

# THE TOWNES AT HERSHEY ROAD

(PHASE I)

## PA ROUTE 39 & MANOR DRIVE

### MTF ASSOCIATES, INC.

(Owner & Developer)

Plan BK J Vol. 8 Pg 11

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COMMONWEALTH OF PENNSYLVANIA)

COUNTY OF DAUPHIN)

ON THIS 16 DAY OF October 2002 BEFORE ME THE UNDERSIGNED PERSONALLY APPEARED

OWNER(S) Larry E. Troutman, Sr., President

OWNER(S)

WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND DATE ABOVE WRITTEN

Notary Public

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**SITE DATA**

Type of Development: Multi-Family Townhouses.  
Zoning of Tract: R-3, Suburban Residential District and V. Village District.  
Total Tract Area, Gross: 23,418 ac. (Overall)  
Total Tract Area, Gross: 11,927 ac. (Phase I)  
Total Tract Area, Net: 23,286 ac. (Overall, less PENNDOT dedicated R.O.W.)  
Total Tract Area, Net: 11,863 ac. (Phase I, less PENNDOT dedicated R.O.W.)  
Total Number of Existing Lots: 13.  
Total Number of New Lots: 79 townhouse lots and 2 recreation/open space lots (Overall).  
Total Number of New Lots: 32: 30 townhouse lots and 2 recreation/open space lots (Phase I).  
Proposed Lot Size: See Lot Area Tabulation.  
Proposed Density: 3.29 units/acre (Overall).  
Proposed Minimum Lot Size: 4,500 sq. ft.  
Proposed Minimum Lot Width at Setback Line: 30 feet.  
Proposed Minimum Lot Width at Side Setback Line: 24.21 feet.  
Proposed Minimum Lot Width at Rear Setback Line: 30 feet.  
Existing Impervious Coverage: 0.0 ac., 0.0% (Overall).  
Proposed Impervious Coverage: 8.6 ac., 28.34% (Overall).  
Allowable Impervious Coverage (R-3 Zone): 30% Maximum.  
Allowable Impervious Coverage (V-Zone): 70% Maximum.  
Open Space Required: 4.42 Acres.  
Total Area Proposed for Open Space/Recreation: 4.4893 acres plus fee in lieu of recreation area in the amount of \$50,000.00 for the entire site.  
Linear Feet of Streets: 1,009 ft. (Phase I).  
Linear Feet of Storm Sewer: 1,597 ft. (Phase I).  
Maximum Proposed Building Height: 30 ft.  
Proposed Water Supply System: Existing Public.  
Proposed Sewage Disposal System: Existing Public.  
Building Setback Requirements: R-3  
Front Yard - 25 ft.  
Side Yard - 20 ft. each for end units.  
Rear Yard - 35 ft.  
Buffer Yard Requirements: Level One Screening.

**GENERAL NOTES**

- The owner/developer shall comply with all applicable Township ordinances in effect at the time of the submission of the Plan.
- Owner: MTF Associates, Inc., 401 North Front Street, Harrisburg, PA 17110.
- Recording Information and Tax Map Information: Tax Map Parcel Numbers: 68-035-002, -042, -043, -044, -045, -046, -047, -048, -049, -050, -051, -052, -053. Also see "Original Property Description" sheet.
- The purpose of this plan is to combine Tax Map Parcel Numbers: 68-035-002, -042, -043, -044, -045, -046, -047, -048, -049, -050, -051, -052, & -053 into one tract. Then subdivide the parent tract into 30 townhouse lots and 2 recreation/open space lots.
- Original boundary survey and topographic survey performed by Simpson Land Surveying Co., Inc. 80 Maplewood Drive, Elmer, PA 17319, dated October 20, 1999.
- All known existing easements and right-of-ways and proposed easements and right-of-ways have been shown on this plan. The plan was prepared without the benefit of a site report and is subject to easements and documents (recorded and unrecorded).
- All existing utilities have been shown in accordance with the best available information. The contractor shall verify all existing conditions prior to commencing any work.
- Benchmark for this project is a PK nail #183 located at the northwest corner of the intersection of Rider Lane and PA Route 39. BM Elev. = 504.710.
- The developer is responsible for the placement of all street signs and traffic control devices. Such signs shall conform to PENNDOT and West Hanover Township specifications and shall be installed at the option of the Township.
- Final location of water lines and fire hydrants to be determined by Pennsylvania American Water Company and the West Hanover Township Fire Chief.
- Unless otherwise noted, all property corners shall be set with 3/4" iron pins.
- Concrete monuments shall be installed prior to new streets being accepted by the Township.
- A PENNDOT Highway Occupancy Permit and West Hanover Township Highway Occupancy Permits are required for this project.
- A PENNDOT highway occupancy permit is required pursuant to Section 420 of the Act of June 1, 1945, (P.L. 1245, No. 420).
- No building permit will be issued for any lot or parcel which will require access to a State Highway until authorized by a Pennsylvania Department of Transportation Highway Occupancy Permit.
- A minimum of two off-street parking spaces, (9'x20' minimum size), shall be provided for each lot. Each townhouse will be constructed with a 2-car garage and a double width driveway. Required parking is two parking spaces per dwelling.
- Handicap ramps shall be constructed at all street intersections.
- All public improvements including materials, workmanship and methods shall comply with the current PENNDOT Publications 408 Specifications and Publication 72 Roadway Construction Standards.
- There are no wetlands present within the project area.
- There are no 100 year floodplain areas delineated within the project area either by FEMA panels or by the West Hanover Township Zoning Map.
- No lot shall be altered so as to have an adverse impact on the approved storm water management plan.
- The stormwater detention facilities for this project is the sole responsibility of the homeowners' association. This responsibility shall include moving, maintenance and generally keeping the detention facility in a safe, sanitary, operational manner.
- Street lighting is to be provided by the developer for the project. Said lighting shall be installed in accordance with West Hanover Township and FPL Utilities specifications and requirements.
- The developer shall implement the Erosion and Sedimentation Control Plan and Storm Water Management Plan.
- All proposed utilities will be located underground.
- Maintenance of drainage facilities and a covenant shall run with each new lot stating it is the responsibility of the lot owner to implement the erosion and sedimentation control plan at the time construction commences.
- No buildings or other obstructions, such as shrubbery, over three (3) feet in height shall be permitted within the lot right triangles.
- Lot owners are responsible for their own Erosion & Sedimentation once the lot is purchased.
- No building permit will be issued until the Township Engineer has verified the sight distance and roadway access safety.
- The developer must adhere to Section 173-38 (Existing Tree and Vegetation Preservation) which states that existing vegetation will be preserved to the maximum extent possible.
- Geotechnical testing of the fill material should be conducted prior to construction of the pump station.

**PUBLIC UTILITIES**

**Verizon Communications**  
Corporate Switchboard, (800) 821-9900  
Strawberry Sq. 11th Floor, Harrisburg, PA 17101

**FPL Electric Utilities Inc.**  
Corporate Switchboard, (800) 342-5775  
1801 Brookwood Street, Harrisburg, PA 17104

**Buckeye-Laurel Pipeline System**  
Don Hanley, (800) 523-9420  
Senior District Engineer  
5002 Buckeye Road, Emmaus, PA 18049

**West Hanover Township Water And Sewer Authority**  
Stephen L. Millard, (717) 540-0124  
Chairman  
7801 Jonestown Road, Harrisburg, PA 17112

**U.G.I. Corporation**  
General Office, (717) 234-5951  
1500 Paxton Street, P.O. Box 3665, Harrisburg, PA 17105

**Comcast Cable**  
Steve Haggie, (717) 651-1913  
Construction Manager  
4801 Smith Street, Harrisburg, PA 17109

**Hershey Electric Co.**  
749 E. Concolite Ave., Hershey, PA 17033  
Phone: (717) 534-2541

**American Telephone and Telegraph Co.**  
Operations Manager, (800) 225-0400  
210 Pine Street, 6th Floor, Harrisburg, PA 17101

**Metropolitan Edison Co.**  
P.O. Box 16000, Reading, PA 19640  
Phone: 1-800-545-7738

**Pennsylvania American Water Co.**  
Corporate Office, (717) 333-5000  
800 West Hersheypark Drive, Hershey, PA 17033

**VARIABLES**

Section 173-13.B.(4) Subdivision Plan Scale of 1" = 100'.  
Section 173-13.B.(1) Original Property Description Map Scale.  
Section 173-13.B.(2) Erietary Profiles.  
Section 173-25.D.(2)(a) Great Vertical Curve "K" Values of 30 for crest vertical curve and 40 for sag vertical curve.  
Section 173-25.D.(2)(a) Maximum Centerline Grade of 7%.  
Section 173-13.C.(1) School District community.  
Section 173-25.D.(1)(a) Horizontal Curve radius at 2+08 of Brookridge Court of 250 feet.

**DENSITY CALCULATION**

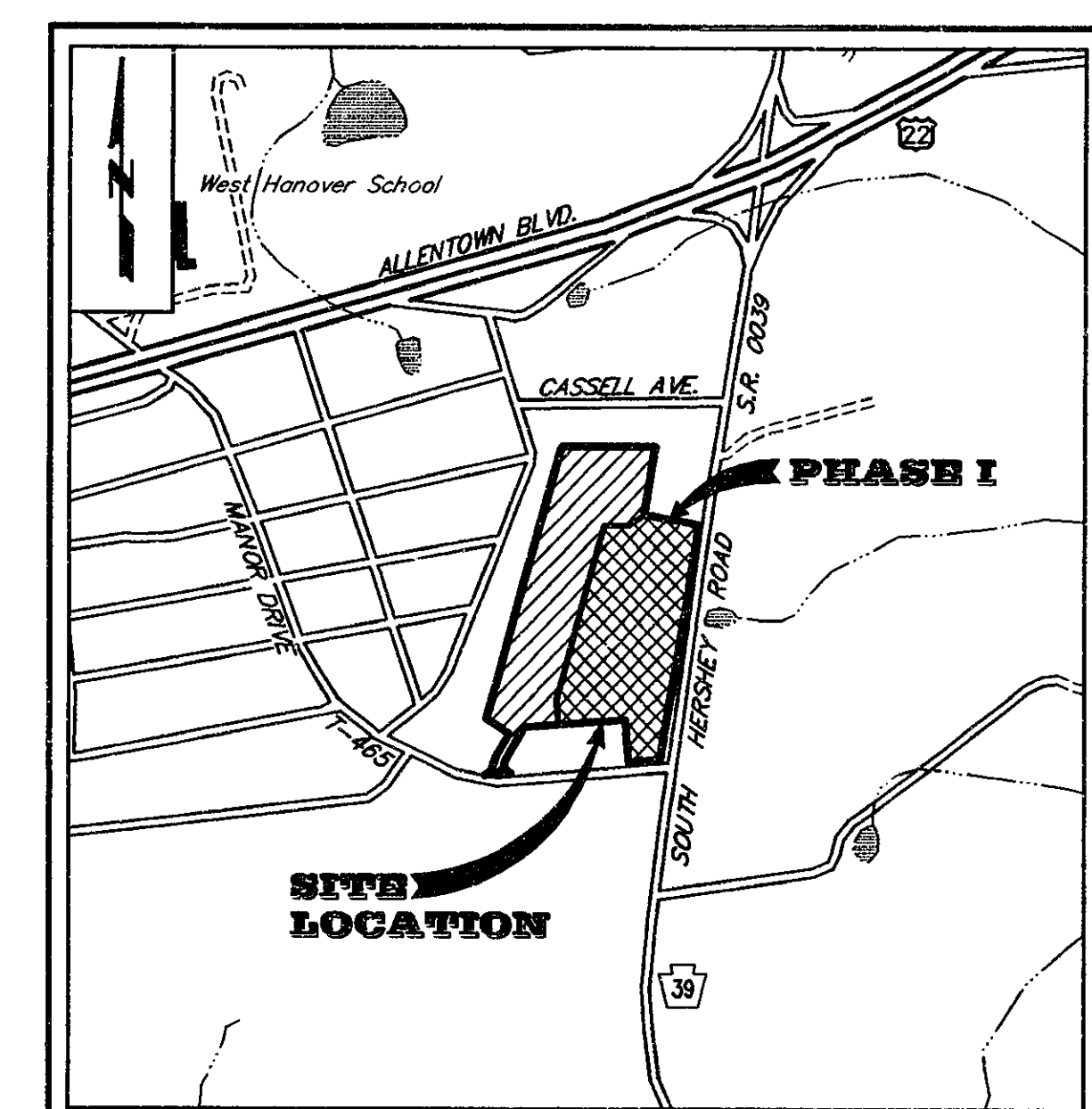
Total Tract Area	23,418 Ac.
Excluded Land	6.0 Ac.
Remaining Buildable Area	23,418 Ac.
Remaining Buildable Area	23,418 Ac.
Net Buildable Area	21,076 Ac.
Net Buildable Area	21,076 Ac.
0.1818 Ac. (5.5 Units Per Acre)	± 0.1818 Ac.
Allowable Lot Density	115.93 Lots

**OPEN SPACE CALCULATION**

15,532 Acres (R-3 Zone) x 20% =	3.65 Ac.
5,163 Acres (V Zone) x 15% =	± 0.77 Ac.
Total Open Space Required:	4.42 Ac.
Total Open Space Provided:	4.48 Ac.

**APPROVALS**

DEP Planning Module Approved: August 15, 2002.  
DEP Code No: AS-22937-307-3  
PENNDOT Highway Occupancy Permit Approved: June 14, 2002.  
Permit No: 02051982  
Erosion & Sediment Pollution Control Plan Approved: October 15, 2001.  
Permit No: PA010281/437-01-01



**SITE LOCATION**

SCALE: 1" = 1000'

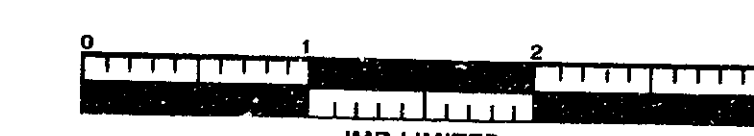
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7-8	SITE GRADING, DRAINAGE & UTILITY PLAN	9/16/02
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# FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

(FINAL SUBDIVISION PLAN # 01.013F/SB)  
WEST HANOVER TOWNSHIP DAUPHIN COUNTY PENNSYLVANIA

9/6/01



CALL BEFORE YOU DIG!  
PENNSYLVANIA LAW REQUIRES  
3 WORKING DAYS NOTICE FOR  
CONSTRUCTION PHASE AND 10 WORKING  
DAYS NOTICE IN DESIGN STAGE - STOP CALL  
Pennsylvania One Call System, Inc.  
1 (800) 242-1776

The Contractor shall verify all dimensions and existing conditions at the site before construction.

The Contractor shall comply with the provisions of Act 287 Notification of Utilities before excavation in the project area in order to determine the existence and location of all utilities. Prior to any construction, the Contractor will be required to contact all utilities and request them to mark their locations in the field. The One Call System telephone number is 1 (800) 242-1776. PA One Call Design I.D. #: 2401792

I hereby certify, to the best of my knowledge, that the proposed Landscape Plan meets or exceeds the minimum requirements of Section 1, Article 19 of the West Hanover Township Zoning Ordinance - Landscape Requirements.  
H. Edward Black, R.L.A. Reg. No. 789E  
H. Edward Black & Associates, P.C. (717) 233-1026

I hereby certify this plan to be correct and accurate to the best of my knowledge.  
Jeffrey W. Staub, P.E. (717) 545-5742

I hereby certify this boundary survey to be correct and accurate to the best of my knowledge.  
Gregory L. London, P.L.S. (717) 938-3591

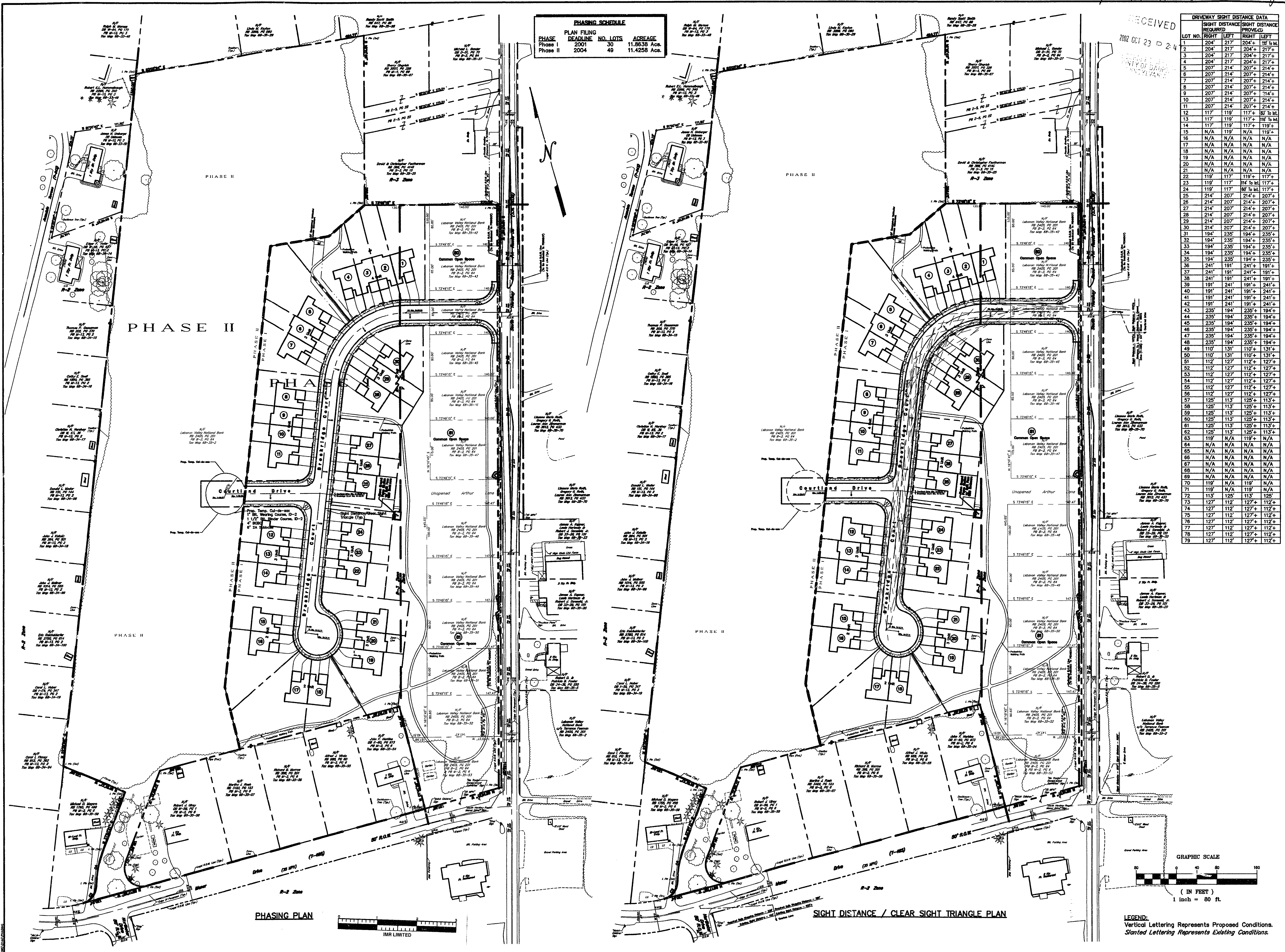
I hereby certify that there are no wetlands on the subject project, the proposed project will not impact off-site wetlands, and wetland permits are not required from the State or Federal Government.  
Edward J. VanBlargen  
Edward J. VanBlargen

