fire rating	Door Type	Frame Type	Comments
101	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
102	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
103	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
104	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
105	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
106	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
107	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
108	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
109	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
110	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
111	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
112	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
201	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
202	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
203	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
204	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
205	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
206	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
207	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
208	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
209	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
210	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
211	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
212	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
301	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
302	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
303	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
304	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
305	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
306	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
307	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
308	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
309	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
310	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
311	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
312	8' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock

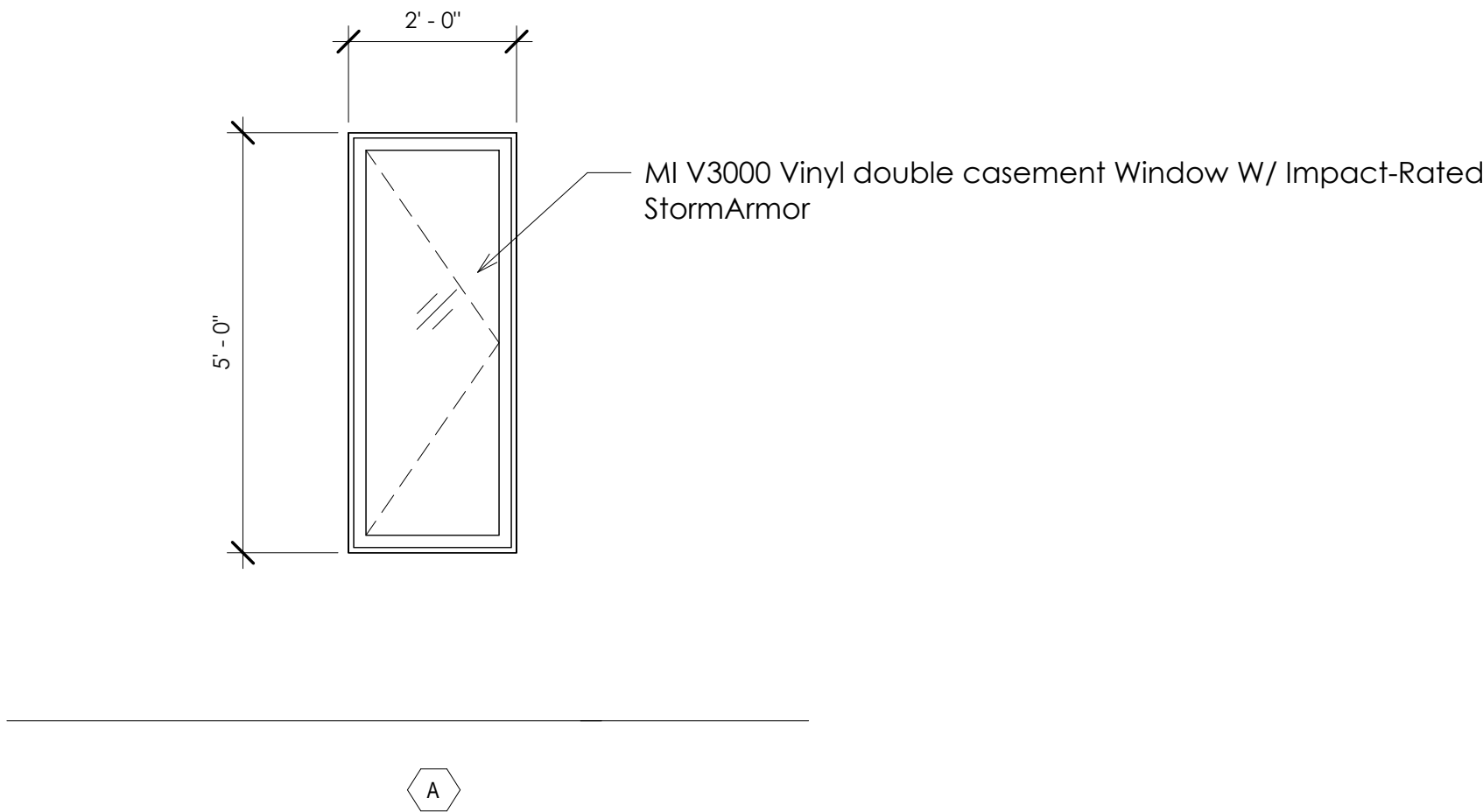
DOOR SCHEDULE NOTES:

- Door hardware finish shall match existing.
- Key all doors to Owner's requirements. Conduct Preinstallation conference with Owner to determine keying requirements.
- Coordinate access control with Owner.
- All door hardware to be 2010 ADA compliant.
- GC Shall field verify all existing door and window opening sizes and dimensions prior to ordering.

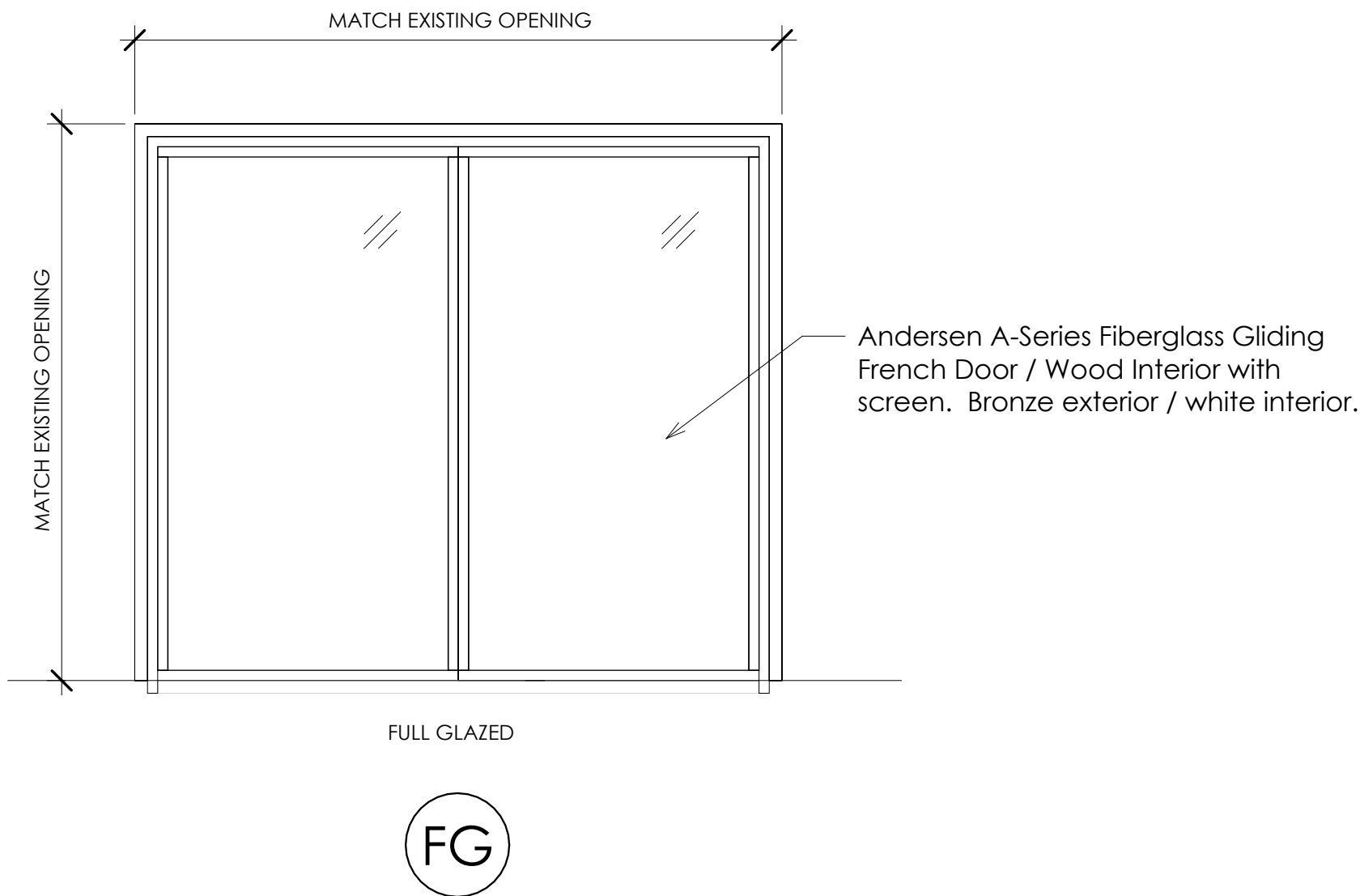
DOOR LEGEND:

FG: Full Glazed  
FBG: Fiber Glass

Window Type Legend



Door Type Legend



HARBOR ISLAND  
CONDOS

BUILDING L+M OCEANSIDE  
EXTERIOR RENOVATIONS

I HARBOR DR. N,  
ST HELENA ISLAND, SC 29920

REV#	DESCRIPTION	DATE

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FOR CONSTRUCTION



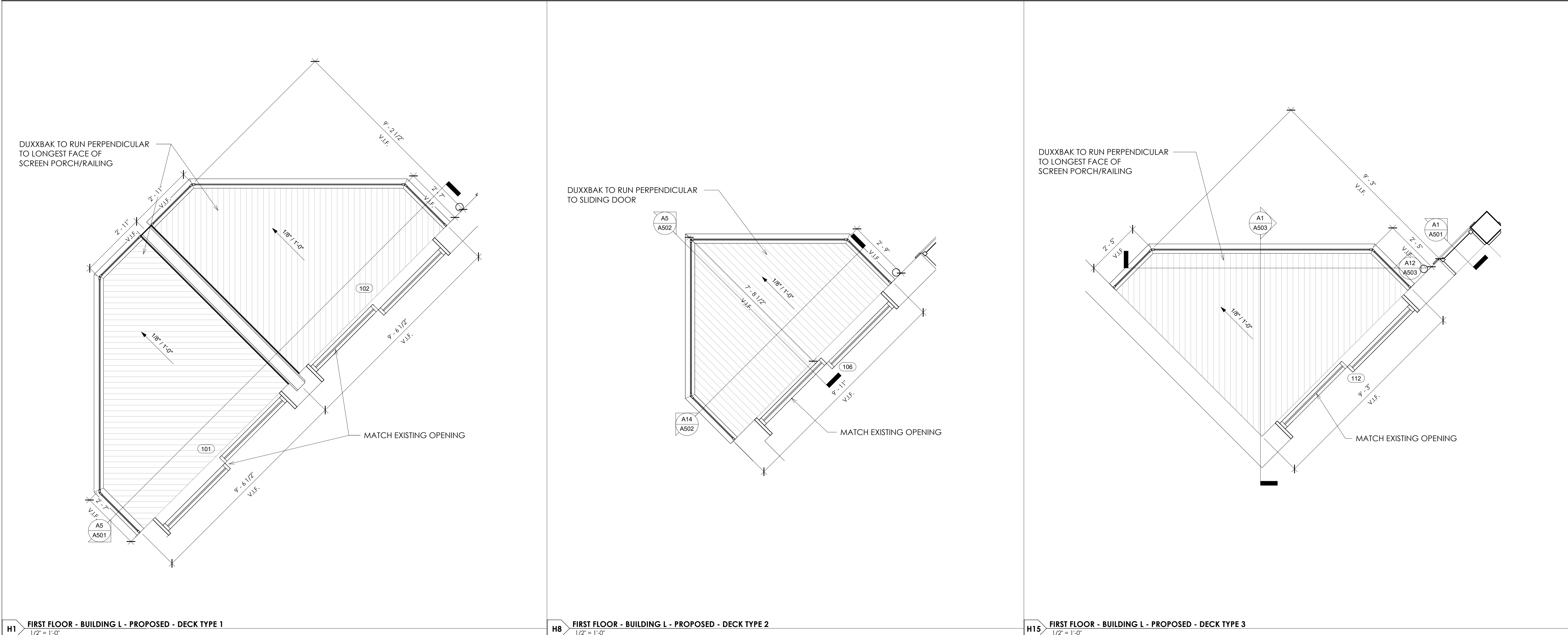
WALL, DOOR, AND  
WINDOW TYPES -  
BUILDING L

2023.32	
09/24/2024	
Drawn By	MNC
Checked By	SGS

A001

9/24/2024 5:16:04 PM

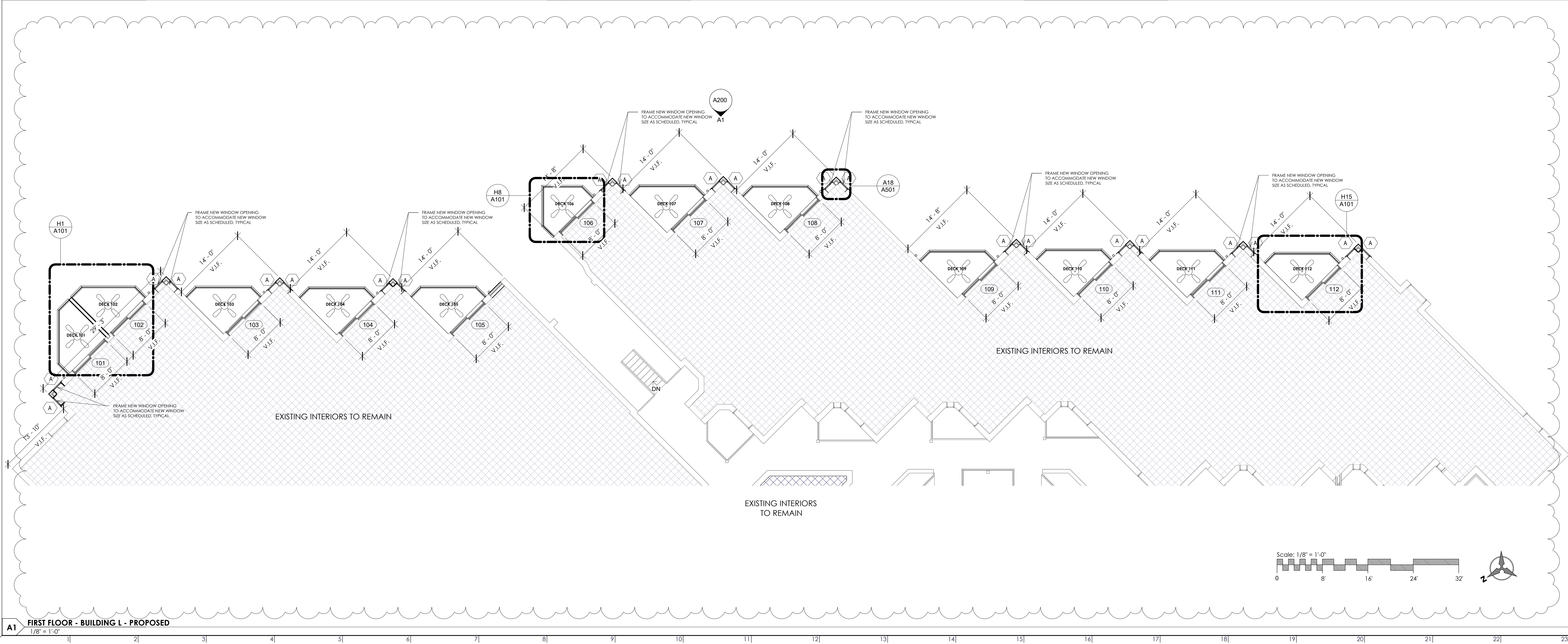




H1 FIRST FLOOR - BUILDING L - PROPOSED - DECK TYPE 1  
1/2" = 1'-0"

H8 FIRST FLOOR - BUILDING L - PROPOSED - DECK TYPE 2  
1/2" = 1'-0"

H15 FIRST FLOOR - BUILDING L - PROPOSED - DECK TYPE 3  
1/2" = 1'-0"



A1 FIRST FLOOR - BUILDING L - PROPOSED  
1/8" = 1'-0"

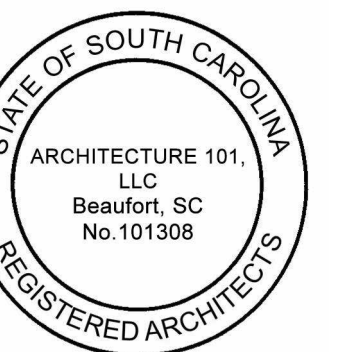
## HARBOR ISLAND CONDOS

### Building L + M

1 HARBOR DR N,  
ST HELENA ISLAND, SC 29920

REV#	DESCRIPTION	DATE
1	Addendum #1	09/24/2024

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FOR CONSTRUCTION

### GENERAL NOTES

- All dimensions are to face of stud unless noted otherwise.
- All door openings are 4" from adjacent wall unless noted otherwise.

### SHEET NOTES

**NOTE 1:** PROVIDE NEW CONDUIT TO CEILING FAN LOCATION AT THE CENTER OF EACH PORCH ROUTED TO EXISTING PORCH RECEPTACLE LOCATION. CONDUIT SHALL BE NEATLY RUN IN FURRING SPACE WITH BLOCKING PROVIDED BETWEEN JOISTS TO ANCHOR J-BOX. NO SWITCH WILL BE PROVIDED (PULL CHAIN OPERATED FANS ONLY). FANS TO BE PROVIDED BY UNIT OWNERS. PAINT CONDUIT TO MATCH FRAMING.



## FLOOR PLANS - BUILDING L - FIRST FLOOR

2023.32	<b>A101</b>
09/24/2024	
Drawn By MNC	
Checked By SGS	

9/24/2024 5:16:07 PM



HARBOR ISLAND CONDOS

Building L + M

1 HARBOR DR N,  
ST HELENA ISLAND, SC 29920

REV#	DESCRIPTION	DATE
1	Addendum #1	09/24/2024

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FOR CONSTRUCTION

GENERAL NOTES

- All dimensions are to face of stud unless noted otherwise.
- All door openings are 4" from adjacent wall unless noted otherwise.

SHEET NOTES

**NOTE 1:** PROVIDE NEW CONDUIT TO CEILING FAN LOCATION AT THE CENTER OF EACH PORCH ROUTED TO EXISTING PORCH RECEPTACLE LOCATION. CONDUIT SHALL BE NEATLY RUN IN EURLING SPACE WITH BLOCKING PROVIDED BETWEEN JOISTS TO ANCHOR J-BOX. NO SWITCH WILL BE PROVIDED (PULL CHAIN OPERATED FANS ONLY). FANS TO BE PROVIDED BY UNIT OWNERS. PAINT CONDUIT TO MATCH FRAMING.

**NOTE 2:** NEW HARDI SOFFIT AND CEILING AT THIRD FLOOR PORCHES.



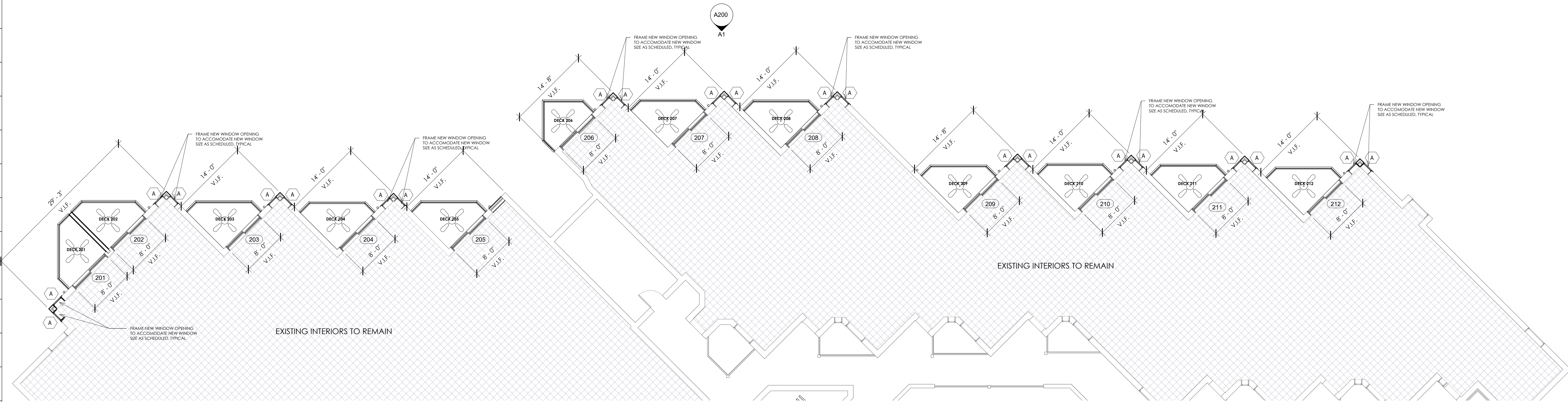
FLOOR PLANS -  
BUILDING L - 2ND &  
3RD FLOOR

2023.32	<b>A102</b>
09/24/2024	
Drawn By MNC	
Checked By SGS	

9/24/2024 5:16:09 PM

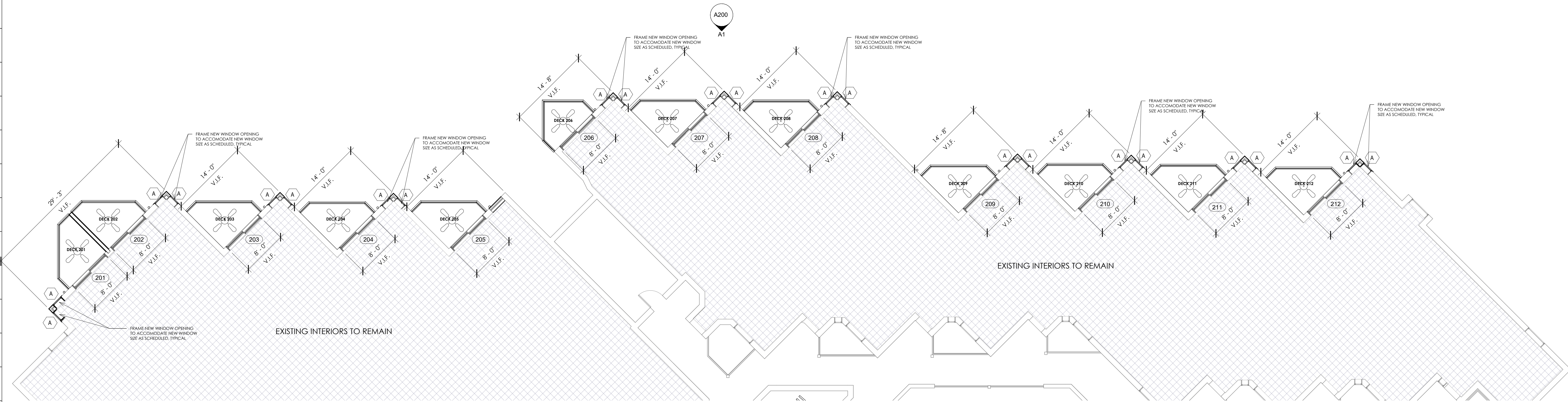
H1 THIRD FLOOR - BUILDING L - PROPOSED

1/8" = 1'-0"



A1 SECOND FLOOR - BUILDING L - PROPOSED

1/8" = 1'-0"





HARBOR ISLAND CONDOS

Building L + M

1 HARBOR DR N,  
ST HELENA ISLAND, SC 29920

REV#	DESCRIPTION	DATE
1	Addendum #1	09/24/2024

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FOR CONSTRUCTION

GENERAL NOTES

1. **GC TO VERIFY THAT ALL WALLS ARE NON-LOAD BEARING PRIOR TO REMOVAL.** Should a wall be determined as load bearing, alert architect immediately and leave wall in place for field verification.

SHEET NOTES

**NOTE 1:** GC to provide temporary shoring (as necessary) to provide temporary support to roof structure during work on the porches.



BUILDING L  
ELEVATIONS

2023.32	
09/24/2024	
Drawn By	MNC
Checked By	SGS

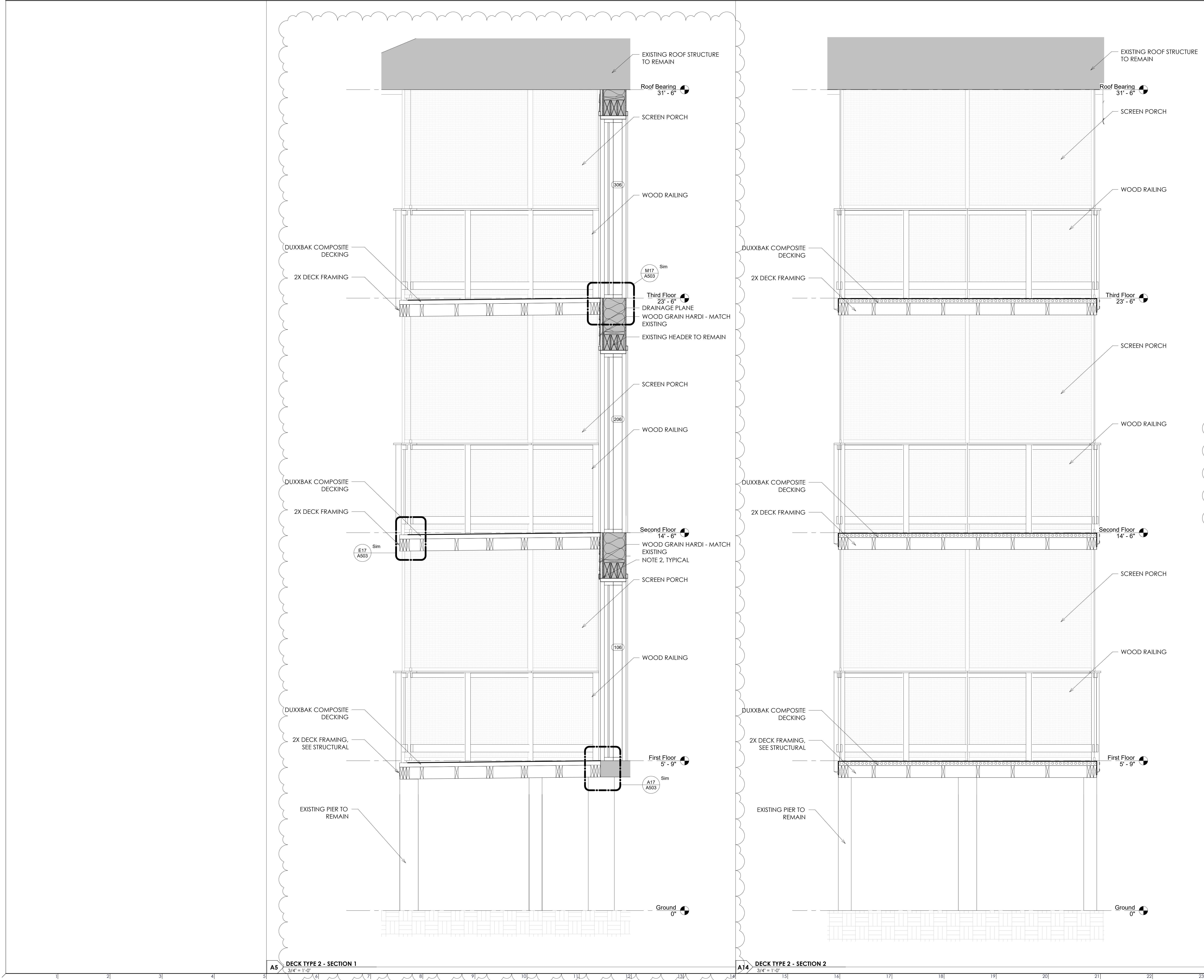
A200

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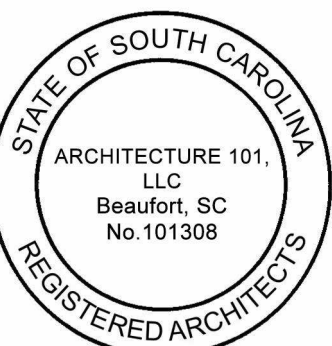
HARBOR ISLAND CONDOS

L+M

I HARBOR DR N  
ST HELENA ISLAND, SC 29920

REV#	DESCRIPTION	DATE
1	Addendum #1	09/24/2024

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FOR CONSTRUCTION

GENERAL NOTES

1. PAINT THE UNDERSIDE OF ALL DECKS (INCLUDING COMPOSITE DECKING AND EXPOSED CONDUIT AND FRAMING HARDWARE AS SCHEDULED.

SHEET NOTES

**NOTE 1:** PROVIDE FLUID-APPLIED VAPOR BARRIER CONTINUOUS ON ALL AREAS RECEIVING NEW SHEATHING. **BASIS OF DESIGN: W.R. MEADOWS AIR-SHIELD LMP (LOW-VOC).** INSTALL AIR BARRIER IN ACCORDANCE WITH ALL MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.

