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There was a time recently when selling properties that were "off-grid" was a challenge. Most buyers simply could not fathom spending time at a cabin that offered no electricity. They saw that as an undesirable quality...no hot shower, no lights, no conveniences, no TV...oh the horror of it all! Much too primitive for most!

Another challenge is that many banks will not offer financing on these properties as they do not see them as "improvements" upon the land. However, I am starting to see a trend and a shift from that way of thinking. With improved green energy products on the market now and perhaps even better on the horizon, it seems as if these types of properties are not such a "deal-breaker" any more.

There are many creative solutions to acquiring the basics in an off-grid home or cabin. There are some lenders that actually specialize in lending such as this, not to mention some smaller banks who can offer "portfolio" type lending for these non-conventional types of properties. Another factor is that with the rising sale prices of second homes, an off-grid cabin could possibly be a more affordable option. Don't get me wrong, there are challenges that just cannot be overcome. For example, if the cabin is that far off the grid, chances are it will not be accessible year round. The heating type would most definitely have to be a wood stove or wood burning fireplace and appliances would need to be propane. It may be possible to have a hand pump well at the property and an outdoor shower. I have seen some pretty spiffy outhouses (or privy as we like to call them :) Solar panels could be used and many cabins such as these have propane lights. A lot of State Lease Camps are considered off-grid and can be affordable as well. I have sold many of those types of properties over the years and they are very well received and as long as you are educated about them, they are no problem at all.

Bottom line, if your budget doesn't allow for a second home in the area you want to be, perhaps you can consider a property such as this or even a small plot of land that you could erect a "tiny house cabin" with just the basics. After all, isn't the goal to be in the great OUTDOORS? And sometimes isn't it nice to be away from all the everyday intrusions in our life such as television and computers! It is heavenly to simply to be in nature and UNPLUGGED!

Stay in the loop and sign up for my E-group! Don't miss your chance in this fast-moving market! Go to my site, sign up and you are IN!

www.RecreationalPropertiesPennsylvania.com

HUMOR ME!



SPOTLIGHT ON STATE PARKS!

Leonard Harrison State Park Tioga County (PA Grand Canyon)

This issue I am featuring Leonard Harrison State Park near Wellsboro. This 585 acre state park is on the eastern rim of the canyon and features one of the most astounding views on the east coast! The views of Pine Creek gorge approximately 800 feet below is a sight you will never forget. The canyon rim spans 4000 feet. This park's "sister park", Colton Point, is on the western rim of the canyon. Pine Creek gorge is one of the largest in the eastern U.S. It is 50 miles long and 1,450 deep at its deepest point. This was formed by a huge melted glacier and beautiful Pine Creek meanders through the gorge. Enjoy hiking on the Turkey Path trail. The trail's switchbacks lead to beautiful waterfalls and eventually ends at the Pine Creek Rail Trail. It is a 2.2 mile out and back hike. This state park is one that you will not want to miss! Check it out on the DCNR website!

FACEBOOK PAGES TO CHECK OUT:

- Pine Creek Rail Trail
- all things nature
- Hiking & Backpacking PA
- Snakes of Central PA
- Friends of Benezette
- Vacation homes and cabins of Davis
- Real Estate

Prepare for the sale! Tips for putting your land on the market

You may think there isn't much to prepare for in putting your vacant land on the market. However, if you really want to get top dollar for it, there are some things you should do and consider investing in to make it more appealing to buyers. Simply putting up a for sale sign on a piece of ground and waiting for a buyer without fully preparing could cause a delay in closing the deal or it could even cause the deal to fall through because of some unforeseen obstacles that could arise. Taking the time to address details up front can ensure a successful sale and help to net you the most money. But you may have to make a few small investments first.



1. If you haven't had a **survey** in the last 20 years you really should have a new one completed. If you know where your pins are and have a copy of an older survey, you can have the surveyor simply re-trace the boundary lines for you and re-flag them. This gives the buyer confidence. It also avoids headaches later if you have misrepresented your boundary lines and a buyer purchases it OR the buyer may ask you to have a survey done as a condition and you may even be surprised if there is a discrepancy. This could cause the buyer to rescind their offer if they are not satisfied with the results.
2. A recent **perc test** for a septic is usually the #1 item desired by the buyer. Although you could sell the property "as is" and let the buyer have it perc tested, the offering price will reflect the buyer's assumed risk. Having a recent perc test will also determine what type of system can be installed. This is a critical item in helping to get top dollar. If you had a perc test done years ago, keep in mind that it may not still be valid so be sure to disclose that to all potential buyers so they can make an informed decision. This small investment is worth the cost. If the buyer makes the offer conditioned on you having it perc tested, it will cause a delay and if it doesn't perc could cause the sale to fall through. Having this completed and ready for the buyer is a huge advantage.
3. Do some **cleanup** of the property. Clear away invasive plants, cut up dead trees and stack for firewood and if possible, maybe even rough cut a driveway or trail through it so it is easier to tour and buyers can imagine where their cabin could be built.

Doing these things before putting your land up for sale will help you to achieve top dollar! Listing with a Realtor who is knowledgeable in sales such as these is recommended. Make sure the Realtor understands the terminology and procedures and also knows the geographic area that your land lies in so they know what they are selling! Having the wrong agent can actually hurt your chances of getting top dollar or cause a legal issue later. So be prepared!