**Dauphin Engineering Company**  
ENGINEERS • CONSULTANTS • PLANNERS  
44 Oak Park Road • Harrisburg, PA 17109  
PHONE: (717) 545-5742  
FAX: (717) 545-1034  
E-MAIL: DAUPHENG@AOL.COM

Owner:  
MTF Associates, Inc.  
4701 North Front Street  
Harrisburg, PA 17110  
Phone: (717) 233-3095



Plan Bk J Vol. 8 Pg. 12



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DRIVEWAY SIGHT DISTANCE DATA

MTF ASSOCIATES, INC.  
(Owner & Developer)  
4701 NORTH FRONT STREET HARRISBURG, PA 17110  
PHONE: (717) 233-3095

DAUPHIN ENGINEERING COMPANY  
CONSULTANTS - PA ENGINEERS  
44 Oak Park Road - Harrisburg, PA 17109  
PHONE: (717) 546-5742  
FAX: (717) 546-1034  
E-MAIL: DAUPHIN@DAUPHIN.COM

THE TOWNS AT HERSHEY ROAD  
SITE ADDRESS: PA ROUTE 99 & MANOR DRIVE  
WEST HANOVER TOWNSHIP, DAUPHIN COUNTY, PA

PHASE I  
FINAL SUBDIVISION & LAND DEVELOPMENT PLAN  
PHASING & SIGHT DISTANCE PLANS

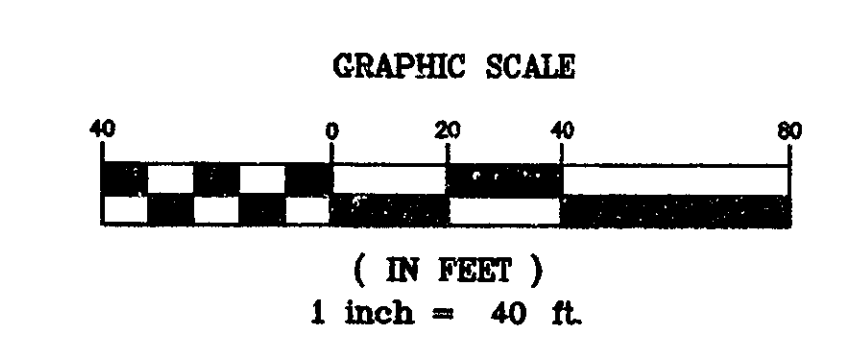
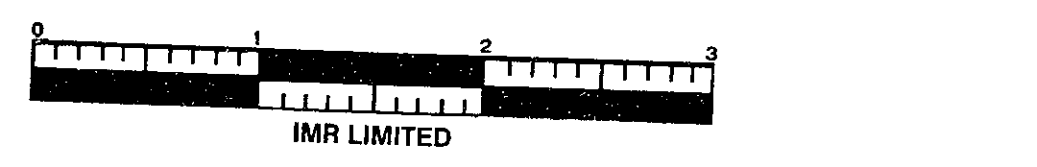
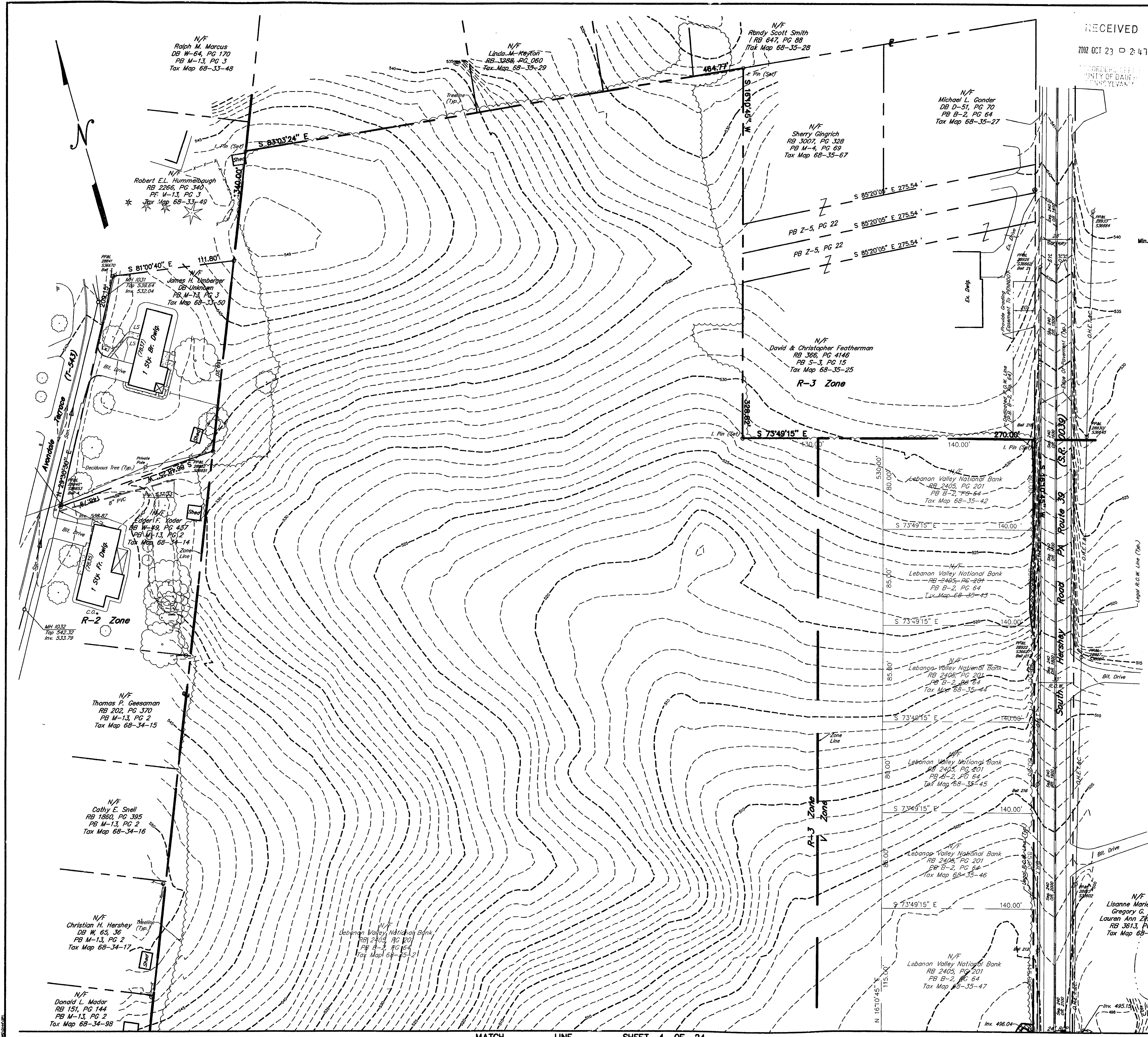
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DRAWN BY: D.E.C.  
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PROPERTY LINE CURVE DATA				
NUMBER	CD	LC	R	L
C1	S	37°00'46" W	150.00	4.76
C2	S	26°06'04" E	61.92	35.00
C3	N	54°42'27" E	42.08	35.00
C4	N	27°50'13" E	70.05	200.00

ABBREVIATION	DESCRIPTION	SYMBOL
<b>GENERAL</b>		
Typ. Found	Typical Found	
Approx. Loc.	Approximate Location	
<b>BOUNDARY/LEGAL</b>		
P.O.B.	Point Of Beginning	△
Cen. Line	Centerline	—+—+—+—
R.O.W.	Right-Of-Way Line	—+—+—+—
Min. Bldg. Setback Line	Utility Easement/Right-Of-Way Minimum Building Setback Line	—+—+—+—
Conc. Mon.	Property Corner Concrete Monument	⊙
I. Pin	Reinforcing Steel Bar/Iron Pin	⊙
P.K.	Type Of Nail Used For Survey Marker	⊙
<b>TOPOGRAPHY - GENERAL</b>		
Bit.	Bituminous Pavement	—+—+—+—
Conc.	Edge Of Gravel Concrete	—+—+—+—
L.S.	Tree, Bush Or Shrub Line	—+—+—+—
	Deciduous Tree	—+—+—+—
	Evergreen Tree	—+—+—+—
	Landscape Fence	—+—+—+—
	Existing Contour (With Elevation)	—+—+—+—
	Proposed Contour (With Elevation)	—+—+—+—
	Depression Contour	—+—+—+—
	Traffic Control Sign	—+—+—+—
	Wetlands	—+—+—+—
	Obscured Area	—+—+—+—
<b>TOPOGRAPHY - BUILDINGS</b>		
Apt.	Apartment	—+—+—+—
Bldg.	Block Building	—+—+—+—
Br.	Brick	—+—+—+—
Deq.	Dealing	—+—+—+—
F.F.	Finish Floor	—+—+—+—
Fr.	Frame	—+—+—+—
Sty.	Story	—+—+—+—
Elev.	Elevation	—+—+—+—
<b>TOPOGRAPHY - UTILITIES</b>		
PP&L	PPL Utilities	—+—+—+—
UE, UT, UC	Overhead Electric, Telephone, & Cable	—+—+—+—
	Underground Electric, Telephone, & Cable	—+—+—+—
GV	Gas Valve	—+—+—+—
WV	Water Valve	—+—+—+—
	Water Valve Utility Pole	—+—+—+—
FH	Guy Wire	—+—+—+—
	Fire Hydrant	—+—+—+—
	Street Light	—+—+—+—
<b>TOPOGRAPHY - SEWERS</b>		
Invt.	Invert	—+—+—+—
San.	Sanitary Sewer Flow Direction	—+—+—+—
San.	Sanitary Sewer Pipe	—+—+—+—
San.	Sanitary Sewer Manhole	—+—+—+—
San.	Sanitary Sewer Cleanout	—+—+—+—
San.	Storm Sewer Inlet	—+—+—+—
San.	Storm Sewer Junction Box	—+—+—+—
San.	Existing Storm Sewer Pipe	—+—+—+—
San.	Proposed Storm Sewer Pipe	—+—+—+—



MATCH LINE SHEET 4 OF 24

NO.	DATE	BY	REVISIONS
1	9/16/02	J.W.S.	TOWNSHIP COMMENTS - 12/12/01
2	6/18/02	D.E.C.	SEWER AUTHORITY COMMENTS - 4/19/02
3	2/20/02	D.E.C.	SEWER AUTHORITY COMMENTS - 10/9/01
4	12/20/01	D.E.C.	TOWNSHIP COMMENTS - 10/17/01
5	10/4/01	D.E.C.	TOWNSHIP COMMENTS - 9/13/01

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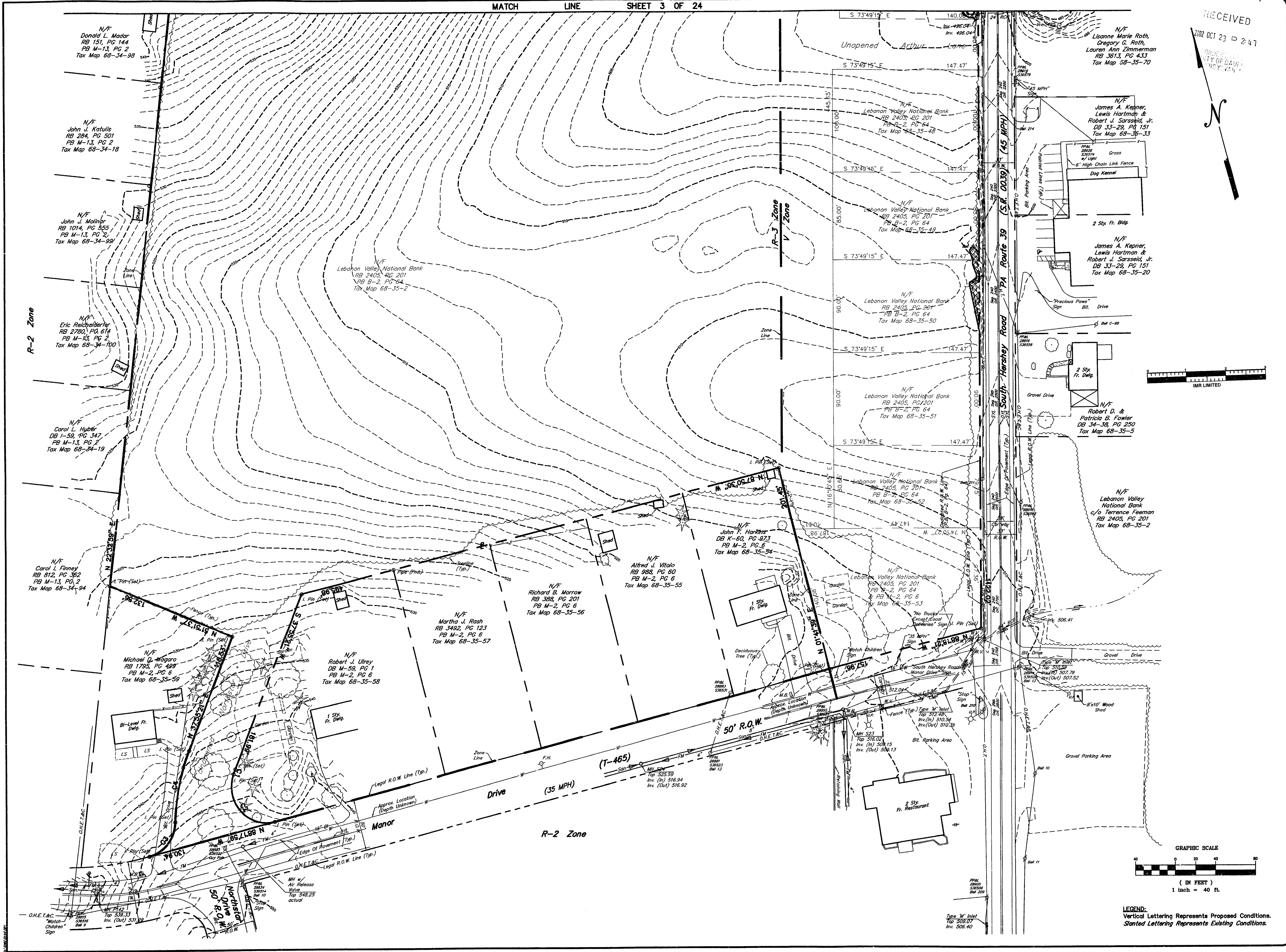
THE TOWNS AT HERSHEY ROAD  
DAUPHIN COUNTY, PA  
SITE ADDRESS: PA ROUTE 39 & MAJOR DRIVE  
WEST HANOVER TOWNSHIP

PHASE I  
FINAL SUBDIVISION & LAND DEVELOPMENT PLAN  
ORIGINAL PROPERTY  
DESCRIPTION MAP

CHECKED BY:	J.W.S.
DRAWN BY:	D.E.C.
SCALE:	1" = 40'
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DATE:	9/6/01
SHEET NO.	3 OF 24



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DATE	REVISIONS
9/16/02	TOWNSHIP COMMENTS - 12/12/01
2/20/02	SEWER AUTHORITY COMMENTS - 10/9/01
12/20/01	TOWNSHIP COMMENTS - 10/17/01
10/4/01	TOWNSHIP COMMENTS - 9/15/01

**Dauphin Engineering Company**  
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THE TOWNS AT HERSHEY ROAD  
SITE ADDRESS: PA ROUTE 39 & MANOR DRIVE  
WEST HANOVER TOWNSHIP DAUPHIN COUNTY, PA

PHASE I  
FINAL SUBDIVISION & LAND DEVELOPMENT PLAN  
**ORIGINAL PROPERTY DESCRIPTION MAP**

CHECKED BY:	J.W.S.
DRAWN BY:	D.E.C.
SCALE:	1" = 40'
CONTOUR INT:	1'
DATE:	9/6/01
SHEET NO.	4 OF 24

LEGEND:  
Vertical Lettering Represents Proposed Conditions.  
Slanted Lettering Represents Existing Conditions.



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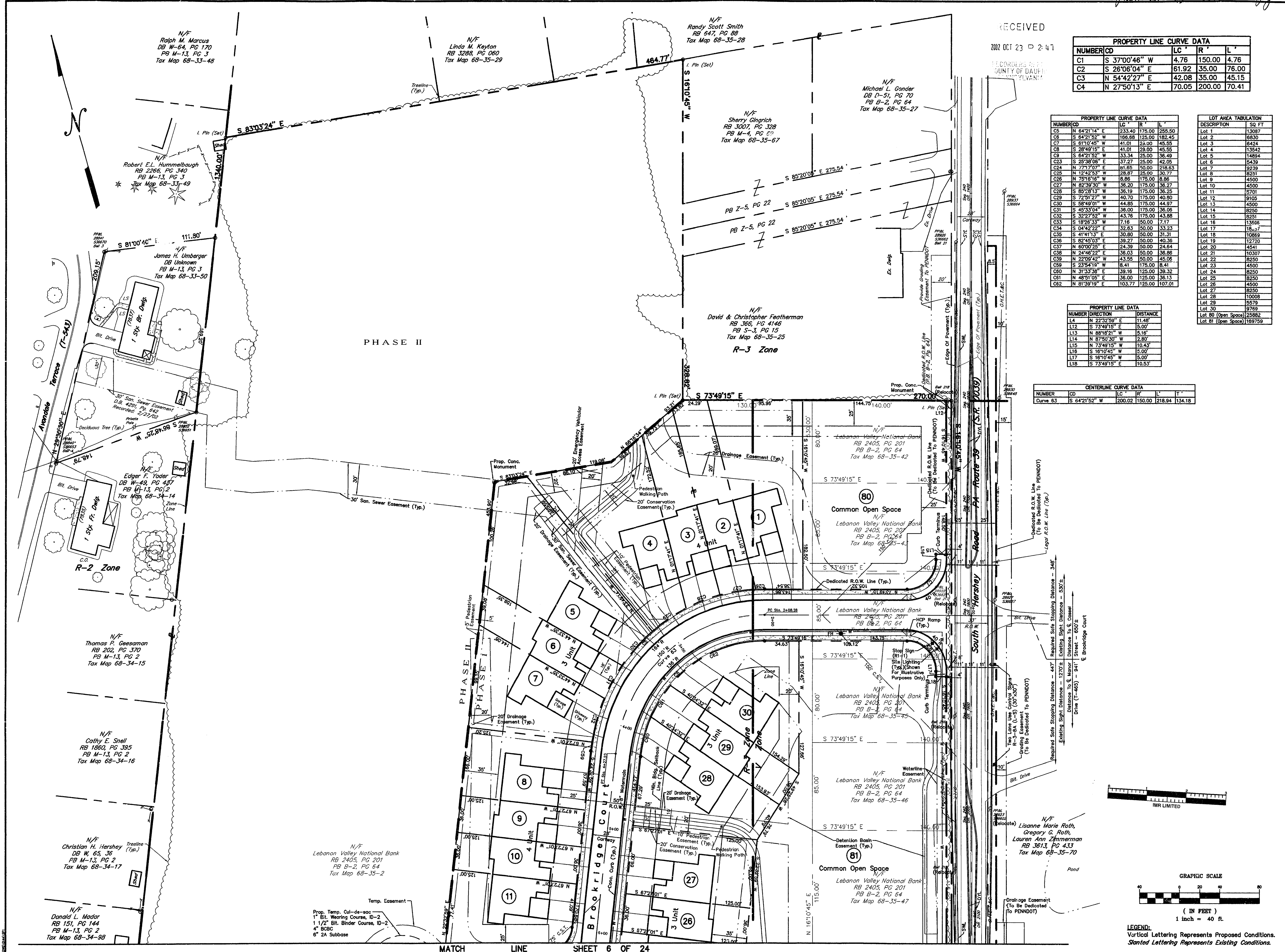
PROPERTY LINE CURVE DATA			
NUMBER	CD	LC	R
C1	S 37°00'46" W	4.76	150.00
C2	S 28°06'04" E	61.92	35.00
C3	N 54°42'27" E	42.08	35.00
C4	N 27°50'13" E	70.05	200.00