**NOTE 2:** UPON DEMOLITION OF EXISTING EXTERIOR SIDING, IF ANY TYPE OF SHEATHING **BESIDES PLYWOOD SHEATHING** EXISTS, IT IS TO BE DEMOLISHED AND REPLACED WITH NEW PLYWOOD SHEATHING. IF PLYWOOD SHEATHING EXISTS AND IS **NOT WATER DAMAGED**, IT IS TO REMAIN.



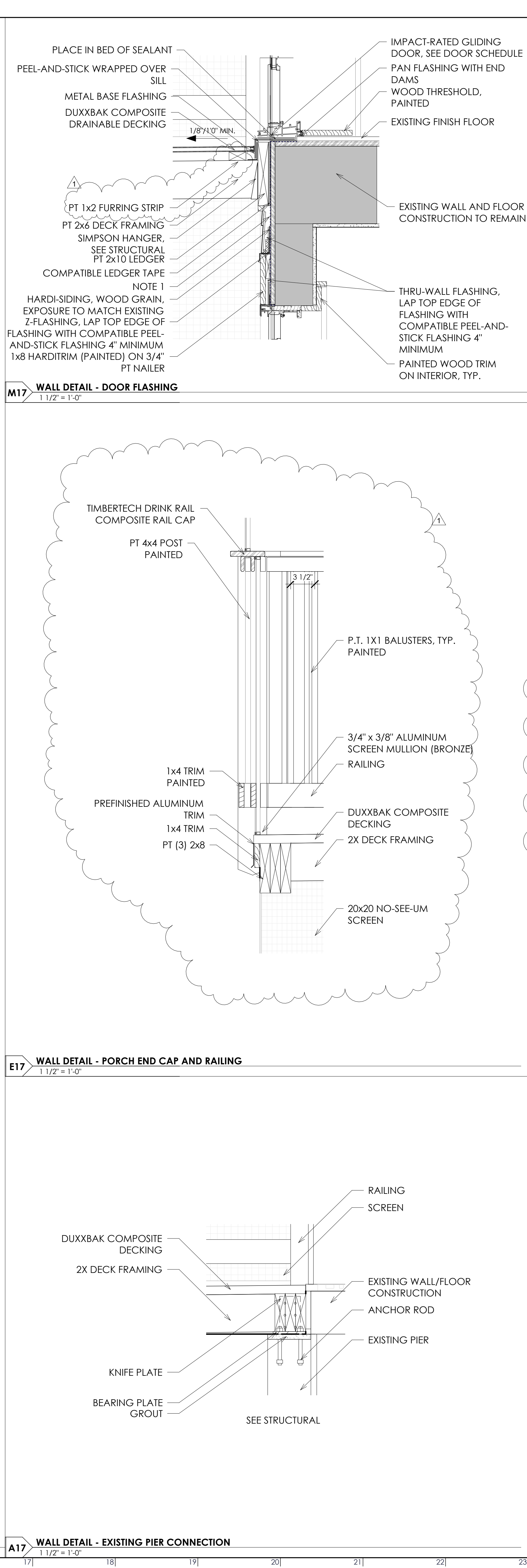
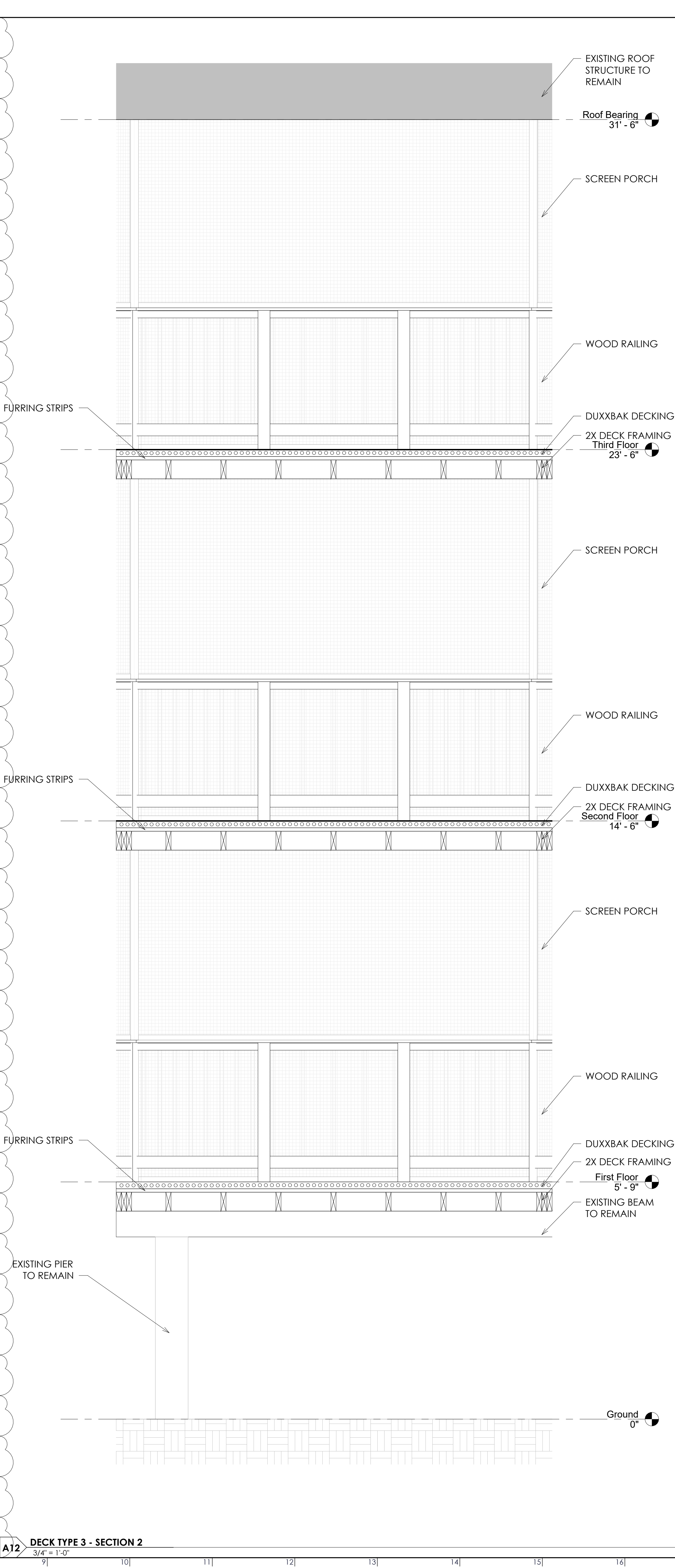
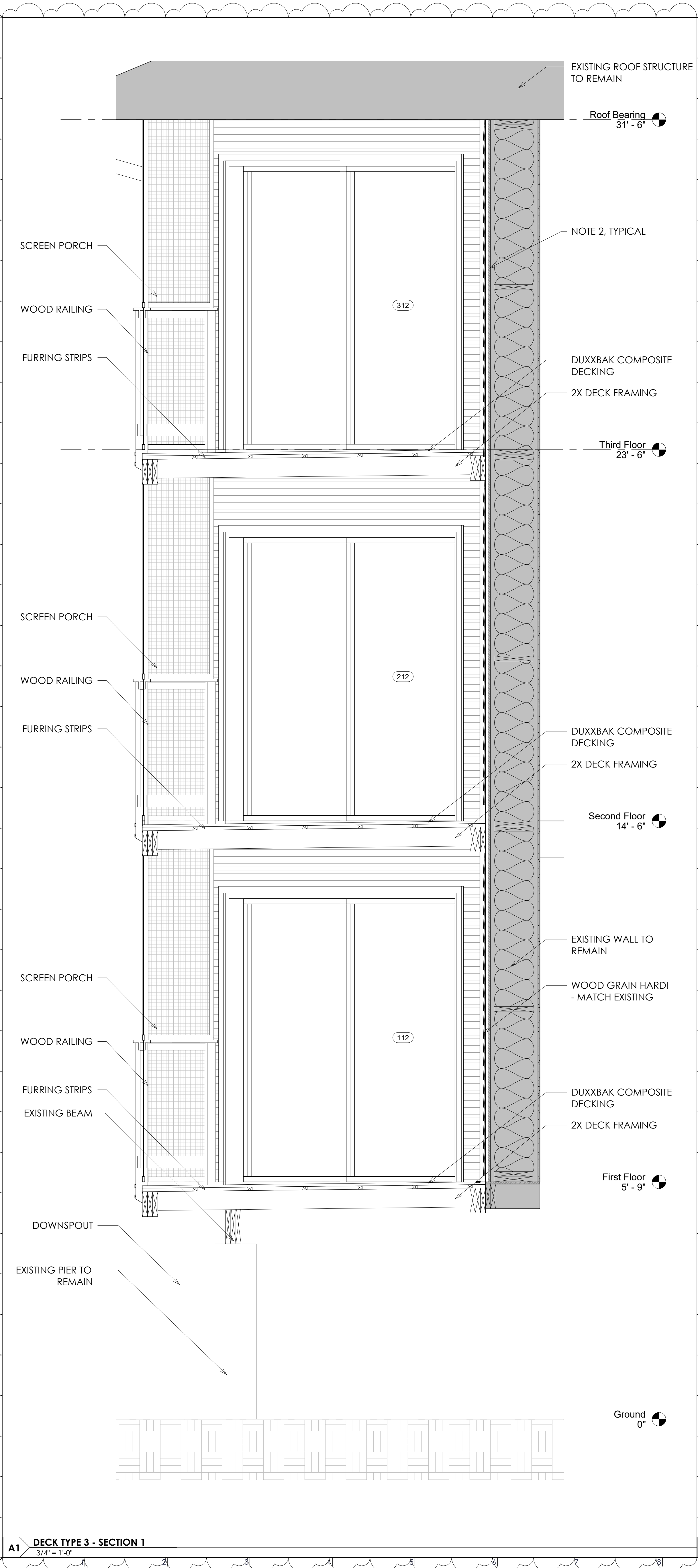
WALL SECTIONS -  
DECK TYPE 2 -  
BUILDING L

2023.32	
09/24/2024	
Drawn By	MNC
Checked By	SGS

A502

9/24/2024 5:16:19 PM





HARBOR ISLAND CONDOS

L+M

I HARBOR DR N

ST HELENA ISLAND, SC 29920

REV#	DESCRIPTION	DATE
1	Addendum #1	09/24/2024

STATE OF SOUTH CAROLINA

STEVEN STOVERS

Arch. & Eng.

Beaufort, SC

No. 9596

2019

REGISTERED ARCHITECT

STATE OF SOUTH CAROLINA

ARCHITECTURE 101, LLC

Beaufort, SC

No. 101308

REGISTERED ARCHITECTS

FOR CONSTRUCTION

GENERAL NOTES

1. PAINT THE UNDERSIDE OF ALL DECKS (INCLUDING COMPOSITE DECKING AND EXPOSED CONDUIT AND FRAMING HARDWARE AS SCHEDULED.

SHEET NOTES

**NOTE 1:** PROVIDE FLUID-APPLIED VAPOR BARRIER CONTINUOUS ON ALL AREAS RECEIVING NEW SHEATHING. **BASIS OF DESIGN: W.R. MEADOWS AIR-SHIELD LMP (LOW-VOC).** INSTALL AIR BARRIER IN ACCORDANCE WITH ALL MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.

**NOTE 2:** UPON DEMOLITION OF EXISTING EXTERIOR SIDING, IF ANY TYPE OF SHEATHING **BESIDES PLYWOOD SHEATHING** EXISTS, IT IS TO BE DEMOLISHED AND REPLACED WITH NEW PLYWOOD SHEATHING. IF PLYWOOD SHEATHING EXISTS AND IS **NOT WATER DAMAGED**, IT IS TO REMAIN.

ARCHITECTURE

A101

BEAUFORT - SAVANNAH

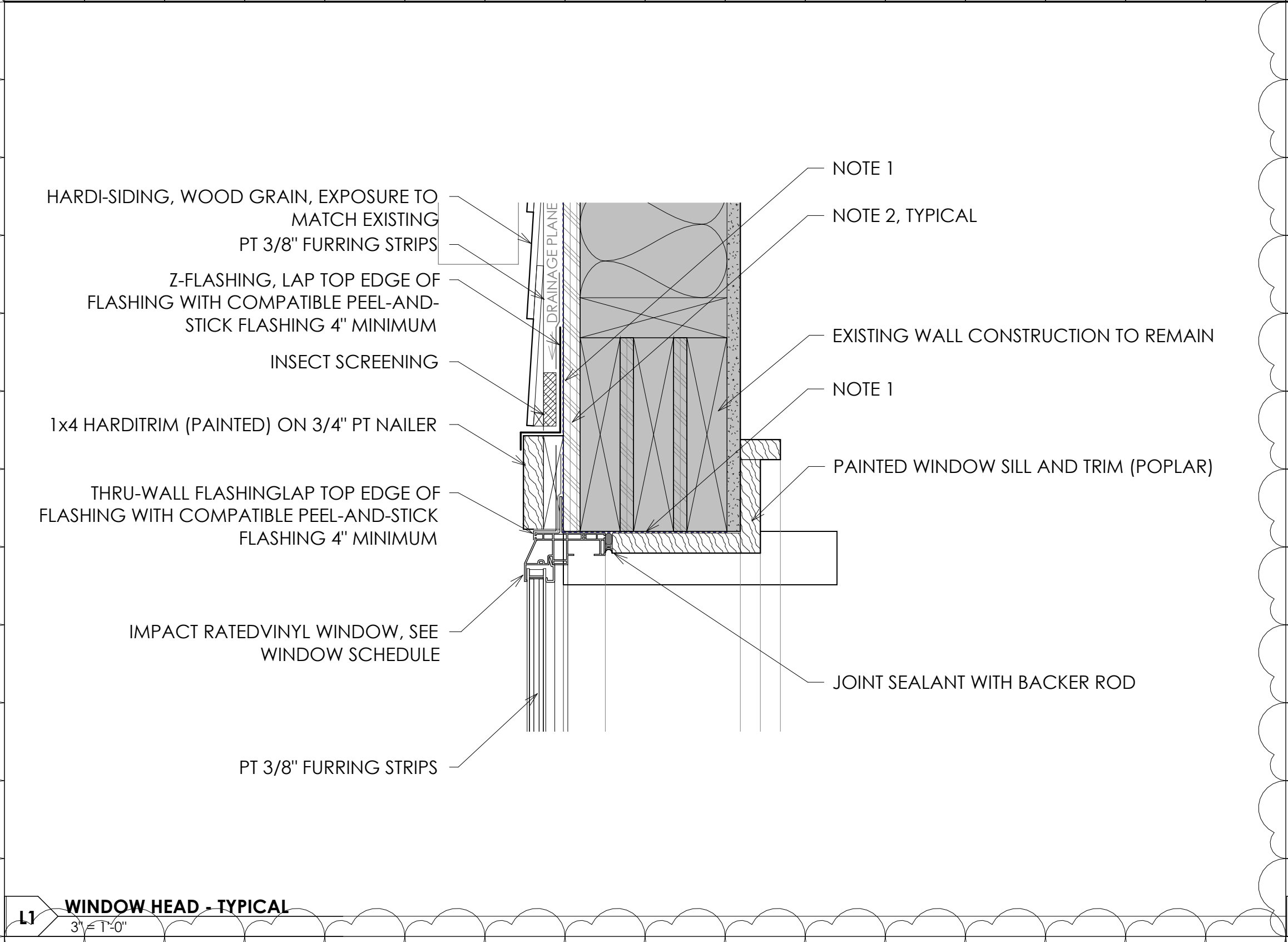
23A, Market, Ste.1 - Beaufort, South Carolina - www.A101.Design

WALL SECTIONS -  
DECK TYPE 3 -  
BUILDING L

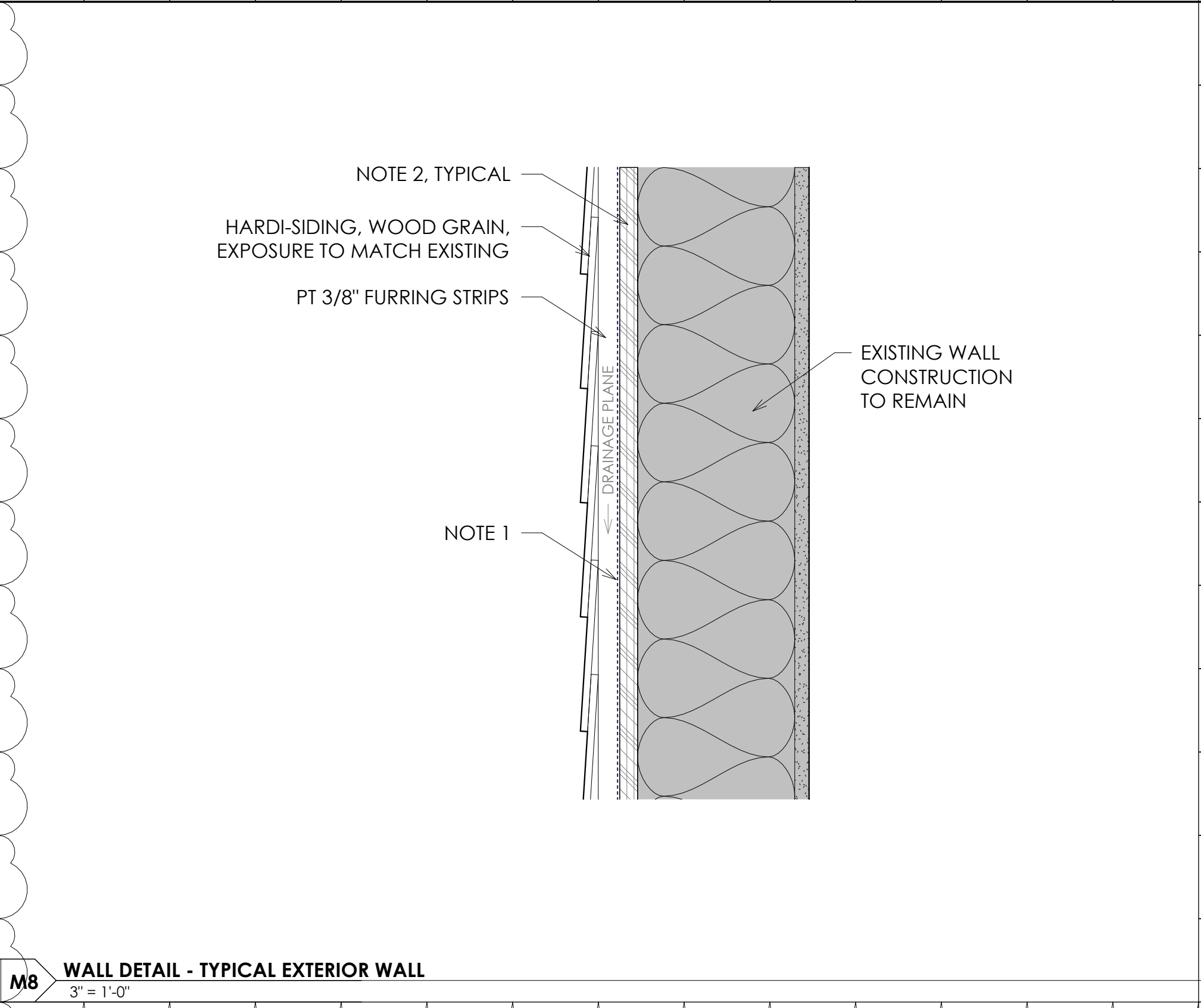
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09/24/2024		
Drawn By	MNC	
Checked By	SGS	

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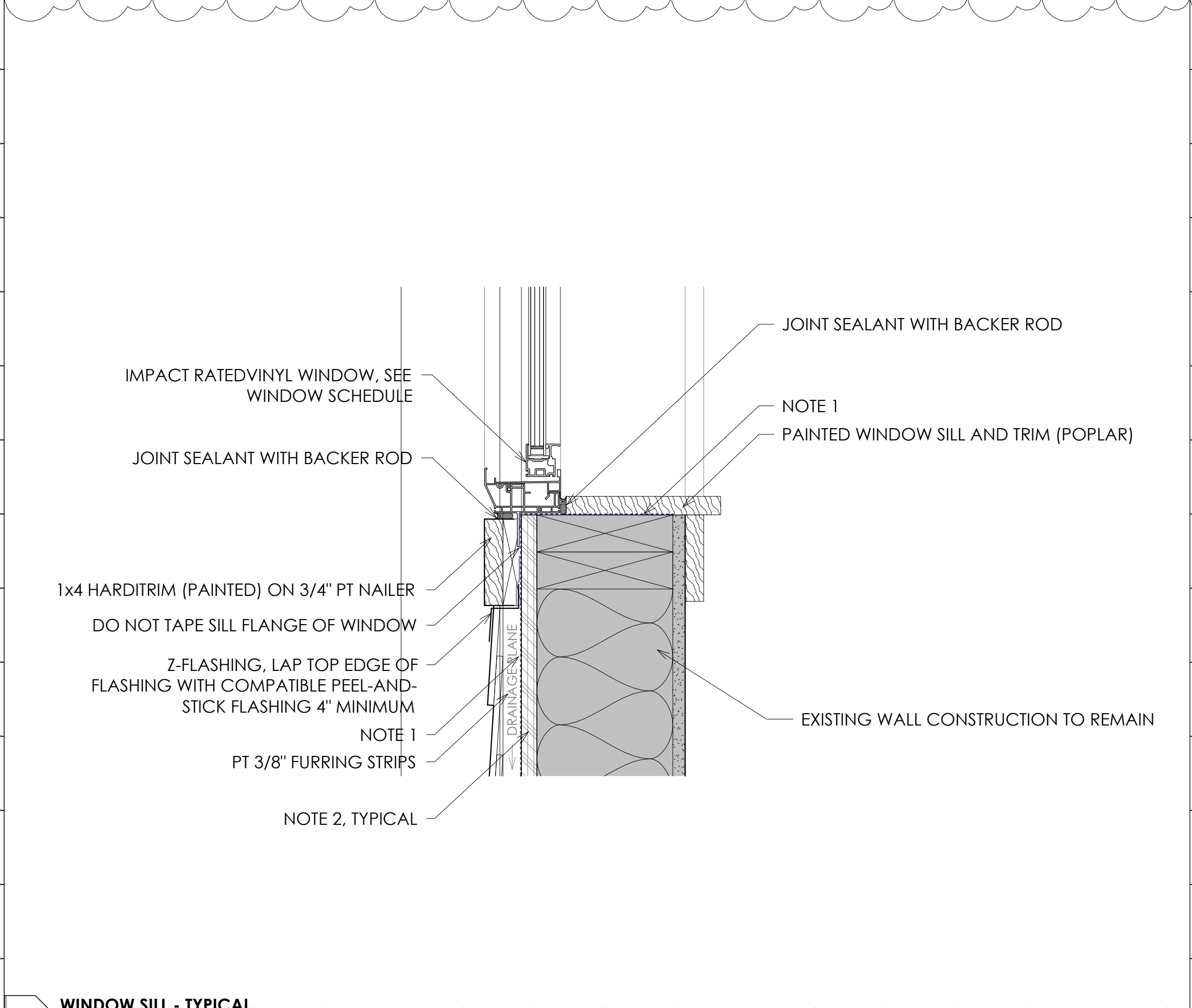




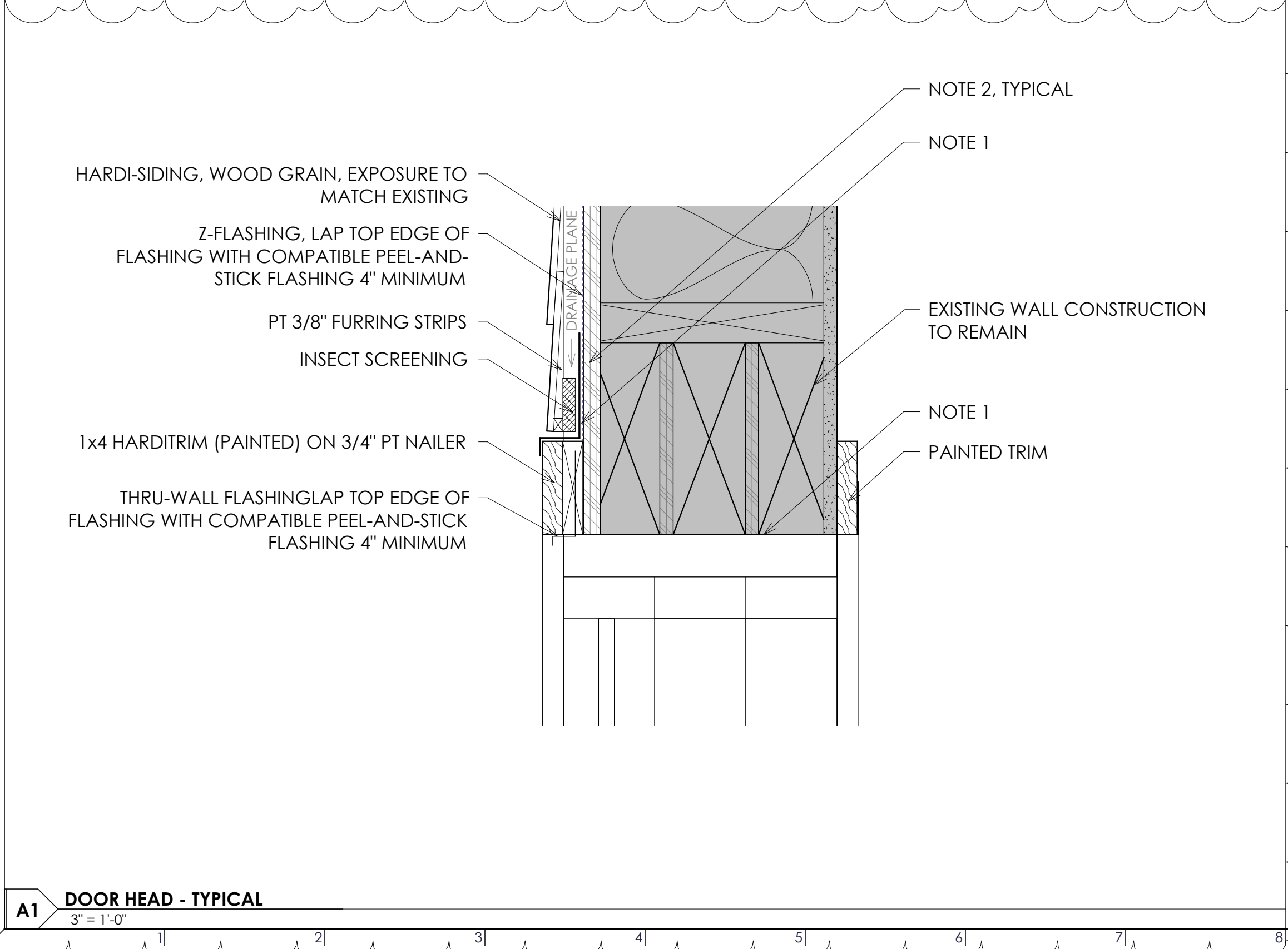
L1 WINDOW HEAD - TYPICAL  
3" = 1'-0"



