



USA-2700-FH

4,700 MAIN FLOOR SF
GARAGE RIGHT-COURTYARD ENTRY
MODERN FARMHOUSE STYLE-WALKOUT



FRONT VIEW



BACK VIEW

AREA CALCULATIONS (ALL MEASUREMENTS IN SQUARE FEET)

BASEMENT	MAIN LEVEL	BONUS LEVEL	TOTAL FINISHED	OUTDOOR SPACE	GARAGE
FINISHED	FINISHED	FINISHED	FINISHED	PORCH	2-CAR
2217	2700	NA	2700	223	---
UNFINISHED			TOTAL FINISHED	PATIO	3-CAR
615			W/BASEMENT	---	978
TOTAL			4917	COVERED PATIO	4-CAR
2832				683	---
				DECK	
				128	
BEDS	BATHS	FOUNDATION	ROOF / WALL / FLR INS.	COVERED DECK	
2+(2)	2 1/2+(1 1/2)	9' BASEMENT	R38 / R23 /R43	555	
BUILDING HT.	ROOF PITCH	DIMENSIONS	1ST FLOOR CLG HT	BONUS DECK	
28'-7"	10/12 (VARIES)	89'-5" X 96'-6"	10'	---	

GENERAL NOTES:

1. DO NOT SCALE DRAWINGS. FIELD VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
2. GC TO REVIEW ALL DRAWINGS PRIOR TO CONSTRUCTION.
3. ALL SUB-CONTRACTORS ARE TO WORK OFF OF FULL SETS OF DOCUMENTS.
4. DIMENSIONS ARE FROM FACE OF STUD, FACE OF CONCRETE, CENTER LINE OF STRUCTURAL MEMBERS.
5. ALL WORK TO BE PERFORMED IN COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL CODES. SECURE ALL PERMITS AND APPROVALS PRIOR TO ANY CONSTRUCTION. LOCAL CODES MAY SUPERSEDE NOTES LISTED HEREIN.
6. PROVIDE OUTSIDE COMBUSTION AIR TO ALL FIRE BOXES PER CODE.
7. ALL HAND AND GUARDRAILS SHALL COMPLY WITH APPLICABLE CODE.
8. PROVIDE COMBUSTION AIR TO FURNACES AND WATER HEATER PER CODE.
9. PROVIDE 1 HOUR FIRE PROTECTION AT ALL USEABLE SPACES UNDER STAIRS WITH 5/8" TYPE "X" GYP. BD. IF APPLICABLE.
10. PROVIDE FLOOR BLOCKING, WALL BLOCKING, ROOF BLOCKING AND FIRE BLOCKING PER CODE.
11. COORDINATE LANDSCAPE IRRIGATION SUPPLY AND REQUIRED SLEEVE LOCATIONS WITH THE BUILDER.
12. ALL ELEVATION TARGETS ARE TO TOP OF SUBFLOOR, TOP OF PLATE OR TOP OF CONCRETE UNO.
13. OWNER TO COORDINATE LOCATION OF GAS, WATER AND ELECTRICAL METER AS WELL AS PANEL LOCATIONS.
14. ALL BUILDING SITES ARE UNIQUE AND REQUIRE LOCALLY LICENSED ENGINEERING FOR FOUNDATIONS, TRUSSES, MECHANICAL ETC., THESE PLANS ARE FOR ARCHITECTURAL PLANNING ONLY.

DRAWING SHEET INDEX

LABEL	TITLE	DESCRIPTION	COMMENTS
1	COVER SHEET	-PROJECT INFORMATION-	
2	FLOOR PLAN	OVERALL	
3	FLOOR PLAN	BASEMENT PLAN	
4	FLOOR PLAN	MAIN LEVEL PLAN	
5	ROOF PLAN	PLAN + NOTES	
6	ELECTRICAL PLAN	BASEMENT LEVEL	
7	ELECTRICAL PLAN	MAIN LEVEL	
8	FLOOR PLAN	MAIN LEVEL PLAN	
9	EXTERIOR ELEVATIONS	FRONT + RIGHT	
10	EXTERIOR ELEVATIONS	BACK + LEFT	
11	BUILDING SECTIONS	STAIR + CROSS	
12	BUILDING SECTIONS	LONG + OTHER	
13	BUILDING SECTIONS		

PLAN UPDATES

Number	Date	PLAN REVISIONS
1	11/7/2024	LOWER PLAN CHANGES

PLAN REVISIONS
Number Date Description
1 11/7/2024 LOWER PLAN CHANGES

COVER SHEET
-PROJECT INFORMATION-



USA-2700-FH
4,700 main floor SF
GARAGE RIGHT-COURTYARD ENTRY
MODERN FARMHOUSE STYLE-WALKOUT

DATE:

11/8/2024

TOTAL SHTS:

1 of 13

SHEET:

1

GENERAL PLAN NOTES:
1. GC TO REVIEW ALL DRAWINGS PRIOR TO CONSTRUCTION.
2. ANY DISCREPANCIES OR INCONSISTENCIES SHOULD BE BROUGHT TO THE ARCHITECTS ATTENTION PRIOR TO CONSTRUCTION.
3. ALL SUB-CONTRACTORS ARE TO WORK OFF OF FULL SETS OF DOCUMENTS.
4. DIMENSIONS ARE TO ROUGH FRAMING UNLESS NOTED OTHERWISE.
5. GC TO VERIFY ALL SITE CONDITIONS PRIOR TO CONSTRUCTION.
6. IN THE EVENT OF A DISCREPANCY BETWEEN STRUCTURAL DRAWINGS AND ARCHITECTURAL DRAWINGS, STRUCTURAL DRAWINGS WILL ALWAYS SUPERSEDE ARCHITECTURAL.
7. IF TRUSSES USED, A STATE LICENSED TRUSS COMPANY MUST PROVIDE SHOP DRAWINGS TO STRUCTURAL ENGINEER AND GC FOR REVIEW PRIOR TO FABRICATION.
8. ALL VENTING SHALL BE ROUTED TO THE BACK SIDE (NON-STREET/ENTRY) SIDE OF THE ROOF RIDGE AND BE PAINTED TO MATCH BASE ROOF COLOR.

MINIMUM INSULATION NOTES:
RE: INSULATION SUB-CONTRACTOR SUBMITTAL FOR EXACT INSULATION VALUES USED.

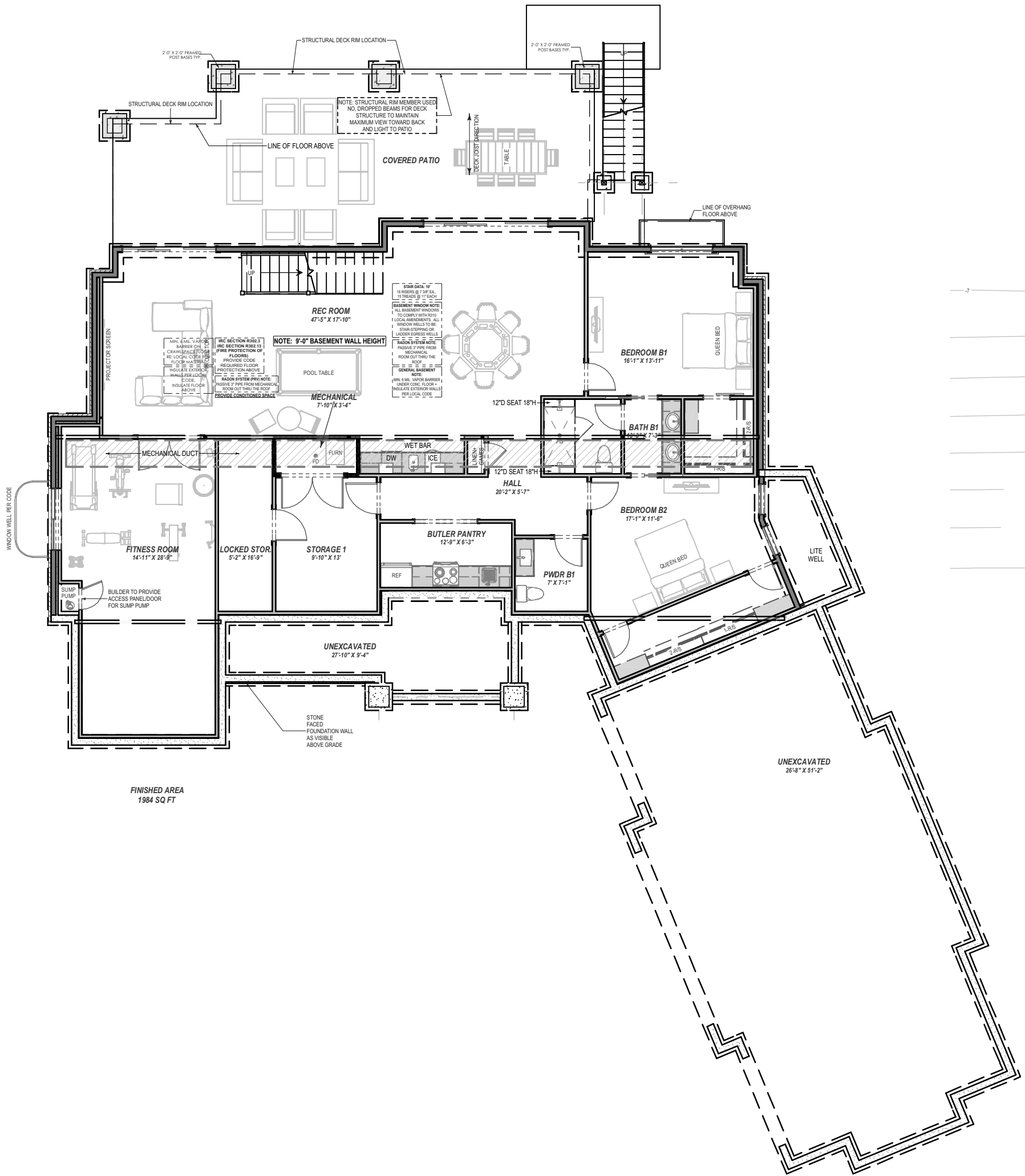
ABOVE GRADE WALLS: R-
VAULTED/ATTIC CEILING: R-
BELOW GRADE WALLS: R-
(FINISHED, UNFINISHED OR CRAWL SPACE)
GARAGE EXTERIOR WALLS: R-
CEILING (ATTIC) AREA (OCCUPIED): R-
GARAGE CEILING AREA: R-