PROPERTY LINE CURVE DATA			
NUMBER	CD	LC	R
C5	N 64°21'14" E	233.40	175.00
C6	S 64°21'52" W	196.88	125.00
C7	S 61°10'45" W	41.01	25.00
C8	S 28°49'15" E	41.01	25.00
C9	S 64°21'52" W	33.34	25.00
C10	S 28°49'15" E	61.65	25.00
C11	N 17°42'53" W	28.87	25.00
C12	N 75°16'18" W	8.86	175.00
C13	N 82°39'30" W	36.20	175.00
C14	S 85°28'13" W	36.19	175.00
C15	S 72°31'27" W	40.70	175.00
C16	S 58°49'01" W	44.85	175.00
C17	S 45°33'04" W	36.00	175.00
C18	S 32°27'52" W	43.76	175.00
C19	S 19°29'33" W	71.19	50.00
C20	S 04°42'22" E	32.63	50.00
C21	S 41°41'13" E	30.80	50.00
C22	S 67°45'03" E	39.27	50.00
C23	N 69°00'25" E	24.39	50.00
C24	N 24°46'22" E	36.03	50.00
C25	N 22°59'42" W	43.55	50.00
C26	S 23°54'18" W	8.41	175.00
C27	N 37°33'38" E	39.16	125.00
C28	N 48°51'05" E	35.00	125.00
C29	N 81°39'19" E	103.77	125.00

LOT AREA TABULATION	
NUMBER	DESCRIPTION
Lot 1	13087
Lot 2	8830
Lot 3	6424
Lot 4	13542
Lot 5	14894
Lot 6	5439
Lot 7	9239
Lot 8	8921
Lot 9	4550
Lot 10	4500
Lot 11	5701
Lot 12	9105
Lot 13	4500
Lot 14	8250
Lot 15	8251
Lot 16	13668
Lot 17	18,27
Lot 18	10969
Lot 19	12730
Lot 20	4541
Lot 21	10307
Lot 22	8250
Lot 23	4500
Lot 24	8250
Lot 25	4500
Lot 26	4500
Lot 27	8250
Lot 28	10008
Lot 29	15779
Lot 30	9769
Lot 80 (Open Space)	22882
Lot 81 (Open Space)	103759

PROPERTY LINE DATA			
NUMBER	DIRECTION	DISTANCE	REMARKS
L1	N 12°32'59" E	11.48'	
L2	S 73°49'15" E	5.00'	
L3	N 88°16'21" W	5.18'	
L4	N 87°50'50" W	2.80'	
L5	N 73°49'15" W	10.43'	
L6	S 16°10'45" W	5.00'	
L7	S 16°10'45" W	5.00'	
L8	S 73°49'15" E	10.53'	

CENTERLINE CURVE DATA			
NUMBER	CD	LC	R
Curve 63	S 42°21'52" W	200.02	150.00
		218.84	134.18



**Dauphin Engineering Company**  
 ENGINEERS • CONSULTANTS • PLANNERS  
 4 Oak Phone (717) 545-5142  
 FAX (717) 545-1034  
 E-MAIL DAUPHIN@DAUPHIN.COM

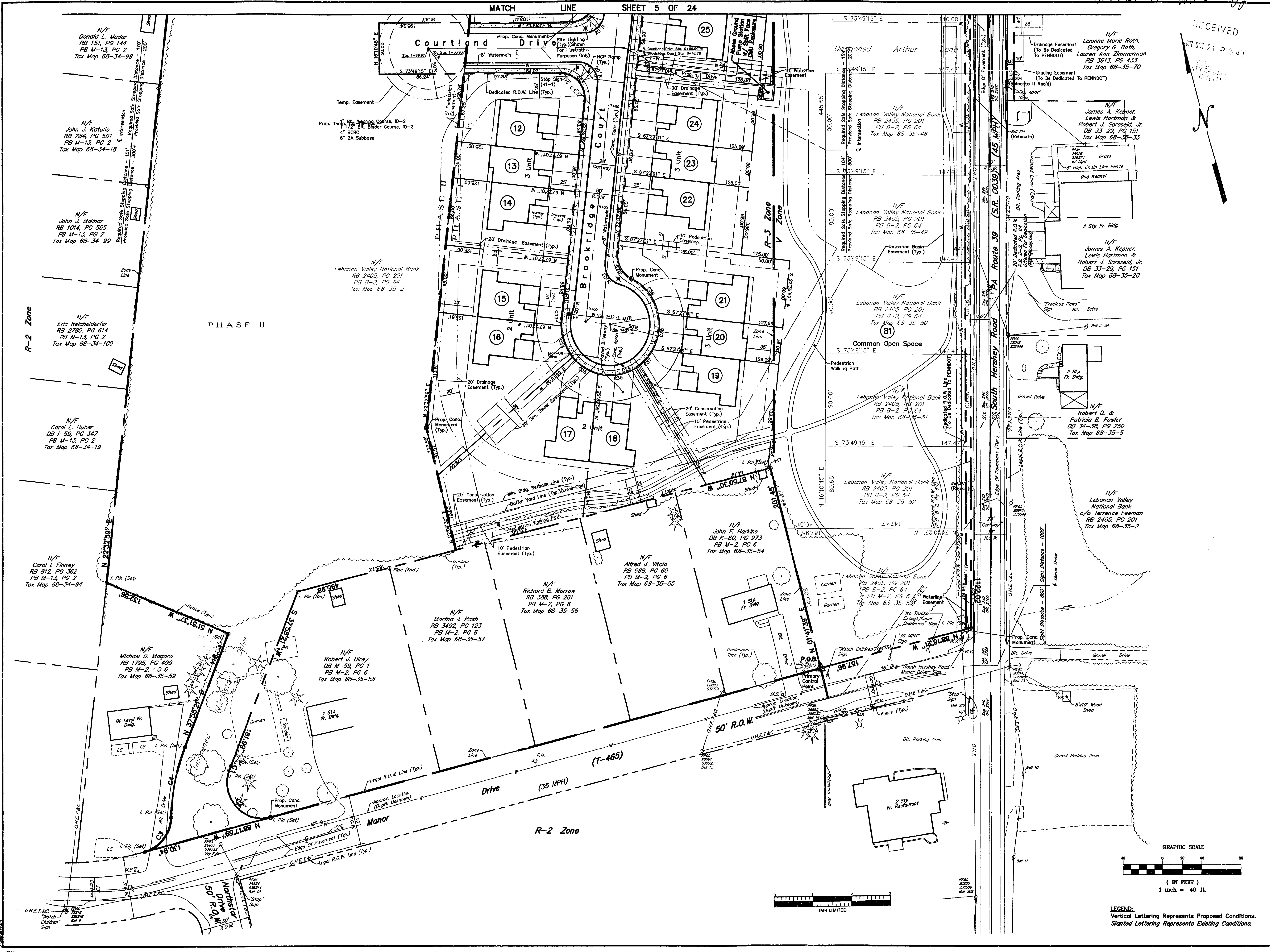
**MTF ASSOCIATES, INC.**  
 (Owner & Developer)  
 4701 NORTH FRONT STREET  
 HARRISBURG, PA 17110  
 PHONE (717) 233-3095

**PHASE I  
 FINAL SUBDIVISION & LAND DEVELOPMENT PLAN  
 SITE PLAN PROPOSED CONDITION**

CHECKED BY: J.W.S.  
 DRAWN BY: D.E.C.  
 SCALE: 1" = 40'  
 CONTOUR INT: N/A  
 DATE: 9/6/01  
 SHEET NO. 5 OF 24



Plan Bk J Vol 8 Pg 16



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NO.	DATE	REVISIONS
1	9/16/01	TOWNSHIP COMMENTS - 12/12/01
2	2/20/02	SEWER AUTHORITY COMMENTS - 10/9/01
3	12/10/02	TOWNSHIP COMMENTS - 10/11/01
4	10/1/03	TOWNSHIP COMMENTS - 9/13/01

<b>Dauphin Engineering Company</b> ENGINEERS - CONSULTANTS - PLANNERS 44 Oak Park Road - Harrisburg, PA 17109 PHONE: (717) 546-5942 E-MAIL: DAUPHIN@DAUPHIN.COM	
<b>MTF ASSOCIATES, INC.</b> (Owner & Developer) 4701 NORTH FRONT STREET - HARRISBURG, PA 17110 PHONE: (717) 233-3095	<b>THE TOWNES AT HERSHEY ROAD</b> SITE ADDRESS: PA ROUTE 39 & MANOR DRIVE WEST HANOVER TOWNSHIP DAUPHIN COUNTY, PA
<b>PHASE I</b> <b>FINAL SUBDIVISION &amp; LAND DEVELOPMENT PLAN</b> <b>SITE PLAN PROPOSED CONDITION</b>	
CHECKED BY:	J.W.S.
DRAWN BY:	D.E.C.
SCALE:	1" = 40'
CONTOUR INT:	N/A
DATE:	9/6/01
SHEET NO.	6 OF 24

BK - J VOL - 8 PG - 16



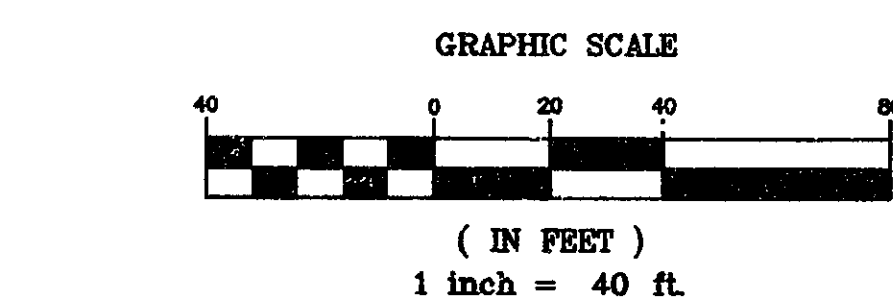
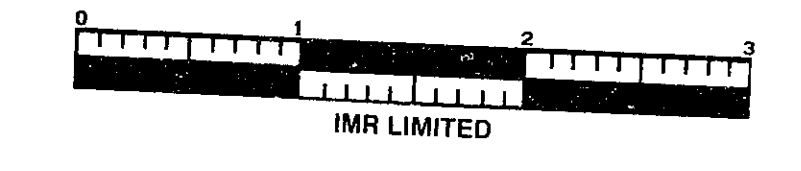
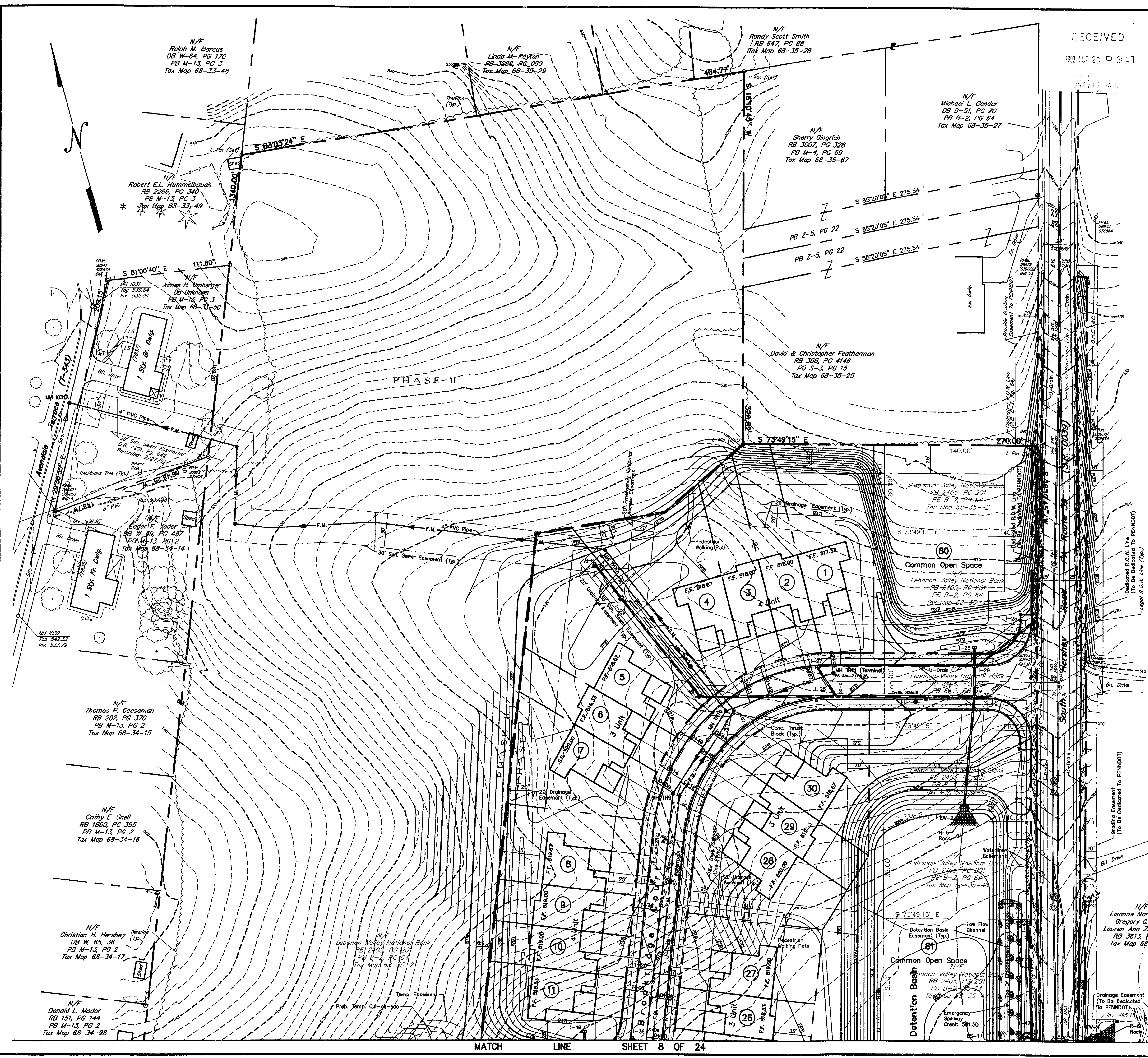
RECEIVED  
2002 OCT 23 2 41

PROPERTY LINE CURVE DATA			
NUMBER	CD	LC	R
C1	S 37°00'46" W	4.76	150.00
C2	S 26°06'04" E	61.92	35.00
C3	N 54°42'27" E	42.08	35.00
C4	N 27°50'13" E	70.05	200.00

STORM SEWER INLET & PIPE CHART						
BROOKHEDGE COURT						
STA.	INLET NO.	INLET TYPE	TOP IN	TOP OUT	PIPE LENGTH	PIPE SIZE
2+13 RL	-27	C	515.36	511.86	29 LF	18" CAP
2+06 LL	-28 C (Modified)	515.18	511.57	508.50	125 LF	30" CAP
0+77 RL	-30 C (Modified)	513.18	505.81	505.71	95 LF	30" CAP
	DW-2 DW Endcut	-	-	500.00	-	-
	-26 M	513.50	-	510.50	-	-
0+77 RL	-29 C	513.18	509.88	508.58	24 LF	18" CAP
0+77 LL	-30 C	513.18	509.34	505.71	71 LF	18" CAP
	-25 C	515.75	-	512.75	-	-
0+77 RL	-29 C	513.18	509.88	508.58	64 LF	18" CAP
8+80 RL	-32 C	515.56	511.03	510.83	29 LF	30" CAP
8+47 LL	-33 C (Modified)	515.43	510.84	510.54	71 LF	30" CAP
7+70 LL	-35 C (E)	514.93	509.68	508.58	107 LF	30" CAP
6+58 LL	-8-5 Junction Box (Modified)	516.05	508.11	508.01	202 LF	30" CAP
	DW-3 DW Endcut	-	-	498.00	-	-
7+70 RL	-34 C (E)	514.83	-	511.44	-	-
7+70 LL	-35 C (E)	514.83	511.22	508.58	22 LF	18" CAP
6+10 RL	-38 C	516.54	-	512.58	-	-
6+24 LL	-37 C	516.43	512.27	512.17	30 LF	18" CAP
6+58 LL	-8-5 Junction Box (Modified)	516.05	511.87	508.01	-	-

COURTLAND DRIVE						
STA.	INLET NO.	INLET TYPE	TOP IN	TOP OUT	PIPE LENGTH	PIPE SIZE
1+87 RL	-38 M	525.28	-	522.28	-	-
1+82 LL	-39 C	524.15	521.11	521.01	108 LF	18" CAP
0+39 LL	-41 C	517.08	512.36	512.26	47 LF	18" CAP
8+58 LL	-8-5 Junction Box	516.05	511.79	508.01	47 LF	18" CAP
	-46 M	516.00	-	513.00	-	-
0+53 RL	-40 C	517.76	512.75	512.85	25 LF	18" CAP
0+39 LL	-41 C	517.08	512.36	512.26	29 LF	18" CAP

MISCELLANEOUS INLETS						
STA.	INLET NO.	INLET TYPE	TOP IN	TOP OUT	PIPE LENGTH	PIPE SIZE
-	-31 M	516.10	512.85	512.85	132 LF	30" CAP
8+80 RL	-32 C	515.56	511.03	510.83	-	-
	-24 M	508.00	-	505.00	-	-
	DW-1 DW Endcut	-	-	500.00	-	-
	OS-1 M (E)	501.50	-	498.00	-	-
	-42 S (E)	499.50	493.32	494.87	38 LF	36" RCP
	DW-4 DW Endcut	-	-	494.00	-	-
	-43 S	500.91	-	497.41	-	-
	-42 S (E)	499.50	496.38	494.87	100 LF	18" CAP
	-44 S	501.57	-	498.07	-	-
	-42 S (E)	499.50	496.38	494.87	100 LF	18" CAP
	-8-6 Junction Box	519.00	513.33	514.83	36 LF	30" CAP
	-23 M	517.50	513.85	513.85	108 LF	30" CAP
	-8-4 Junction Box	517.80	511.35	511.25	123 LF	30" CAP
2+08 LL	-28 C (Modified)	515.16	508.80	508.50	-	-