M8 WALL DETAIL - TYPICAL EXTERIOR WALL  
3" = 1'-0"



E1 WINDOW SILL - TYPICAL  
3" = 1'-0"



A1 DOOR HEAD - TYPICAL  
3" = 1'-0"

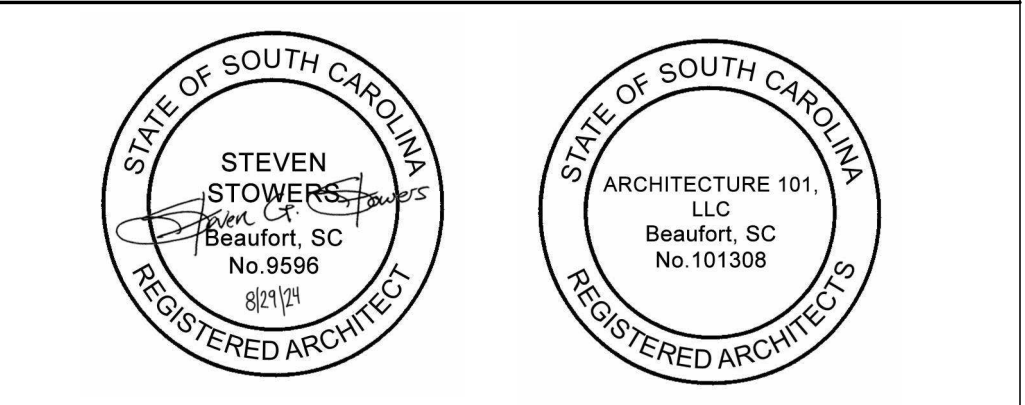
# HARBOR ISLAND CONDOS

## BUILDING L+M OCEANSIDE EXTERIOR RENOVATIONS

1 HARBOR DR. N,  
ST HELENA ISLAND, SC 29920

REV#	DESCRIPTION	DATE
1	Revision 1	09/09/2024

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FOR CONSTRUCTION

### GENERAL NOTES

1. PAINT THE UNDERSIDE OF ALL DECKS (INCLUDING COMPOSITE DECKING AND EXPOSED CONDUIT AND FRAMING HARDWARE AS SCHEDULED).

### SHEET NOTES

- NOTE 1:** PROVIDE FLUID-APPLIED VAPOR BARRIER CONTINUOUS ON ALL AREAS RECEIVING NEW SHEATHING. **BASIS OF DESIGN: W.R. MEADOWS AIR-SHIELD LMP (LOW-VOC).** INSTALL AIR BARRIER IN ACCORDANCE WITH ALL MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.
- NOTE 2:** REPLACE ALL EXISTING EXTERIOR SHEATHING WITH NEW 15/32" MINIMUM 24/16 APA-RATED PLYWOOD SHEATHING, SEE STRUCTURAL.



## WINDOW, WALL, AND DOOR DETAILS

A	2023.32		A504
	09/24/2024		
	Drawn By	Author	
	Checked By	Checker	

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# BUILDING 'M' OCEANSIDE RENOVATIONS

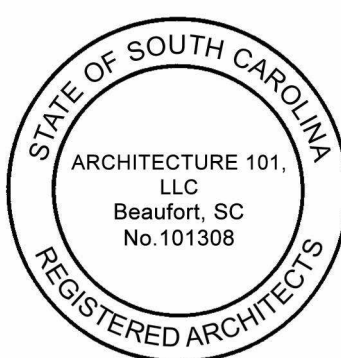
## HARBOR ISLAND CONDOS

### BUILDING L+M OCEANSIDE EXTERIOR RENOVATIONS

1 HARBOR DR. N,  
ST HELENA ISLAND, SC 29920

REV#	DESCRIPTION	DATE
1	Addendum #1	9/24/2024

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FOR CONSTRUCTION

#### PROPERTY INFORMATION

ADDRESS: 1 Harbor Dr. N, St.  
Helena Island, SC 29920

PIN: R300 020 00A 121B 0000  
ZONING: PUD (Existing  
Planned Unit Development)

#### DRAWING INDEX

Sheet Number	Sheet Name	Sheet Issue Date
GENERAL - BUILDING M		
G000	COVER SHEET	09/24/24
G101	BUILDING M 3D VIEWS	09/24/24
DEMOLITION - BUILDING M		
D101	DEMO PLANS - BUILDING M	09/24/24
D102	DEMO ELEVATIONS - BUILDING M	09/24/24
STRUCTURAL - BUILDING M		
S001	STRUCTURAL NOTES	09/24/24
S101	PORCH FRAMING PLANS - BUILDING M	09/24/24
S301	PORCH SECTIONS - BUILDING M	09/24/24
ARCHITECTURAL - BUILDING M		
A001	WALL, DOOR, AND WINDOW TYPES	09/24/24
A101	FLOOR PLANS - BUILDING M - FIRST FLOOR	09/24/24
A102	FLOOR PLANS - BUILDING M - SECOND & THIRD	09/24/24
A200	BUILDING M ELEVATIONS	09/24/24
A501	WALL SECTIONS - DECK TYPE 1 - BUILDING M	09/24/24
A502	WALL SECTIONS - DECK TYPE 2 - BUILDING M	09/24/24
A503	SECTION DETAILS - BUILDING M	09/24/24
A504	WINDOW, WALL, AND DOOR DETAILS	09/24/24

#### BUILDING LOCATION MAP



#### CONTACT INFORMATION

ARCHITECT - Architecture 101  
Contact: Morgan Cleek  
Role: Project Manager  
Phone: (937)-416-9160  
Email: morgan@a101.design

STRUCTURAL - 29e6  
Contact: Andy Richardson, P.E.  
Email: andy@2936.co

#### ABBREVIATIONS

APC	ACOUSTICAL PANEL CEILING	MAX	MAXIMUM
AFF	ABOVE FINISH FLOOR	MFR	MANUFACTURER
A/C	AIR CONDITIONING	MIN	MINIMUM
AHU	AIR HANDLING UNIT	MISC	MISCELLANEOUS
CJ	CONTROL JOINT	MO	MASONRY OPENING
CL	CENTERLINE	N/A	NOT APPLICABLE
CLG	CEILING	NIC	NOT IN CONTRACT
CMU	CONCRETE MASONRY UNIT	NIS	NOT TO SCALE
CONT	CONTINUOUS	OC	ON CENTER
CT	CERAMIC TILE	OPH	OPPOSITE HAND
DIA	DIAMETER	OSB	ORIENTED STRAND BD.
DIM	DIMENSION	PERF	PERFORATED
DN	DOWN	PT	PRESSURE TREATED
DS	DOWNSPOUT	REQ'D	REQUIRED
DW	DSHWASHER	SF	SQUARE FEET
EA	EACH	SIM	SIMILAR
EQ	EQUAL	SPEC	SPECIFICATION
EQUIP	EQUIPMENT	STD	STANDARD
EXT	EXTERIOR	TD	TO BE DETERMINED
FD	FLOOR DRAIN	T&G	TONGUE & GROOVE
FF	FINISH FLOOR	TEMP	TEMPORARY
FFE	FINISH FLOOR ELEV.	TV	TELEVISION
FIN	FINISH	TYP	TYPICAL
FT	FEET	U/C	UNDER COUNTER
GA	GAUGE	W/D	WASHER/DRYER
GWB	GYPSUM WALLBOARD	WD	WOOD
HB	HOSE BIBB	WH	WATER HEATER
INT	INTERIOR		



#### COVER SHEET

2023.32		G000
09/24/2024		
Drawn By	MNC	
Checked By	SGS	

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H1 Building M - Oceanside Right Corner



A1 Building M - Oceanside Left Corner

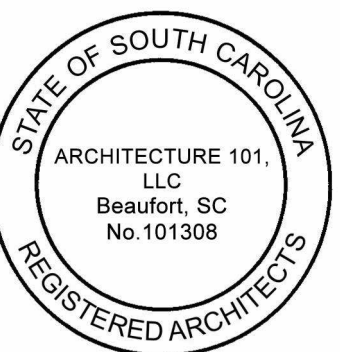
HARBOR ISLAND CONDOS

Building L + M

1 HARBOR DR N,  
ST HELENA ISLAND, SC 29920

REV#	DESCRIPTION	DATE

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FOR CONSTRUCTION



BUILDING M 3D  
VIEWS

2023.32
09/24/2024
Drawn By MNC
Checked By SGS

G101

9/24/2024 5:53:01 PM



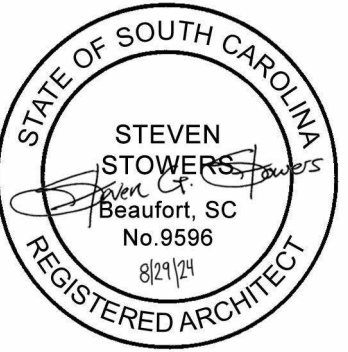
# HARBOR ISLAND CONDOS

## BUILDING L+M OCEANSIDE EXTERIOR RENOVATIONS

I HARBOR DR. N.  
ST HELENA ISLAND, SC 29920

REV#	DESCRIPTION	DATE

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FOR CONSTRUCTION

### GENERAL NOTES

1. **GC TO VERIFY THAT ALL WALLS ARE NON-LOAD BEARING PRIOR TO REMOVAL.** Should a wall be determined as load bearing, alert architect immediately and leave wall in place for field verification.

### GENERAL DEMO. NOTES

- Contractor to conduct demolition operations as to prevent against damaging existing construction to remain. All damage created by the demolition operation shall be repaired and prepared to receive new finishes. Demolition operation shall be conducted as to prevent personal injury to all persons on site during the life of the demolition and construction phases of the project.
- Contractor to ensure the security of the building during off construction hours thru-out the life of the project. Security includes but is not limited to prevention from theft, vandalism, and damage by weather conditions.

### LEGEND

- BUILDING COMPONENT TO REMAIN
- BUILDING COMPONENT TO BE DEMOLISHED

### DEMOLITION NOTES

- Remove and dispose of existing wall construction. Included but not limited to all electrical, mechanical, and plumbing hidden within. Prepare for new wall construction as drawn.
- Remove and dispose of existing sliding door and all associated hardware. Existing door frame to remain.
- Remove and dispose of existing deck and all associated framing aside from beams and posts indicated. Prepare for new deck construction as drawn.
- Remove and dispose of existing railing.
- Remove and dispose of existing window and all associated hardware. Existing window frame to remain.
- Remove and dispose of existing hard siding. Sheathing behind hard siding to remain unless water damaged.

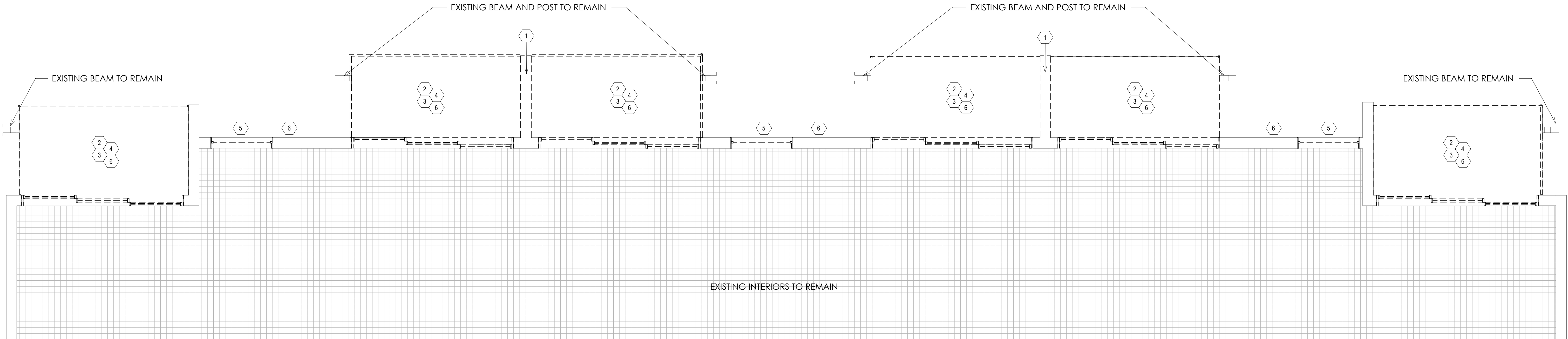


## DEMO PLANS - BUILDING M

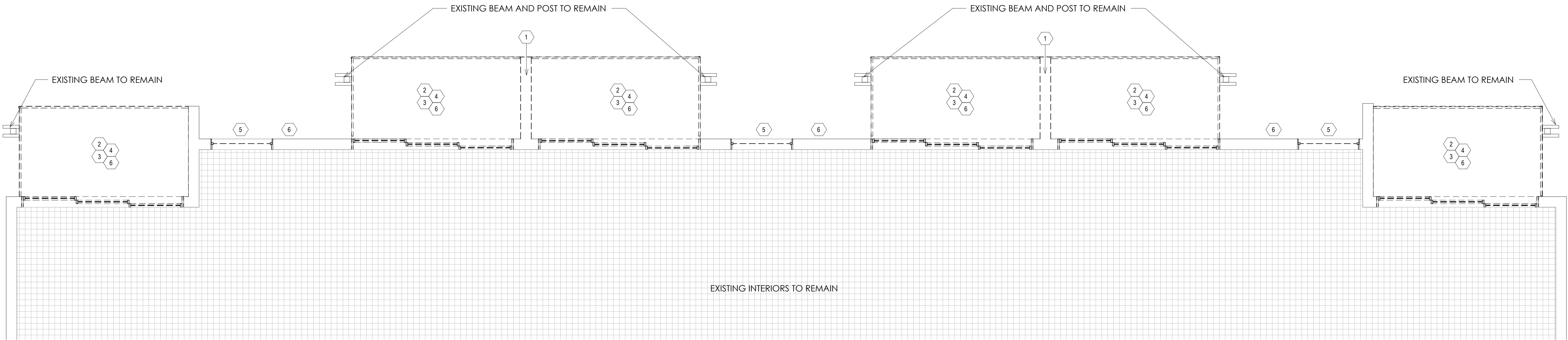
2023.32	09/24/2024
Drawn By	MNC
Checked By	SGS

# D101

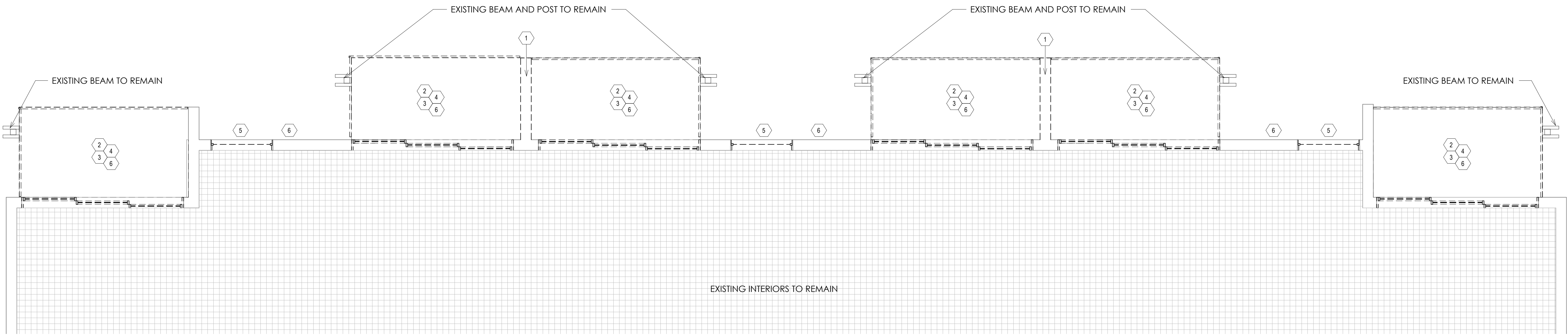
9/24/2024 5:52:39 PM



L1 THIRD FLOOR - BUILDING M - EXISTING  
1/4" = 1'-0"



F1 SECOND FLOOR - BUILDING M - EXISTING  
1/4" = 1'-0"

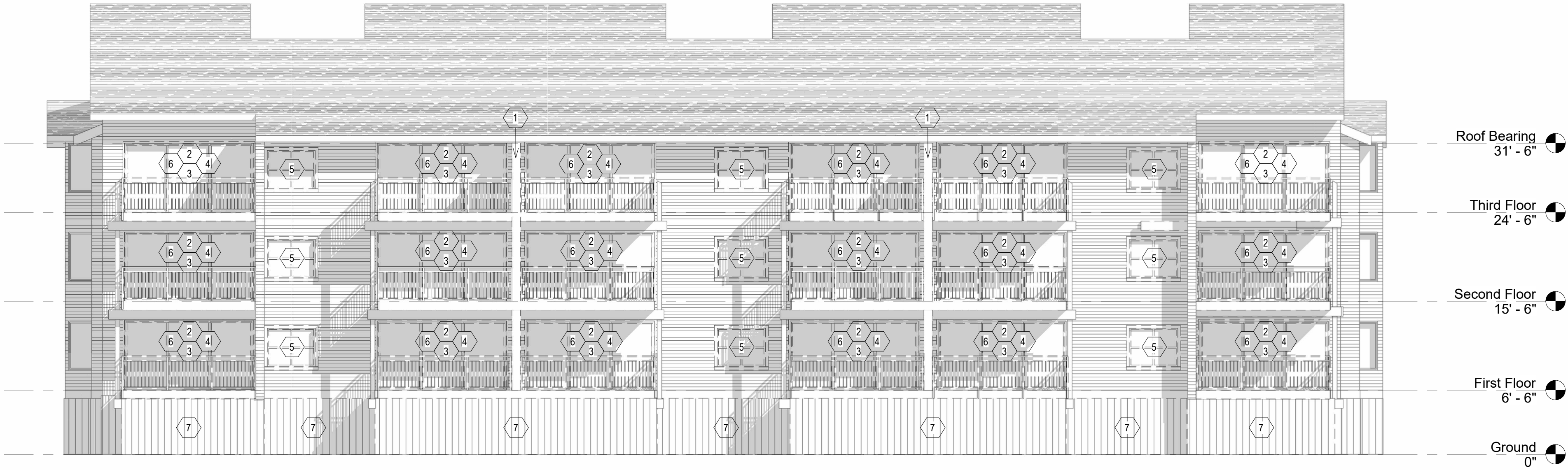


A1 FIRST FLOOR - BUILDING M - EXISTING  
1/4" = 1'-0"



GENERAL DEMOLITION NOTES

- REMOVAL AS DESCRIBED HEREIN SHALL BE ACCOMPLISHED WITHOUT STORING EXCESSIVE QUANTITIES OF ANY MATERIALS, RUBBISH, DIRT, DEBRIS OR WASTE OF ANY SORT RESULTING FROM THE REMOVAL OPERATIONS IN THE DEMOLITION AREA.
- ALL DEBRIS AND RUBBISH SHALL BE REMOVED FROM THE CONSTRUCTION SITE AS REQUIRED. CONTRACTOR TO COORDINATE ALL RECYCLING AND DISPOSAL OF ALL DEMOLISHED MATERIAL AND EQUIPMENT WITH THE APPROPRIATE WASTE MANAGEMENT AGENCY PRIOR TO REMOVAL AND DEMOLITION WORK.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO MAINTAIN PROTECTION FROM ACCESS OF THE PUBLIC THROUGH THE AREAS OF WORK.
- ALL DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES.
- THE CONTRACTOR SHALL REVIEW WITH THE OWNER AND ARCHITECT, ANY AND ALL ITEMS OF POSSIBLE DEMOLITION, NOT IMPLIED OR SPECIFIED ON THE DRAWINGS OR SPECIFICATIONS, THAT MAY PREVENT COMPLETION OF DEMO WORK IN ORDER TO COMPLETE THE DEMOLITION PHASE OF WORK.
- JOB SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHALL FOLLOW OSHA STANDARDS DURING THE ENTIRE CONSTRUCTION PROJECT.
- PROVIDE ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES AND PERFORM ALL OPERATIONS REQUIRED FOR COMPLETE EXTERIOR DEMOLITION AND RELATED WORK AS DESCRIBED AND SPECIFIED HEREIN, AND AS MAY BE REASONABLY IMPLIED AS NECESSARY TO COMPLETE THE WORK IN ALL RESPECTS.
- WORK SHALL CONFORM TO THE LATEST EDITION OF ALL APPLICABLE REFERENCE SPECIFICATIONS AND TO THE GOVERNING BUILDING CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- JOB SITE INSPECTION MUST BE CONDUCTED TO EXAMINE EXISTING CONDITIONS, TO DETERMINE NATURE AND SCOPE OF WORK OR ANY DISCREPANCIES THAT MIGHT ARISE AT TIME OF WORK. IN ADDITION, EXAMINE ALL WORK THAT IS INTENDED TO REMAIN AS PART OF THE COMPLETED PROJECT AND REPORT ALL UNSATISFACTORY CONDITIONS TO THE OWNER AND ARCHITECT PRIOR TO COMMENCEMENT OF WORK. EXERCISE EXTREME CARE DURING DEMOLITION SO AS NOT TO DAMAGE CONSTRUCTION, OTHER STRUCTURES OR FURNISHINGS THAT ARE INTENDED TO REMAIN. ANYTHING DAMAGED AT TIME OF WORK IS TO BE REPAIRED AND/OR REPLACED TO MATCH EXISTING AT CONTRACTOR'S EXPENSE.
- DURING DEMOLITION, SHOULD ANY WORK AFFECT THE INTEGRITY OF THE STRUCTURE, WORK MUST STOP IMMEDIATELY AND THE OWNER AND ARCHITECT SHALL BE NOTIFIED. UNDER NO CIRCUMSTANCES SHALL REINFORCING OF ANY KIND BE DAMAGED, CUT OR BROKEN.
- FIRE ALARM AND LIFE SAFETY COMPONENTS TO REMAIN OPERATIONAL DURING DEMOLITION AND CONSTRUCTION.
- ALL SHORING NECESSARY FOR TEMPORARY SUPPORT OF EXISTING WALLS DURING DEMOLITION SHALL BE PROVIDED AND DESIGNED BY THE CONTRACTOR.
- IT IS UNDERSTOOD THAT THE EXISTING BUILDING MAY CONTAIN ASBESTOS OR OTHER HAZARDOUS & TOXIC MATERIAL. THE ARCHITECT'S SERVICES DO NOT INCLUDE ANY SERVICES RELATED TO ASBESTOS OR OTHER HAZARDOUS & TOXIC MATERIAL. IN THE EVENT ANY PARTY ENCOUNTERS SUSPECTED ASBESTOS OR OTHER HAZARDOUS & TOXIC MATERIAL AT THE JOB SITE, OR SHOULD IT BECOME KNOWN IN ANY WAY THAT SUCH MATERIALS MAY BE PRESENT AT THE JOB SITE OR ANY ADJACENT AREAS THAT MAY AFFECT THE PERFORMANCE OF THE WORK, THE OWNER AND THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY IN WRITING. THE ARCHITECT MAY, AT THEIR DISCRETION AND WITHOUT LIABILITY FOR CONSEQUENTIAL OR ANY OTHER DAMAGES, SUSPEND SERVICES UNTIL THE OWNER RETAINS THE APPROPRIATE SPECIALIST CONSULTANTS OR CONTRACTORS TO IDENTIFY, ABATE AND/OR REMOVE ASBESTOS OR OTHER HAZARDOUS & TOXIC MATERIALS AND WARRANT THE JOB SITE IS IN FULL COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS.

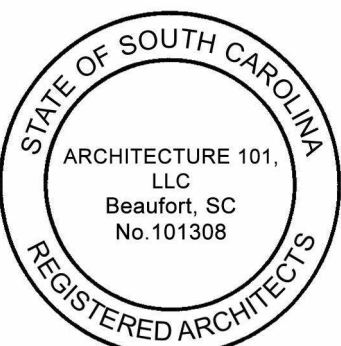


HARBOR ISLAND  
CONDOS  
BUILDING L+M OCEANSIDE  
EXTERIOR RENOVATIONS

I HARBOR DR. N,  
ST HELENA ISLAND, SC 29920

REV#	DESCRIPTION	DATE

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FOR CONSTRUCTION

GENERAL NOTES

- GC TO VERIFY THAT ALL WALLS ARE NON-LOAD BEARING. PRIOR TO REMOVAL.** Should a wall be determined as load bearing, alert architect immediately and leave wall in place for field verification.

LEGEND

- BUILDING COMPONENT TO REMAIN
- - - - - BUILDING COMPONENT TO BE DEMOLISHED

DEMOLITION NOTES

- Remove and dispose of existing wall construction. Included but not limited to all electrical, mechanical, and plumbing hidden within. Prepare for new wall construction as drawn.
- Remove and dispose of existing sliding door and all associated hardware. Existing door frame to remain.
- Remove and dispose of existing deck and all associated framing aside from beams and posts indicated. Prepare for new deck construction as drawn.
- Remove and dispose of existing railing.
- Remove and dispose of existing window and all associated hardware. Existing window frame to remain.
- Remove and dispose of existing hard siding. Sheathing behind hard siding to remain unless water damaged.
- Remove and dispose of existing hog board.