FLOOR PLAN GENERAL NOTES:

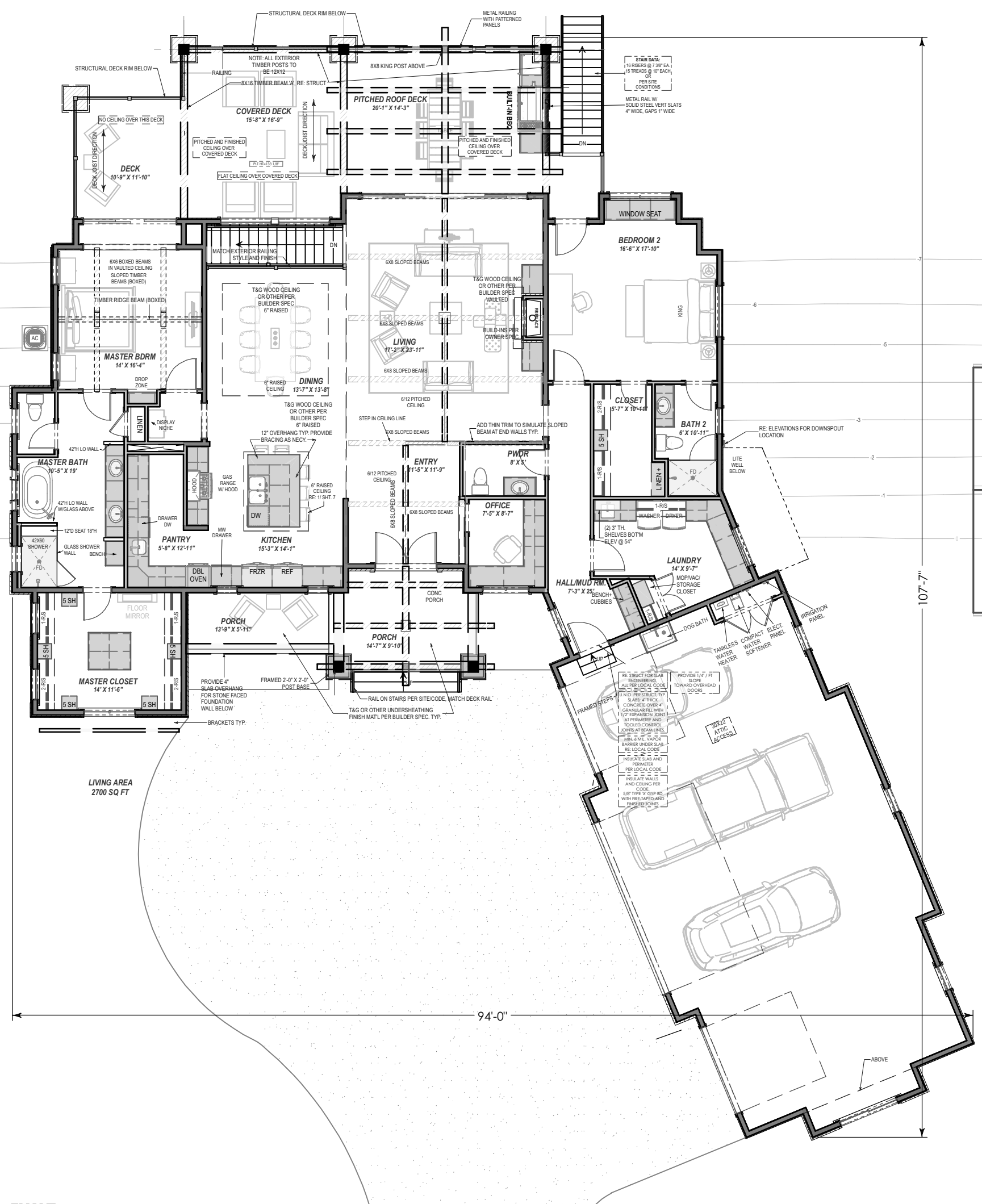
- All work is to be performed in compliance with all Federal, State and local codes. Secure all required permits and approvals prior to commencement of any construction. All code references in these documents refer to the latest version of the International Residential Code AND OVERRULE ALL CONFLICTING DESIGNER NOTE(S).
- The project manager, superintendent, and all subcontractors are to examine and verify all dimensions and existing conditions both on the plans and in the field. Notify Architect and builder of any discrepancies and conflicts prior to proceeding with construction.
- Builder to consult complete subdivision plans for specific utility easements and other pertinent information.
- Builder to field verify and coordinate utility connections, their routing, meter locations, hose bibs and other associated items. Builder is to have all existing utilities located by its respective authority, and connections to those utilities should take the most direct route to the building.
- If a geotechnical report has been prepared, it has been provided to the owner by their consultant. If applicable, the report is available for review as an aid in planning and executing all areas of work for the project. The report data is provided for reference only and is not to be considered a part of these contract documents. While it is believed to be reliable, its accuracy and/or completeness is not guaranteed by the architect.
- Builder to coordinate top of foundation wall elevations with elevation from structural drawings and final grading.
- Coordinate landscape irrigation supply and required sleeve locations with the builder.
- All windows to be double paned and "Low E" technology UNO OR PER BUILDER SPEC. Basements and sleeping rooms shall have at least one operable egress window for emergency escape. Tempered glass is to be provided per code.
- Structural design and truss and floor framing design by others.
- Cabinet design and related millwork drawings are to be provided by others. ANY CABINET ELEVATIONS SHOWN ARE FOR REFERENCE ONLY.
- All exterior doors leading to unheated areas are to be weather-stripped.
- Verify with builder if gyp board corners are to be radused PRIOR TO DRYWALL INSTALLATION. Framing at cabinetry to be coordinated to allow for the radius to terminate at or before the face of cabinet.
- Take care to protect all neighboring property enhancements.
- Do not scale documents.
- All truss and walls to be fire-stopped.
- Manufacturers installation instructions are to be strictly followed for the installation of all fireplaces. Provide combustion air to all fireplaces.
- Use self closing, tight fitting and fire rated garage to house doors only. MEET LOCAL CODE.
- All stair assemblies of 36" in width or greater shall have a minimum of three stringers.
- Provide gutters and downspouts (or drains per plans). On downspouts, a minimum 4'-0" extension is required. Splash blocks may also be used, but must be a minimum of 36" in length. MATCH ANY EXISTING NEIGHBORHOOD STANDARDS THAT MIGHT EXIST.
- All stone to be thin out real stone or premanufactured stone. Re-elevation drawings: provide STONE OR stucco profile "UNTEL" above AND BELOW "SILL" WINDOW, AND AS NOTED ON EXTERIOR ELEVATIONS.
- ALL BRICK TO HAVE ROWLOCK OR SOLDIER COURSE BRICK CAP WITH FLASHING AND TRIM OVER ROWLOCK OR SOLDIER LINE.
- PROVIDE CRAWLSPACE ACCESS OPENING(S) ACCESS OPENINGS THROUGH THE FLOOR SHALL BE A MINIMUM OF 18" X 24" AND A MINIMUM OF 18" X 24" THROUGH THE PERIMETER WALL (IRC R408.4). ACCESS OPENING SHALL BE WEATHER STRIPPED PER WSEI R402.4.
- PROVIDE ATTIC ACCESS OPENING(S) ACCESS OPENINGS THROUGH THE CEILING SHALL BE A MINIMUM 22" X 30" WITH A MINIMUM HEADROOM OF 30" (IRC R807.1). ACCESS OPENING SHALL BE WEATHER STRIPPED PER WSEI R402.4.
- GARAGE SEPARATION REQUIREMENTS: 1/2" GYPSUM WALL BOARD (GWB) ON THE GARAGE SIDE. 5/8" TYPE "X" GWB IS REQUIRED WHERE THERE IS LIVING SPACE ABOVE. SUPPORTING COLUMNS, WALLS AND BEAMS USE 1/2" GWB (IRC R302.6). TYPE "X" GWB SHALL BE INSTALLED PERPENDICULAR TO THE CEILING FRAMING AND SHALL BE FASTENED AT MAX. 8" O.C. FASTENERS PER TABLE R702.3.5.
- OPENINGS INTO A GARAGE SHALL HAVE SOLID WOOD OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1-3/8" IN THICKNESS, OR 20-MINUTE FIRE-RATED DOORS, EQUIPPED WITH A SELF-CLOSING OR AUTOMATIC-CLOSING DEVICE (IRC R302.5.1).
- WATER CLOSET CLEARANCES SHALL BE A MINIMUM OF 21" IN FRONT OF THE FIXTURE, AND 15" FROM THE CENTERLINE OF THE FIXTURE TO ANY OBSTRUCTION ON EITHER SIDE (IRC R307.1).
- NOTE: 50 CFM MINIMUM REQUIRED IN BATHROOM, 100 CFM MINIMUM REQUIRED IN KITCHEN. KITCHEN RANGE HOODS ARE REQUIRED IN ALL DOMESTIC KITCHENS. HOODS CAPABLE OF EXHAUSTING MORE THAN 400 CFM REQUIRE MAKE UP AIR (IRC M1503.6).
- M1505.4 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM EACH DWELLING UNIT SHALL BE EQUIPPED WITH A VENTILATION SYSTEM. THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH SECTIONS M1505.4.1 THROUGH M1505.4.4.