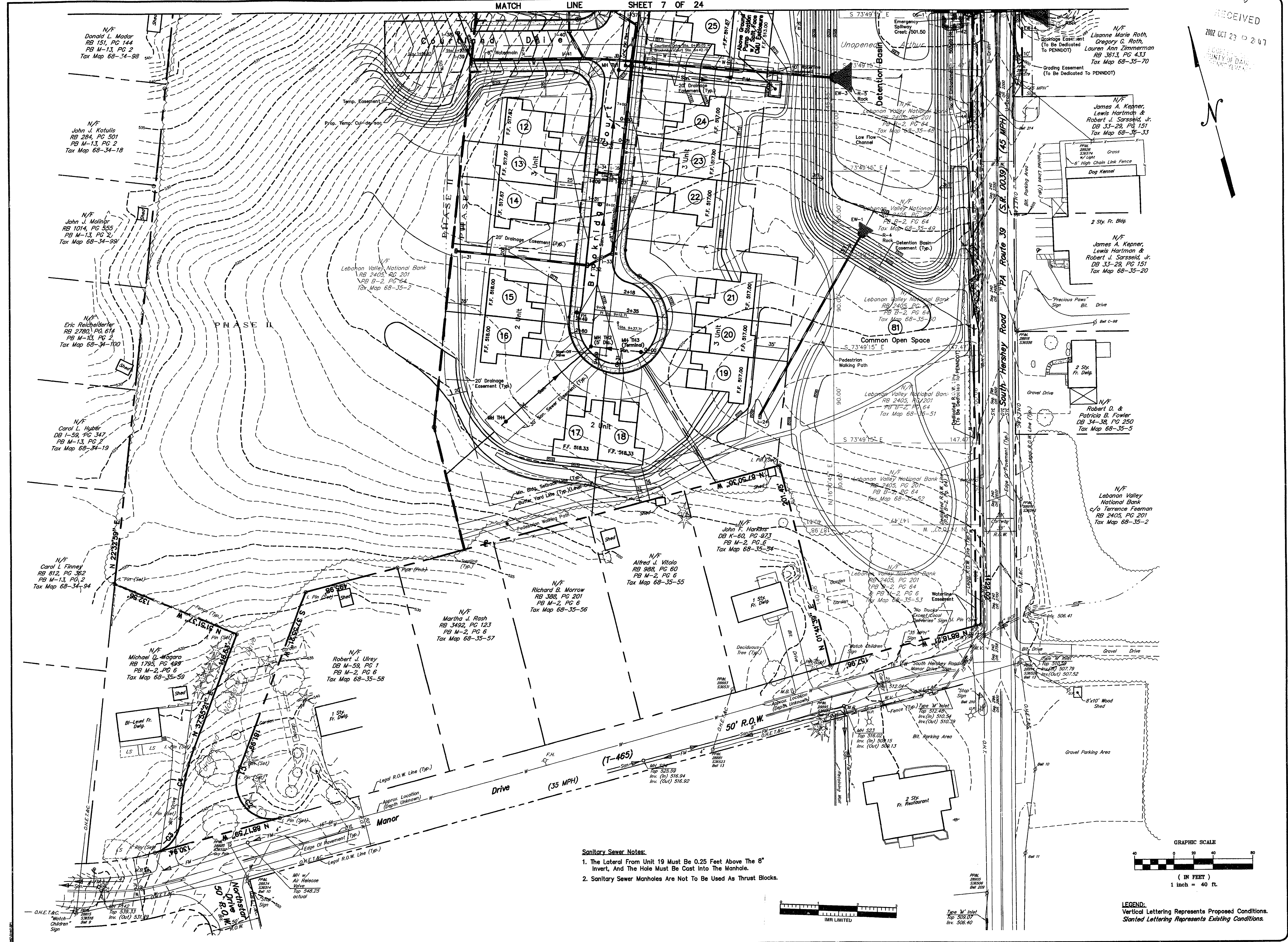
LEGEND:  
Vertical Lettering Represents Proposed Conditions.  
Slanted Lettering Represents Existing Conditions.

<p>Dauphin Engineering Company ENGINEERS - CONSULTANTS - PLANNERS 44 Oak Street, Harrisburg, PA 17109 PHONE: (717) 545-5724 FAX: (717) 545-1034 E-MAIL: DAUPHIN@COMcast.com</p>	<p>MTF ASSOCIATES, INC. (Owner &amp; Developer) 4701 NORTH FRONT STREET HARRISBURG, PA 17110 PHONE: (717) 233-0095</p>	<p>PHASE I FINAL SUBDIVISION &amp; LAND DEVELOPMENT PLAN SITE GRADING, DRAINAGE &amp; UTILITY PLAN</p>																		
<p>CHECKED BY: J.W.S. DRAWN BY: D.E.C. SCALE: 1" = 40' CONTOUR INT: 1' DATE: 9/8/01 SHEET NO. 7 OF 24</p>	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>9/16/02</td> <td>TOWNSHIP COMMENTS - 12/12/01</td> </tr> <tr> <td>2</td> <td>9/16/02</td> <td>TOWNSHIP COMMENTS - 4/19/02</td> </tr> <tr> <td>3</td> <td>2/29/02</td> <td>SEWER AUTHORITY COMMENTS - 10/21/01</td> </tr> <tr> <td>4</td> <td>12/10/01</td> <td>TOWNSHIP COMMENTS - 10/21/01</td> </tr> <tr> <td>5</td> <td>10/14/01</td> <td>TOWNSHIP COMMENTS - 9/13/01</td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	1	9/16/02	TOWNSHIP COMMENTS - 12/12/01	2	9/16/02	TOWNSHIP COMMENTS - 4/19/02	3	2/29/02	SEWER AUTHORITY COMMENTS - 10/21/01	4	12/10/01	TOWNSHIP COMMENTS - 10/21/01	5	10/14/01	TOWNSHIP COMMENTS - 9/13/01	<p>DAUPHIN COUNTY, PA WEST HANOVER TOWNSHIP</p>
NO.	DATE	DESCRIPTION																		
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5	10/14/01	TOWNSHIP COMMENTS - 9/13/01																		

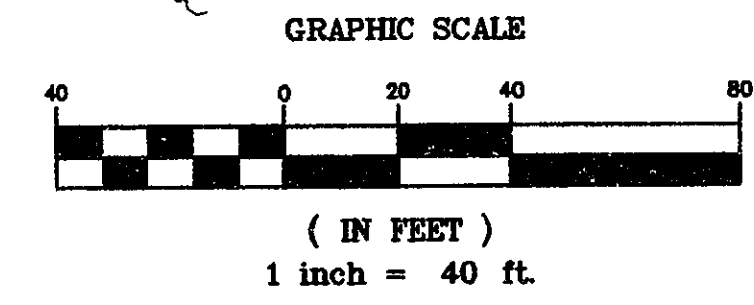


Plan Bk J Vol 8 Pg 18

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**Sanitary Sewer Notes:**  
 1. The Lateral From Unit 19 Must Be 0.25 Feet Above The 8" Invert, And The Hole Must Be Cast Into The Manhole.  
 2. Sanitary Sewer Manholes Are Not To Be Used As Thrust Blocks.



**LEGEND:**  
 Vertical Lettering Represents Proposed Conditions.  
 Slanted Lettering Represents Existing Conditions.

DATE	REVISIONS	BY
9/16/01	TOWNSHIP COMMENTS - 12/12/01	M.S.
7/20/01	SERIAL AUTHORITY COMMENTS - 10/19/01	C.R.
12/10/01	TOWNSHIP COMMENTS - 10/17/01	M.S.
10/4/01	TOWNSHIP COMMENTS - 9/17/01	M.S.

**Dauphin Engineering Company**  
 ENGINEERS • CONSULTANTS • PLANNERS  
 44 Oak Park Road • Harrisburg, PA 17109  
 PHONE: (717) 648-1000  
 FAX: (717) 648-1004  
 E-MAIL: DAUPHIN@GOL.COM

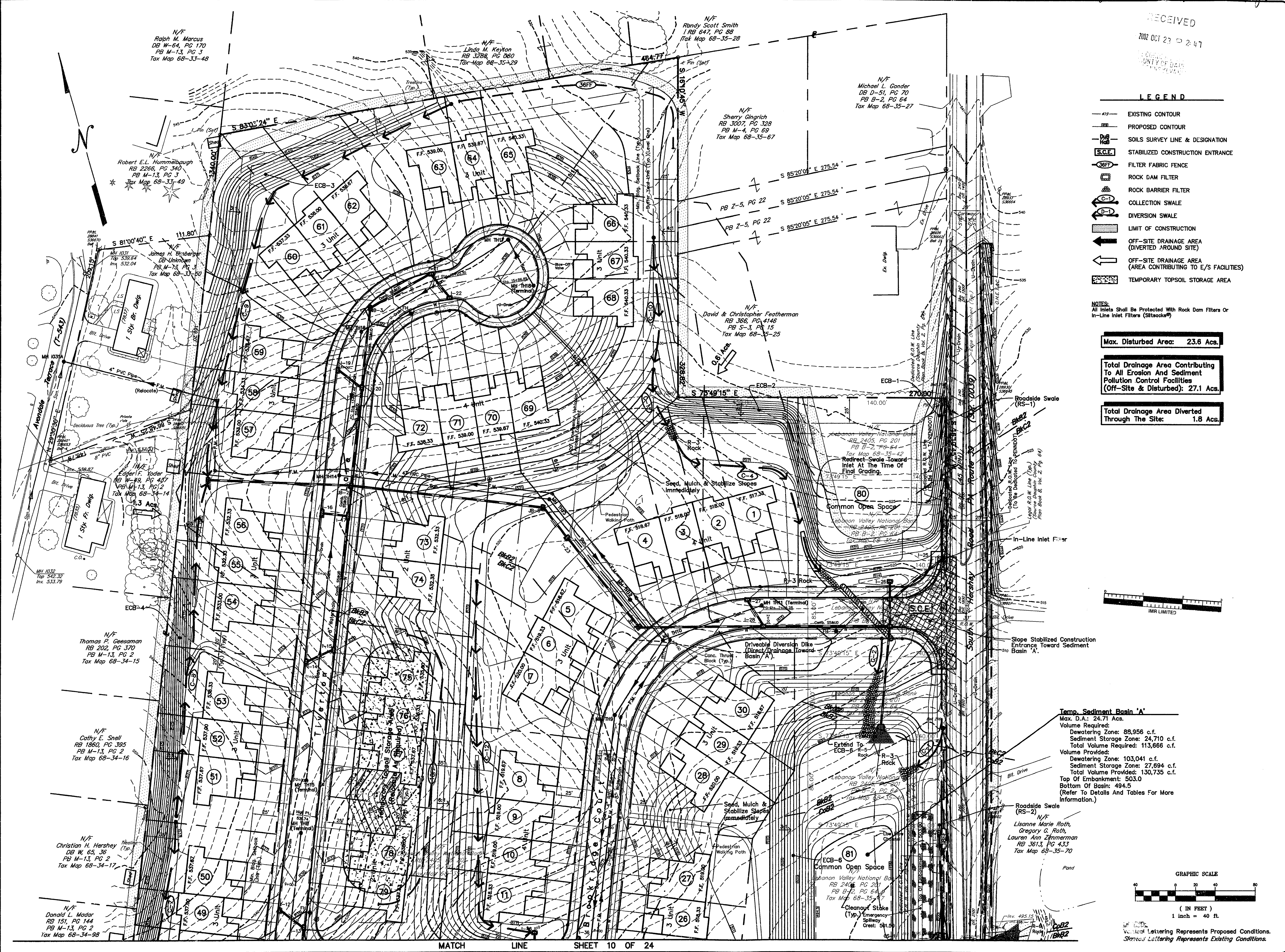
**MTF ASSOCIATES, INC.**  
 (Owner & Developer)  
 4701 NORTH FRONT STREET HARRISBURG, PA 17110  
 PHONE: (717) 233-5085  
 THE TOWNES AT HERSEY ROAD  
 SITE ADDRESS: PA ROUTE 39 & MANOR DRIVE  
 WEST HANOVER TOWNSHIP DAUPHIN COUNTY, PA

**PHASE I**  
**FINAL SUBDIVISION & LAND DEVELOPMENT PLAN**  
**SITE GRADING, DRAINAGE & UTILITY PLAN**

CHECKED BY: J.W.S.  
 DRAWN BY: D.E.C.  
 SCALE: 1" = 40'  
 CONTOUR INT: 1'  
 DATE: 9/6/01  
 SHEET NO. 8 OF 24



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2002 OCT 23 9 247



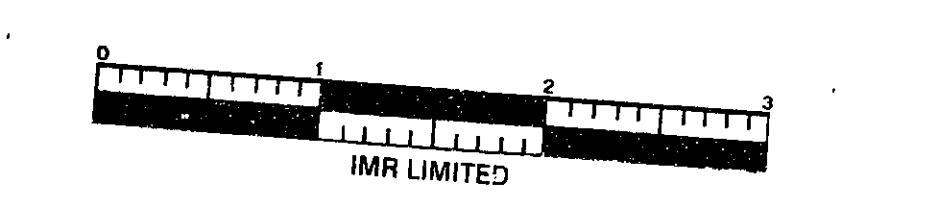
- LEGEND**
- - - EXISTING CONTOUR
  - PROPOSED CONTOUR
  - SOILS SURVEY LINE & DESIGNATION
  - S.C.E. STABILIZED CONSTRUCTION ENTRANCE
  - FILTER FABRIC FENCE
  - ROCK DAM FILTER
  - ROCK BARRIER FILTER
  - COLLECTION SWALE
  - DIVERSION SWALE
  - LIMIT OF CONSTRUCTION
  - OFF-SITE DRAINAGE AREA (DIVERGED AROUND SITE)
  - OFF-SITE DRAINAGE AREA (AREA CONTRIBUTING TO E/S FACILITIES)
  - TEMPORARY TOPSOIL STORAGE AREA

**NOTES:**  
All Inlets Shall Be Protected With Rock Dam Filters Or In-Line Inlet Filters (Sitacok®)

**Max. Disturbed Area: 23.6 Acs.**

**Total Drainage Area Contributing To All Erosion And Sediment Pollution Control Facilities (Off-Site & Disturbed): 27.1 Acs.**

**Total Drainage Area Diverted Through The Site: 1.8 Acs.**



**Temp. Sediment Basin 'A'**  
Max. D.A.: 24.71 Acs.  
Volume Required:  
Dewatering Zone: 88,956 c.f.  
Sediment Storage Zone: 24,710 c.f.  
Total Volume Required: 113,666 c.f.  
Volume Provided:  
Dewatering Zone: 103,041 c.f.  
Sediment Storage Zone: 27,694 c.f.  
Total Volume Provided: 130,735 c.f.  
Top of Embankment: 503.0  
Bottom of Basin: 494.5  
(Refer To Details And Tables For More Information.)

Checked by: Lianne Marie Roth, Gregory G. Roth, Lauren Ann Zimmerman  
RB 3613, PG 433  
Tax Map 68-35-70

TOWNSHIP COMMENTS	DATE	BY
12/12/01		
SEWER AUTHORITY COMMENTS - 4/19/02		
SEWER AUTHORITY COMMENTS - 10/9/01		
TOWNSHIP COMMENTS - 10/11/01		
TOWNSHIP COMMENTS - 9/13/01		

**Dauphin Engineering Company**  
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ENGINEERS • SURVEYORS  
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**MTF ASSOCIATES, INC.**  
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PHONE: (717) 233-3095

THE TOWNS AT HERSEY ROAD  
SITE ADDRESS: PA ROUTE 39 & MANOR DRIVE  
WEST HANOVER TOWNSHIP • DAUPHIN COUNTY, PA

**PHASE I FINAL SUBDIVISION & LAND DEVELOPMENT PLAN**  
**EROSION & SEDIMENT POLLUTION CONTROL PLAN**

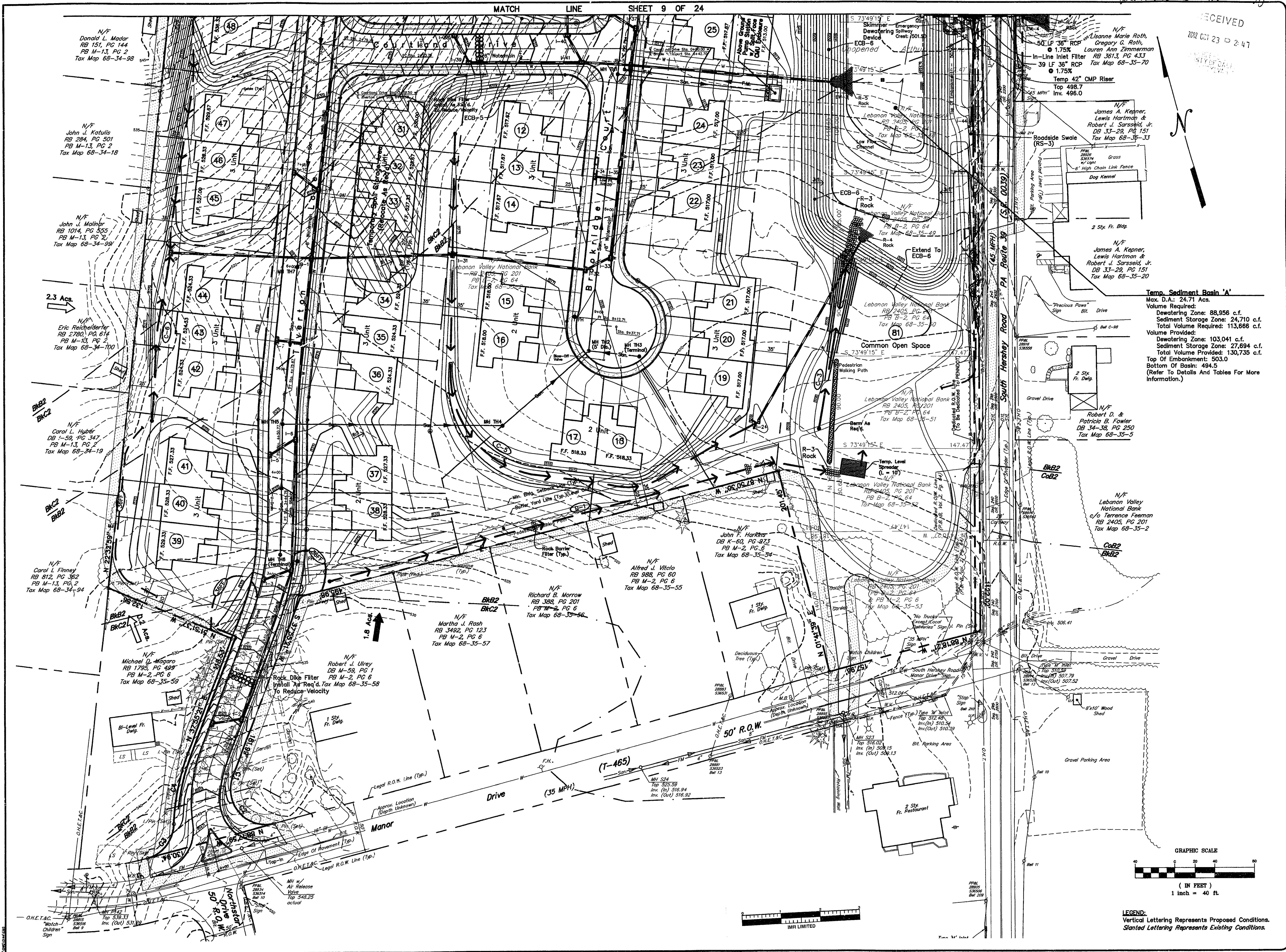
CHECKED BY:	J.W.S.
DRAWN BY:	D.E.C.
SCALE:	1" = 40'
CONTOUR INT:	1'
DATE:	9/6/01
SHEET NO.	9 OF 24



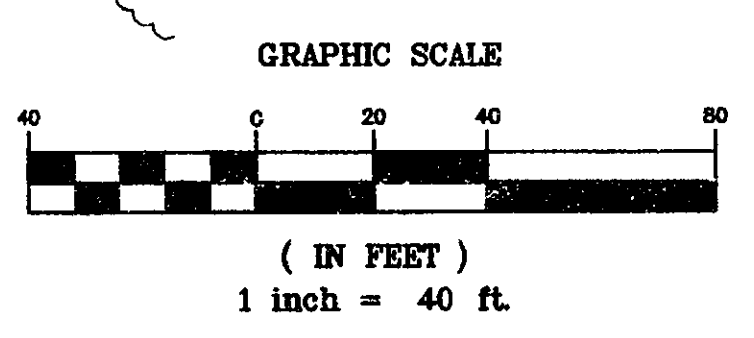
Plan Bk J Vol 8 Pg 20

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2002 OCT 23 2 47

MATCH LINE SHEET 9 OF 24



**Temp. Sediment Basin 'A'**  
 Max. D.A.: 24.71 Acs.  
 Volume Required:  
 Dewatering Zone: 88,956 c.f.  
 Sediment Storage Zones: 24,710 c.f.  
 Total Volume Required: 113,666 c.f.  
 Volume Provided:  
 Dewatering Zone: 103,041 c.f.  
 Sediment Storage Zones: 27,694 c.f.  
 Total Volume Provided: 130,735 c.f.  
 Top Of Embankment: 503.0  
 Bottom Of Basin: 494.5  
 (Refer To Details And Tables For More Information.)