DEMO ELEVATIONS  
- BUILDING M

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Checked By	SGS	



THIS IS A STRUCTURAL PACKAGE INTENDED TO BRING THIS STRUCTURE TO THE REQUIREMENTS AS SET FORTH IN THE APPLICABLE BUILDING CODE. ANY ITEMS NOT SPECIFIED HEREIN SHALL FOLLOW THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE'S PRESCRIPTIVE REQUIREMENTS. SUCH ITEMS MAY INCLUDE DETAILING OF FRAMING CONNECTIONS, SIZES OF MEMBERS, MATERIAL SPECIFICATIONS, AND OTHER REQUIREMENTS RELATED TO THE STRUCTURE. WHERE MANUFACTURED PRODUCTS ARE USED, THE DETAILING AS ESTABLISHED BY THE MANUFACTURER SHALL BE USED.

REFERENCE CODE

A. 2021 INTERNATIONAL BUILDING CODE WITH APPLICABLE STATE AMENDMENTS

2. MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES DURING CONSTRUCTION ARE REQUIRED PER ASCE STANDARD NO.37-02 "DESIGN LOADS ON STRUCTURES DURING CONSTRUCTION"

3. BUILDING DESIGN LOADS

A. LIVE LOAD INFORMATION

1. FLOOR LIVE LOAD: 40 PSF

B. DEAD LOAD INFORMATION

1. FLOOR DEAD LOAD: 15 PSF

C. WIND LOAD INFORMATION

1. DESIGN WIND SPEED = 145 MPH

2. WIND IMPORTANCE FACTOR ( $I_w$ ) = 1.0

3. RISK CATEGORY = II

4. WIND EXPOSURE = D

5. INTERNAL PRESSURE COEFFICIENT = +/- 0.18

6. COMPONENTS AND CLADDING = AS FOLLOWS

7. WIND PRESSURES ARE REPORTED AT ASD LEVEL.

SEE ALSO FIGURE 1 (THIS PAGE).

a. ROOF

1. ZONE 1: -57 PSF

2. ZONE 2: -79 PSF

3. ZONE 3: -95 PSF

b. WALLS

1. ZONE 4 -20 PSF

2. ZONE 5 -23 PSF

D. SEISMIC DESIGN INFORMATION

A. RISK CATEGORY = II

B. SEISMIC IMPORTANCE FACTOR ( $I_e$ ) = 1.0

C. 0.2 SECOND SPECTRAL RESPONSE ACCELERATION ( $S_s$ ) = 0.842

D. 1 SECOND SPECTRAL RESPONSE ACCELERATION ( $S_1$ ) = 0.263

E. SITE CLASS = D

F. 0.2 SECOND DESIGN SPECTRAL RESPONSE ACCELERATION ( $S_{DS}$ ) = 0.673

G. 1 SECOND DESIGN SPECTRAL RESPONSE ACCELERATION ( $S_{D1}$ ) = 0.364

H. SEISMIC DESIGN CATEGORY = D

I. LATERAL FORCE RESISTING SYSTEM / RESPONSE MODIFICATION COEFFICIENT (R)

• LIGHT FRAMED WOOD WALLS SHEATHED WITH WOOD STRUCTURAL PANELS (6.5)

J. DESIGN BASE SHEAR ( $V_e$ ) =  $W_e C_e$

K. SEISMIC RESPONSE COEFFICIENT ( $C_s$ ) = 0.104

L. ANALYTICAL PROCEDURE = EQUIVALENT LATERAL FORCE PROCEDURE

- THE INTENT OF THESE DRAWINGS IS TO SHOW ALL ITEMS NECESSARY TO COMPLETE THE STRUCTURE. FOR ITEMS, METHODS, AND/OR MATERIALS NOT SHOWN, THE MINIMUM REQUIREMENTS OF THE REFERENCE CODE SHALL GOVERN. ALL WORK AND CONSTRUCTION SHALL COMPLY WITH ALL OTHER APPLICABLE BUILDING CODES, SOIL REPORTS, REGULATIONS, AND SAFETY REQUIREMENTS.
- THROUGHOUT THESE DRAWINGS, THE TERM ENGINEER REFERS TO THE ENGINEER OF RECORD FOR THIS PROJECT. OTHER ENGINEERING DISCIPLINES WILL BE EXPLICITLY DESCRIBED. THE TERM ARCHITECT REFERS TO THE ARCHITECT OF RECORD FOR THIS PROJECT.
- PLAN NORTH IS EXPLICITLY CALLED OUT ON THE SHEETS. TRUE NORTH IS TO BE INDICATED ON THE SPECIFIC PLANS WHERE APPLICABLE PER AN APPROVED SITE PLAN. PLAN NORTH IS FOR COORDINATION PURPOSES AND NOT FOR BUILDING LOCATION.
- METHODS, MEANS, AND MATERIALS ARE EXPLICITLY CALLED OUT IN THESE NOTES. ANY DEVIATION OR PROPOSED CHANGE IS TO BE COMMUNICATED IMMEDIATELY TO THE ENGINEER. NO DEVIATION OR CHANGE IS ACCEPTABLE WITHOUT WRITTEN APPROVAL BY THE ENGINEER.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, FORMWORK, ETC. AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING THE CONSTRUCTION OF THE BUILDING. SHORING AND TEMPORARY BRACING SHALL REMAIN IN PLACE UNTIL FLOORS, ROOF, AND LATERAL BRACING SYSTEMS HAVE BEEN ENTIRELY CONSTRUCTED, OR UNTIL THE PARTIALLY BUILT STRUCTURE IS PROVEN SAFE AND STABLE BY A REGISTERED ENGINEER ENGAGED BY THE CONTRACTOR. SHORING DRAWINGS AND CALCULATIONS SHALL BE SEALED BY A REGISTERED ENGINEER AND SUBMITTED TO THE ARCHITECT / ENGINEER FOR REVIEW. MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES DURING CONSTRUCTION SHALL BE MAINTAINED PER ASCE STANDARD NO. 37-02 "DESIGN LOADS ON STRUCTURES DURING CONSTRUCTION."
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS WITH THE ARCHITECTURAL, CIVIL, ELECTRICAL, AND MECHANICAL DRAWINGS BEFORE PREPARING SHOP DRAWINGS, FABRICATION, OR CONSTRUCTION. SEE ARCHITECTURAL, CIVIL, ELECTRICAL, AND MECHANICAL DRAWINGS FOR SIZE AND LOCATIONS OF PIPES, SLEEVES, PITS, VENTS, DUCTS, ROOF OPENINGS, TRENCHES, EQUIPMENT PADS, MISCELLANEOUS IRON, AND/OR ANY DETAILS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
- CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED ROOF OR FLOOR. THE LOAD SHALL NOT EXCEED THE DESIGN LOADS PER SQUARE FOOT. PROVIDE ADEQUATE SHORING AND/OR BRACING WHERE STRUCTURE HAS NOT ATTAINED DESIGN STRENGTH.
- ALL DRAWINGS ARE CONSIDERED TO BE A PART OF THE CONTRACT DOCUMENTS. DRAWINGS ARE NOT CONSIDERED ISSUED FOR CONSTRUCTION UNTIL THE ENGINEER HAS SIGNED AND SEALED EACH SHEET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENT OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN EXPENSE AND AT NO EXPENSE TO THE OWNER, ARCHITECT, OR ENGINEER.
- NOTES AND DETAILS ON DRAWING SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO NOTE OR DETAIL IS GIVEN, CONSTRUCTION SHALL BE PER TYPICAL STRUCTURAL, MANUFACTURER, OR ARCHITECTURAL DETAIL.
- OPENINGS, POCKETS, ETC. LARGER THAN 6" SHALL NOT BE PLACED IN CONCRETE SLABS, DECKS, OR WALLS UNLESS SPECIALLY DETAILED ON THE STRUCTURAL DETAILS. NOTIFY THE ENGINEER WHEN DRAWINGS BY OTHERS SHOW OPENINGS, POCKETS, ETC. LARGER THAN 6" THAT ARE NOT SHOWN ON THE STRUCTURAL DRAWINGS BUT ARE LOCATED IN STRUCTURAL MEMBERS. FOR ANY FURTHER RESTRICTIONS ON OPENINGS IN STRUCTURAL ELEMENTS, SEE APPLICABLE SECTIONS BELOW.

11. PIPES LARGER THAN 1-1/2" DIAMETER SHALL NOT BE EMBEDDED IN STRUCTURAL CONCRETE EXCEPT WHERE SPECIFICALLY APPROVED.
12. ALL CONTRACTOR DESIGNED ELEMENTS SHALL BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER. CONTRACTOR SHALL SUBMIT CALCULATIONS CERTIFYING THAT ELEMENTS ARE DESIGNED FOR THE STATED UNFACTORED LOADS.
13. ALL TESTING AND INSPECTION OF WELDS SHALL BE DONE BY AN INDEPENDENT TESTING SERVICE ACCEPTABLE TO THE ENGINEER AND SHALL CONFORM TO THE LATEST EDITION OF ANSIWAFS 01.1. WELD INSPECTORS ARE TO BE AWS CERTIFIED.
14. ANY SLOPE SHALL BE CONSTRUCTED AT A MAXIMUM GRADIENT OF 2:1 (HORIZONTAL TO VERTICAL). FILL AND CUT SLOPES SHOULD BE VEGETATED AS SOON AS POSSIBLE TO MINIMIZE EROSION OF SOIL.
15. ANY VERTICAL SOIL CUTS MUST BE PROVIDED WITH PROPER SHORING TO PROTECT WORKERS AND ADJACENT PROPERTY. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, AND THE PROTECTION OF ADJACENT PROPERTY.
16. SHOP DRAWINGS PREPARED BY SUPPLIERS AND SUBCONTRACTORS SHALL BE REVIEWED BY THE GENERAL CONTRACTOR PRIOR TO SUBMITTING TO THE ENGINEER.
17. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS SHOWING SIZE, METHOD OF ANCHORAGE, AND WEIGHT OF ALL EQUIPMENT THAT IS TO BE SUPPORTED BY THE STRUCTURE. THE REVIEW BY THE ENGINEER, THIS IS TO DETERMINE ADEQUACY OF THE STRUCTURE PRIOR TO ORDERING.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND DETAIL OF SIMPLE (SHEAR ONLY) CONNECTIONS NOT SHOWN ON DRAWINGS.
19. SHOP DRAWINGS AND OTHER ITEMS SHALL BE SUBMITTED TO THE ENGINEER OR REVIEWED BY THE FABRICATOR. SHOP DRAWINGS SHALL BE REVIEWED BY THE GENERAL CONTRACTOR BEFORE SUBMITTAL. THE ENGINEER'S REVIEW IS INTENDED TO REVIEW FOR CONFORMANCE WITH THE DESIGN CONCEPT AND GENERAL COMPLIANCE WITH THE RELEVANT CONTRACT DOCUMENTS. THE ENGINEER'S REVIEW DOES NOT RELIEVE THE CONTRACTOR OF THE SOLE RESPONSIBILITY TO REVIEW, CHECK, AND COORDINATE THE SHOP DRAWINGS PRIOR TO SUBMISSION. THE CONTRACTOR REMAINS SOLELY RESPONSIBLE FOR ERRORS AND OMISSIONS ASSOCIATED WITH THE PREPARATION OF SHOP DRAWINGS AS THEY PERTAIN TO MEMBER SIZES, DETAILS, DIMENSIONS, ETC. REPRODUCTIONS OF CONTRACT DOCUMENTS SHALL NOT BE USED TO PREPARE SHOP DRAWINGS. SHOP DRAWINGS AND SUBMITTALS SHALL BE SUBMITTED "CONTRACTOR APPROVED."

1. STRUCTURAL LUMBER SHALL BE SOUTHERN YELLOW PINE #2, SPRUCE PINE FIR #2 OR BETTER, UNLESS NOTED OTHERWISE.
2. ALL STRUCTURAL WOOD USED IN THE CONSTRUCTION OF EXTERIOR COMPONENTS (E.G. STEPS, PORCHES, AND DECKS), EXPOSED TO WEATHER, AND IN CONTACT WITH CONCRETE / SOIL SHALL BE PRESSURE TREATED OR EQUALLY ROT RESISTANT.
3. ALL STRUCTURAL WOOD COMPONENTS (E.G. PLYWOOD AND ALL LUMBER) BELOW FLOOD ELEVATION SHALL BE PRESSURE TREATED OR EQUALLY ROT RESISTANT.
4. ALL FASTENERS AND CONNECTORS (HARDWARE) SHALL BE GALVANIZED OR STAINLESS STEEL. ALL HARDWARE SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
5. REPLACEMENT WALL SHEATHING: 15/32" MINIMUM 24/16 APA-RATED PLYWOOD, WITH 0.131" DIAMETER X 2.5" LONG (80 COMMON) NAILS AT 3" ON CENTER AT ALL PANEL EDGES / BOUNDARIES, AND 12" ON CENTER IN THE FIELD. BLOCK ALL EDGES OF PLYWOOD UNLESS NOTED OTHERWISE.

AB.	- ANCHOR BOLT
ADD/L	- ADDITIONAL
AFF	- ABOVE FINISHED FLOOR
ARCH	- ARCHITECT/ARCHITECTURAL
B.	- BELOW FINISHED FLOOR
B.N.	- BOUNDARY NAILING
CA	- COLUMN ABOVE
C.I.P.	- CAST IN PLACE
C.J	- CONTROL JOINT
CL	- CENTER LINE
CLR	- CLEAR
COL.	- COLUMN
CONC	- CONCRETE
CONN	- CONNECTION
CONST	- CONSTRUCTION
CONT.	- CONTINUOUS
COORD.	- COORDINATE
DET.	- DETAIL
DIA	- DIAMETER
DIAG	- DIAGONAL
DIM	- DIMENSION
DWG	- DRAWING
(E)	- EXISTING
EA	- EACH
EJ	- EXPANSION JOINT
EL	- ELEVATION
ENGR	- ENGINEER
EOD	- EDGE OF DECK
EOS	- EDGE OF SLAB
EQ	- EQUAL
EQUIP	- EQUIPMENT
EW	- EACH WAY
EXP	- EXPANSION
EXT	- EXTERIOR
F.F.	- FINISHED FLOOR
FDN	- FOUNDATION
PFE	- FINISHED FLOOR ELEVATION
FIN	- FINISHED
FLR	- FLOOR
FT	- FOOT / FEET
FTG	- FOOTING
GA	- GAUGE
GALV.	- GALVANIZE (D)(J)
	- HIGH
HORIZ.	- HORIZONTAL
JBE	- JOIST BEARING ELEVATION
MFR	- MANUFACTURER
(N)	- NEW
O.C.	- ON CENTER
SQ.FT	- SQUARES PER SQUARE FOOT
P.T.	- PRESSURE TREATED
REINF	- REINFORCEMENT
SYN	- SOUTHERN YELLOW PINE
U.N.O.	- UNLESS NOTED OTHERWISE
VERT	- VERTICAL
V.I.F.	- VERIFY IN FIELD
W/	- WITH
WWF	- WELDED WIRE FABRIC

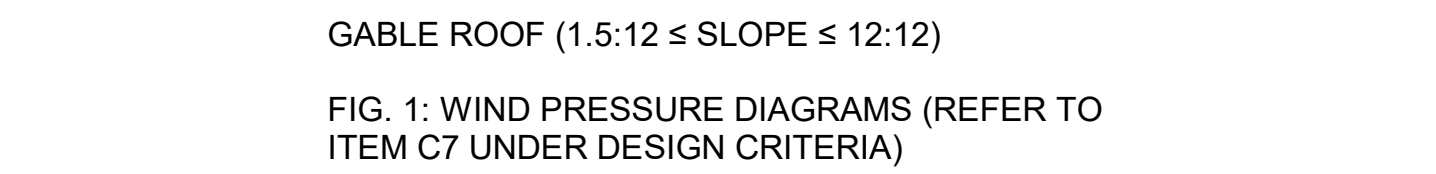
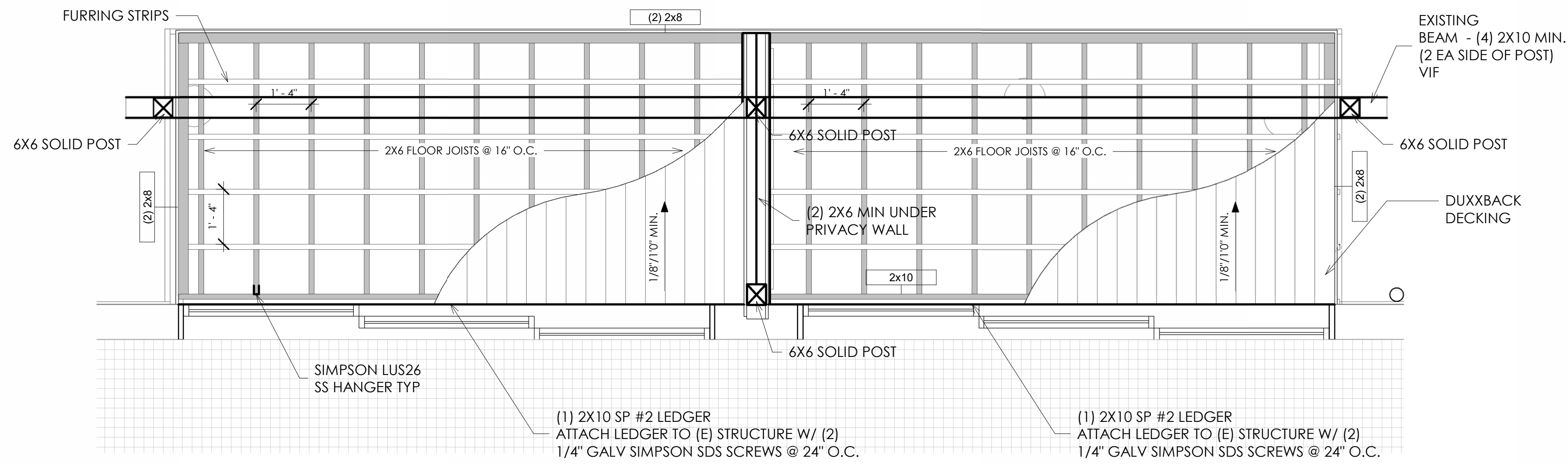


FIG. 1: WIND PRESSURE DIAGRAMS (REFER TO ITEM C7 UNDER DESIGN CRITERIA)



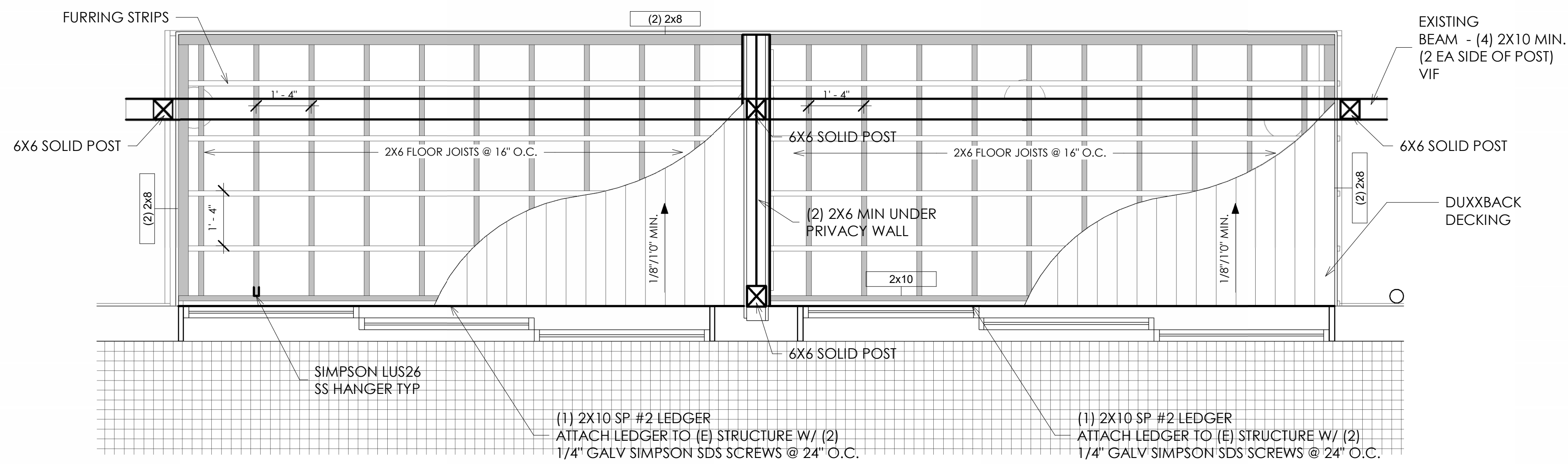
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NOTE: ALL STEEL SHALL BE STAINLESS STEEL



1 FRAMING PLAN - THIRD FLOOR - PORCH TYPE 1 - BUILDING M  
1/2" = 1'-0"

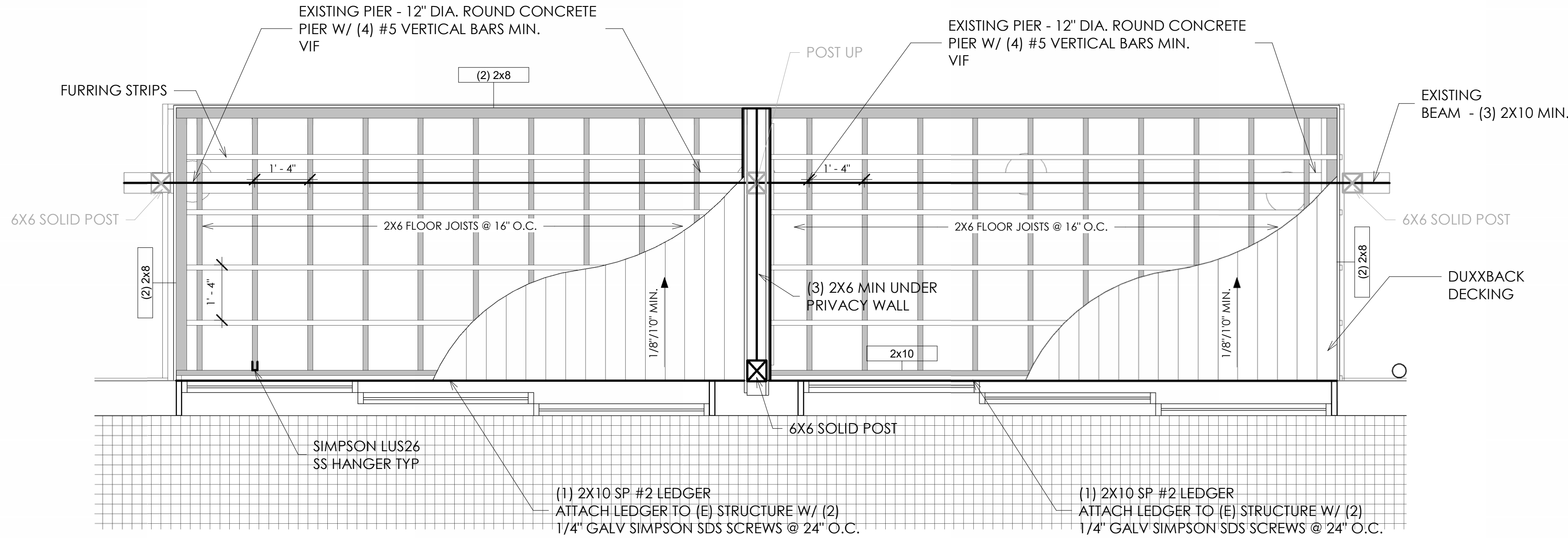
NOTE: ALL STEEL SHALL BE STAINLESS STEEL



3 FRAMING PLAN - SECOND FLOOR - PORCH TYPE 1 - BUILDING M  
1/2" = 1'-0"

NOTE: ALL STEEL SHALL BE STAINLESS STEEL

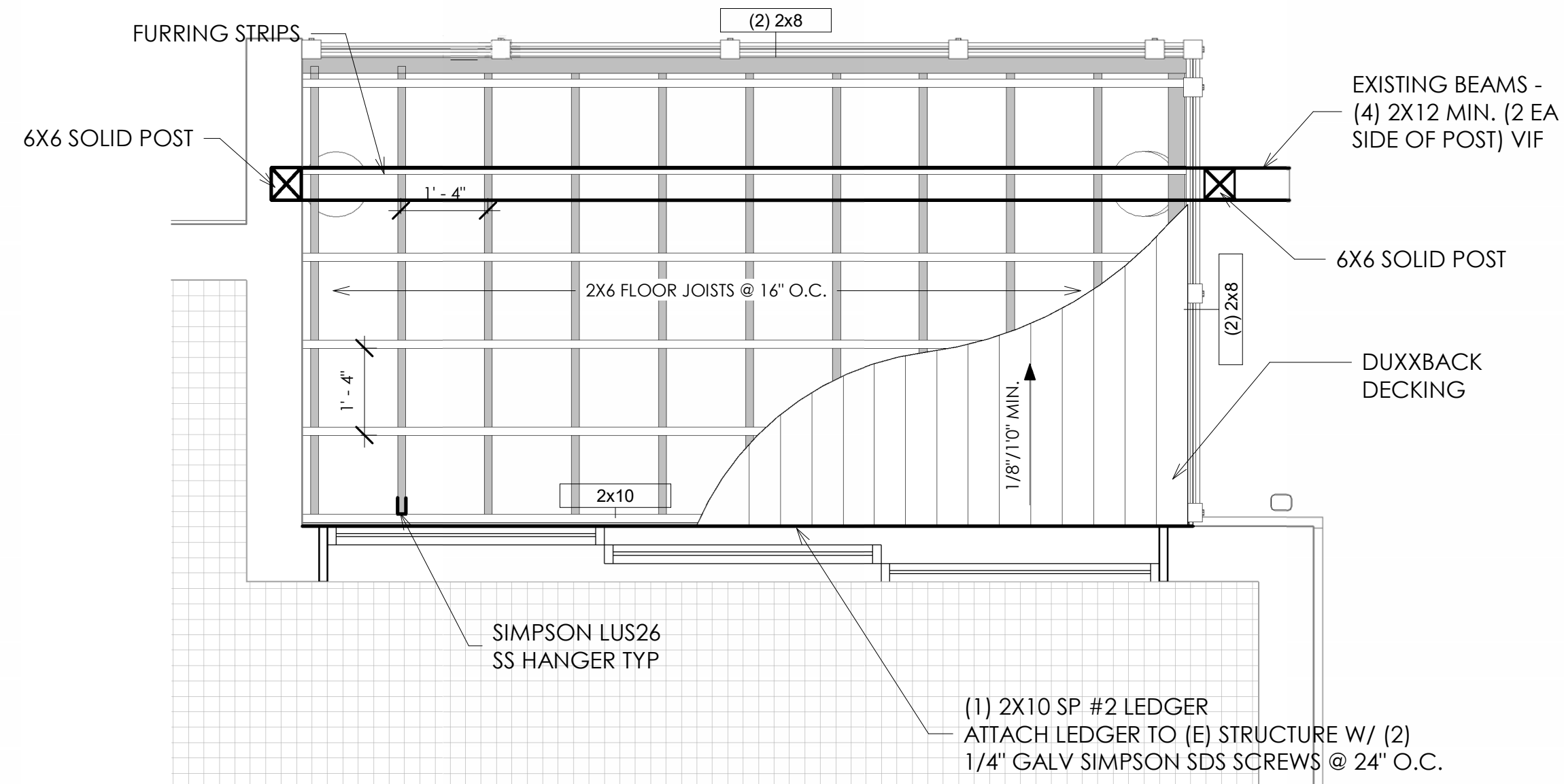
NOTE: FOOTING UNDER PIERS SHALL BE 2'-6" SQUARE X 1'-0" THICK FOOTING W/ (3) #5 BARS E.W. MIN.