WINDOW NOTES: (FINAL SPEC PER BUILDER UNO)

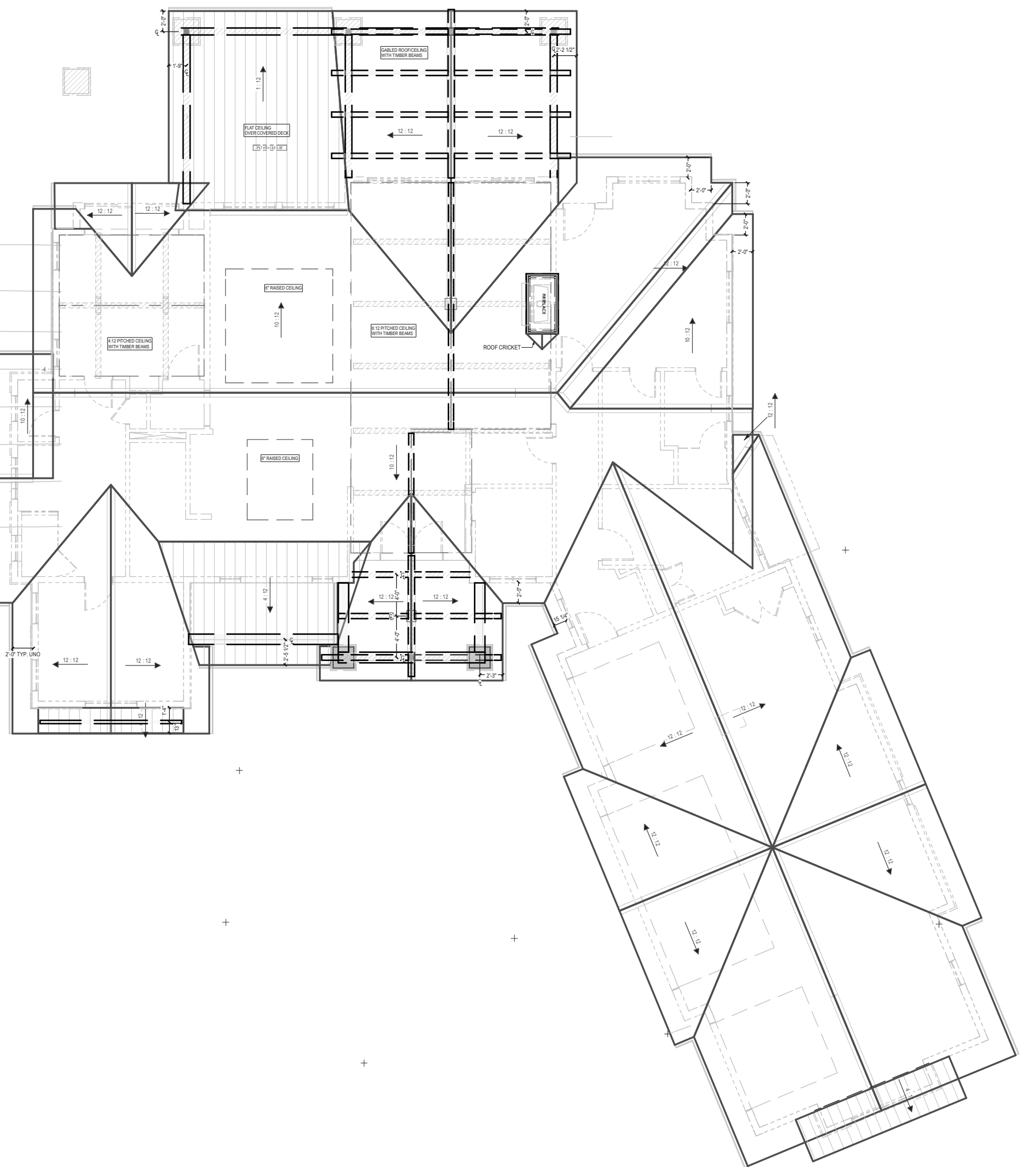
- WINDOWS FINISH BY BUILDER SPEC.
- PROVIDE LOW E GLASS ON ALL WINDOWS SUBJECT TO OPINION OF WINDOW SUPPLIER.
- GC AND WINDOW SUPPLIER TO VERIFY EGRESS REQUIREMENTS AND TEMPERED GLASS NEEDS.
- GC AND WINDOW SUPPLIER TO VERIFY FINAL ROUGH OPENINGS.
- PROVIDE ALL FLASHING AND COUNTER FLASHING, MEMBRANE WRAP AND SEALANT.
- REF. BUILDING ELEVATIONS FOR WINDOW OPERATION.
- BASEMENTS AND SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE EGRESS WINDOW PER CODE.
- TEMPER GLASS WHEN: (AND/OR AS DIRECTED PER LOCAL CODE)
 - LOCATION IS WITHIN A 24" ARC OF A DOOR, EITHER CLOSED OR OPEN.
 - AREAS SUBJECT TO IMPACT BY HUMANS OR ANIMALS.
 - GLASS USED IN DOORS.
 - PLACED LESS THAN 18" AFF AND GREATER THAN 9" IN SIZE.
 - AT BATHTUB AND SHOWER LOCATIONS.



1 OVERALL FLOOR PLAN - WALKOUT
SCALE: 3/32"=1'-0"



2 OVERALL FLOOR PLAN - MAIN LEVEL
SCALE: 3/32"=1'-0"



3 OVERALL FLOOR PLAN - ROOF LEVEL
SCALE: 3/32"=1'-0"

PLAN REVISIONS		
DATE	BY	REVISION
10/25/2023	1	PROVISIONAL ENGINEERING/PERMIT
11/7/2024	2	BATH 2 RECONFIGURATION
	3	LOWER PLAN CHANGES

FLOOR PLAN
OVERALL



USA-2700-FH
4,700 main floor SF
GARAGE, RIGHT COURT, AND ENTRY
MODERN FARMHOUSE STYLE WALKOUT

DATE:

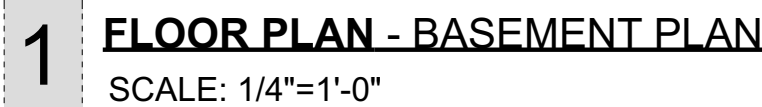
11/8/2024

TOTAL SHTS:

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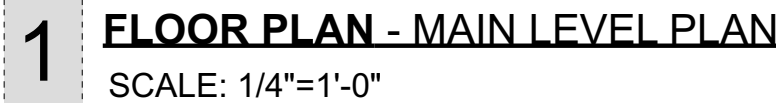
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3

- 1 WINDOWS FINISH BY BUILDER SPEC.
- 2 PROVIDE LOW-E GLASS ON ALL WINDOWS.
SUBJECT TO OPINION OF WINDOW SUPPLIER.
- 3 GC AND WINDOW SUPPLIER TO VERIFY EGRESS
REQUIREMENTS ON TEMPERED GLASS NEEDS.
- 4 GC AND WINDOW SUPPLIER TO VERIFY FINAL
ROUGH OPENINGS.
- 5 PROVIDE ALL FLASHING AND COUNTER FLASHING
MEMBRANE WRAP AND SEALANT.
- 6 REF. BUILDING ELEVATIONS FOR SHALLOW
OPENINGS.
- 7 BATHESMETS AND SLEEPING ROOMS SHALL HAVE
AT LEAST ONE OPERABLE EGRESS WINDOW PER
CODE.
- 8 TEMPER GLASS WHEN: (AND/OR AS DIRECTED
PER LOCAL CODE)
 - LOCATION IS WITHIN A 24" AREA OF A DOOR
- EITHER CLOSED OR OPEN.
- AREAS SUBJECT TO IMPACT BY HUMANS
OR ANIMALS.
- GLASS USED IN DOORS.
- LESS THAN 18" AFF AND GREATER
THAN 9" IN SIZE.
- AT BATHTUB AND SHOWER LOCATIONS