LEGEND:  
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 Slanted Lettering Represents Existing Conditions.

NO.	DATE	REVISIONS
1	10/17/01	TOWNSHIP COMMENTS - 10/17/01
2	10/17/01	SEWER AUTHORITY COMMENTS - 10/9/01
3	10/17/01	TOWNSHIP COMMENTS - 10/17/01
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**Dauphin Engineering Company**  
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 THE TOWNS AT HERSEY ROAD  
 SITE ADDRESS: PA ROUTE 39 & MANOR DRIVE  
 DAUPHIN COUNTY, PA  
 WEST HANOVER TOWNSHIP

PHASE I  
 FINAL SUBDIVISION & LAND DEVELOPMENT PLAN  
 EROSION & SEDIMENT POLLUTION  
 CONTROL PLAN

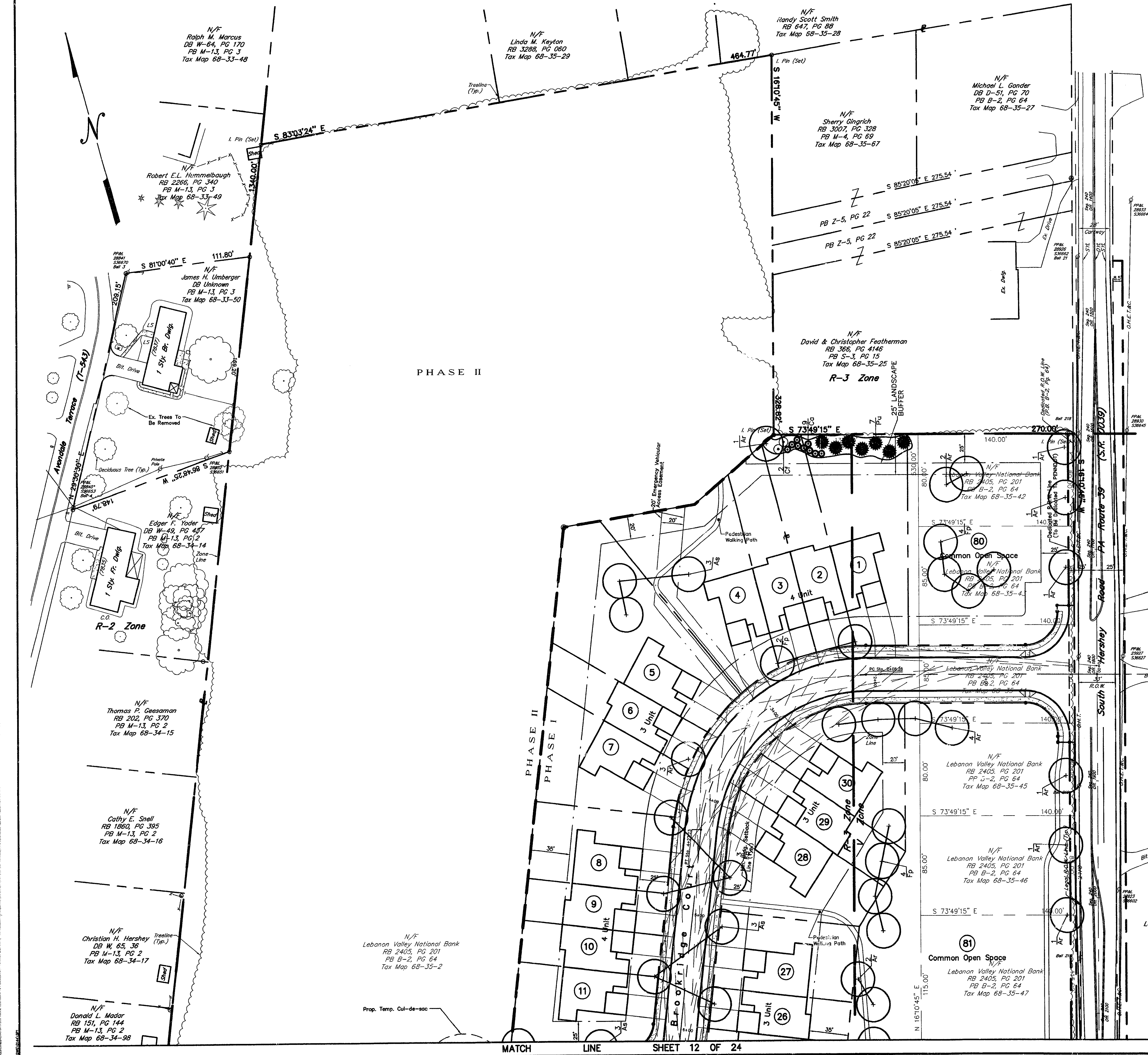
CHECKED BY: J.W.S.  
 DRAWN BY: D.E.C.  
 SCALE: 1" = 40'  
 CONTOUR INT: 1'  
 DATE: 9/6/01  
 SHEET NO. 10 OF 24



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2002 OCT 23

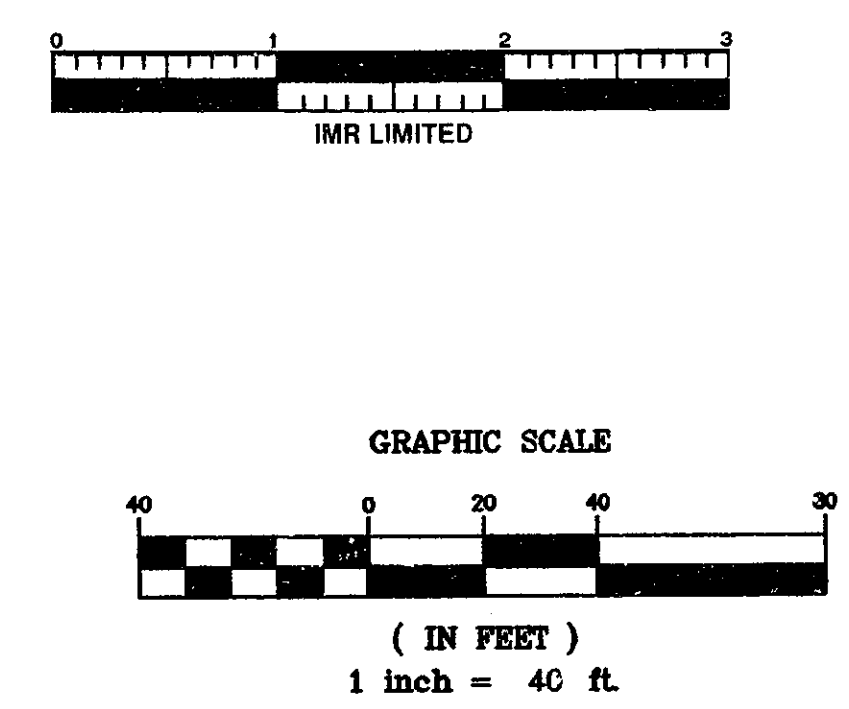
PROPERTY LINE CURVE DATA				
NUMBER	CD	LC	R	L
C1	S	37°00'46" W	4.76	150.00 4.76
C2	S	26°06'04" E	61.92	35.00 76.00
C3	N	54°42'27" E	42.08	35.00 45.15
C4	N	27°50'13" E	70.05	200.00 70.41

DRIVEWAY SIGHT DISTANCE DATA				
LOT NO.	RIGHT	LEFT	RIGHT	LEFT
1	204'	217'	204'	199' to 181'
2	204'	217'	204'	217'
3	204'	217'	204'	217'
4	204'	217'	204'	217'
5	207'	214'	207'	214'
6	207'	214'	207'	214'
7	207'	214'	207'	214'
8	207'	214'	207'	214'
9	207'	214'	207'	214'
10	207'	214'	207'	214'
11	207'	214'	207'	214'
12	117'	119'	117'	119' to 117'
13	117'	119'	117'	119' to 117'
14	117'	119'	117'	119'
15	N/A	N/A	N/A	N/A
16	N/A	N/A	N/A	N/A
17	N/A	N/A	N/A	N/A
18	N/A	N/A	N/A	N/A
19	N/A	N/A	N/A	N/A
20	N/A	N/A	N/A	N/A
21	N/A	N/A	N/A	N/A
22	119'	117'	119'	117'
23	119'	117'	119'	117'
24	119'	117'	119'	117'
25	214'	207'	214'	207'
26	214'	207'	214'	207'
27	214'	207'	214'	207'
28	214'	207'	214'	207'
29	214'	207'	214'	207'
30	214'	207'	214'	207'
31	194'	235'	194'	235'
32	194'	235'	194'	235'
33	194'	235'	194'	235'
34	194'	235'	194'	235'
35	194'	235'	194'	235'
36	241'	191'	241'	191'
37	241'	191'	241'	191'
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39	191'	241'	191'	241'
40	191'	241'	191'	241'
41	191'	241'	191'	241'
42	191'	241'	191'	241'
43	235'	194'	235'	194'
44	235'	194'	235'	194'
45	235'	194'	235'	194'
46	235'	194'	235'	194'
47	235'	194'	235'	194'
48	235'	194'	235'	194'
49	110'	131'	110'	131'
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51	112'	127'	112'	127'
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55	112'	127'	112'	127'
56	112'	127'	112'	127'
57	125'	113'	125'	113'
58	125'	113'	125'	113'
59	125'	113'	125'	113'
60	125'	113'	125'	113'
61	125'	113'	125'	113'
62	125'	113'	125'	113'
63	119'	N/A	119'	N/A
64	N/A	N/A	N/A	N/A
65	N/A	N/A	N/A	N/A
66	N/A	N/A	N/A	N/A
67	N/A	N/A	N/A	N/A
68	N/A	N/A	N/A	N/A
69	N/A	N/A	N/A	N/A
70	119'	N/A	119'	N/A
71	119'	N/A	119'	N/A
72	113'	125'	113'	125'
73	127'	112'	127'	112'
74	127'	112'	127'	112'
75	127'	112'	127'	112'
76	127'	112'	127'	112'
77	127'	112'	127'	112'
78	127'	112'	127'	112'
79	127'	112'	127'	112'



**INVENTORY EXISTING VEGETATION**  
(Zoning Ordinance - Article 19, Section 179-3D(1))

Common Name	Size	Height	Estimated No.
Ash	6"-14"	20'-40'	10
Maple	6"-18"	15'-40'	40
Oak	8"-36"	15'-75'	30
Hickory	8"-15"	15'-20'	15
Norway Spruce	8"-24"	50'-70'	25
Color	6"-9"	25'-30'	10
Golden Rod	"	4'	"
Polygon Ivy	"	Vine	"
Brambles	"	"	"
Scrub Brush	"	10'-15'	"



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4 Oak Ridge Road PA 17108  
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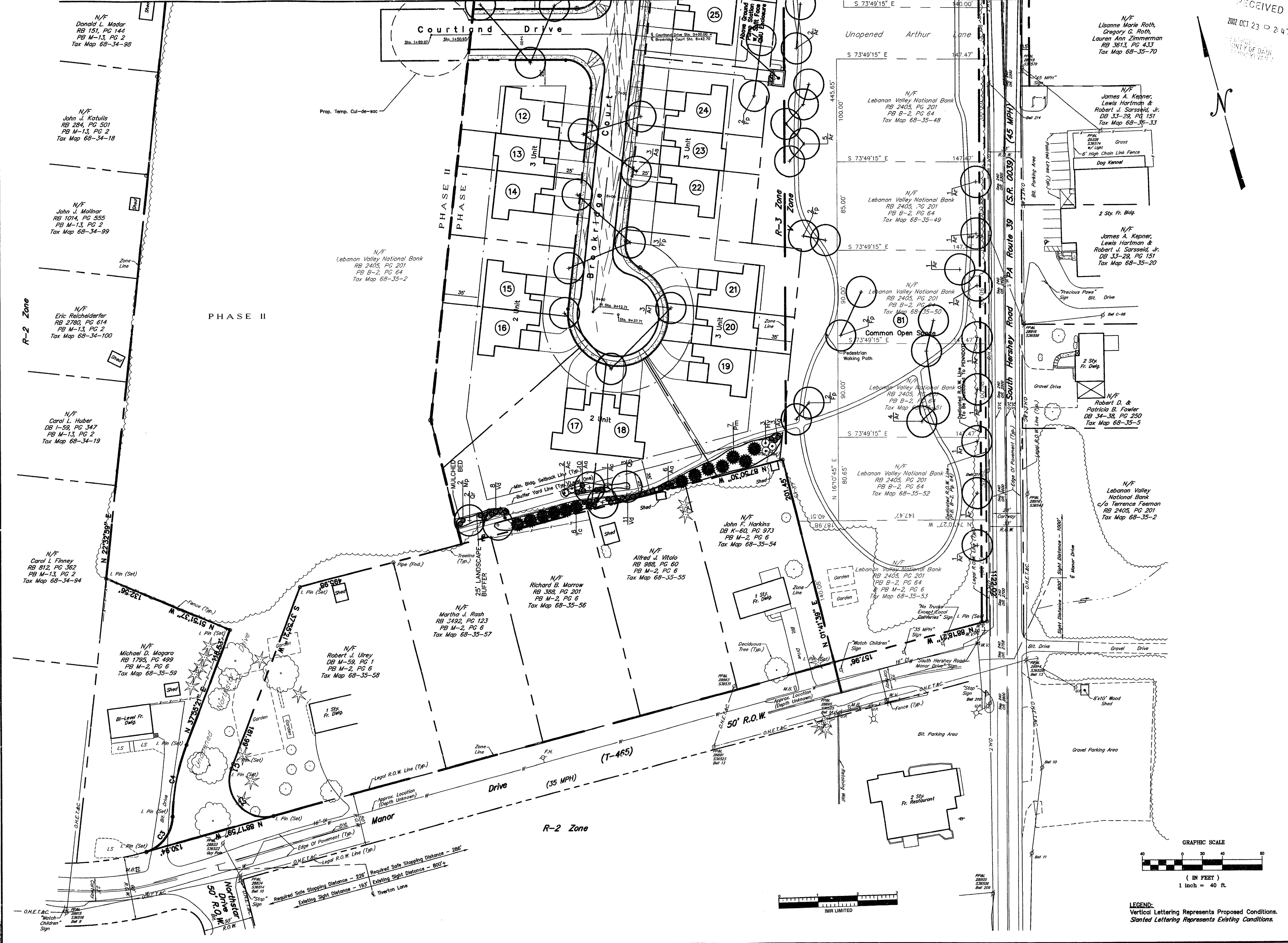
**PHASE I FINAL SUBDIVISION & LAND DEVELOPMENT PLAN**

**LANDSCAPE PLAN**

CHECKED BY: J.W.S.  
DRAWN BY: D.E.C.  
SCALE: 1" = 40'  
CONTOUR INT: N/A  
DATE: 9/6/01  
SHEET NO. 11 OF 24



RECEIVED  
2001 OCT 23 2:47  
COUNTY OF DAUPHIN



DATE	REVISIONS
9/16/01	TOWNSHIP COMMENTS - 12/12/01
2/20/02	SEWER AUTHORITY COMMENTS - 10/09/01
12/10/01	TOWNSHIP COMMENTS - 10/01/01
10/14/01	TOWNSHIP COMMENTS - 9/13/01

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SITE ADDRESS: PA ROUTE 39 & MANOR DRIVE  
WEST HANOVER TOWNSHIP DAUPHIN COUNTY, PA