5 FRAMING PLAN - FIRST FLOOR - PORCH TYPE 1 - BUILDING M  
1/2" = 1'-0"

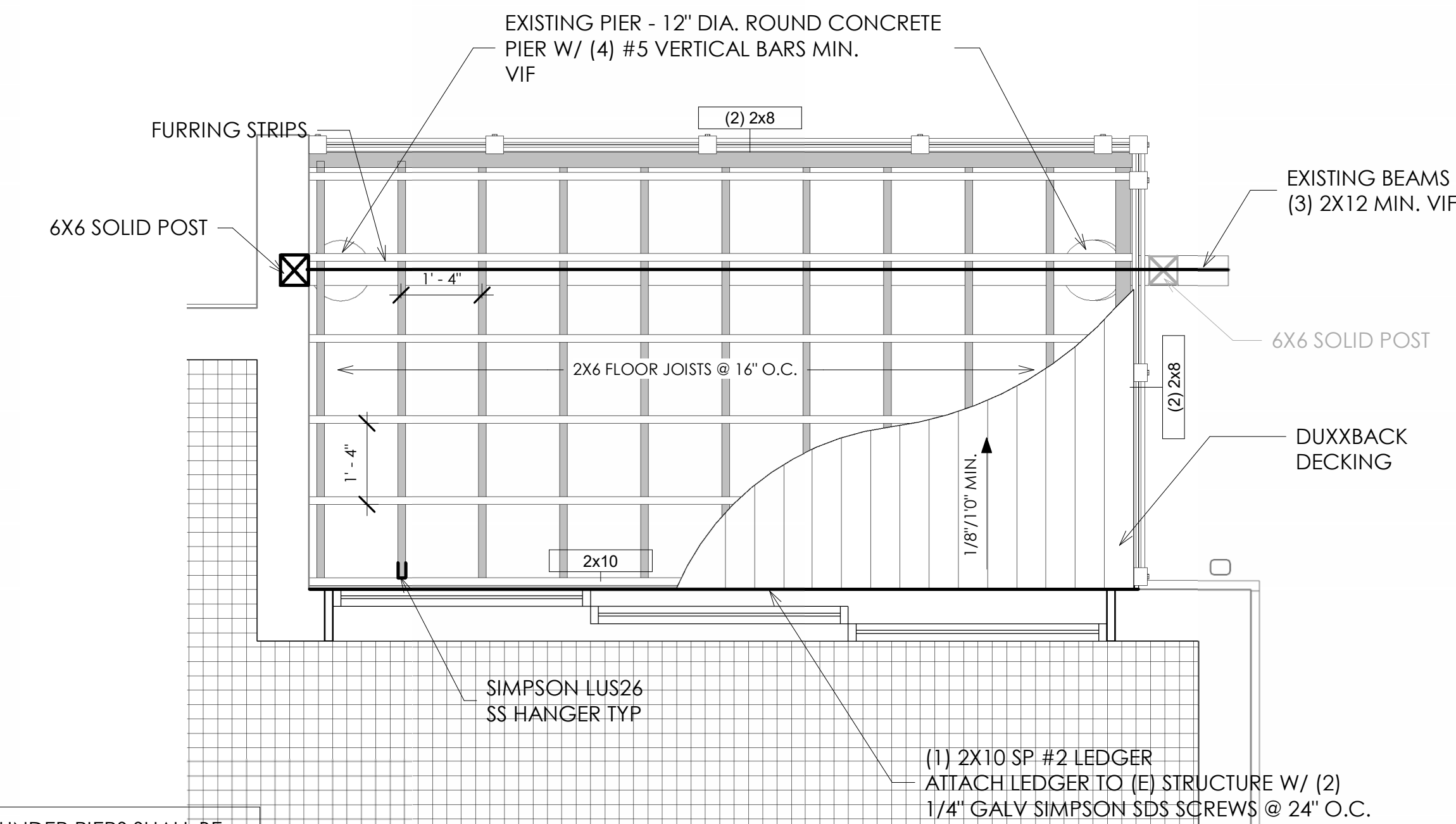
NOTE: ALL STEEL SHALL BE STAINLESS STEEL

2 FRAMING PLAN - THIRD FLOOR - PORCH TYPE 2 - BUILDING M  
1/2" = 1'-0"



NOTE: ALL STEEL SHALL BE STAINLESS STEEL

4 FRAMING PLAN - SECOND FLOOR - PORCH TYPE 2 - BUILDING M  
1/2" = 1'-0"



NOTE: FOOTING UNDER PIERS SHALL BE 2'-6" SQUARE X 1'-0" THICK FOOTING W/ (3) #5 BARS E.W. MIN.

NOTE: ALL STEEL SHALL BE STAINLESS STEEL

6 FRAMING PLAN - FIRST FLOOR - PORCH TYPE 2 - BUILDING M  
1/2" = 1'-0"

# HARBOR ISLAND CONDOS

## BUILDING L+M OCEANSIDE EXTERIOR RENOVATIONS

1 HARBOR DR. N,  
ST HELENA ISLAND, SC 29920

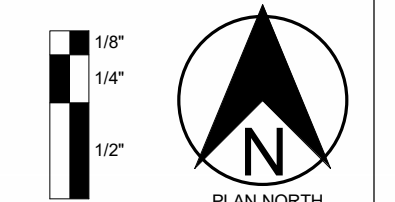
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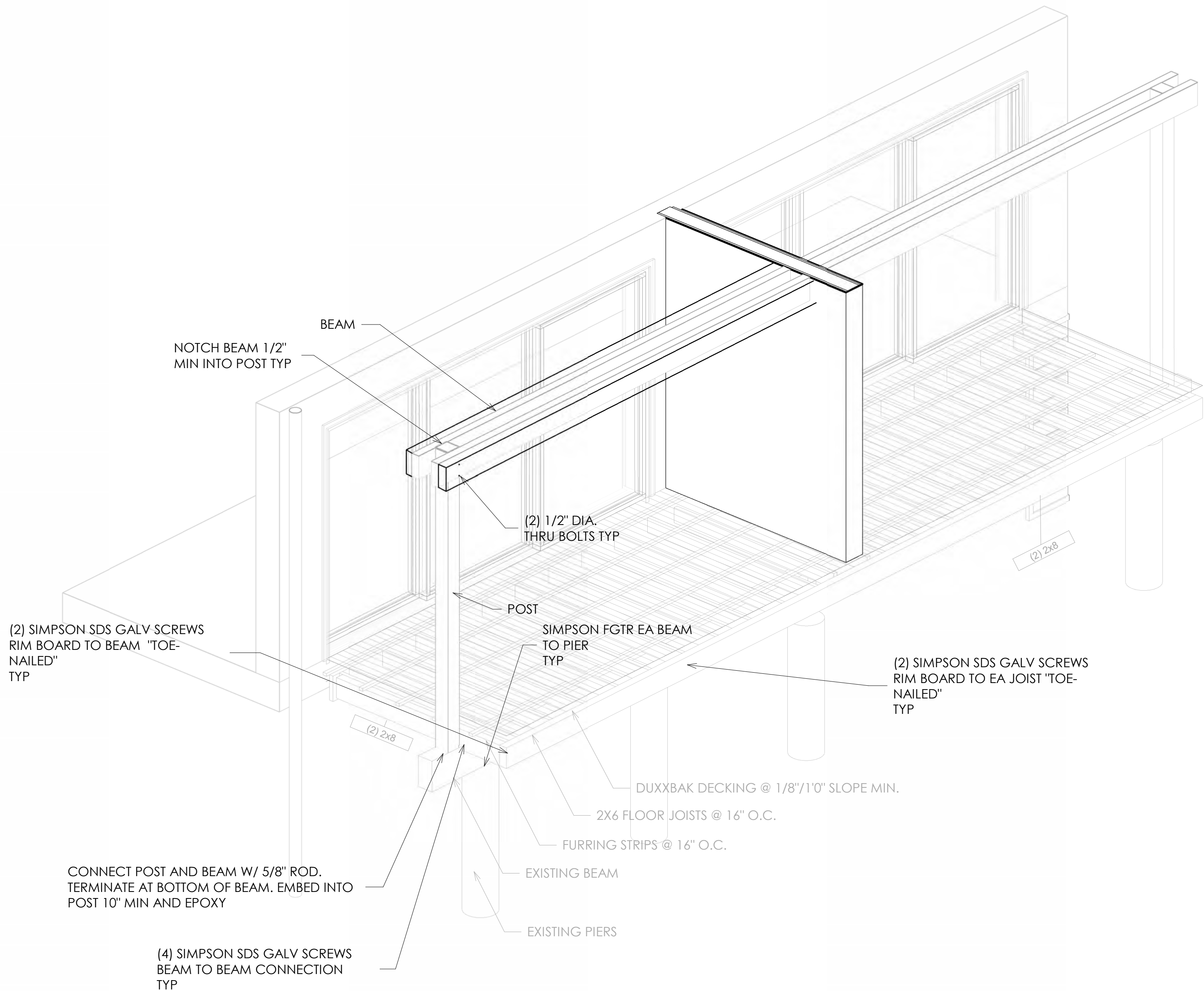
## PORCH FRAMING PLANS - BUILDING M

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Checked By SGS	

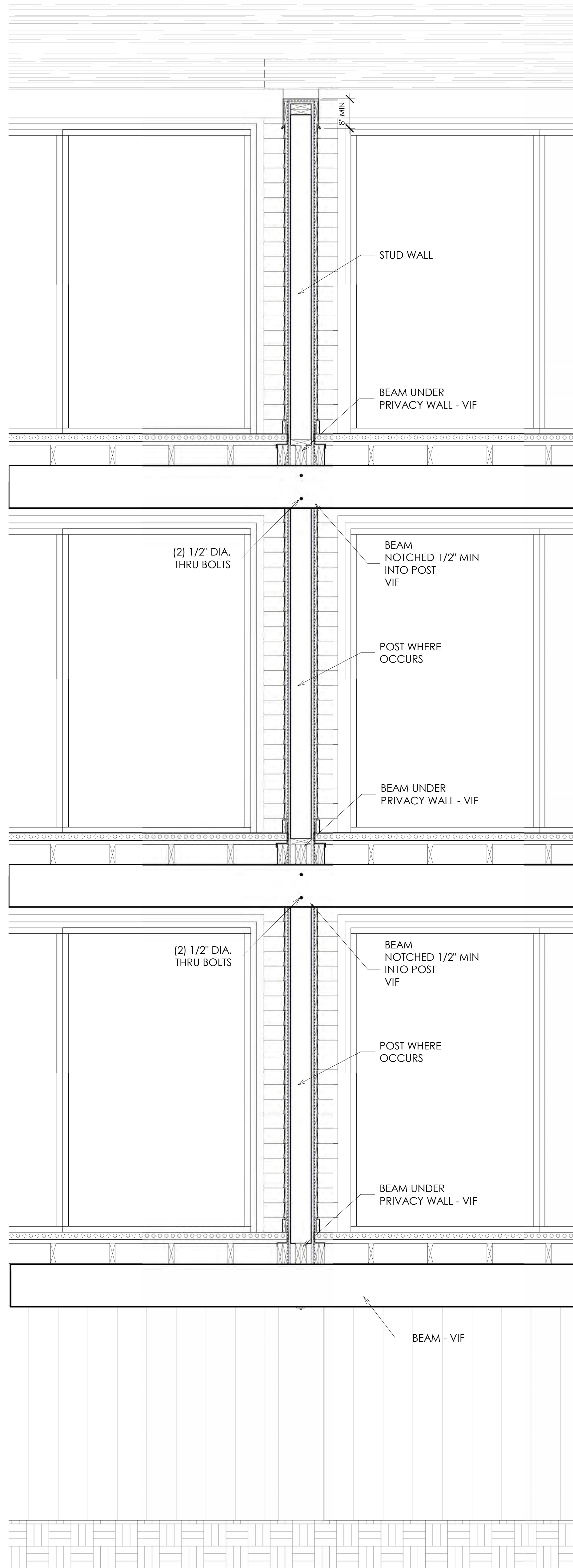
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1 3D FRAMING PLAN - FIRST FLOOR - PORCH TYPE 1 - BUILDING M



2 DECK TYPE 2 - SECTION  
3/4" = 1'-0"

# HARBOR ISLAND CONDOS

## BUILDING L+M OCEANSIDE EXTERIOR RENOVATIONS

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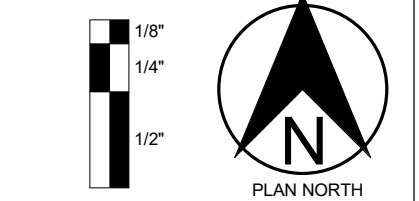
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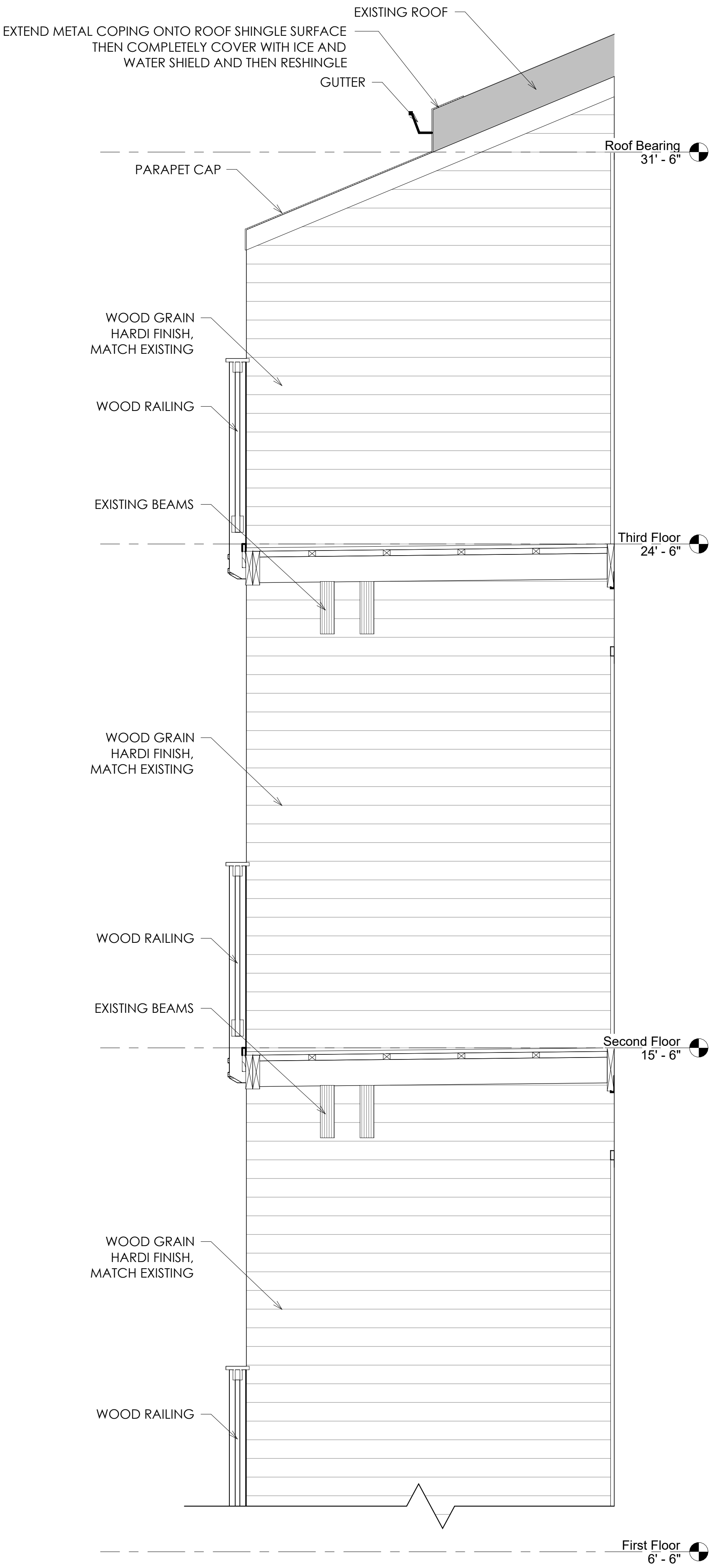


## PORCH SECTIONS - BUILDING M

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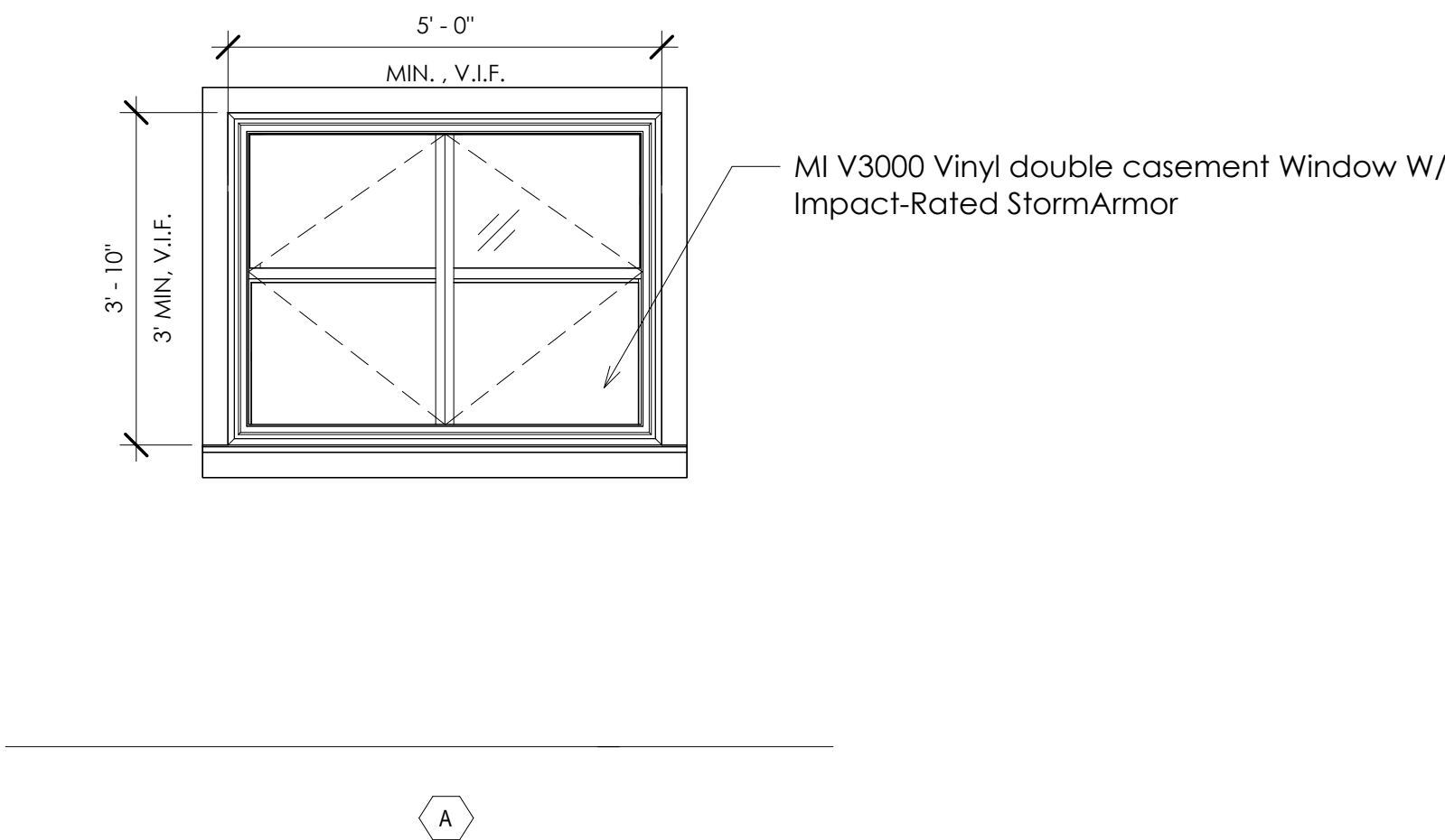
**A1** ELEVATION - DECK PARTITION WALL  
3/4" = 1'-0"

Door Schedule						
Mark	Width	Height	Fire rating	Door Type	Frame Type	Comments
113	13' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
114	13' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
115	13' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
116	13' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
117	13' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
118	13' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
213	13' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
214	13' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
215	13' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
216	13' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
217	13' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
218	13' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
313	13' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
314	13' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
315	13' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
316	13' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
317	13' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock
318	13' - 0"	7' - 0"		FG	FBG	Verify and match existing opening/height in field, Integrated Pull Handle w/ Lock

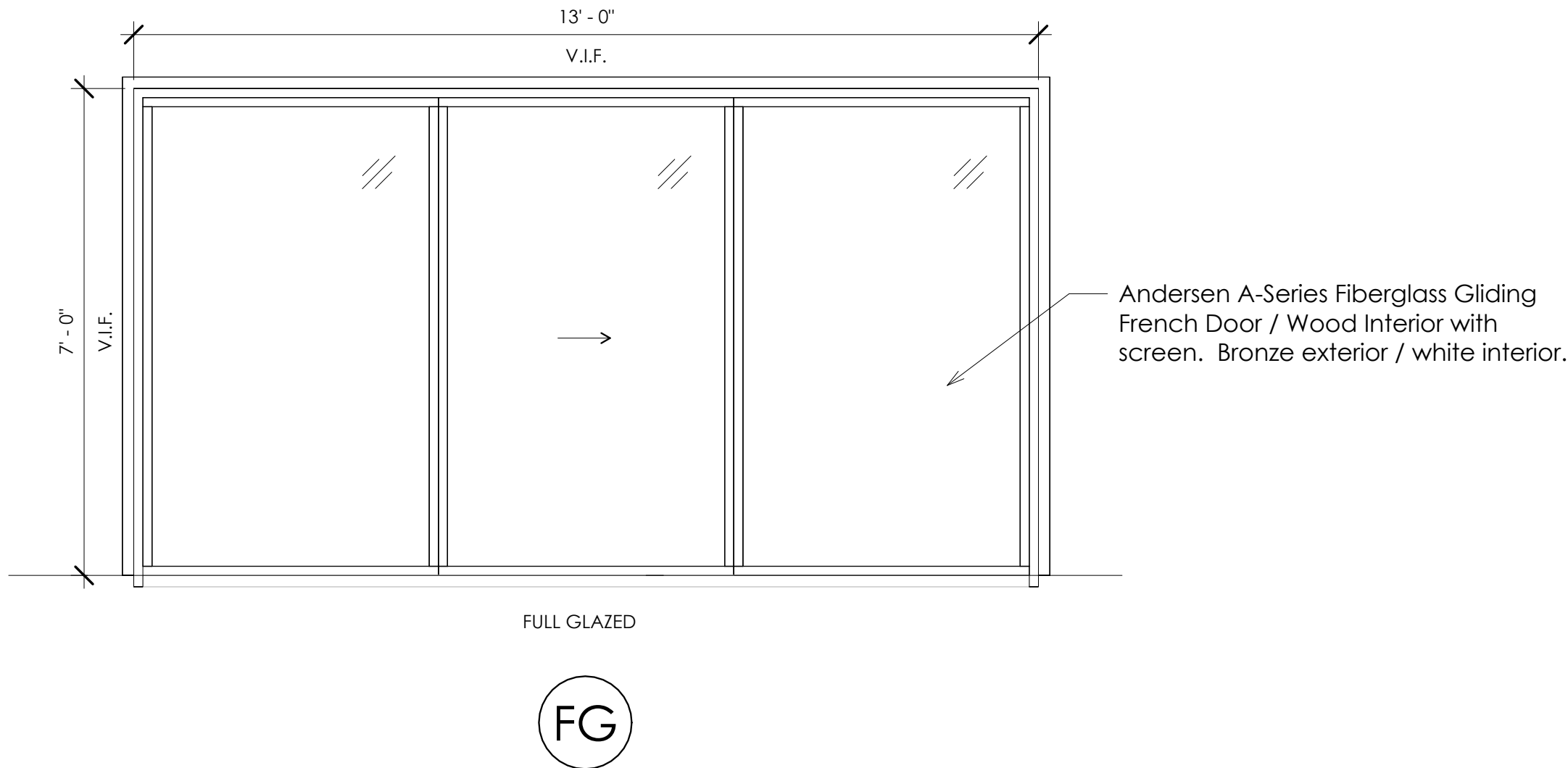
- DOOR SCHEDULE NOTES:**
- Door hardware finish shall match existing.
  - Key all doors to Owner's requirements. Conduct Preinstallation conference with Owner to determine keying requirements.
  - Coordinate access control with Owner.
  - All door hardware to be 2010 ADA compliant.
  - GC Shall field verify all existing door and window opening sizes and dimensions prior to ordering.