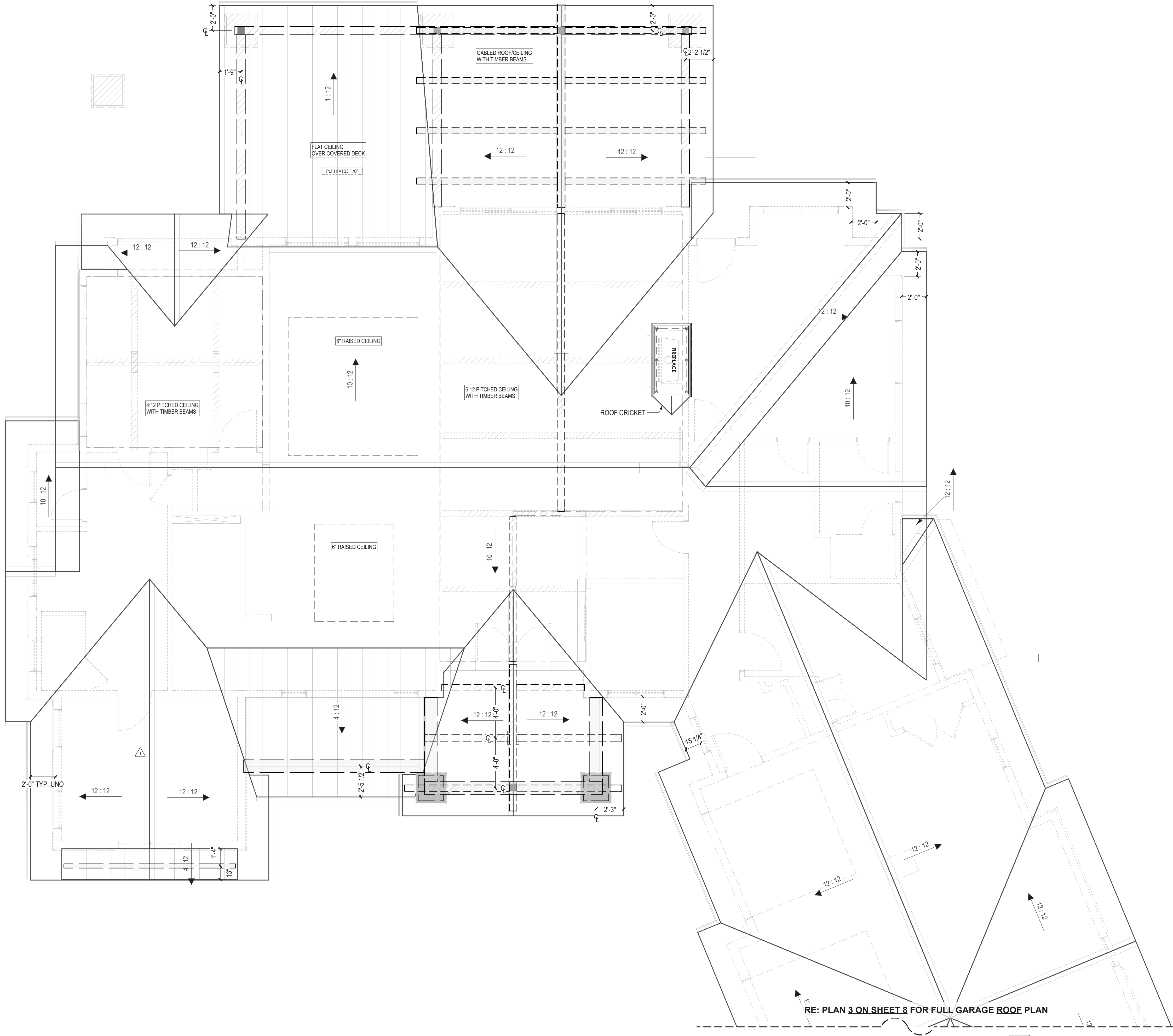


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ROOF NOTES:

BUILDER SPEC AND LOCAL CODES OVERALL ALL NOTES:

1. ALL ROOF FRAMING 24" O.C. UNO
2. ALL OVERHANGS 24" UNO
3. ATTIC VENTILATION: REQUIRED PER CODE, BY BUILDER
4. WALL HEADERS: (2) 2 X 10 DF 2 TYP. UNO-PER STRUCTURAL
5. HIGH PROFILE 40 YEAR OR BETTER PER NEIGHBORHOOD DIRECTIVE ROOF SHINGLES. RE: ROOF PLAN FOR ADDITIONAL ROOFING MATERIALS, INSTALL PER MANUFACTURERS SPECIFICATIONS.
6. APPLY ICE & WATER SHIELD AT ALL EAVES, RIDGES, AND VALLEYS. DEFER TO LOCAL CODE OTHERWISE.
7. TITANIUM FELT UNDERLAYMENT, TYPICAL THROUGHOUT ROOF.
8. ROUTE ALL ROOF PENETRATIONS THROUGH NON-STREET SIDE OF ROOF.
9. EXTRUDED GALVALUME, GUTTER AND DOWNSPOUT (TYP.)
10. ALL ROOF SLOPES TO BE: **SEE ROOF PLAN NOTING**
11. PROVIDE ROOF CRICKETS AS NECY. FOR DRAINAGE.



1 **ROOF PLAN - PLAN + NOTES**
SCALE: 1/4"=1'-0"

PLAN REVISIONS		
Number	Date	Description
1	10/28/2023	PROVIDE ENGINEERING PERMIT
2	10/25/2023	BATH 2 RECONFIGURATION
3	11/7/2024	LOWER PLAN CHANGES

ROOF PLAN
PLAN + NOTES



USA-2700-FH
4,700 main floor SF
GARAGE, RIGHT COURTYARD, ENTRY
MODERN FARMHOUSE STYLE WALKOUT

DATE:

11/8/2024

TOTAL SHTS:

5 of 13

SHEET:

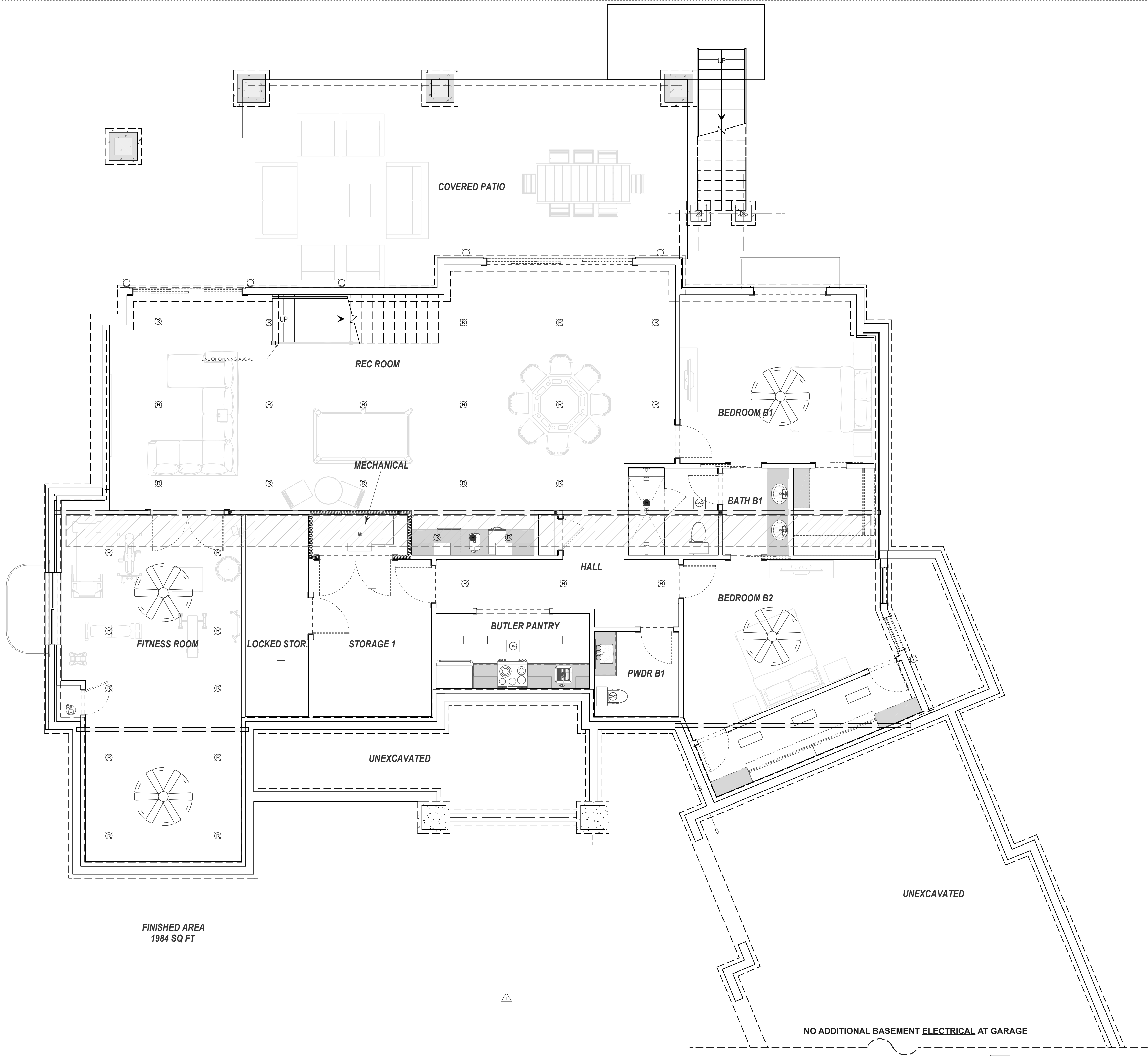
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ELECTRICAL DATA & AUDIO NOTES:

HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

ELECTRICAL NOTES:

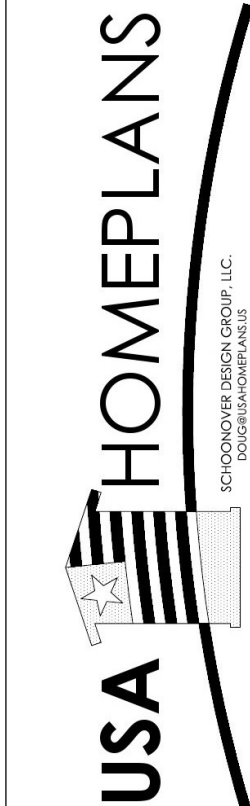
1. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
2. PROVIDE ONE SMOKE DETECTOR IN EACH SLEEPING ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
3. CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
4. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH BUILDER.
5. FIXTURES TO BE SELECTED BY BUILDER.



ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	CEILING FAN
	VENTILATION FANS: CEILING MOUNTED, WALL MOUNTED
	CEILING MOUNTED LIGHT FIXTURES: SURFACE/PENDANT, RECESSED, WATER VAPOR PROOF, LOW VOLTAGE
	CEILING MOUNTED FIXTURES: FLUSH TRADITIONAL ROUNDED.
	WALL MOUNTED LIGHT FIXTURES: FLUSH MOUNTED, WALL SCONCE
	CHANDELIER LIGHT FIXTURES
	FLUORESCENT LIGHT FIXTURE
	FLUORESCENT LIGHT UNDER CABINET
	220V RECEPTACLE
	110V RECEPTACLES: DUPLEX, WEATHER PROOF, GFC/GFCI
	SWITCHES: SINGLE POLE, WEATHER PROOF, 3-WAY, 4-WAY
	UTILITY LIGHTING: KEYED FIXTURE, PULL SWITCH
	WALL JACKS: CAT5, CAT5 + TV, TV/CABLE
	TELEPHONE JACK
	INTERCOM
	THERMOSTAT
	DOOR CHIME, DOOR BELL BUTTON
	SMOKE+ CO DETECTORS: CEILING + WALL MOUNTED
	ELECTRICAL BREAKER PANEL

PLAN REVISIONS	
NUMBER	DATE
1	09/08/2023
2	10/25/2023
3	11/7/2024

ELECTRICAL PLAN
BASEMENT LEVEL



USA-2700-FH
4,700 main floor SF
GARAGE RIGHT COURTYARD ENTRY
MODERN FARMHOUSE STYLE WALKOUT

DATE:

11/8/2024

TOTAL SHTS:

6 of 13

SHEET:

6

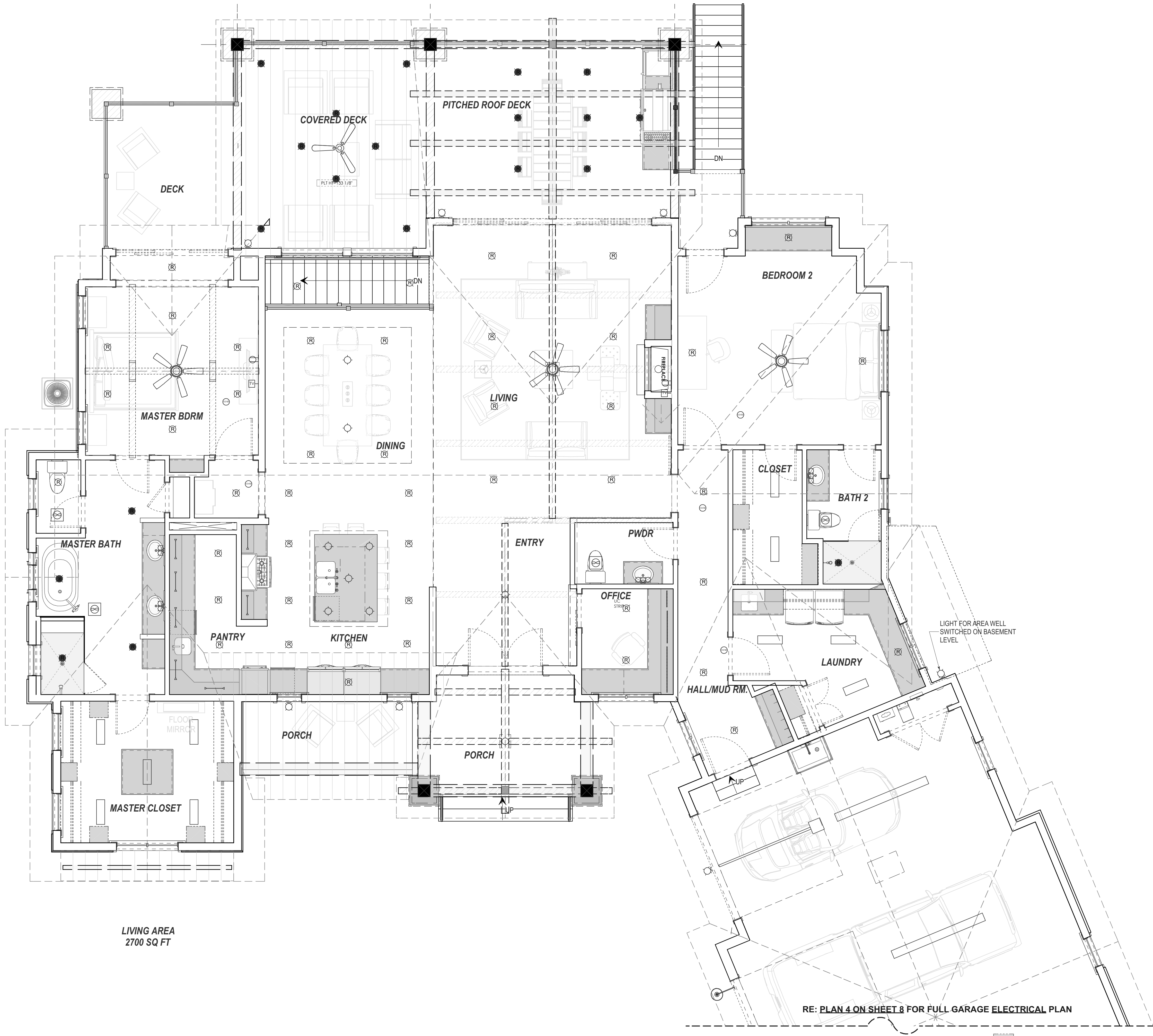
1 ELECTRICAL PLAN - BASEMENT LEVEL
SCALE: 1/4"=1'-0"

ELECTRICAL DATA & AUDIO NOTES:

HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

ELECTRICAL NOTES:

1. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
2. PROVIDE ONE SMOKE DETECTOR IN EACH SLEEPING ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
3. CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
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5. FIXTURES TO BE SELECTED BY BUILDER.

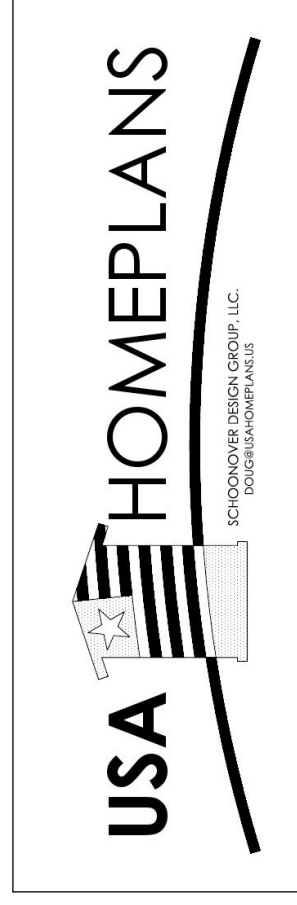


ELECTRICAL - DATA - AUDIO LEGEND	
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	INTERCOM
	THERMOSTAT
	DOOR CHIME, DOOR BELL BUTTON
	SMOKE+ CO DETECTORS: CEILING + WALL MOUNTED
	ELECTRICAL BREAKER PANEL