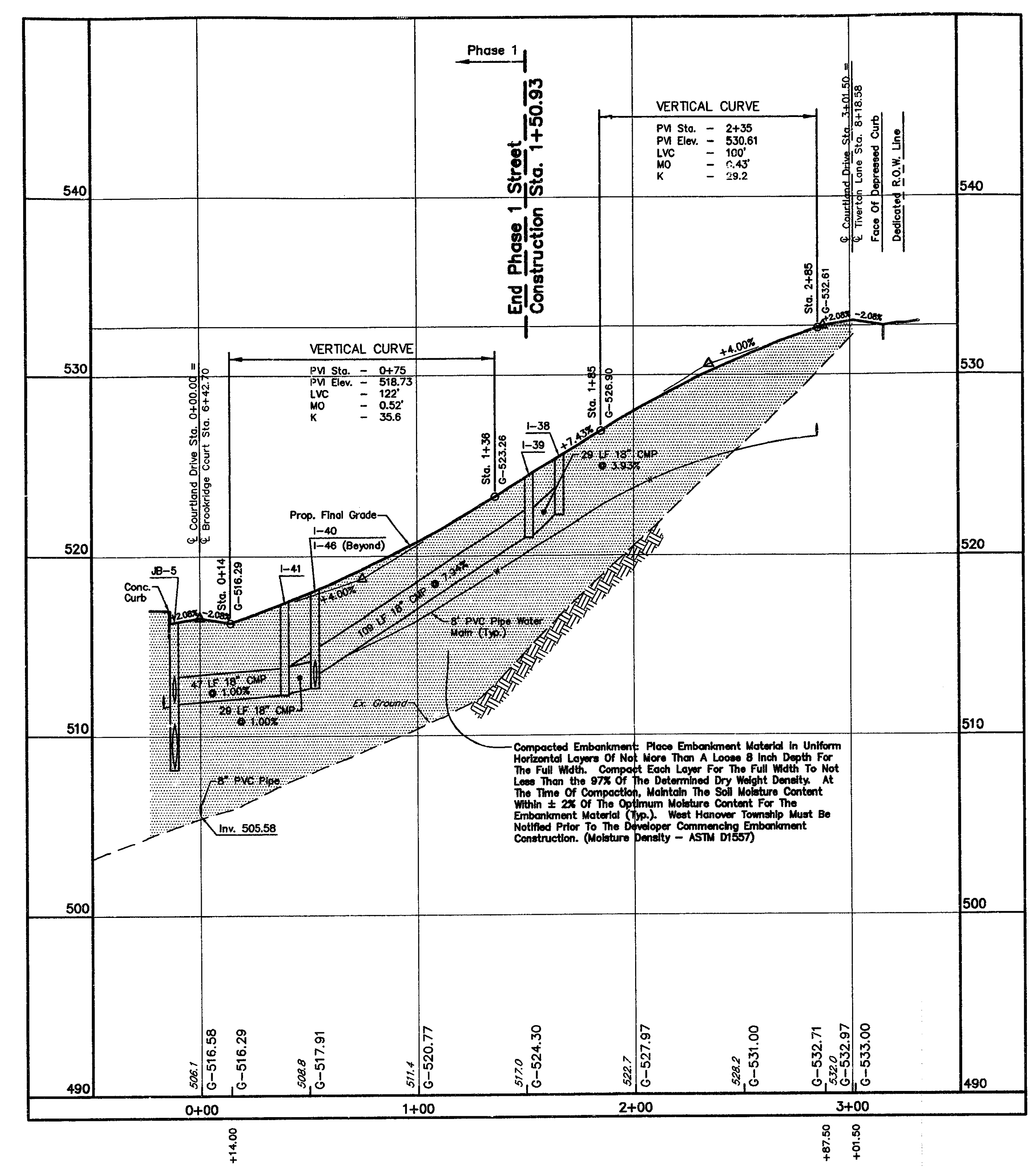
PHASE I  
FINAL SUBDIVISION & LAND DEVELOPMENT PLAN  
LANDSCAPE PLAN

CHECKED BY:	J.W.S.
DRAWN BY:	D.E.C.
SCALE:	1" = 40'
CONTOUR INT:	N/A
DATE:	9/6/01
SHEET NO.	12 OF 24



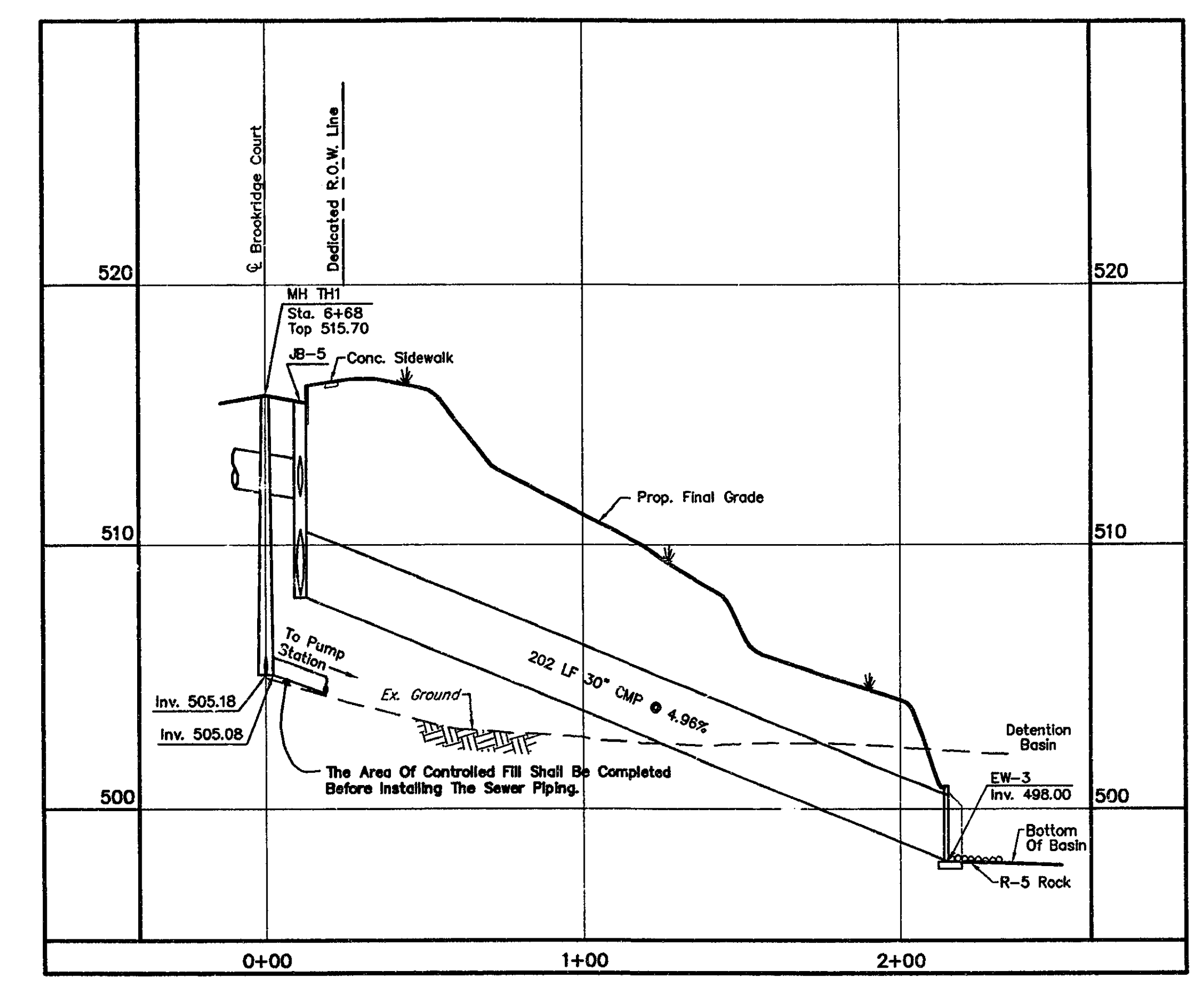
Plan Bk J Vol 8 Pg 23

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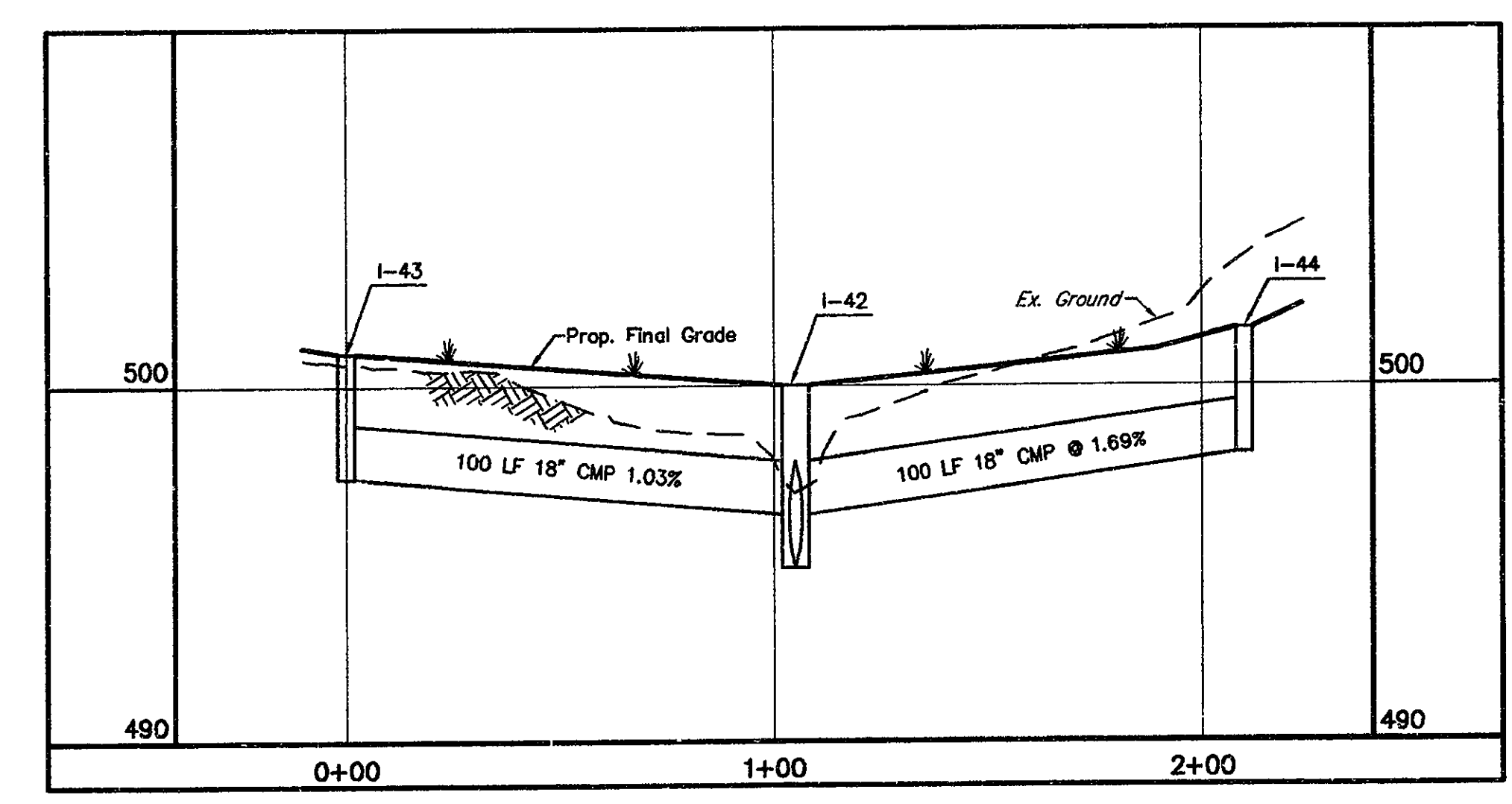


Compacted Embankment: Place embankment material in uniform horizontal layers of not more than a loose 9 inch depth for the full width. Compact each layer for the full width to not less than 97% of the determined dry weight density. At the time of compaction, maintain the soil moisture content within ± 2% of the optimum moisture content for the embankment material (Typ.). West Hanover Township must be notified prior to the developer commencing embankment construction. (Moisture Density - ASTM D1557)

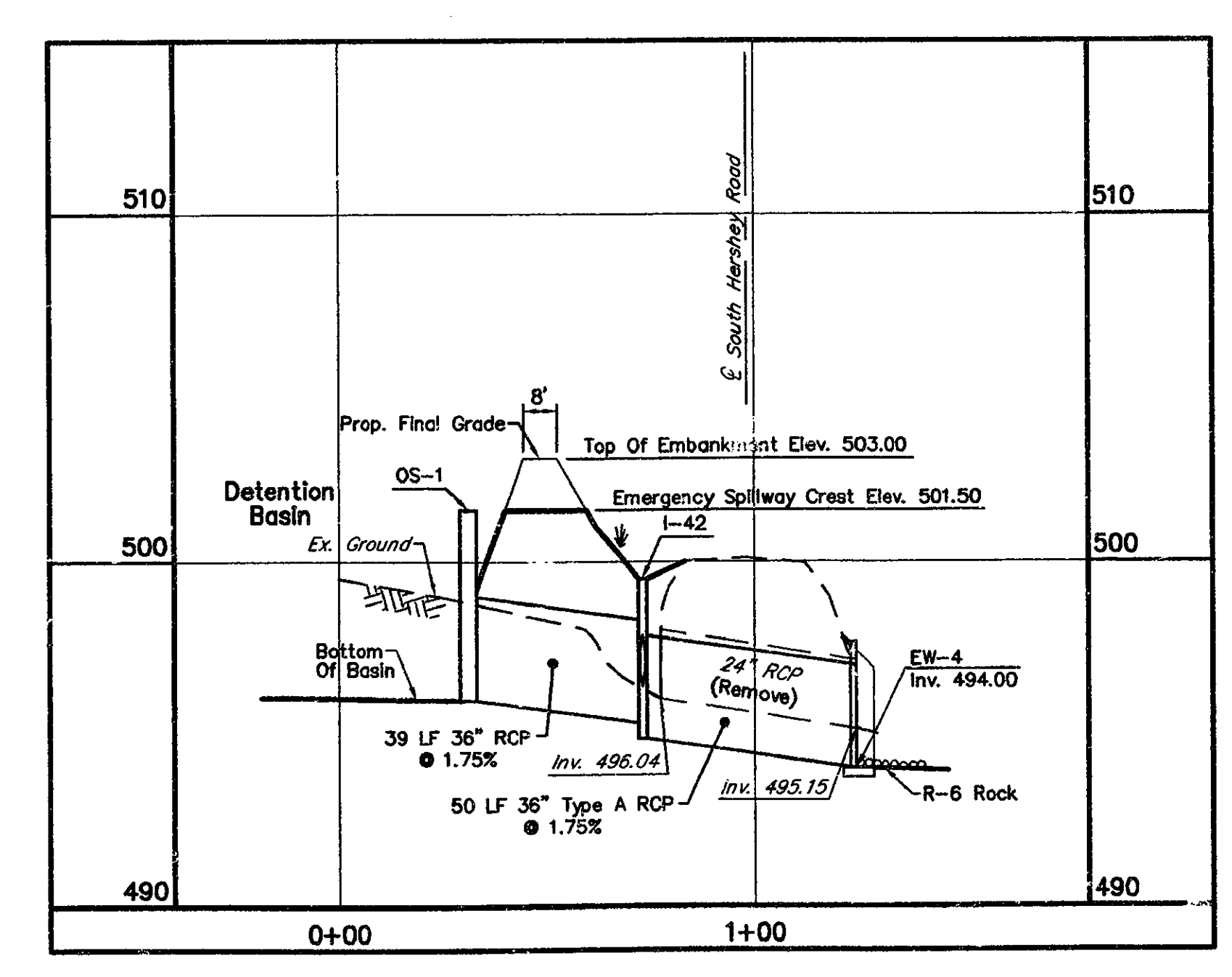
**COURTLAND DRIVE**  
 SCALE: 1" = 40' H  
 1" = 5' V  
 (Design Speed Limit: 30 MPH / Posted Speed Limit: 25 MPH)



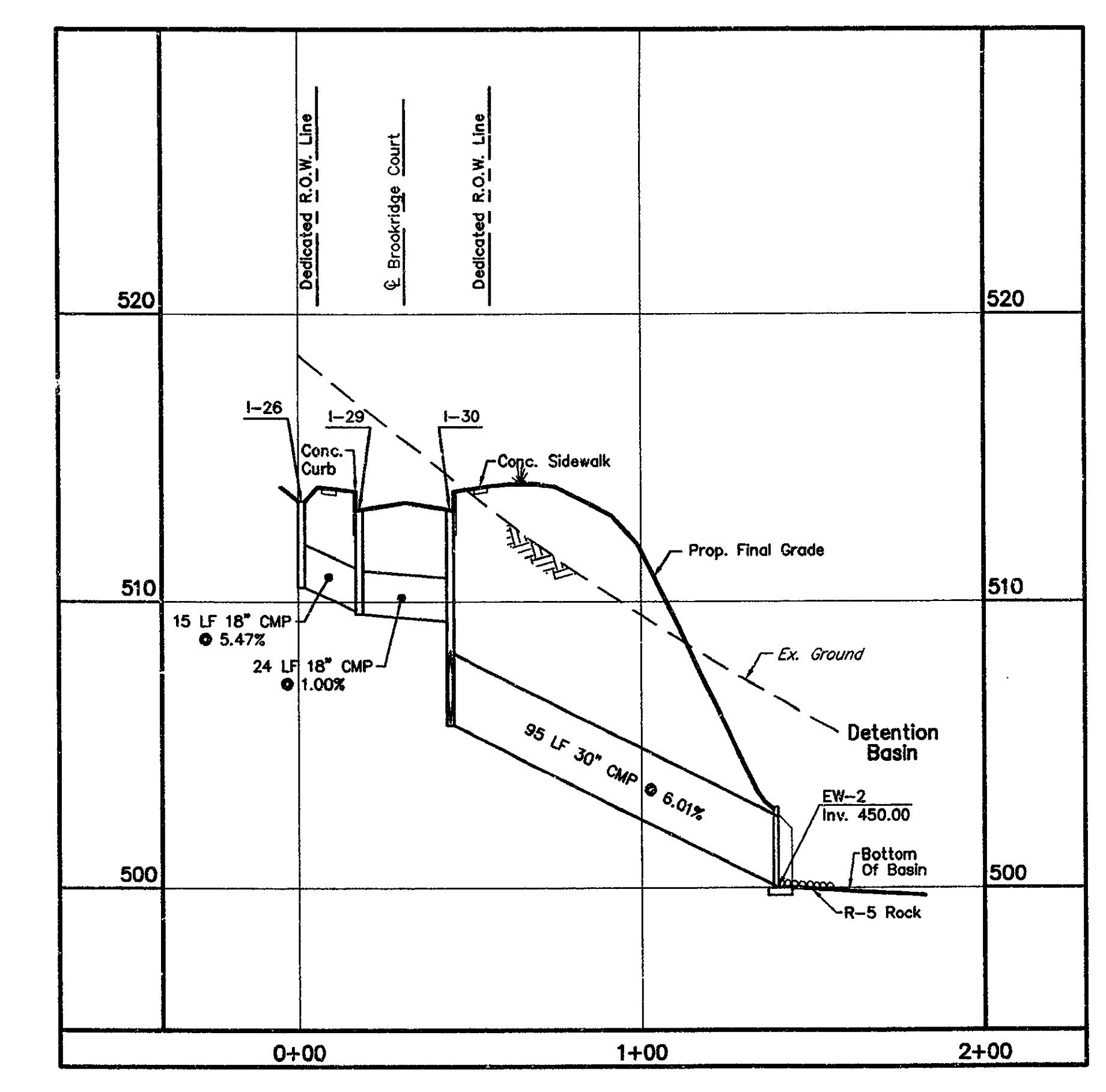
**JB-5 TO EW-3**  
 SCALE: 1" = 40' H  
 1" = 5' V



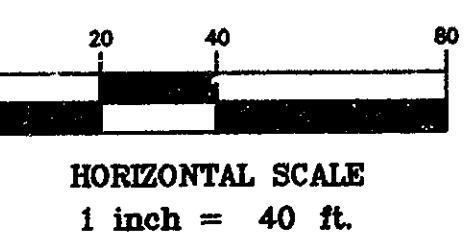
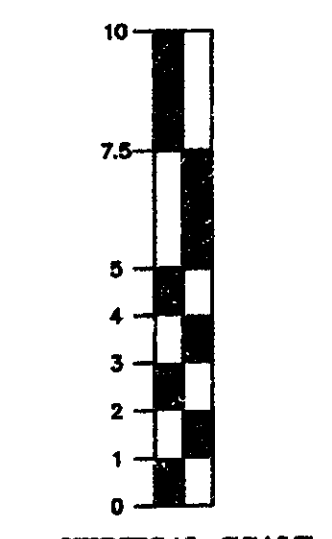
**I-43 TO I-44**  
 SCALE: 1" = 40' H  
 1" = 5' V



**OS-1 TO EW-4**  
 SCALE: 1" = 40' H  
 1" = 5' V



**I-26 TO EW-2**  
 SCALE: 1" = 40' H  
 1" = 5' V



**LEGEND:**  
 Vertical Lettering Represents Proposed Conditions.  
 Slanted Lettering Represents Existing Conditions.

DATE	REVISIONS
10/17/01	TOWNSHIP COMMENTS - 9/13/01
12/17/01	TOWNSHIP COMMENTS - 10/17/01
2/29/02	SEWER AUTHORITY COMMENTS - 10/9/01
9/16/02	TOWNSHIP COMMENTS - 12/12/01