**DOOR LEGEND:**  
FG: Full Glazed  
FBG: Fiber Glass

Window Type Legend



Door Type Legend



# HARBOR ISLAND CONDOS

## BUILDING L+M OCEANSIDE EXTERIOR RENOVATIONS

I HARBOR DR. N,  
ST HELENA ISLAND, SC 29920

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## WALL, DOOR, AND WINDOW TYPES

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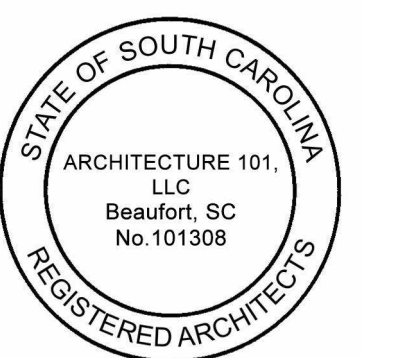
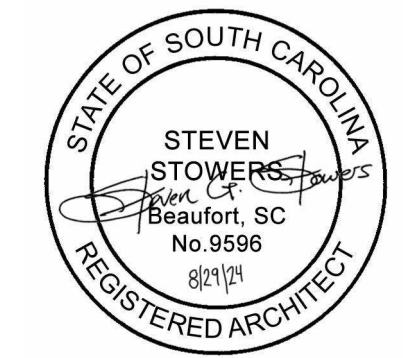
HARBOR ISLAND  
CONDOS

BUILDING L+M OCEANSIDE  
EXTERIOR RENOVATIONS

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REV#	DESCRIPTION	DATE

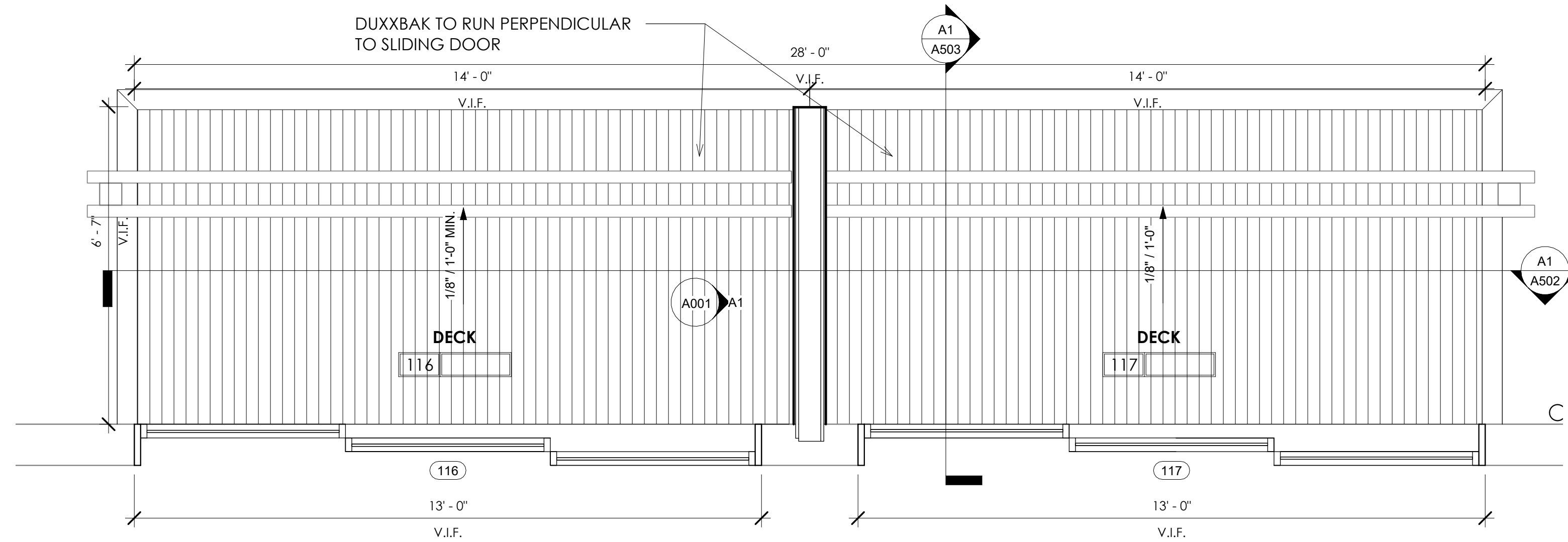
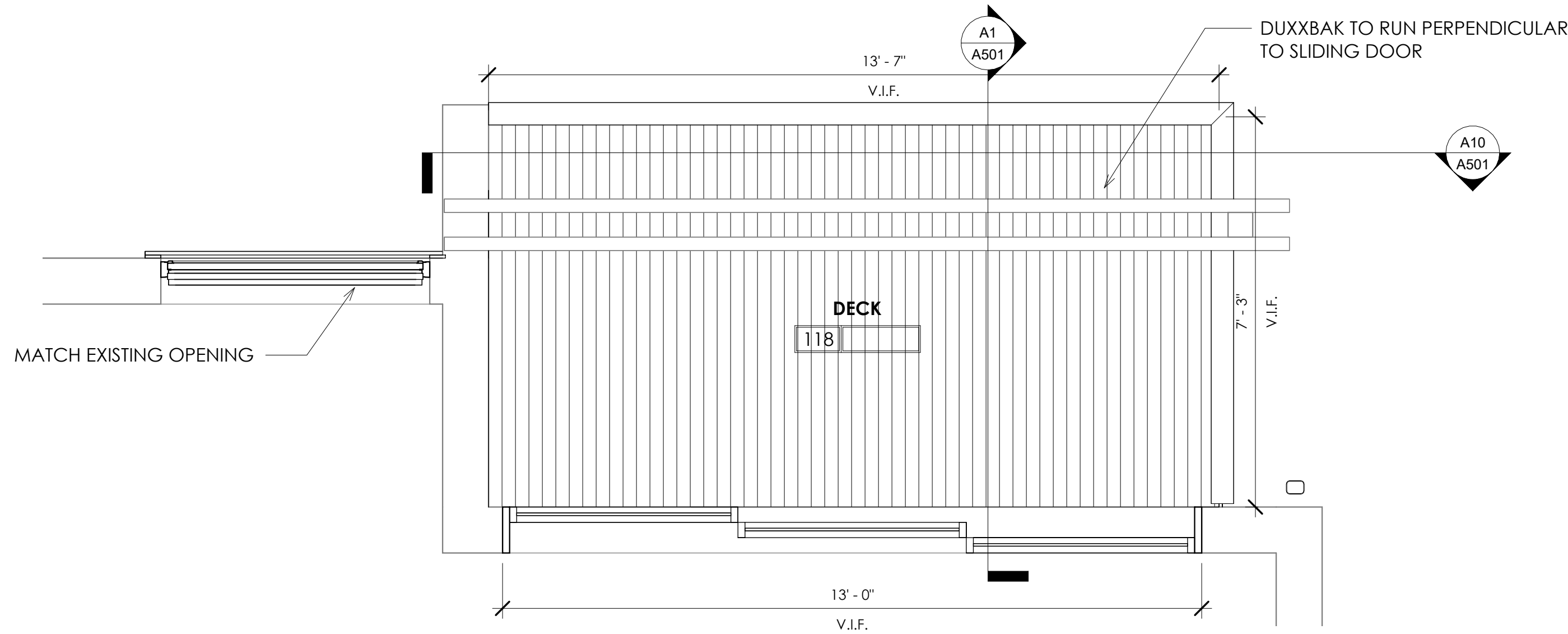
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FOR CONSTRUCTION

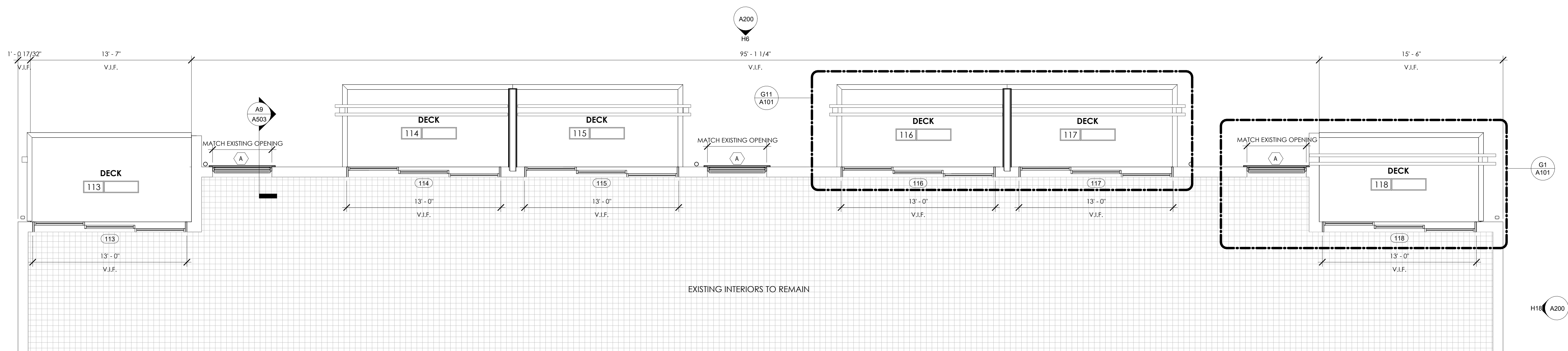
GENERAL NOTES

- All dimensions are to face of stud unless noted otherwise.
- All door openings are 4" from adjacent wall unless noted otherwise.



G1 FIRST FLOOR - BUILDING M - PROPOSED - DECK TYPE 1  
1/2" = 1'-0"

G11 FIRST FLOOR - BUILDING M - PROPOSED - DECK TYPE 2  
1/2" = 1'-0"



A1 FIRST FLOOR - BUILDING M - PROPOSED  
1/4" = 1'-0"



FLOOR PLANS -  
BUILDING M - FIRST  
FLOOR

2023.32	<b>A101</b>
09/24/2024	
Drawn By MNC	
Checked By SGS	

9/24/2024 5:52:22 PM



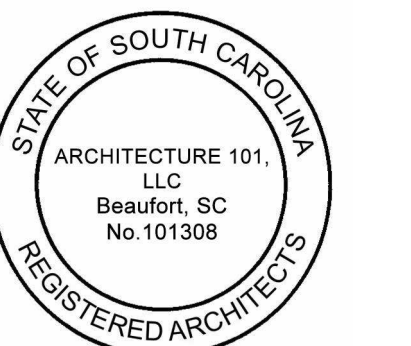
# HARBOR ISLAND CONDOS

## BUILDING L+M OCEANSIDE EXTERIOR RENOVATIONS

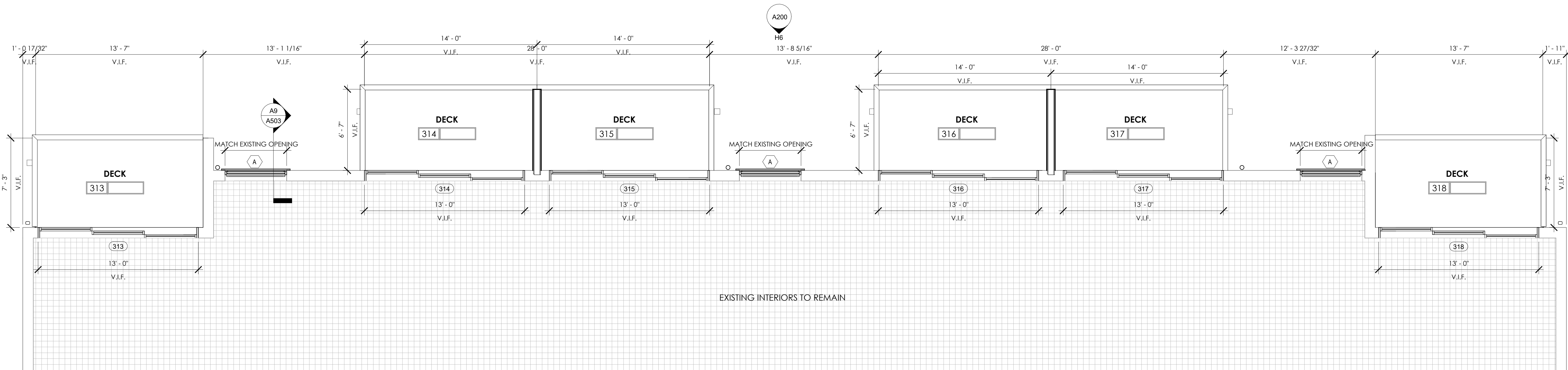
1 HARBOR DR. N,  
ST HELENA ISLAND, SC 29920

REV#	DESCRIPTION	DATE

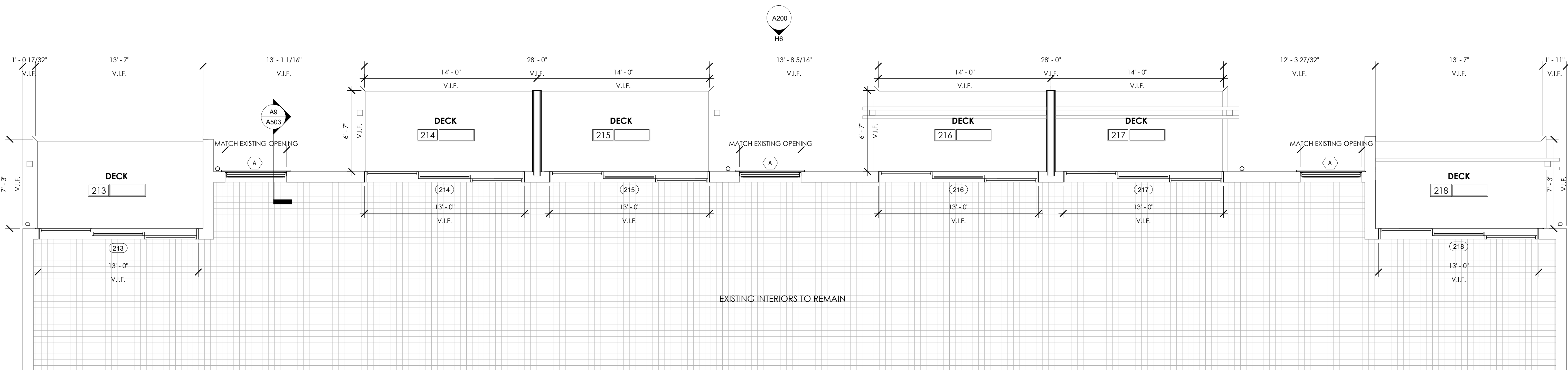
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FOR CONSTRUCTION



H1 THIRD FLOOR - BUILDING M - PROPOSED  
1/4" = 1'-0"



A1 SECOND FLOOR - BUILDING M - PROPOSED  
1/4" = 1'-0"



## FLOOR PLANS - BUILDING M - SECOND & THIRD

2023.32	<b>A102</b>
09/24/2024	
Drawn By MNC	
Checked By SGS	

9/24/2024 5:52:24 PM



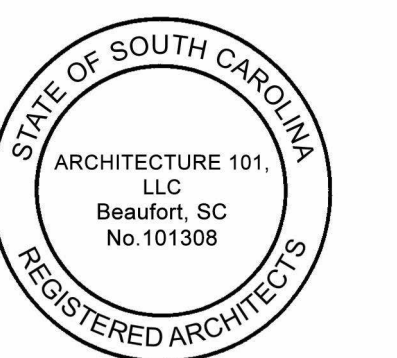
# HARBOR ISLAND CONDOS

## BUILDING L+M OCEANSIDE EXTERIOR RENOVATIONS

1 HARBOR DR. N,  
ST HELENA ISLAND, SC 29920

REV#	DESCRIPTION	DATE

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FOR CONSTRUCTION

### GENERAL NOTES

1. **GC TO VERIFY THAT ALL WALLS ARE NON-LOAD BEARING. PRIOR TO REMOVAL.** Should a wall be determined as load bearing, alert architect immediately and leave wall in place for field verification.

### GENERAL DEMO. NOTES

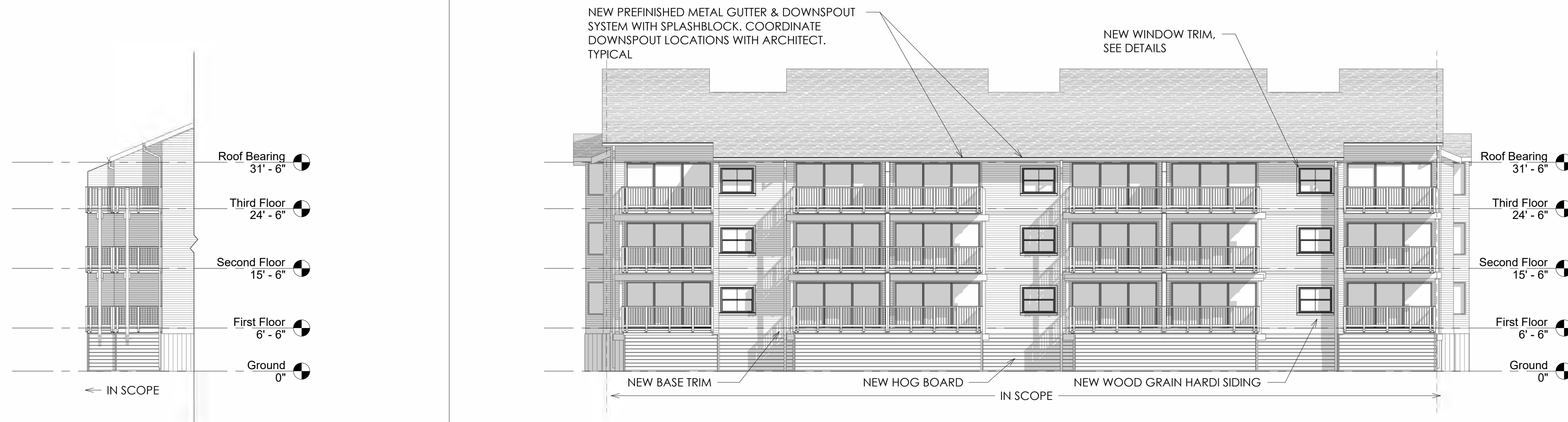
- Contractor to conduct demolition operations as to prevent against damaging existing construction to remain. All damage created by the demolition operation shall be repaired and prepared to receive new finishes. Demolition operation shall be conducted as to prevent personal injury to all persons on site during the life of the demolition and construction phases of the project.
- Contractor to ensure the security of the building during off construction hours thru-out the life of the project. Security includes but is not limited to prevention from theft, vandalism, and damage by weather conditions.



## BUILDING M ELEVATIONS

2023.32	<b>A200</b>
09/24/2024	
Drawn By MNC	
Checked By SGS	

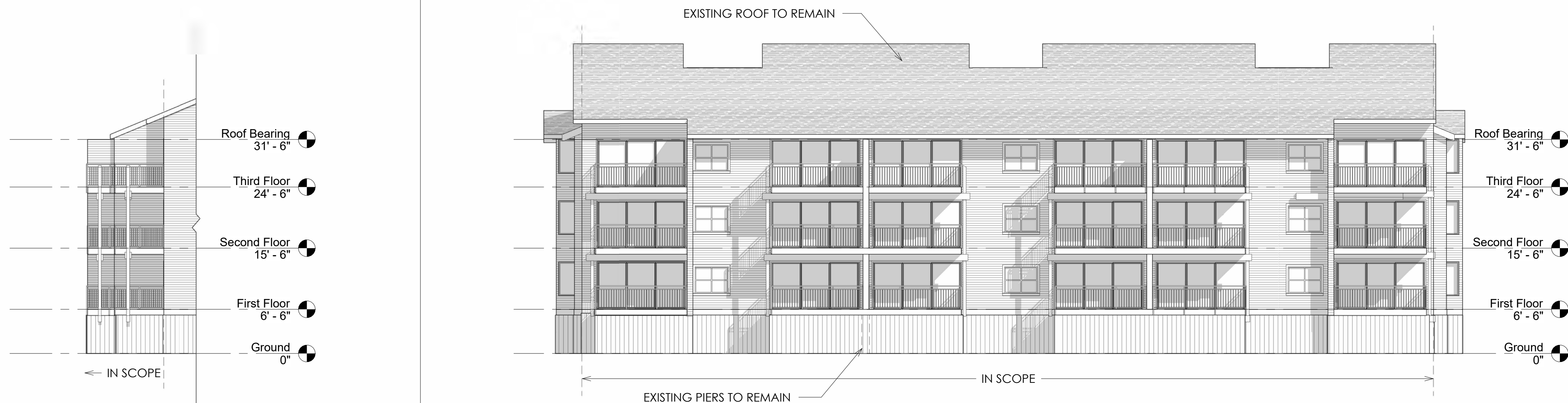
9/24/2024 5:52:31 PM



H1 BUILDING M - PROPOSED - LEFT ELEVATION  
1" = 10'-0"

H6 BUILDING M - PROPOSED - OCEANSIDE ELEVATION  
1" = 10'-0"

H18 BUILDING M - PROPOSED - RIGHT ELEVATION  
1" = 10'-0"

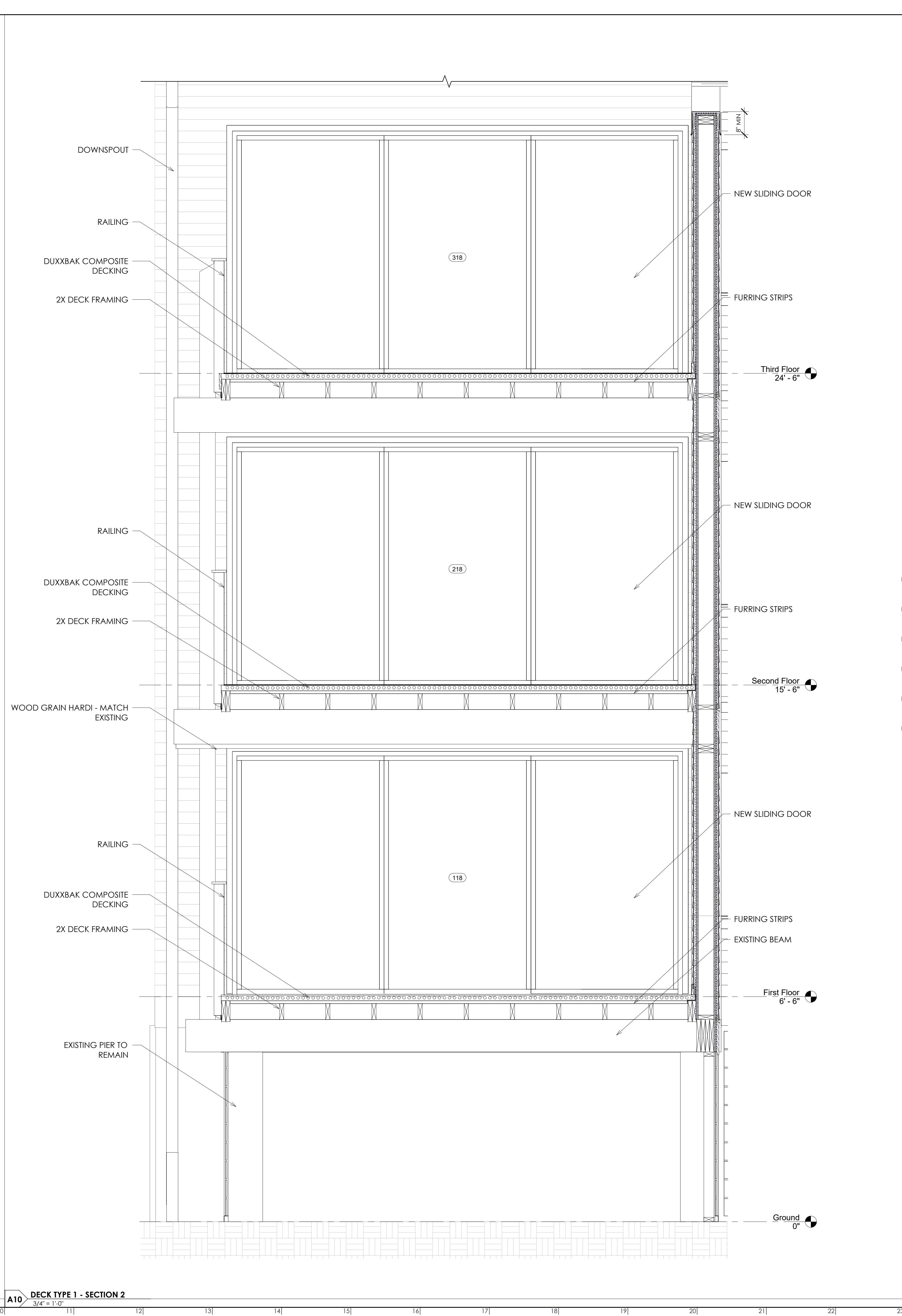
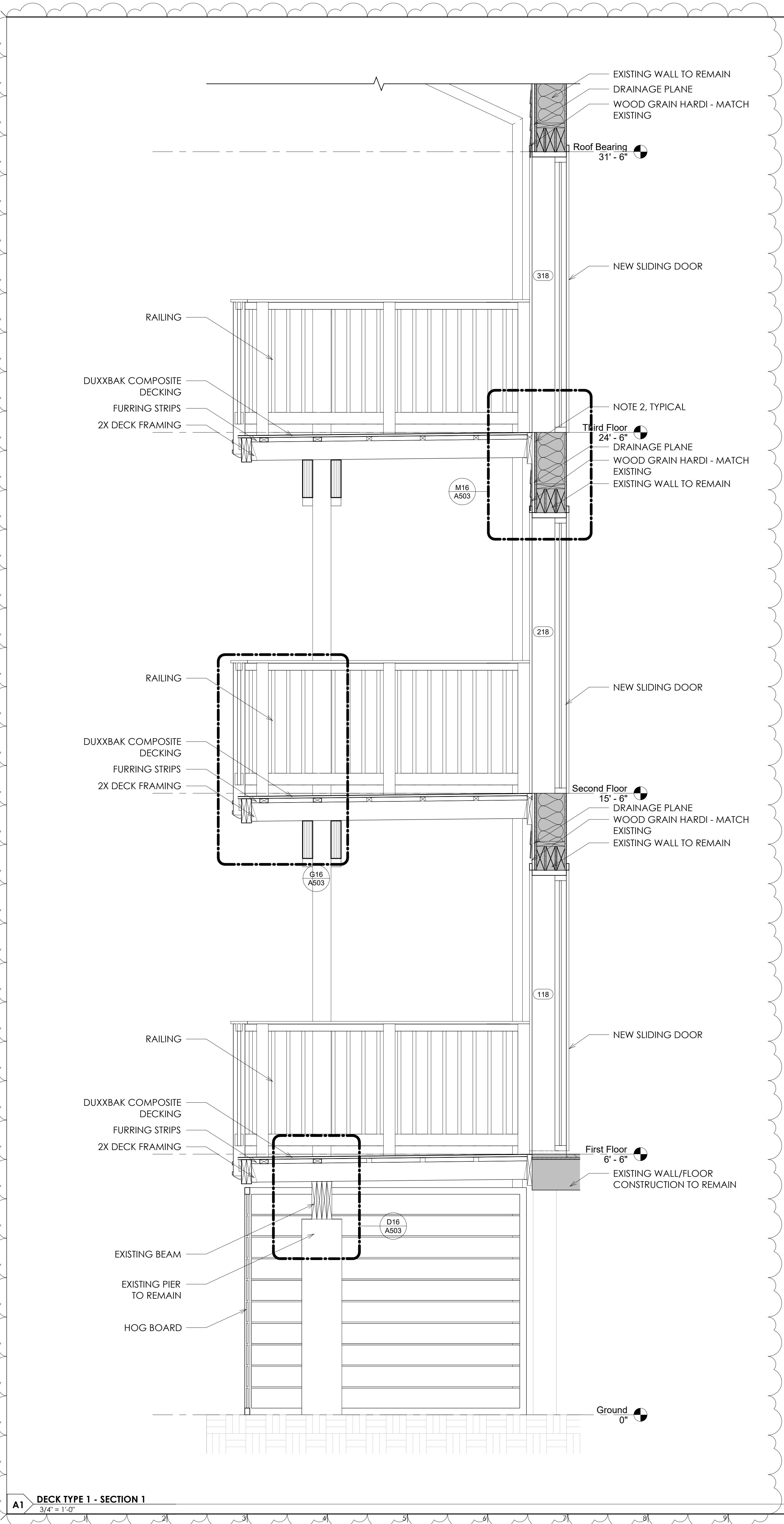


A1 BUILDING M - EXISTING - LEFT ELEVATION  
1" = 10'-0"

A6 BUILDING M - EXISTING - OCEANSIDE ELEVATION  
1" = 10'-0"

A18 BUILDING M - EXISTING - RIGHT ELEVATION  
1" = 10'-0"





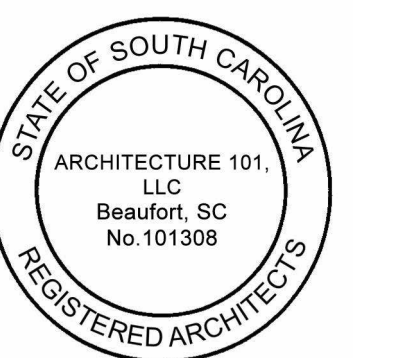
# HARBOR ISLAND CONDOS

## BUILDING L+M OCEANSIDE EXTERIOR RENOVATIONS

1 HARBOR DR. N,  
ST HELENA ISLAND, SC 29920

REV#	DESCRIPTION	DATE
1	Revision 1	09/09/2024

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FOR CONSTRUCTION

### GENERAL NOTES

- PAINT THE UNDERSIDE OF ALL DECKS (INCLUDING COMPOSITE DECKING AND EXPOSED CONDUIT AND FRAMING HARDWARE AS SCHEDULED).