1 ELECTRICAL PLAN - MAIN LEVEL
SCALE: 1/4"=1'-0"

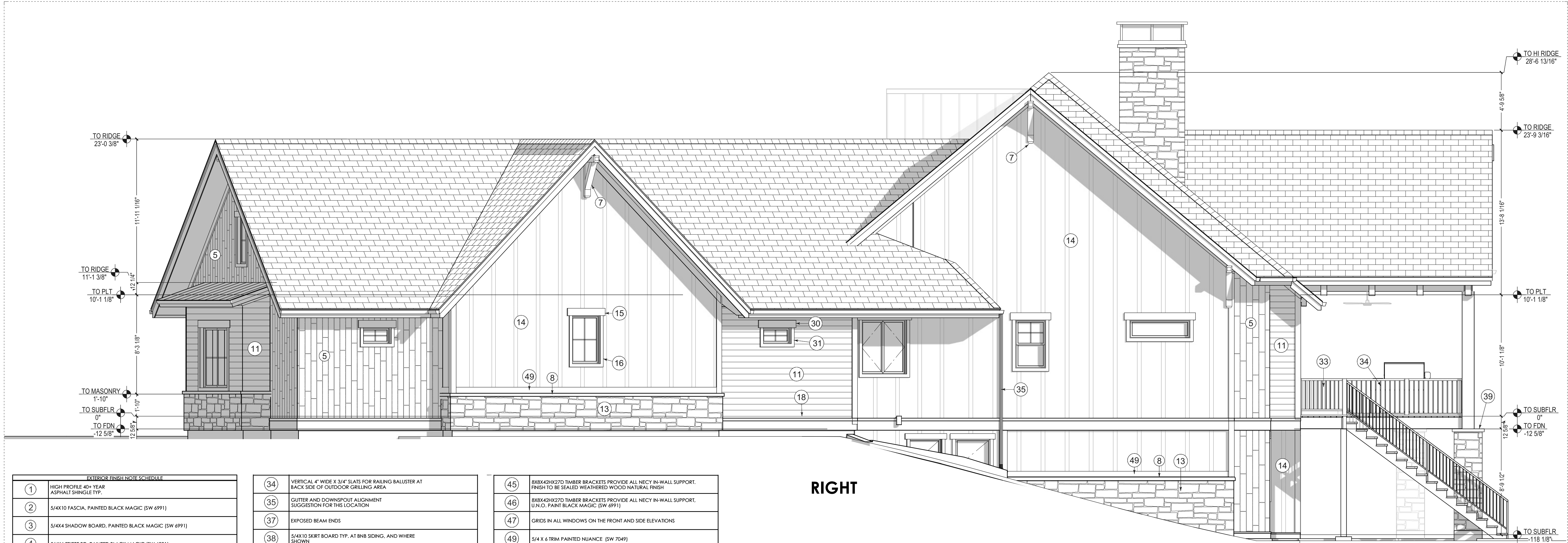
PLAN REVISIONS	
Number	Description
1	05/08/2023 PRELIMINARY ENGINEERING/PERMIT
2	10/25/2023 BATH 2 RECONFIGURATION
3	11/7/2024 LOWER PLAN CHANGES

ELECTRICAL PLAN
MAIN LEVEL



USA-2700-FH
4,700 main floor SF
GARAGE, RENT COURT, AND ENTRY
MODERN FARMHOUSE STYLE WALKOUT

DATE:
11/8/2024
TOTAL SHTS:
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SHEET:
7



RIGHT

2 EXTERIOR ELEVATIONS - FRONT + RIGHT
SCALE: 1/4"=1'-0"

EXTERIOR FINISH NOTE SCHEDULE	
1	HIGH PROFILE 40" HEAR ASPHALT SINGLE TYP.
2	5/4X10 FASCIA, PAINTED BLACK MAGIC (SW 6991)
3	5/4X4 SHADOW BOARD, PAINTED BLACK MAGIC (SW 6991)
4	5/4X6 FRIEZE BD. PAINTED BLACK MAGIC (SW 6991)
5	VERTICAL NATURAL WOOD LOOKING SIDING
6	BLACK STANDING SEAM ROOFING
7	8X8X42HX27D TIMBER BRACKETS PROVIDE ALL NECY IN-WALL SUPPORT
8	3HX4D STONE TRIM
9	EXTEND STANDING SEAM METAL ROOF AND BEAM 6" PAST OUTSIDE EDGE OF BRACKET
10	5X4X6 CORNER BOARDS TYP. AS SHOWN
11	SHIPLAP SIDING PAINTED IN BLACK MAGIC SW 6991
12	FAUX DORMER, PROVIDE 2020 FIXED WINDOW
13	BUCKSKIN NATURAL STONE VENEER
14	1X3 16" OC BNB SIDINGBNB SIDING, PAINTED NUANCE (SW 7049)
15	5/4X8 HEADER W/ 2" EXTENSION PAST VERTICAL PAINTED BLACK MAGIC (SW 6991)
16	5/4X4 CASING PAINTED NUANCE (SW 7049)
17	EXTERIOR LIGHT
18	5/4X10 SKIRT BOARD TYP. AT BNB SIDING
19	5/4X4 CASING AND 5/4X8 HEADER W/ 2" EXTENSION PAST VERTICAL PAINTED BLACK MAGIC (SW 6991) (OPENINGS WITHIN NATURAL WOOD SIDING)
20	PAINTED TIMBER BEAM PAINTED BLACK MAGIC (SW 6991)
21	5/4 X 6 STONE CASING
22	ALL TIMBER TO BE PAINTED BLACK MAGIC (SW 6991)
23	PAINTED TIMBER BEAM
24	CLOPAY GARAGE DOOR, PAINTED BLACK FOX (SW 7020)
25	CLOPAY GARAGE DOOR, WITH NATURAL WOOD TYPE FINISH, LIGHTLY STAINED
26	CLOPAY GARAGE DOOR, WITH NATURAL WEATHERED WOOD FINISH, CASING AND HEADER TRIM TO BE PAINTED BLACK FOX (SW 7020)
27	SMOOTH FINISH SOFFIT BOARDS, PAINTED NUANCE (SW 7049)
28	5/4 X 6 TRIM PAINTED BLACK MAGIC (SW 6991)
29	5/4X4 CASING AND 5/4X8 HEADER W/ 2" EXTENSION PAST VERTICAL PAINTED BLACK MAGIC (SW 6991) (OPENINGS WITHIN NATURAL WOOD SIDING)
30	5/4X8 HEADER W/ 2" EXTENSION PAST VERTICAL NATURAL WEATHERED WOOD
31	5/4X4 CASING PAINTED BLACK MAGIC (SW 6991)
32	5/4X10 SKIRT BOARD TYP. AT BNB SIDING PAINTED BLACK MAGIC (SW 6991)
33	METAL RAIL AND BALUSTERS SHOWN IN "WAVING GRASS" PATTERN, FINAL SELECTION PER OWNER/BUILDER.

34	VERTICAL 4" WIDE X 3/4" SLATS FOR RAILING BALUSTER AT BACK SIDE OF OUTDOOR GRILLING AREA
35	GUTTER AND DOWNSPOUT ALIGNMENT SUGGESTION FOR THIS LOCATION
37	EXPOSED BEAM ENDS
38	5/4X10 SKIRT BOARD TYP. AT BNB SIDING, AND WHERE SHOWN
39	3" THICK STONE CAP, SIZE TO OVERLAP FINISHED STONE FACE BY MINIMUM OF 1 1/2"
40	BLACK MAGIC (SW 6991) PAINTED TIMBER BEAM
41	FRAMED POST BASE WITH BUCKSKIN NATURAL STONE VENEER
42	CHIMNEY CAP/SPARK ARRESTOR FROM CHIMNEYKING.COM #29D IRON MAIDEN, ADD FLAT TOP CAP, EXTEND CAP PAST VERTICAL 1"
43	SHIPLAP SIDING PAINTED IN BLACK MAGIC SW 6991 ON FACE OF WALL BEYOND.
44	8X8 TIMBER KING POST PAINTED BLACK MAGIC (SW6991)

45	8X8X42HX27D TIMBER BRACKETS PROVIDE ALL NECY IN-WALL SUPPORT, FINISH TO BE SEALED WEATHERED WOOD NATURAL FINISH
46	8X8X42HX27D TIMBER BRACKETS PROVIDE ALL NECY IN-WALL SUPPORT, U.N.O. PAINT BLACK MAGIC (SW 6991)
47	GRIDS IN ALL WINDOWS ON THE FRONT AND SIDE ELEVATIONS
49	5/4 X 6 TRIM PAINTED NUANCE (SW 7049)



FRONT

1 EXTERIOR ELEVATIONS - FRONT + RIGHT
SCALE: 1/4"=1'-0"

PLAN REVISIONS	
Number	Description
1	10/25/2023 PRELIMINARY ENGINEERING/PERMIT
2	10/25/2023 BATH 2 RECONFIGURATION
3	11/10/2023 ADDED STONE, CHANGED BALUSTERS
4	11/7/2024 LOWER PLAY CHANGES

EXTERIOR ELEVATIONS
FRONT + RIGHT



USA-2700-FH
4,700 sq. ft. floor SF
GARAGE, RIGHT COURTYARD, ENTRY
MODERN FARMHOUSE STYLE WALKOUT

DATE:

11/8/2024

TOTAL SHTS:

9 of 13

SHEET:

9



LEFT

2 EXTERIOR ELEVATIONS - BACK + LEFT
SCALE: 1/4"=1'-0"



BACK

1 EXTERIOR ELEVATIONS - BACK + LEFT
SCALE: 1/4"=1'-0"

PLAN REVISIONS			
Number	Date	By	Description
1	10/25/2023	PROJ. ENGINEERING/PERMIT	ADDED STONE CHIMNEY
2	10/25/2023	BATH 2 RECONFIGURATION	ADDED STONE CHIMNEY
3	11/10/2023	ADDED STONE CHIMNEY	ADDED STONE CHIMNEY
4	11/17/2024	LOWER PLAN CHANGES	ADDED STONE CHIMNEY

EXTERIOR ELEVATIONS
BACK + LEFT



USA-2700-FH
4,700 sq. ft. floor area
GARAGE, RIGHT COURTYARD, ENTRY
MODERN FARMHOUSE STYLE WALKOUT

DATE:
11/8/2024

TOTAL SHTS:
10 of 13

SHEET:

10

ASSEMBLY TYPES:

AA Typical Above Grade Exterior Wall:
Exterior finish per elevation on TYVEK waterproof membrane or tyvek type house wrap on exterior sheathing per structural on 2x framing per structural with insulation **(R-23 OR AS NOTED PER THE INSULATION SUBCONTRACTOR)**. Provide vapor barrier PER CODE with 1/2" gyp. board.