**Firecracker Burgers**

1 lb. ground beef
 1/4 cup chunky salsa
 guacamole
 cheddar cheese
 4 hamburger buns, toasted
 lettuce
 Sliced tomatoes
 sliced black olives
 sliced sweet onion
Combine the beef & salsa & shape into 4 patties. Grill to desired doneness & melt cheese on top. Spread guacamole over toasted side of bun tops. On each bun bottom, layer lettuce, burger, Tomato slice, onion slice, and olives. Replace tops. Serve with additional salsa if desired.

Southwestern Rice Salad

1 cup cooked rice (cooled)
 Chopped green pepper
 Chopped red onion
 1/2 pkge frozen sw. corn
 Chopped tomato
 Tsp. minced garlic
 1 can black beans (rinsed)
 1/3 cup fresh cilantro
 2/3 cup Olive oil
 1/3 Cup lemon juice
 1/2 tsp. cumin
In a small skillet, saute pepper, onion & garlic in oil until crisp tender. Add to rice in a large bowl. Stir in corn, beans, tomatoes & cilantro. FOR DRESSING: In a small bowl, combine olive oil, lemon juice & cumin. Pour over rice mixture. Stir to coat & refrigerate.

Salsa & nacho chips**Lemonade****Choc-Cinnamon quesadilla**

2 Tb. chopped semi-sw. chocolate
 1 Tb. sugar
 1/2 tsp. cinnamon
 2 med. flour tortillas
 1 tsp. powdered sugar
Sprinkle 1 Tb. chocolate, 1/2 Tb. sugar & 1/4 tsp. cinnamon over half of each tortilla. Fold tortillas in half to cover ingredients. Grill for about 2 min. per side. Sprinkle each w/ powdered sugar. Serve with Vanilla ice cream if desired!

They're baaack!! Brood X emerges!

By the time this issue is distributed, Brood X will have made an appearance from a life underground for 17 long years!

This phenomenon has been happening for nearly 5 million years! Cicadas are so adaptable that they have been surviving changes to the climate and habitat over the ages.

These locusts are harmless and pose no threat to humans or the environment. They do not sting and in fact, they are a special treat for fish especially when they are mating and start to die (normally in July). The fish see the cicada the same way we see a big, juicy filet mignon and their presence and use for bait will create a unique experience for anglers. The "hot tip" for anglers is to fish near heavily forested areas with slower moving waters. This keeps the dead cicadas floating longer making it easier for the fish to find them!

Although they will not be in every part of Pennsylvania, their emergence will take place many counties: Adams, Bedford, Berks, Blair, Bucks, Cambria, Carbon, Centre, Chester, Clinton, Columbia, Cumberland, Dauphin, Delaware, Elk, Franklin, Fulton, Huntingdon, Juniata, Lackawanna, Lancaster, Lebanon, Lehigh, Luzerne, Lycoming, McKean, Mercer, Mifflin, Monroe, Montgomery, Montour, Northampton, Northumberland, Perry, Philadelphia, Schuylkill, Snyder, Somerset, Union and York.

Adult cicadas lay their eggs in the trees and those eggs will hatch in about 4 weeks. Then their offspring will be going back underground not to emerge until 2038! So be in the lookout for this amazing phenomenon and I am sure you will hear them too!





...I am in the business of helping to make dreams come true!



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LISA'S LISTINGS

BEECH CREEK - ATV ride, bring your camper, build your cabin and do what you like! This 14 acre parcel has no covenants. The view is magnificent! \$74,900 (Bear Ridge Rd.)

BEECH CREEK - Little log cabin on 8 acres! Close to state lands! Includes ATVs, snowmobile and other toys too! \$158,000 (Whitetail Mountain Rd.)

LOTS FOR SALE TO BUILD YOUR CABIN! THE WOODS ON CHATHAM RUN!

These lots off of Old Pike Road are conveniently located near Haneyville and just a short drive down to Waterville for Pine Creek and Rail Trail enjoyment! Build an upscale vacation home, a cabin or you can bring your camper for the Summer! Gated, underground electric and all lots are perc approved! Each lot is 5 acres (10 lots total) \$79,000 each!

SOUTH RENOVO - 46 acres overlooking the Susquehanna River! Borders state lands and Pete's Run Rd. runs through the property. Great area for hunting! \$119,900

LOCK HAVEN (ON THE RIVER)! - Recreational property on the river! 3 parcels with a raised "playhouse" for entertaining (kitchen, brick fireplace, deck and a 360 degree views!) Bring your Camper and boat and enjoy Summer on the river! \$355,000

WESTPORT - Large cabin on 1 acre just steps away from Bucktail S.P. lands! Cooks Run is near and so are the Elk! 5 bedrooms! Perfect for your large group! \$119,000

WATERVILLE - Here is your opportunity to create a gold-mine in the "gateway" community to Pine Creek! This commercial building is set up as a 12 room hotel on the 2nd level w/ common areas, & a remodeled, huge restaurant/cafe space on the main level (& kitchen w/ walk-in coolers, waitress station) Also an additional room for a deli/gift shop/ bike rental business & an attached service garage. Owner financing is available for qualified buyer with money down. \$989,000

SEE YA' UP THE CREEK!