### SHEET NOTES

**NOTE 1:** PROVIDE FLUID-APPLIED VAPOR BARRIER CONTINUOUS ON ALL AREAS RECEIVING NEW SHEATHING. **BASIS OF DESIGN: W.R. MEADOWS AIR-SHIELD LMP (LOW-VOC).** INSTALL AIR BARRIER IN ACCORDANCE WITH ALL MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.

**NOTE 2:** UPON DEMOLITION OF EXISTING EXTERIOR SIDING, IF ANY TYPE OF SHEATHING **BESIDES PLYWOOD SHEATHING** EXISTS, IT IS TO BE DEMOLISHED AND REPLACED WITH NEW PLYWOOD SHEATHING. IF PLYWOOD SHEATHING EXISTS AND IS **NOT WATER DAMAGED**, IT IS TO REMAIN.

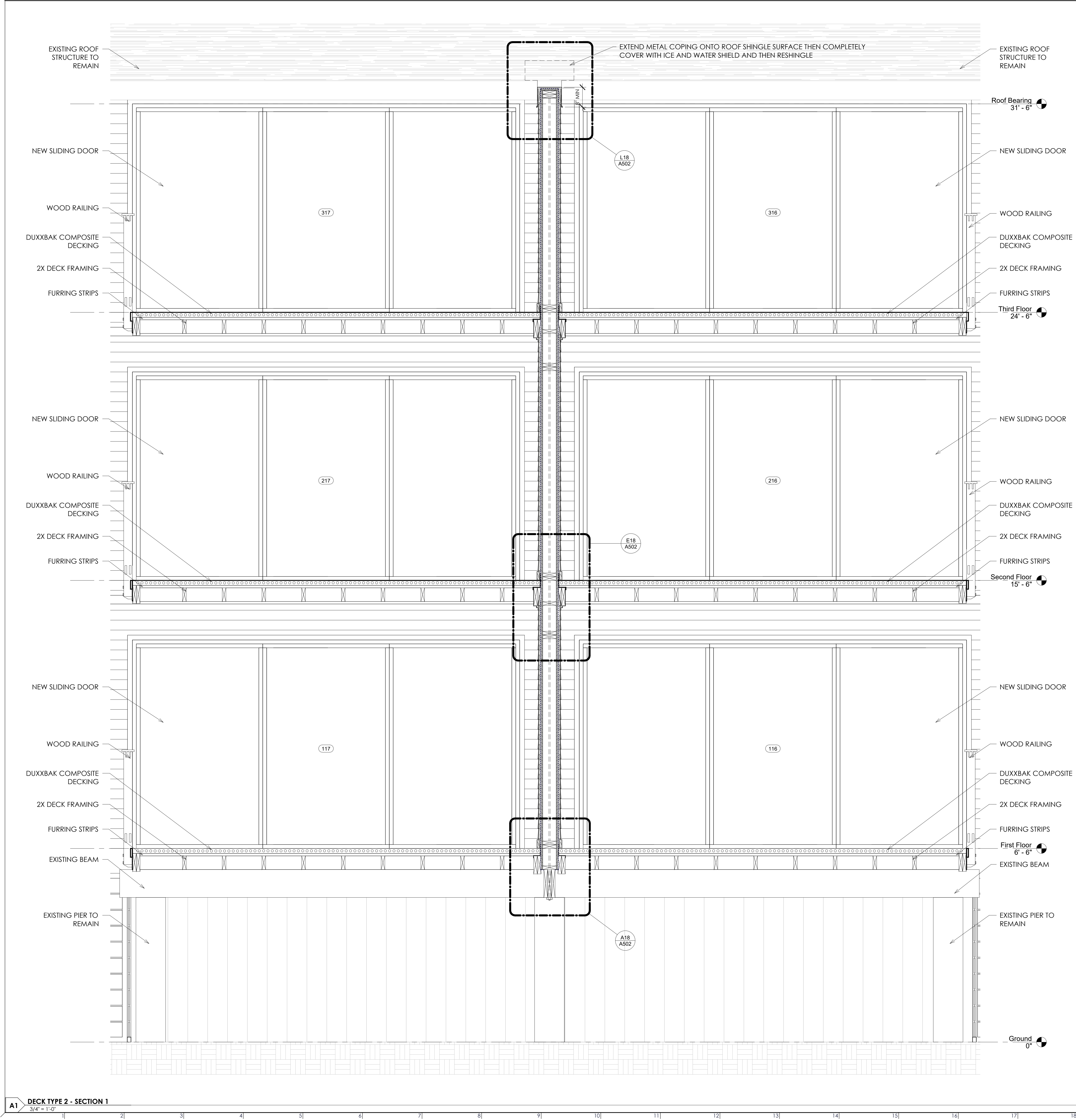


## WALL SECTIONS - DECK TYPE 1 - BUILDING M

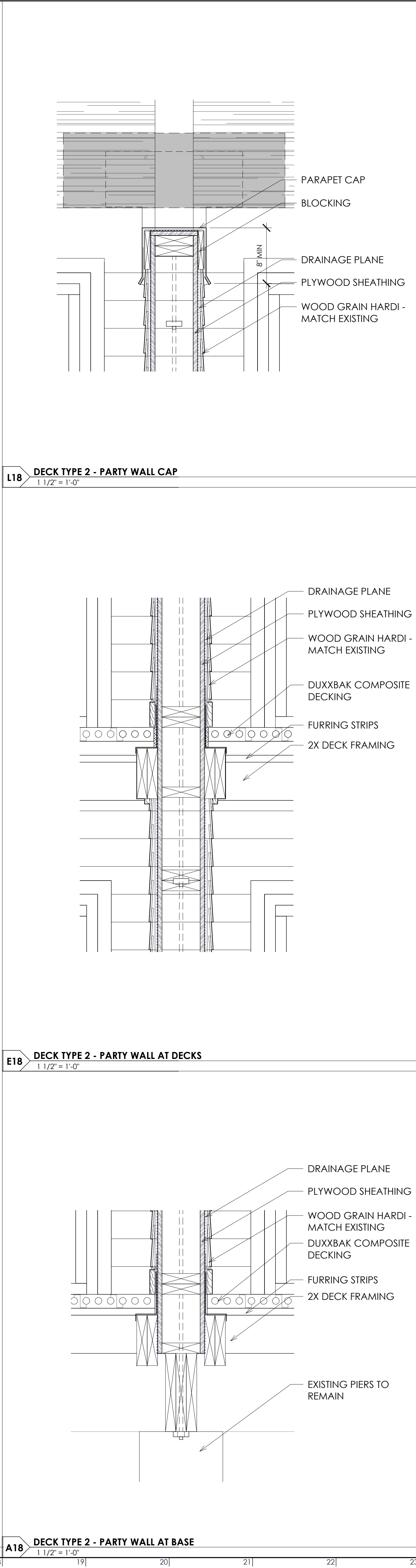
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09/24/2024	
Drawn By MNC	
Checked By SGS	

9/24/2024 5:52:33 PM

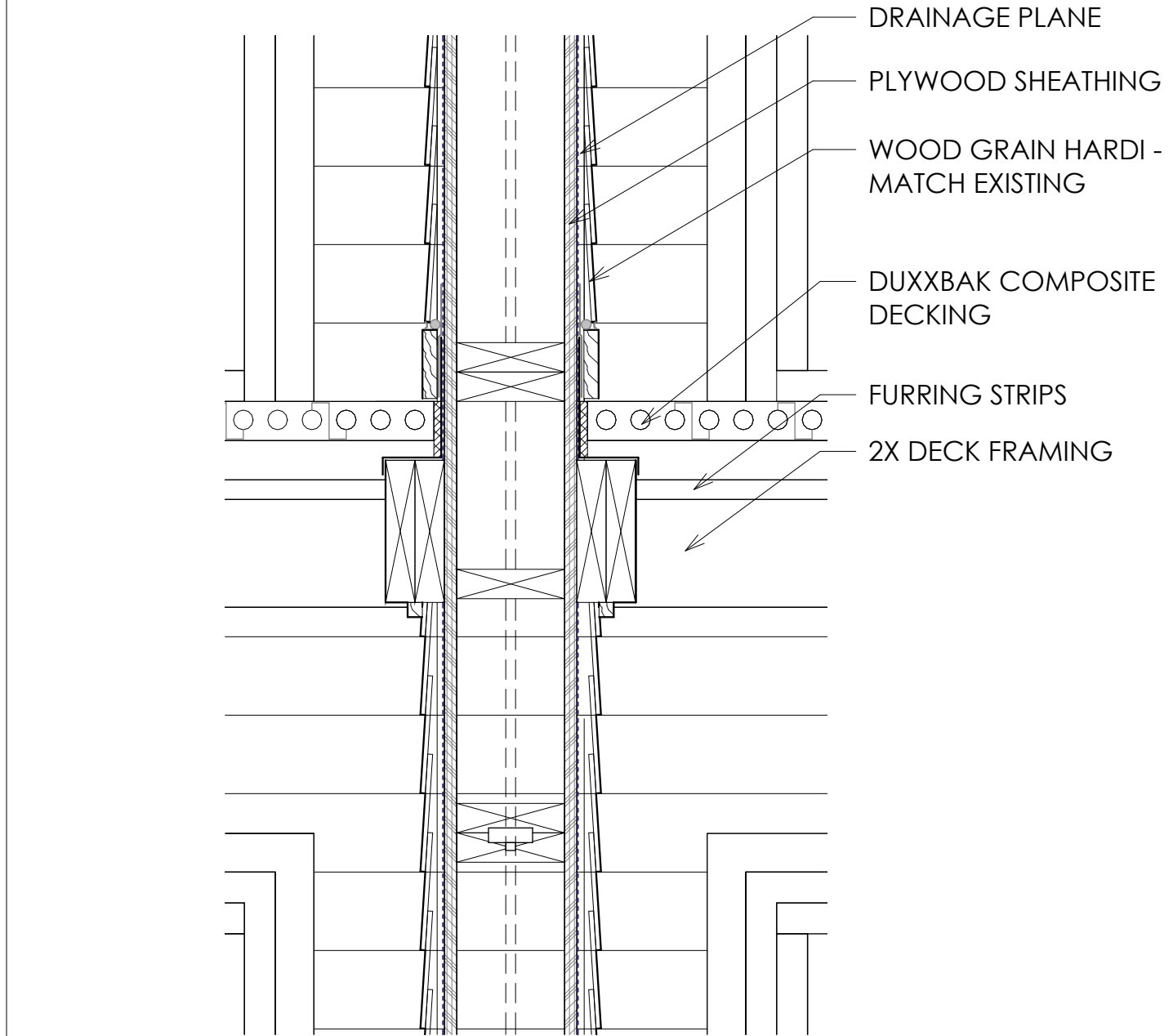




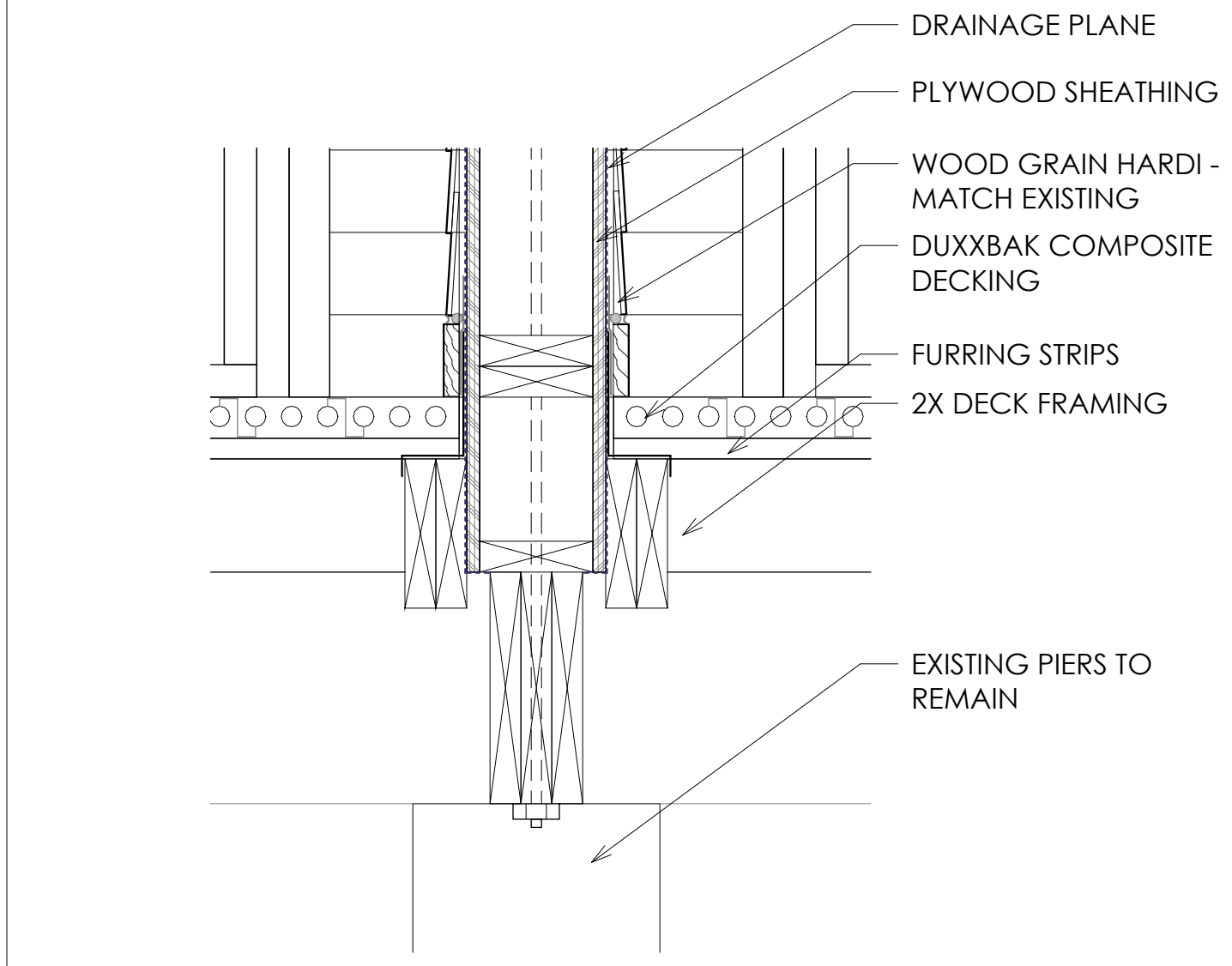
A1 DECK TYPE 2 - SECTION 1  
3/4" = 1'-0"



L18 DECK TYPE 2 - PARTY WALL CAP  
1 1/2" = 1'-0"



E18 DECK TYPE 2 - PARTY WALL AT DECKS  
1 1/2" = 1'-0"



A18 DECK TYPE 2 - PARTY WALL AT BASE  
1 1/2" = 1'-0"

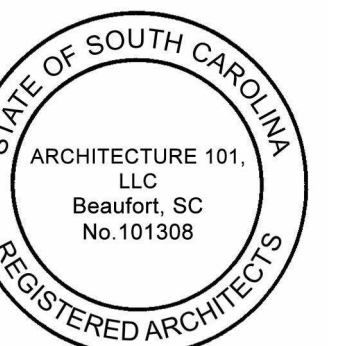
# HARBOR ISLAND CONDOS

## BUILDING L+M OCEANSIDE EXTERIOR RENOVATIONS

1 HARBOR DR. N,  
ST HELENA ISLAND, SC 29920

REV#	DESCRIPTION	DATE

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FOR CONSTRUCTION

### GENERAL NOTES

- PAINT THE UNDERSIDE OF ALL DECKS (INCLUDING COMPOSITE DECKING AND EXPOSED CONDUIT AND FRAMING HARDWARE AS SCHEDULED).

### SHEET NOTES

**NOTE 1:** PROVIDE FLUID-APPLIED VAPOR BARRIER CONTINUOUS ON ALL AREAS RECEIVING NEW SHEATHING. **BASIS OF DESIGN: W.R. MEADOWS AIR-SHIELD LMP (LOW-VOC).** INSTALL AIR BARRIER IN ACCORDANCE WITH ALL MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.



## WALL SECTIONS - DECK TYPE 2 - BUILDING M

2023.32	<b>A502</b>
09/24/2024	
Drawn By MNC	
Checked By SGS	

9/24/2024 5:52:34 PM



HARBOR ISLAND  
CONDOS

BUILDING L+M OCEANSIDE  
EXTERIOR RENOVATIONS

1 HARBOR DR. N,  
ST HELENA ISLAND, SC 29920

REV#	DESCRIPTION	DATE
1	Revision 1	09/09/2024

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FOR CONSTRUCTION

GENERAL NOTES

1. PAINT THE UNDERSIDE OF ALL DECKS (INCLUDING COMPOSITE DECKING AND EXPOSED CONDUIT AND FRAMING HARDWARE AS SCHEDULED).

SHEET NOTES

**NOTE 1:** PROVIDE FLUID-APPLIED VAPOR BARRIER CONTINUOUS ON ALL AREAS RECEIVING NEW SHEATHING. **BASIS OF DESIGN: W.R. MEADOWS AIR-SHIELD LMP (LOW-VOC).** INSTALL AIR BARRIER IN ACCORDANCE WITH ALL MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.

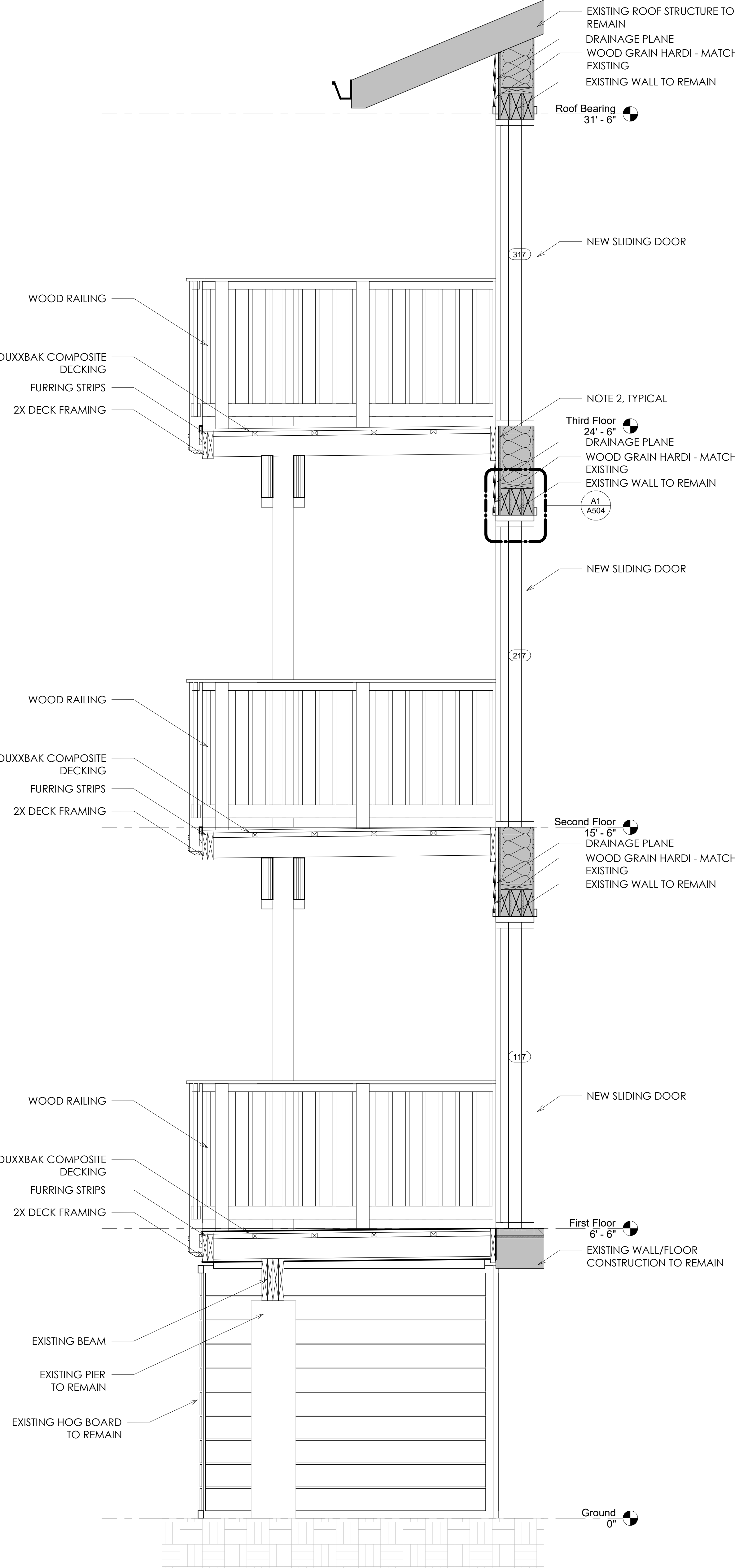
**NOTE 2:** UPON DEMOLITION OF EXISTING EXTERIOR SIDING, IF ANY TYPE OF SHEATHING **BESIDES PLYWOOD SHEATHING** EXISTS, IT IS TO BE DEMOLISHED AND REPLACED WITH NEW PLYWOOD SHEATHING. IF PLYWOOD SHEATHING EXISTS AND IS **NOT WATER DAMAGED**, IT IS TO REMAIN.