BB Typical Interior Wall:
2x framing with insulation AS SHOWN ON PLANS AND STANDARD BUILDER LOCATIONS, with 1/2" gyp. bd at each side.

CC Typical Below Grade Wall:
drain system (as needed per soils report) over dampproofing over reinforced concrete foundation wall per structural plans. VINYL FACED INSULATION AT INSIDE FACES OF EXTERIOR WALLS PER CODE. **(AS NOTED PER THE INSULATION SUBCONTRACTOR)**

DD Typical Attic (Roof):
Roofing material per elevation on Ice and Water Shield waterproof membrane, an exterior sheathing per structural on cold roof framing on plywood sheathing on 2X rafters or premanufactured roof trusses per structural with ATTIC insulation **(R-38 OR AS NOTED PER THE INSULATION SUBCONTRACTOR)**. Provide vapor barrier at warm face of framing with 5/8" gyp. bd. UNO or per builder specs. 12" HIGH ENERGY HEEL ASSUMED U.N.O.

EE Typical Main and Upper Level Floors:
Finished floor material per plan over 1/2" T & G OSB subfloor on 11 7/8" TJ joists per structural with 1/2" gyp. bd. ceiling. Provide insulation **(AS NOTED PER THE INSULATION SUBCONTRACTOR)** over unfinished spaces.

ASSEMBLY TYPES:

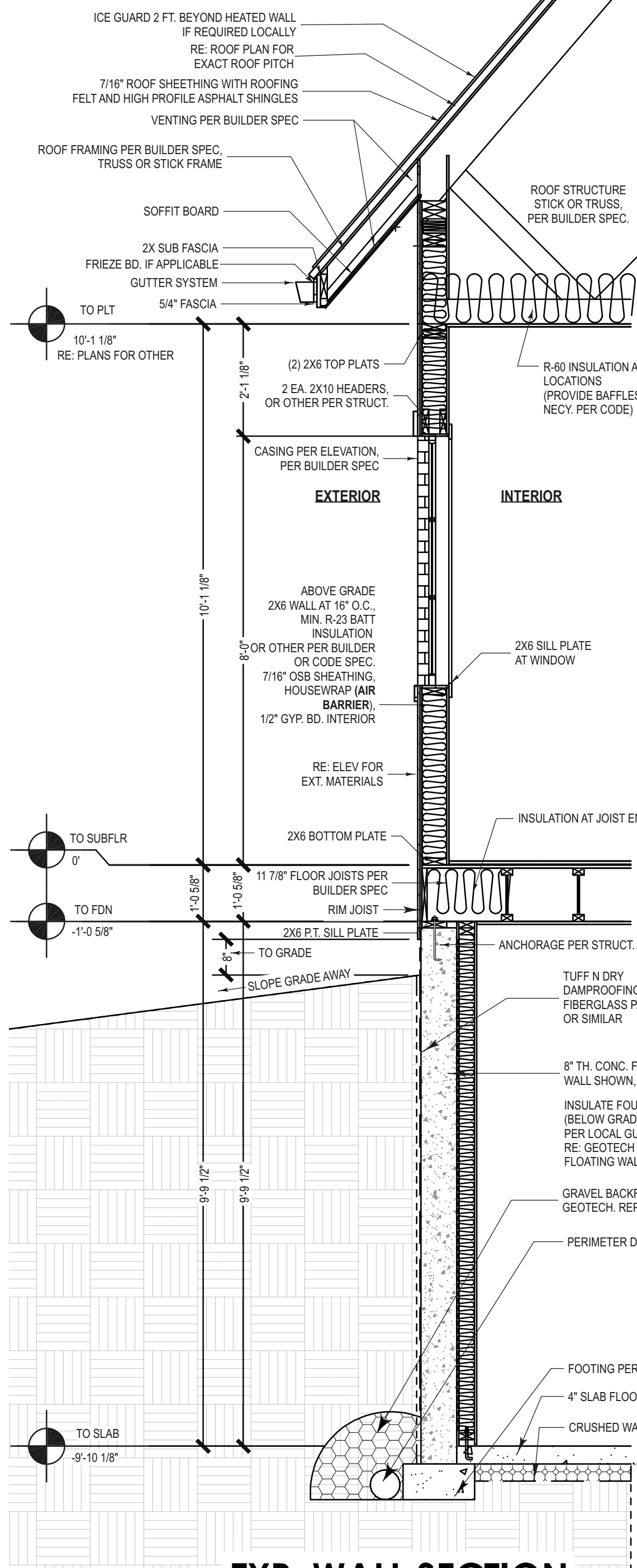
FF Typical Lower Level Floor:
CRAWL SPACE PER ENGINEERING, INSULATE **(AS NOTED PER THE INSULATION SUBCONTRACTOR)**

GG Typical Soffit Const: Provide 1x8 Fascia board, 1x6 subfascia, gutter and downspouts.

JJ Typical Slab:
Concrete slab per structural, slope at 1/8" per 1'-0" minimum to drain.

KK Typical Timber Components:
S4S RFKD Douglas Fir S5 FOHC, columns and brackets per structural and per timber shop drawings.

KKa1 Typical Timber Components (ALTERNATE 1):
S4S WESTERN RED CEDAR (WRC) FOHC GREEN #2/BETTER appearance grade beams, columns and brackets per structural and per timber shop drawings.



TYP. WALL SECTION

STRUCTURAL PLANS NOTE:

STRUCTURAL INFORMATION PROVIDED ON THESE PLANS IS FOR DESIGN INTENT PURPOSES ONLY AND SHOULD BE VERIFIED AND/OR ENGINEERED WITH STRUCTURAL DRAWINGS BY A LICENSED STRUCTURAL ENGINEER. **IN THE EVENT STRUCTURAL INFORMATION VARIES BETWEEN ARCHITECTURAL AND STRUCTURAL DRAWINGS, THE STRUCTURAL DRAWINGS WILL SUPERSEDE ARCHITECTURAL DRAWINGS.**



LONG SECTION 2

2 BUILDING SECTIONS - STAIR + CROSS
SCALE: 1/4"=1'-0"

LONG SECTION 1

1 BUILDING SECTIONS - STAIR + CROSS
SCALE: 1/4"=1'-0"

PLAN REVISIONS
DATE: 10/28/2023
BY: [Signature]
REASON: PRELIMINARY ENGINEERING/PERMIT
NUMBER: 1
2
3
10/25/2023 BATH 2 RECONFIGURATION
11/7/2024 LOWER PLAN CHANGES

BUILDING SECTIONS
STAIR + CROSS

USA HOMEPLANS
RESIDENTIAL ARCHITECTURE, LLC

USA-2700-FH

4,700 main floor SF
GARAGE RIGHT COURTYARD ENTRY
MODERN FARMHOUSE STYLE WALKOUT

DATE:

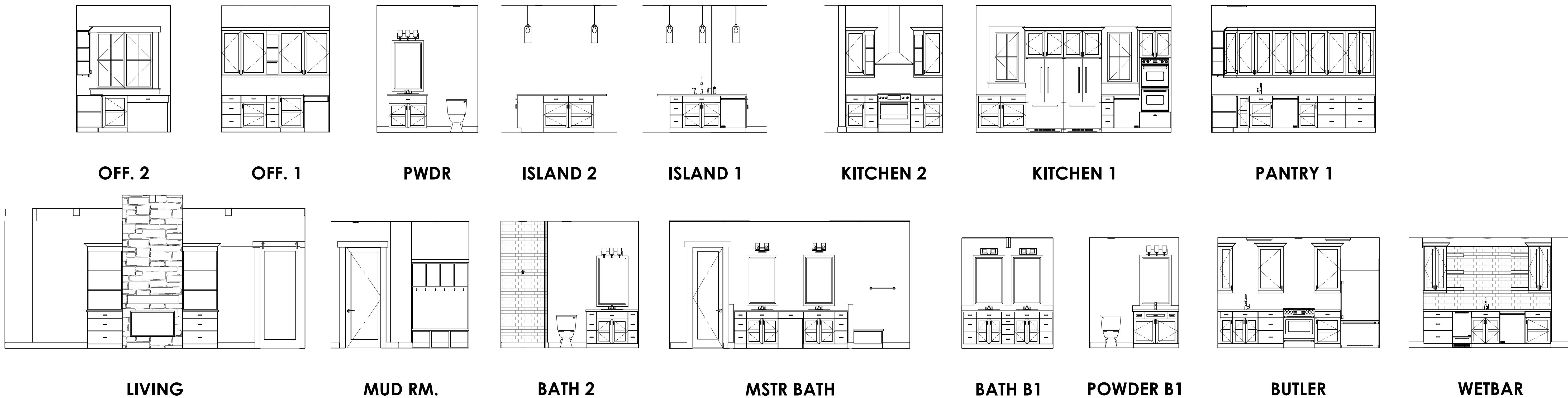
11/8/2024

TOTAL SHTS:

11 of 13

SHEET:

11



OFF. 2

OFF. 1

PWDR

ISLAND 2

ISLAND 1

KITCHEN 2

KITCHEN 1

PANTRY 1

LIVING

MUD RM.