**Dauphin Engineering Company**  
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**MTF ASSOCIATES, INC.**  
 (Owner & Developer)  
 4701 NORTH FRONT STREET  
 HARRISBURG, PA 17110  
 PHONE: (717) 233-3095

THE TOWNIES AT HERSEY ROAD  
 SITE ADDRESS: PA ROUTE 39 & MANOR DRIVE  
 WEST HANOVER TOWNSHIP  
 DAUPHIN COUNTY, PA

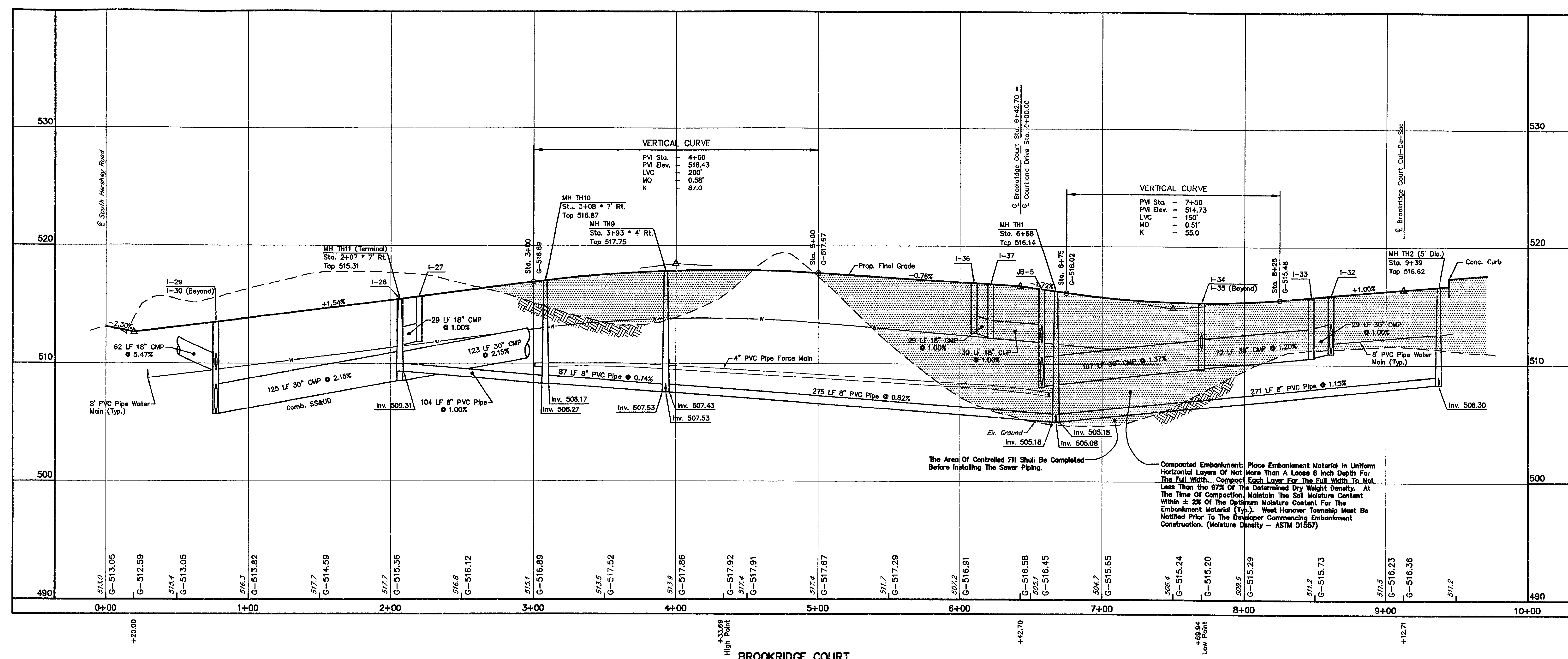
**PHASE I  
 FINAL SUBDIVISION & LAND DEVELOPMENT PLAN  
 PROFILES**

CHECKED BY:	J.W.S.
DRAWN BY:	D.E.C.
SCALE:	AS NOTED
CONTOUR INT.	N/A
DATE:	9/6/01
SHEET NO.	13 OF 24



Plan Bk J Vol. 8 09/24

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DATE	REVISIONS
9/6/02	TOWNSHIP COMMENTS - 12/12/01
9/18/02	SEWER AUTHORITY COMMENTS - 4/19/02
2/20/02	SEWER AUTHORITY COMMENTS - 10/9/01
12/10/01	TOWNSHIP COMMENTS - 10/11/01

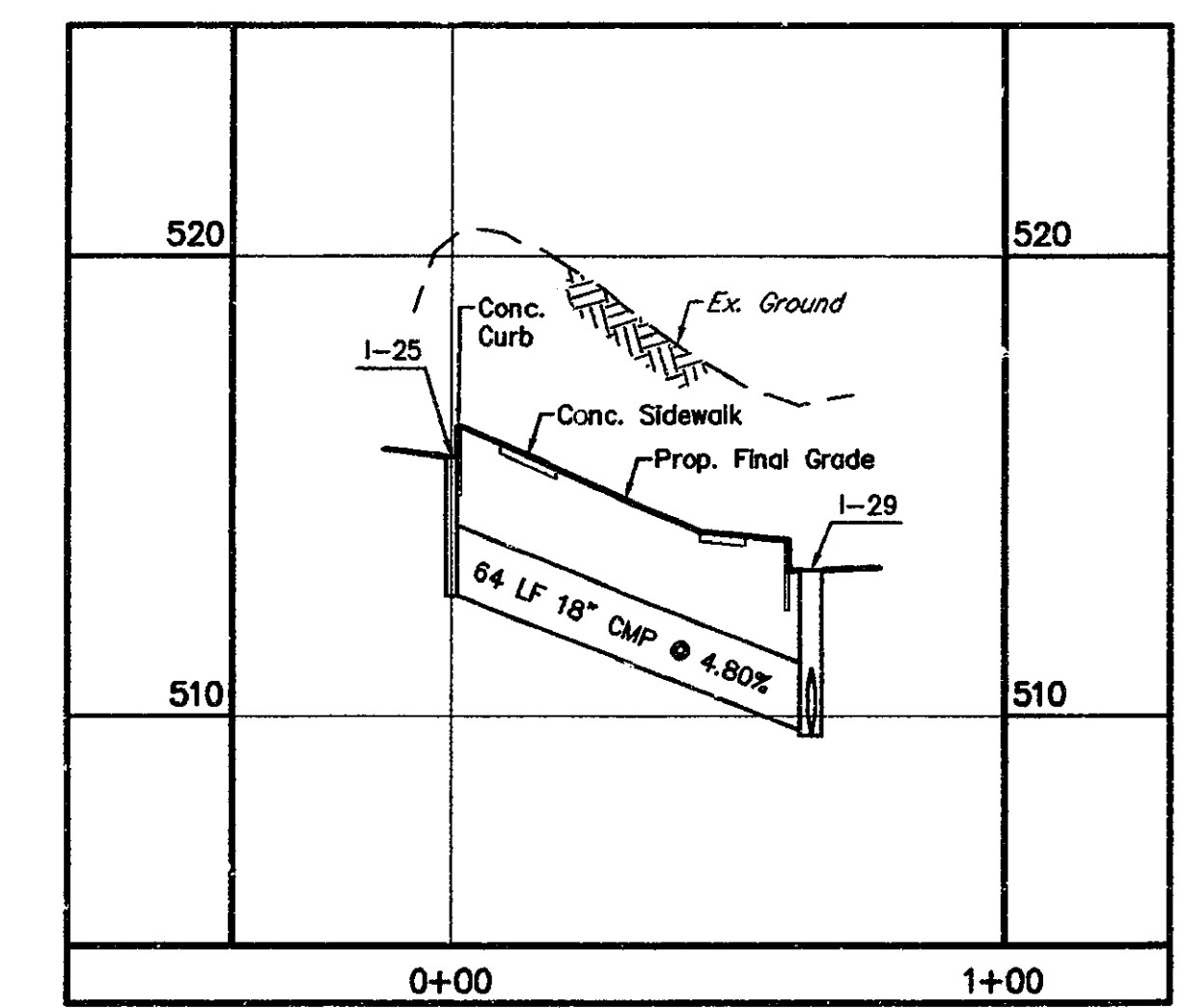
**Dauphin Engineering Company**  
 ENGINEERS • CONSULTANTS • PLANNERS  
 44 Oak Park Road • Harrisburg, PA 17109  
 PHONE: (717) 545-1034  
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**MTF ASSOCIATES, INC.**  
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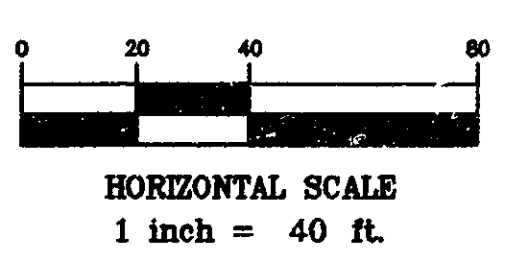
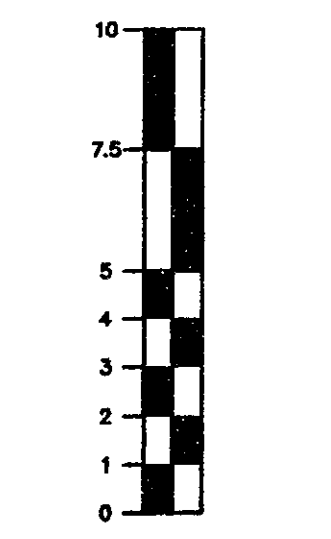
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 WEST HANOVER TOWNSHIP  
 DAUPHIN COUNTY, PA

PHASE I  
 FINAL SUBDIVISION & LAND DEVELOPMENT PLAN  
 PROFILES

CHECKED BY: J.W.S.  
 DRAWN BY: D.E.C.  
 SCALE: AS NOTED  
 CONTOUR INT: N/A  
 DATE: 9/6/01  
 SHEET NO. 14 OF 24



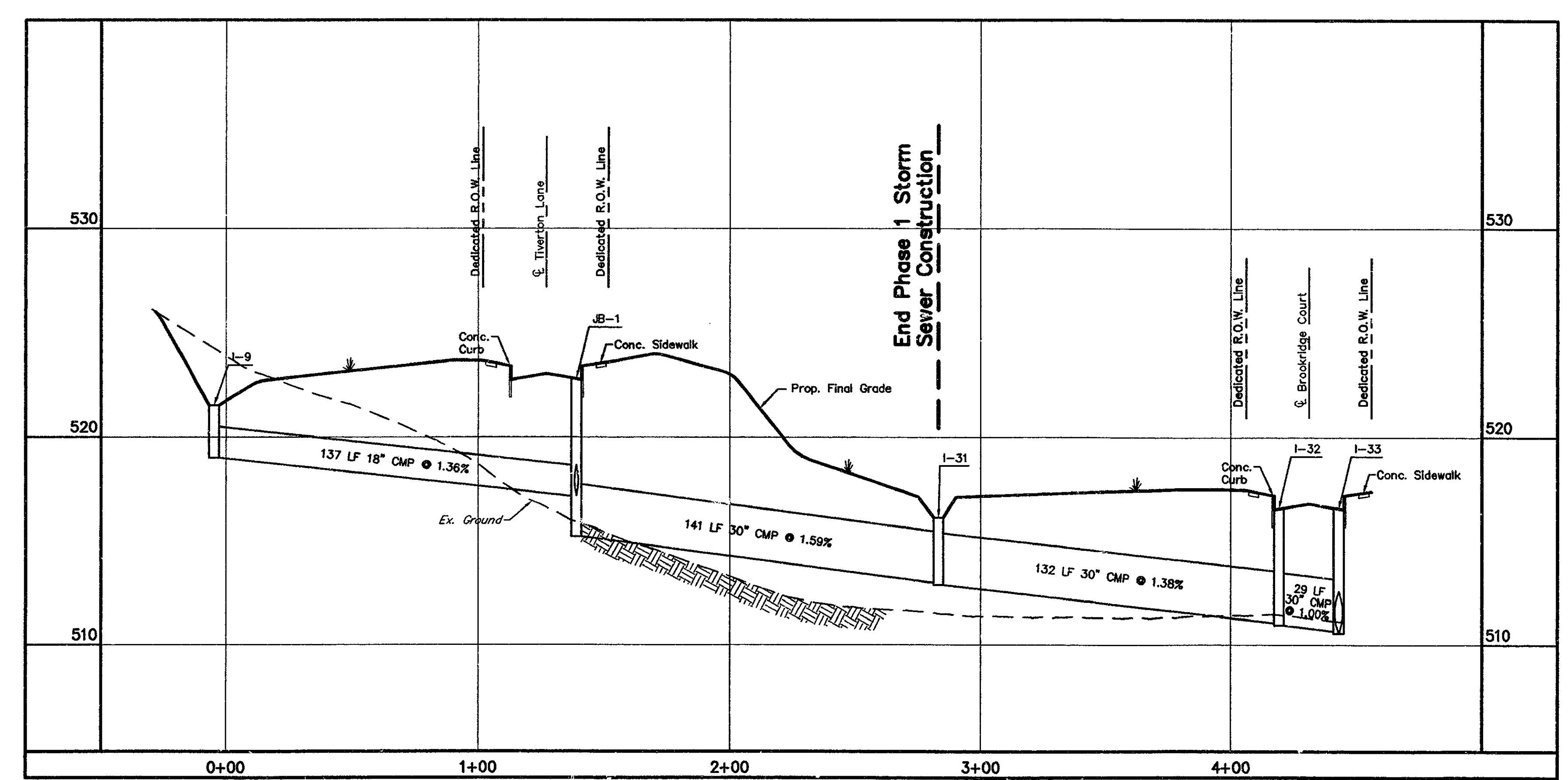
I-25 TO I-29  
 SCALE: 1" = 40' H  
 1" = 5' V



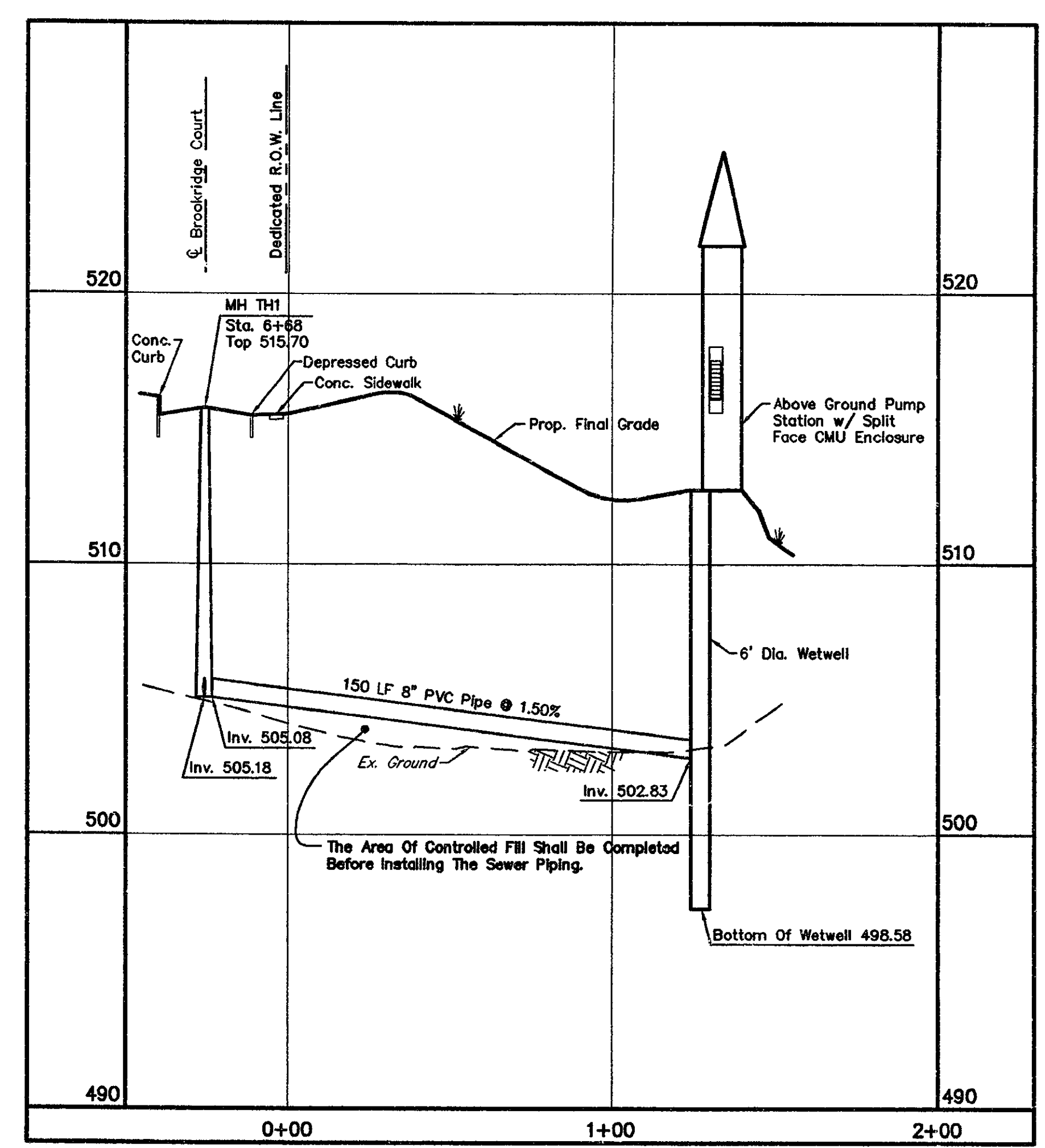
VERTICAL SCALE  
 1 inch = 5 ft.

HORIZONTAL SCALE  
 1 inch = 40 ft.

LEGEND:  
 Vertical Lettering Represents Proposed Conditions.  
 Slanted Lettering Represents Existing Conditions.