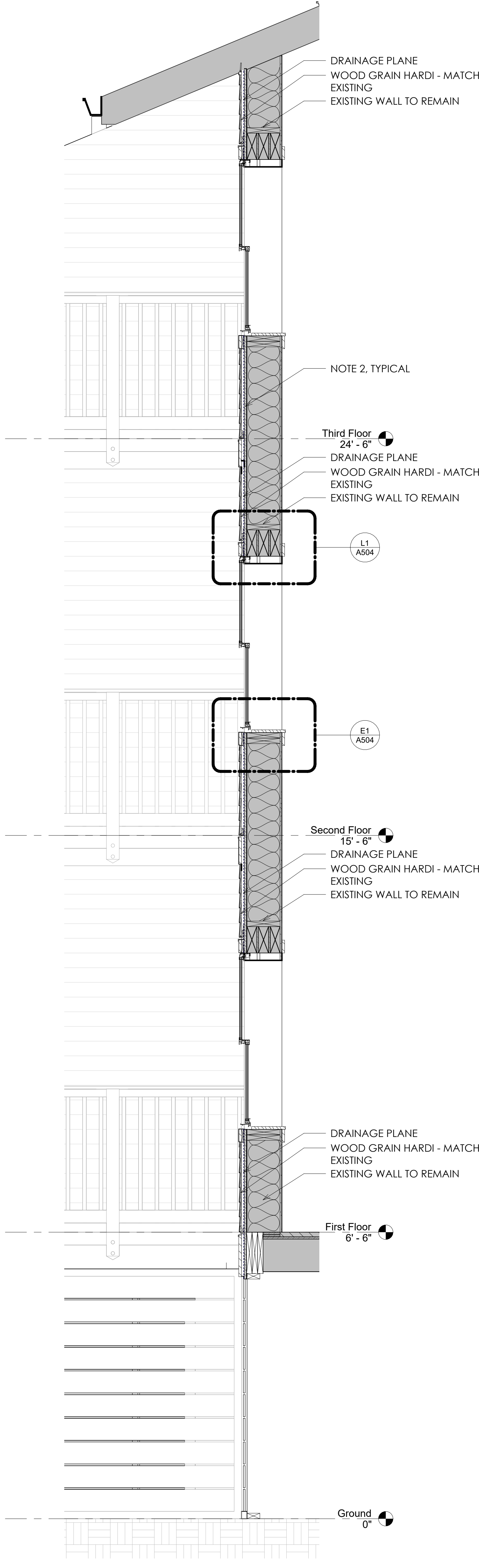
SECTION DETAILS -  
BUILDING M

2023.32	<b>A503</b>
09/24/2024	
Drawn By MNC	
Checked By SGS	

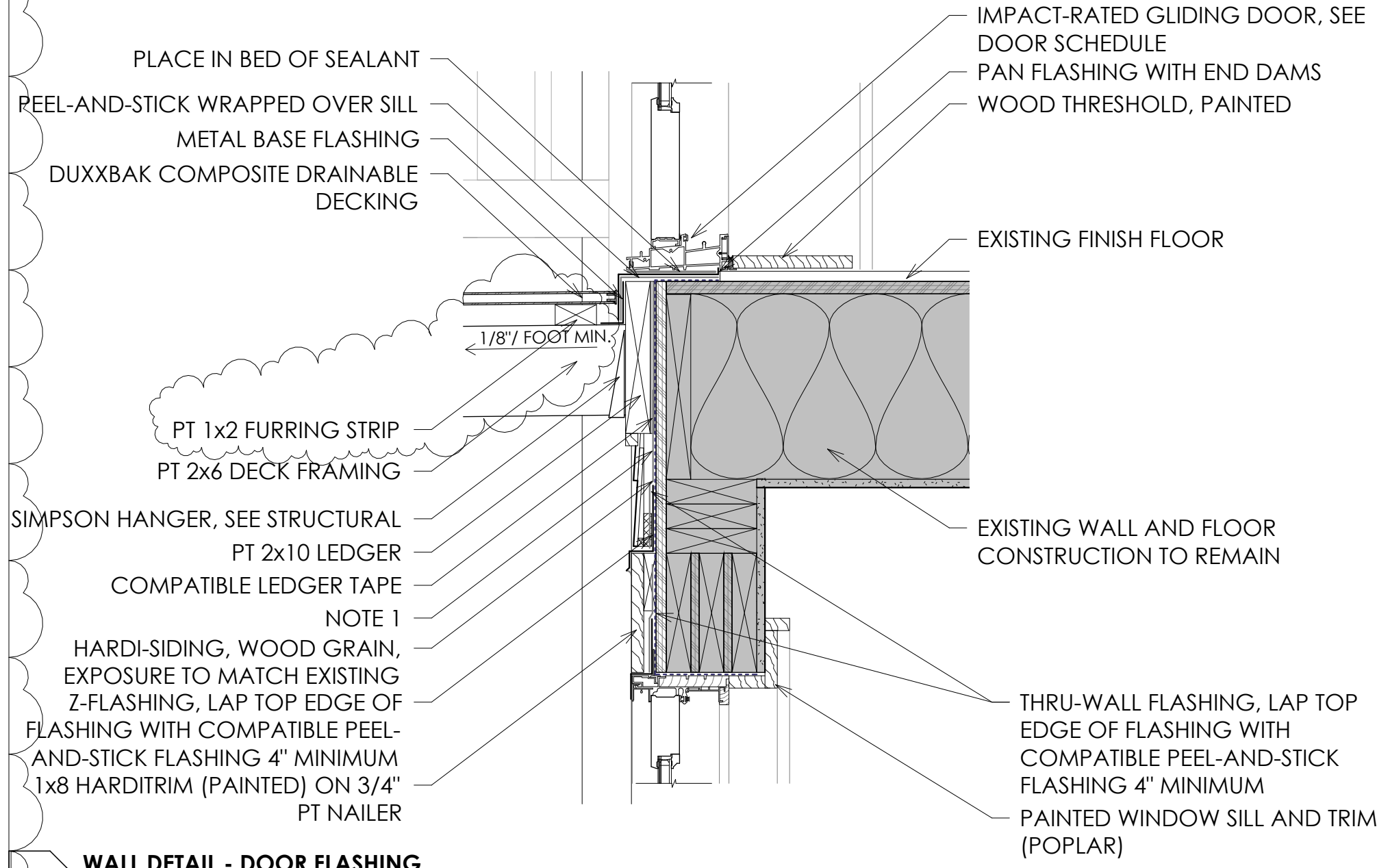
9/24/2024 5:52:36 PM



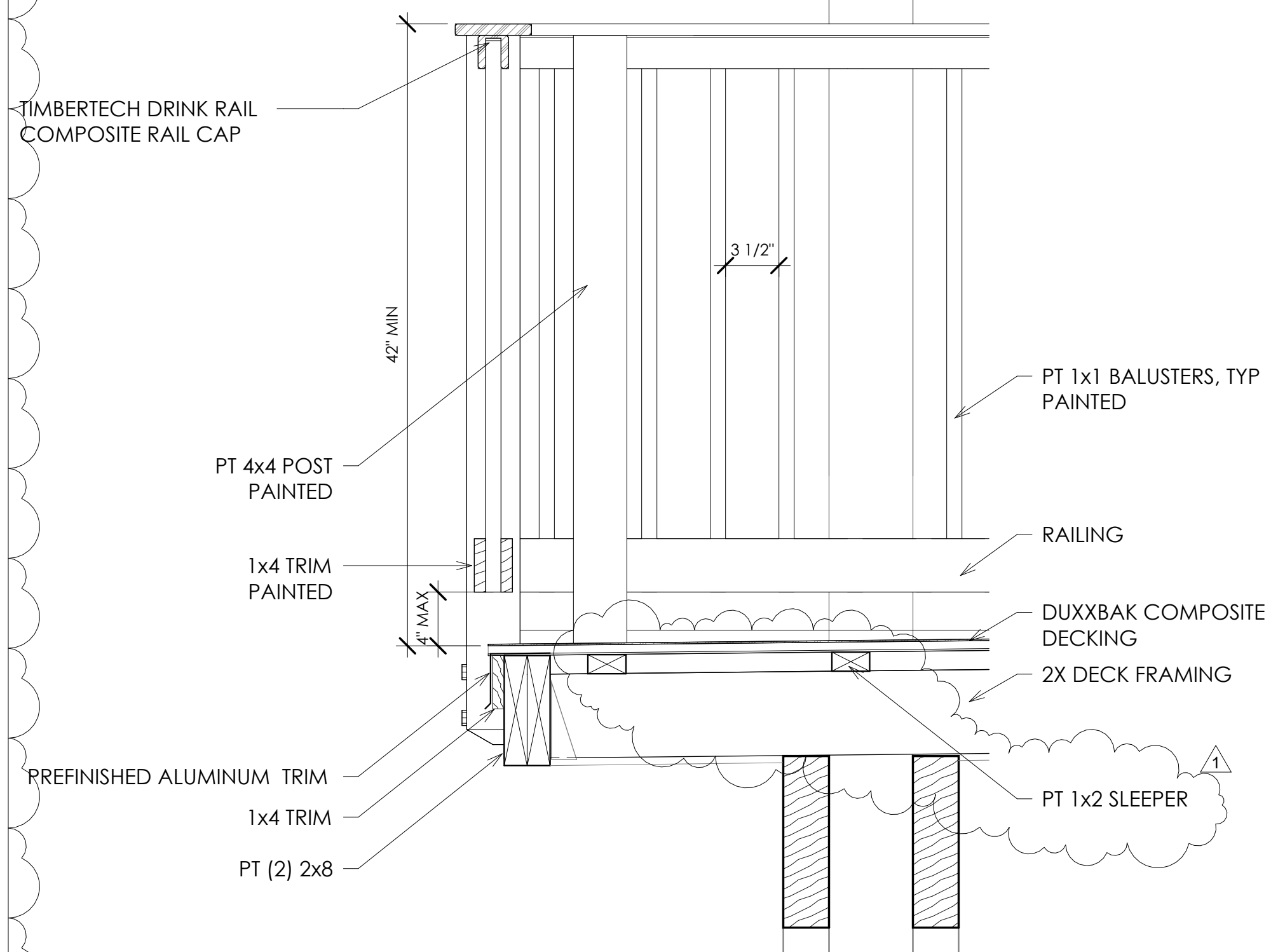
A1 DECK TYPE 2 - SECTION 2  
3/4" = 1'-0"



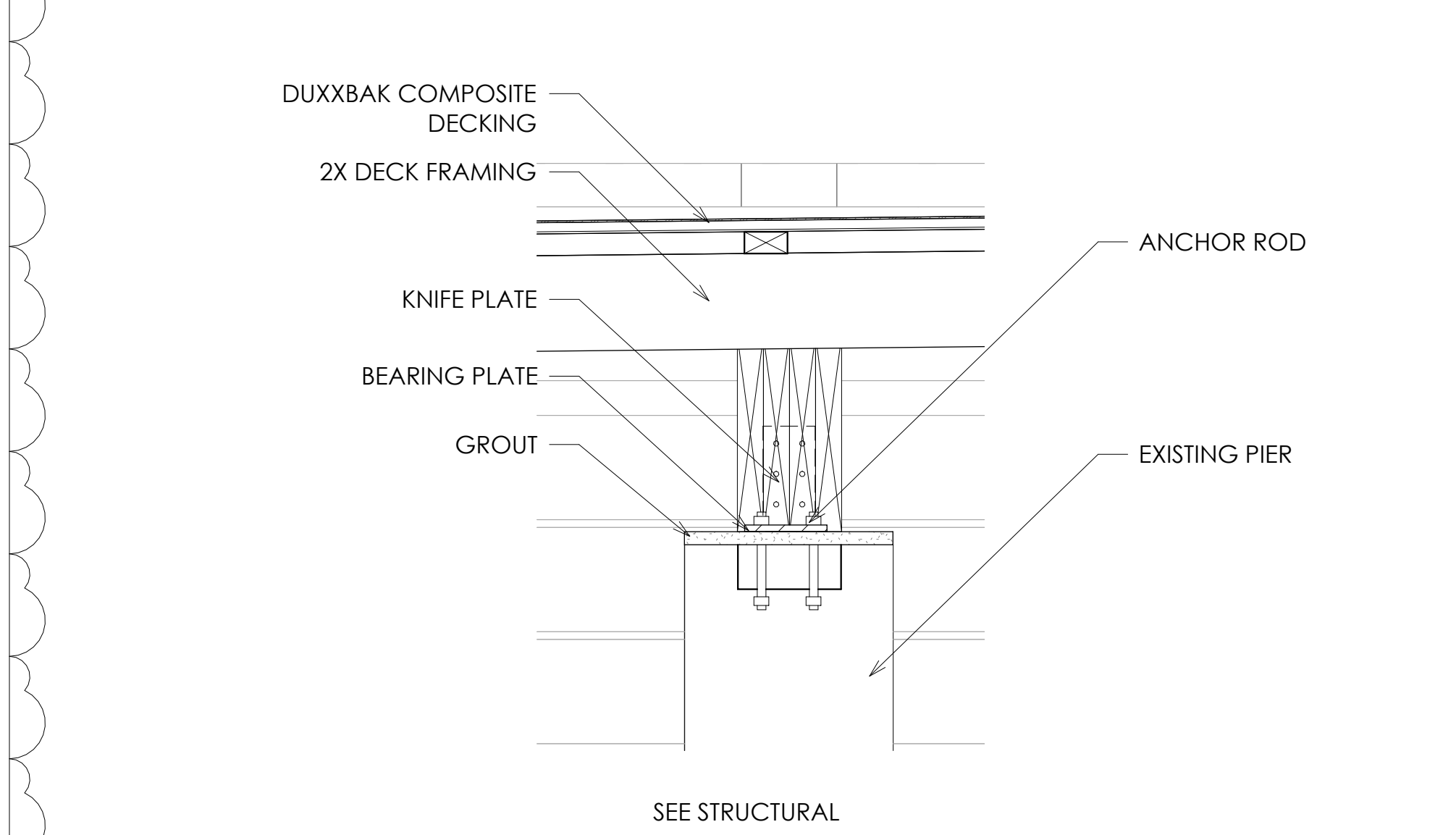
A9 WALL SECTION AT WINDOWS  
3/4" = 1'-0"



M16 WALL DETAIL - DOOR FLASHING  
1 1/2" = 1'-0"

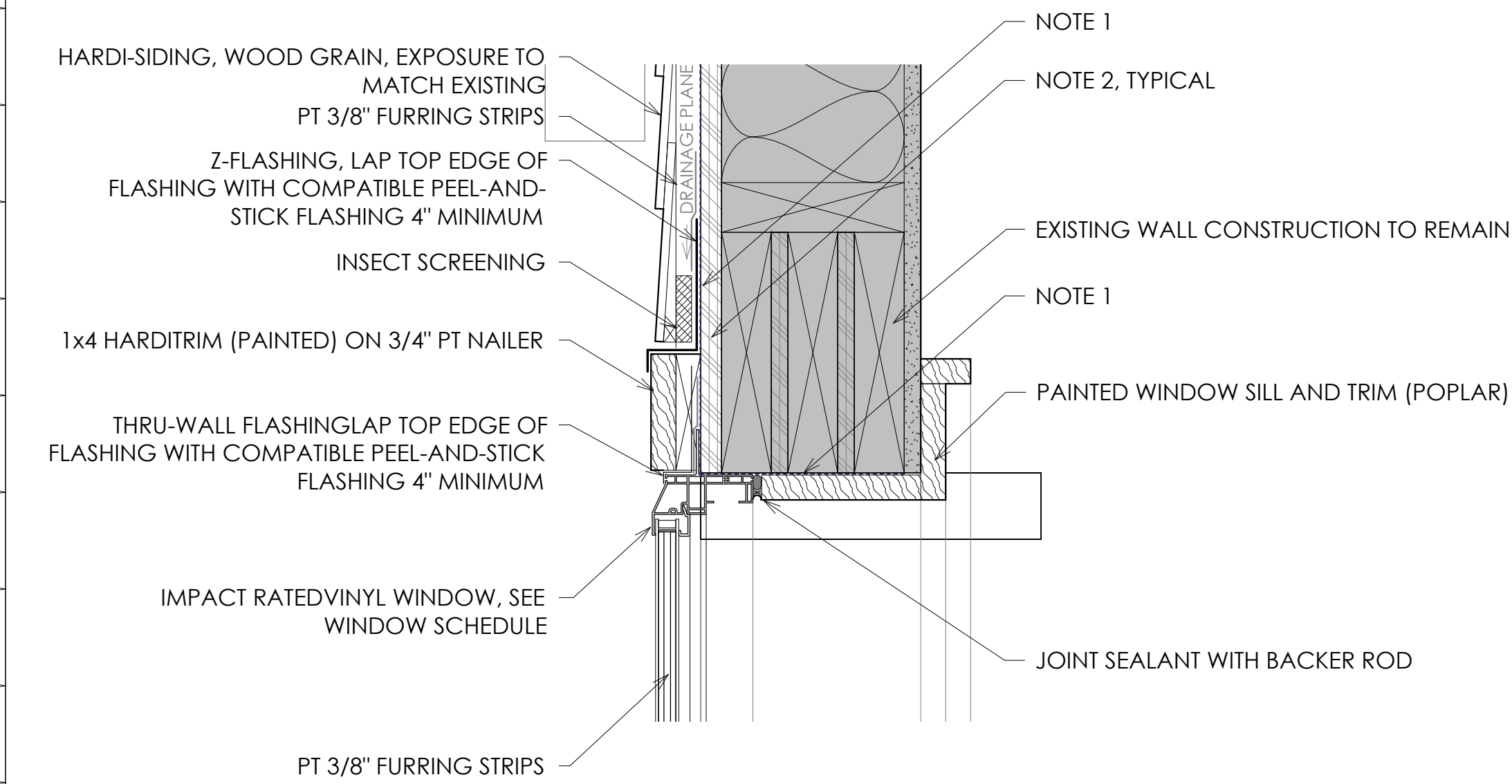


G16 WALL DETAIL - PORCH END CAP AND RAILING  
1 1/2" = 1'-0"

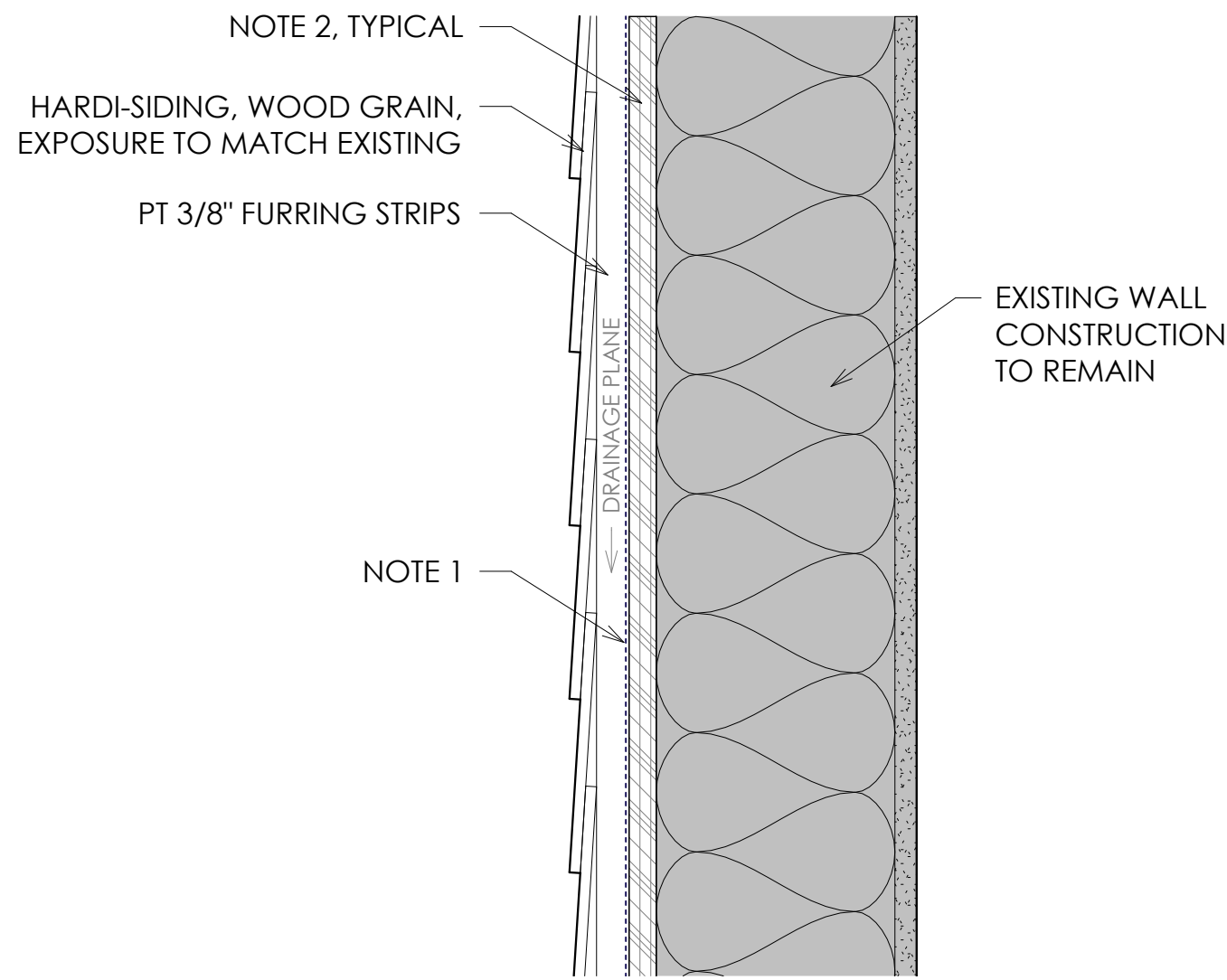


D16 WALL DETAIL - EXISTING PIER CONNECTION  
1 1/2" = 1'-0"

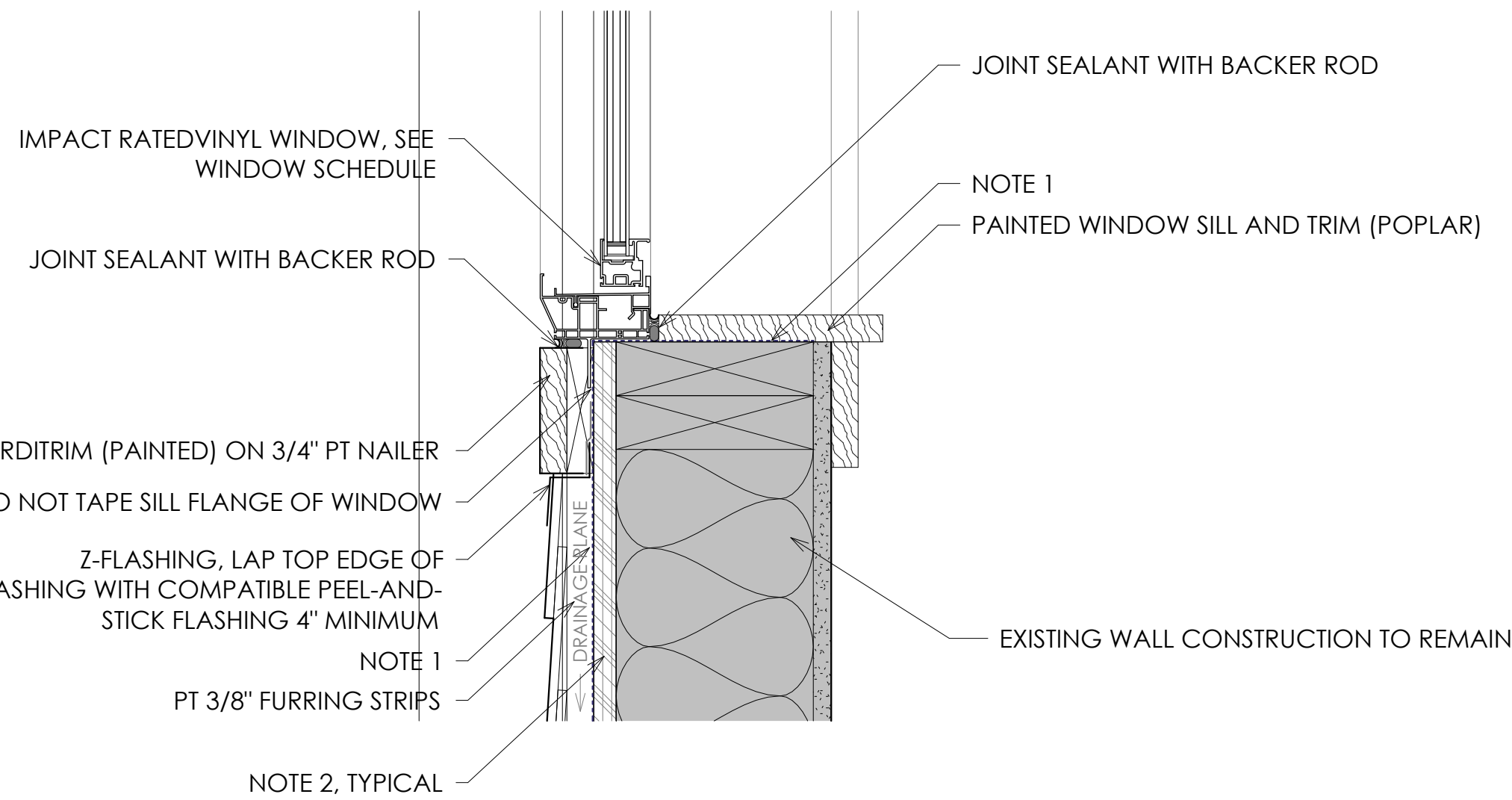




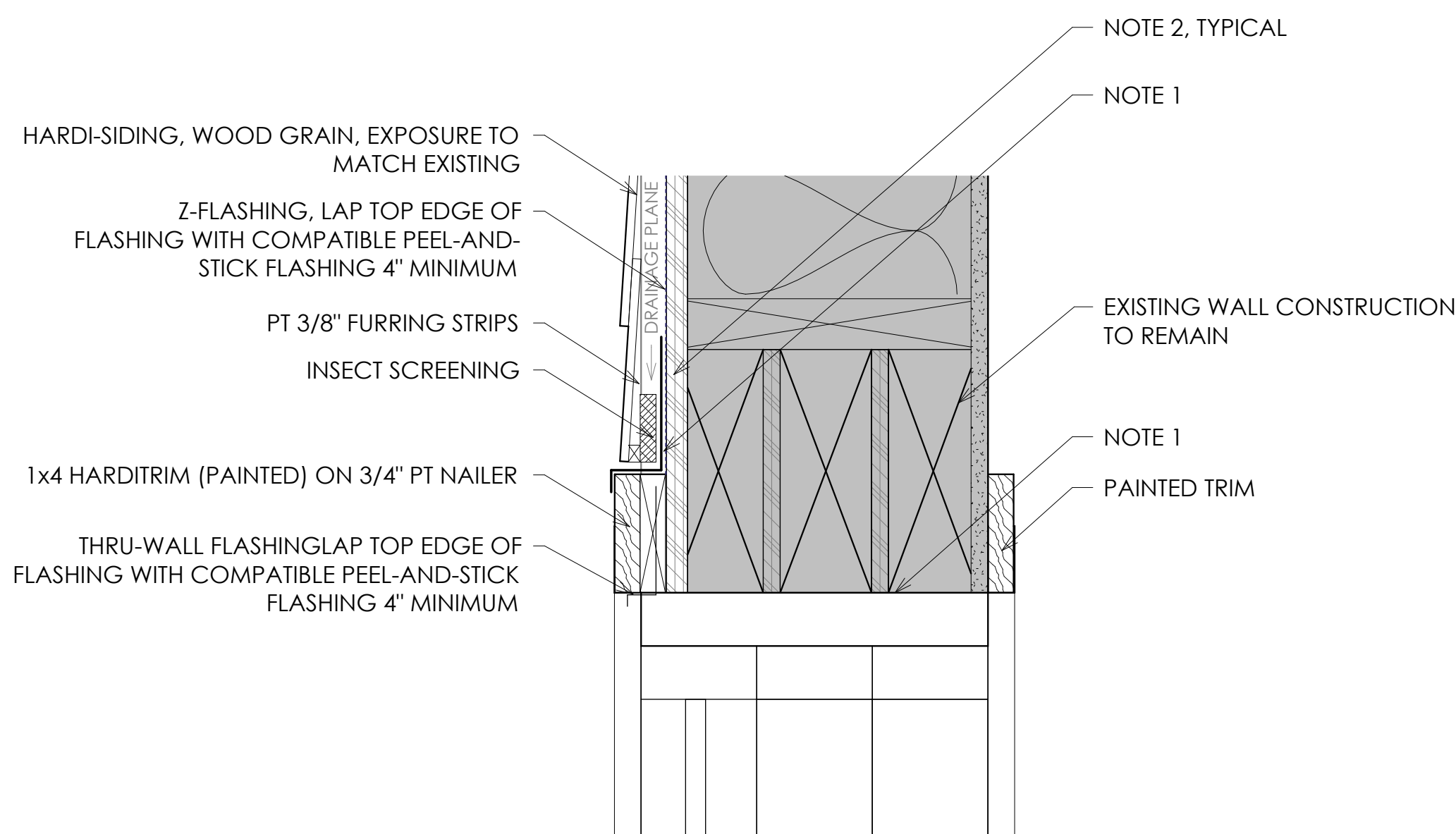
**L1 WINDOW HEAD - TYPICAL**  
3" = 1'-0"



**M8 WALL DETAIL - TYPICAL EXTERIOR WALL**  
3" = 1'-0"



**E1 WINDOW SILL - TYPICAL**  
3" = 1'-0"



**A1 DOOR HEAD - TYPICAL**  
3" = 1'-0"

# HARBOR ISLAND CONDOS

## BUILDING L+M OCEANSIDE EXTERIOR RENOVATIONS

1 HARBOR DR. N,  
ST HELENA ISLAND, SC 29920

REV#	DESCRIPTION	DATE
1	Revision 1	09/09/2024

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FOR CONSTRUCTION

### GENERAL NOTES

- PAINT THE UNDERSIDE OF ALL DECKS (INCLUDING COMPOSITE DECKING AND EXPOSED CONDUIT AND FRAMING HARDWARE AS SCHEDULED).

### SHEET NOTES

- NOTE 1:** PROVIDE FLUID-APPLIED VAPOR BARRIER CONTINUOUS ON ALL AREAS RECEIVING NEW SHEATHING.
- BASIS OF DESIGN: W.R. MEADOWS AIR-SHIELD LMP (LOW-VOC).** INSTALL AIR BARRIER IN ACCORDANCE WITH ALL MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.
- NOTE 2:** REPLACE ALL EXISTING EXTERIOR SHEATHING WITH NEW 15/32" MINIMUM 24/16 APA-RATED PLYWOOD SHEATHING, SEE STRUCTURAL.



## WINDOW, WALL, AND DOOR DETAILS

2023.32	<b>A504</b>
09/24/2024	
Drawn By <i>Author</i>	
Checked By <i>Checker</i>	

9/24/2024 5:52:37 PM