BATH 2

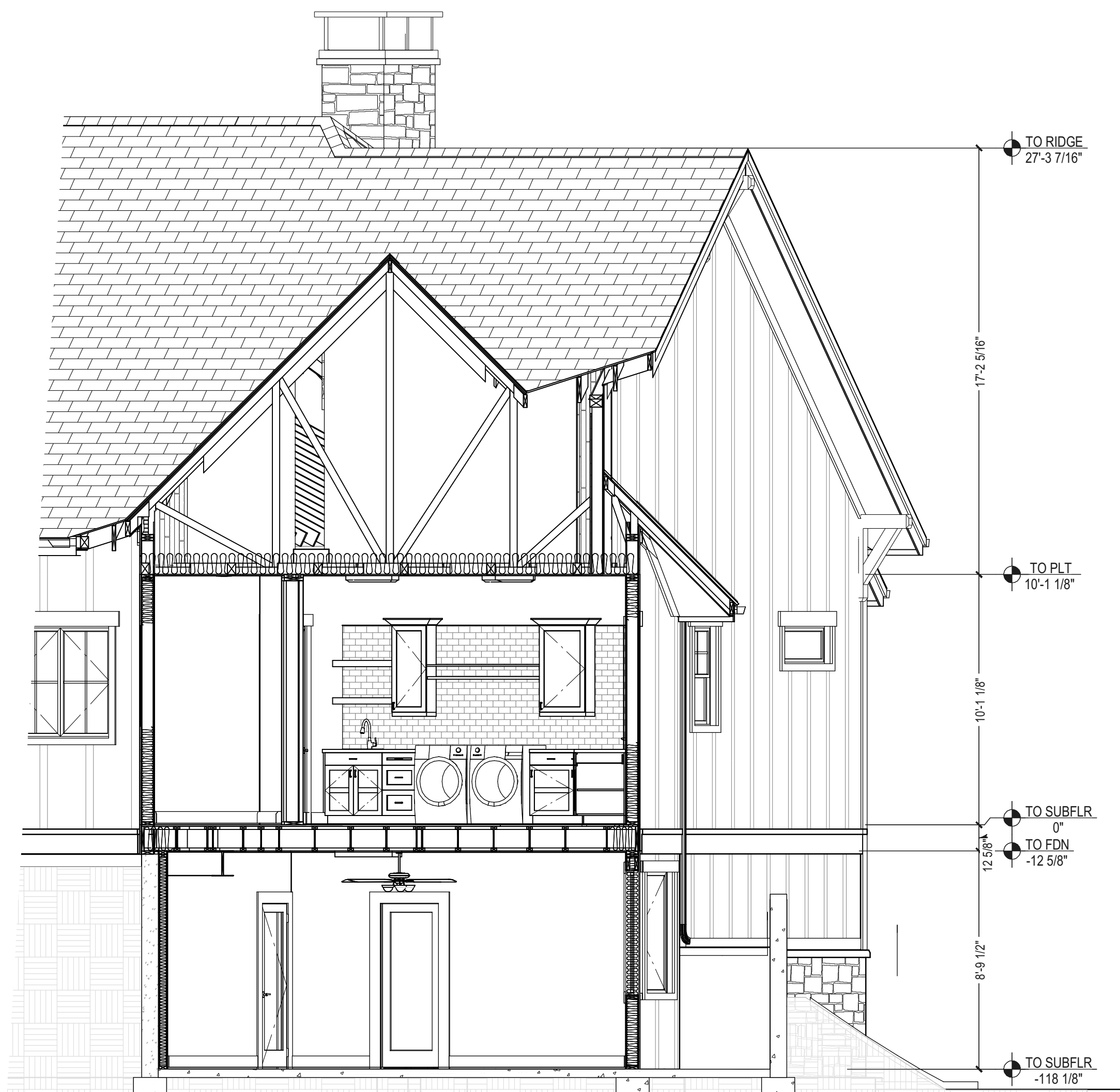
MSTR BATH

BATH B1

POWDER B1

BUTLER

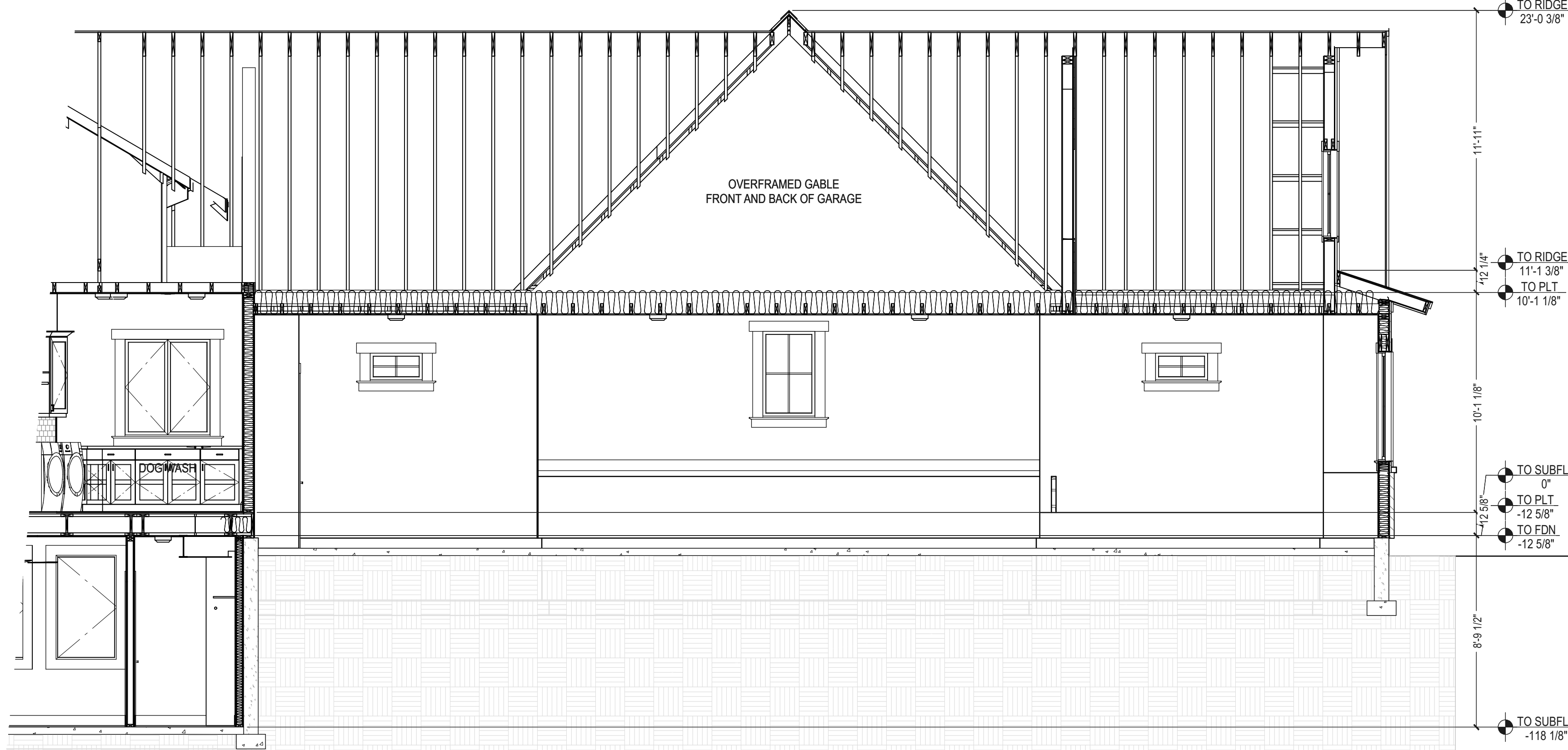
WETBAR



CROSS SECTION L

2

BUILDING SECTIONS -
SCALE: 1/4"=1'-0"



GARAGE SECTION 1

1

BUILDING SECTIONS -
SCALE: 1/4"=1'-0"

PLAN REVISIONS
DATE: 10/25/2023
BY: [Signature]
REVISION: 1
REVISION: 2
REVISION: 3

BUILDING SECTIONS

USA HOMEPLANS
RESIDENTIAL ARCHITECTURE, LLC

USA-2700-FH
4,700 main floor SF
GARAGE RIGHT COURTYARD ENTRY
MODERN FARMHOUSE STYLE WALKOUT

DATE:

11/8/2024

TOTAL SHTS:

13 of 13

SHEET:

13