I-9 TO I-33  
 SCALE: 1" = 40' H  
 1" = 5' V

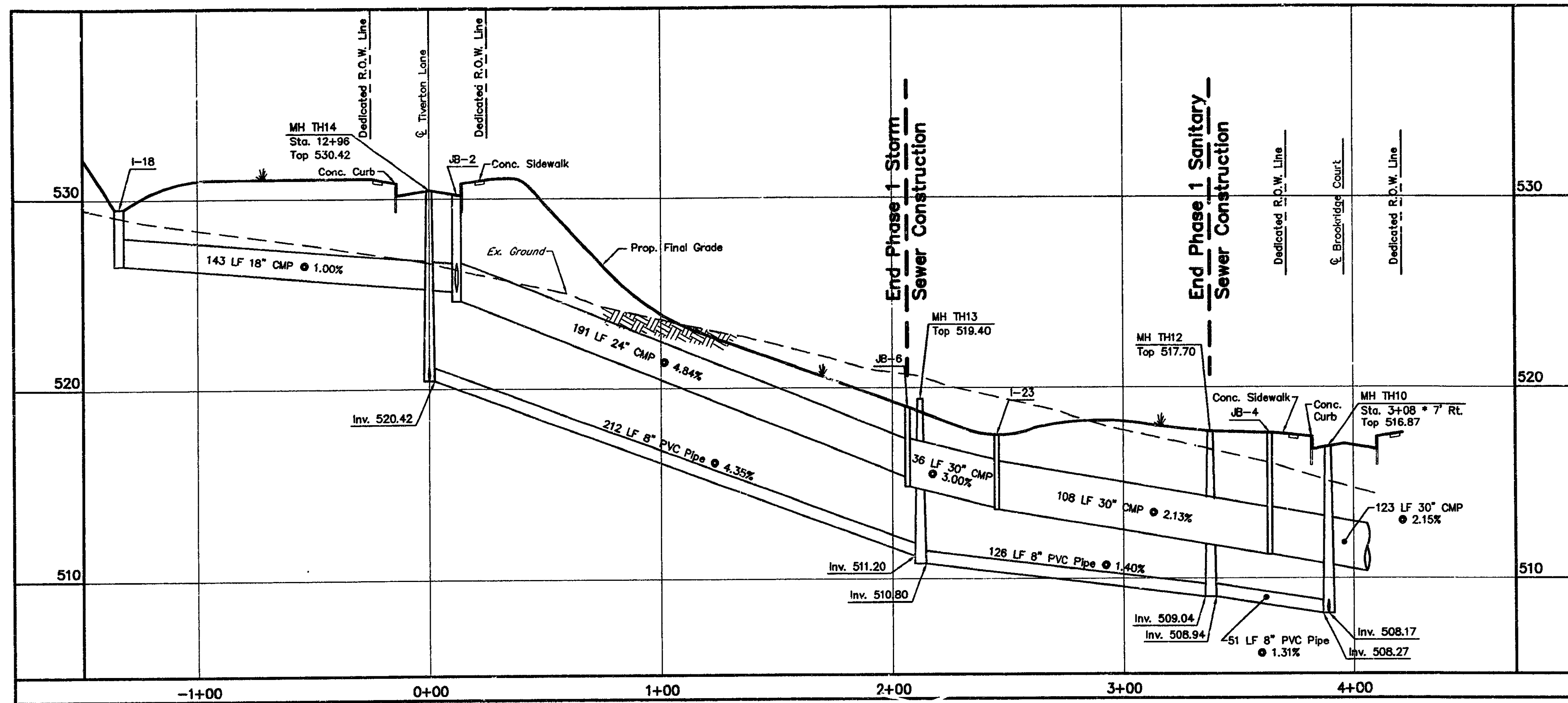


MH TH1 TO PUMP STATION  
 SCALE: 1" = 40' H  
 1" = 5' V

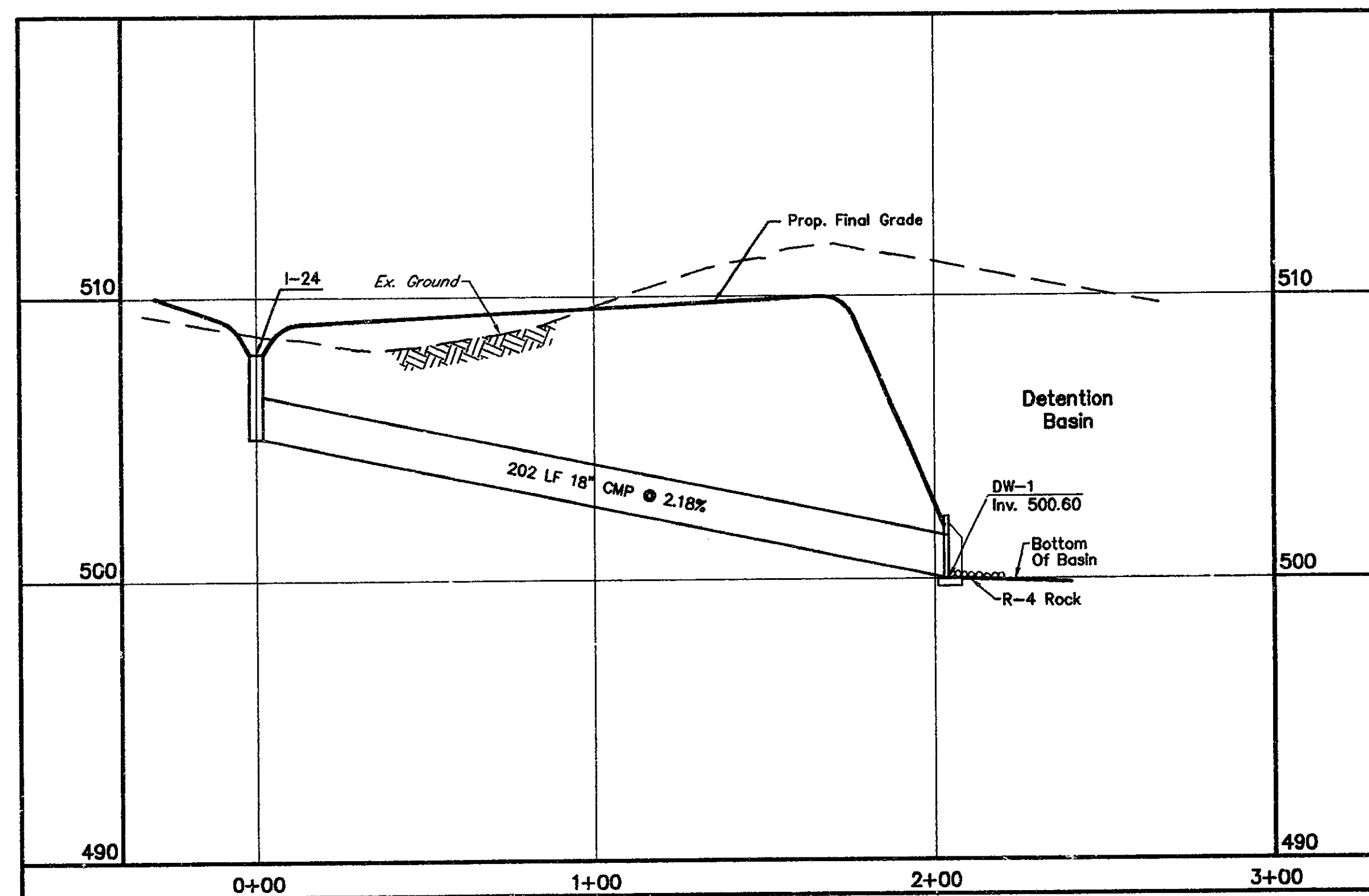


Plan Bk J Vol 8 pg 25

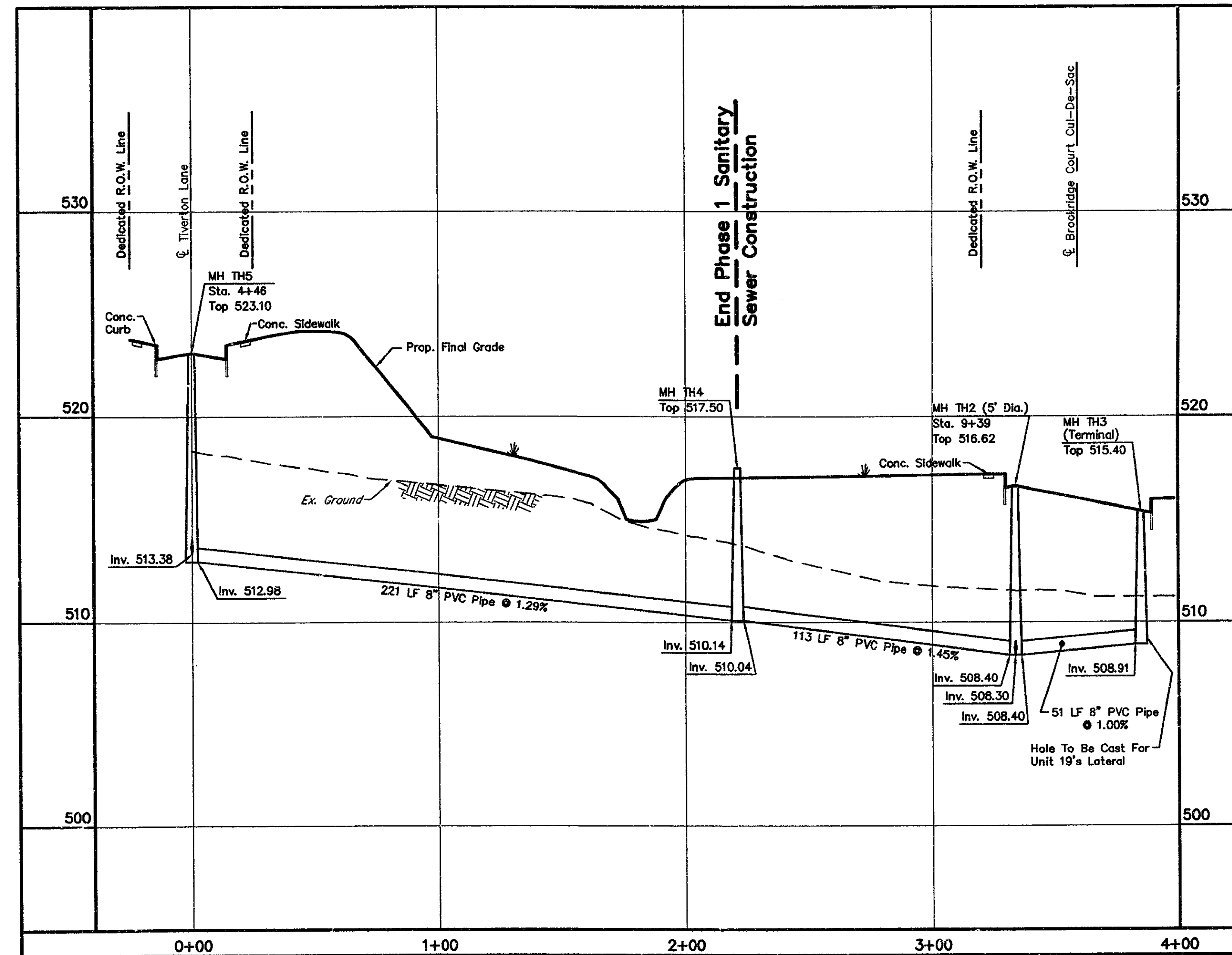
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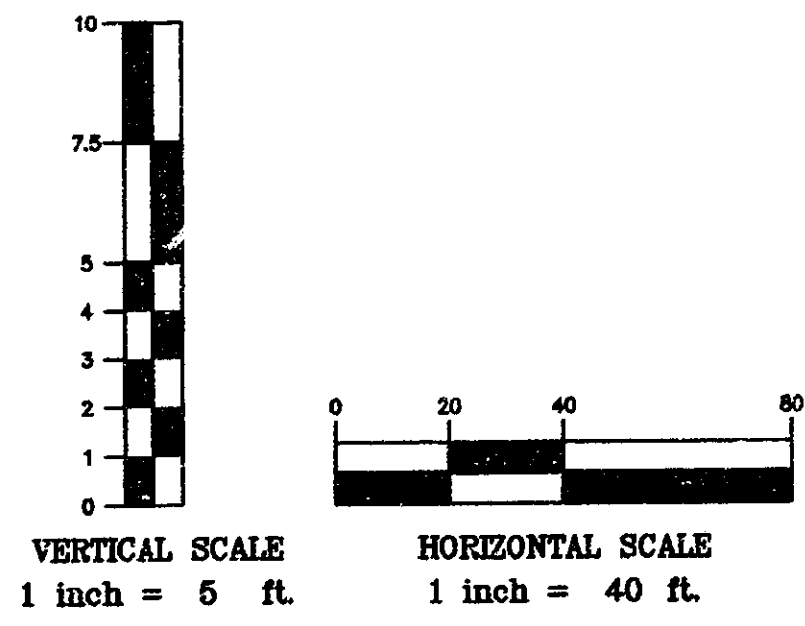
MH TH14 TO MH TH9  
SCALE: 1" = 40' H  
1" = 5' V



I-24 TO FW-1  
SCALE: 1" = 40' H  
1" = 5' V



MH TH5 TO MH TH3  
SCALE: 1" = 40' H  
1" = 5' V



LEGEND:  
Vertical Lettering Represents Proposed Conditions.  
Slanted Lettering Represents Existing Conditions.

DATE	REVISIONS
9/16/02	TOWNSHIP COMMENTS - 12/12/01
2/20/02	SEWER AUTHORITY COMMENTS - 10/9/01
12/10/01	TOWNSHIP COMMENTS - 10/11/01

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PHONE: (717) 233-3095  
THE TOWNES AT HERSHEY ROAD  
SITE ADDRESS: PA ROUTE 39 & MANOR DRIVE  
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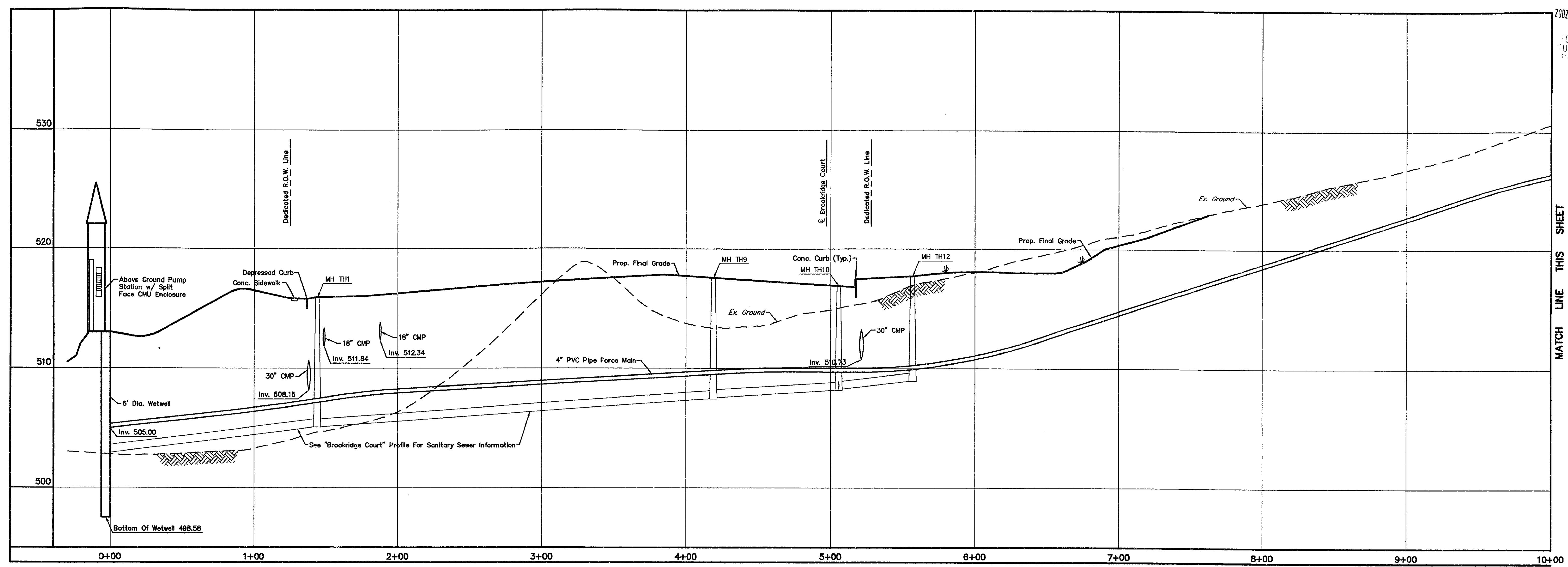
PHASE I  
FINAL SUBDIVISION & LAND DEVELOPMENT PLAN  
PROFILES

CHECKED BY:	J.W.S.
DRAWN BY:	D.E.C.
SCALE:	AS NOTED
CONTOUR INT:	N/A
DATE:	9/6/01
SHEET NO.	15 OF 24

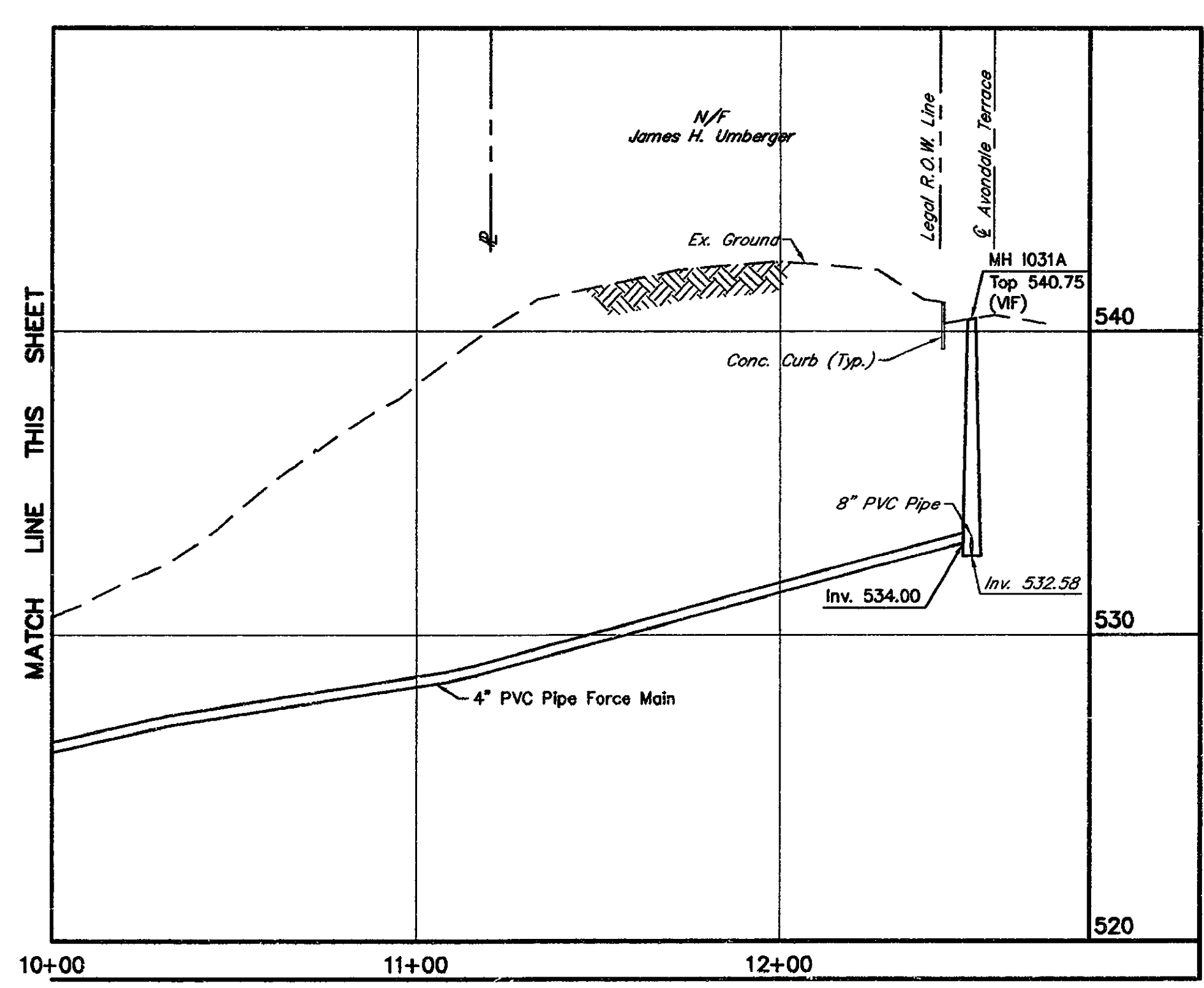


Plan Bk J Vol 8 Pg 26

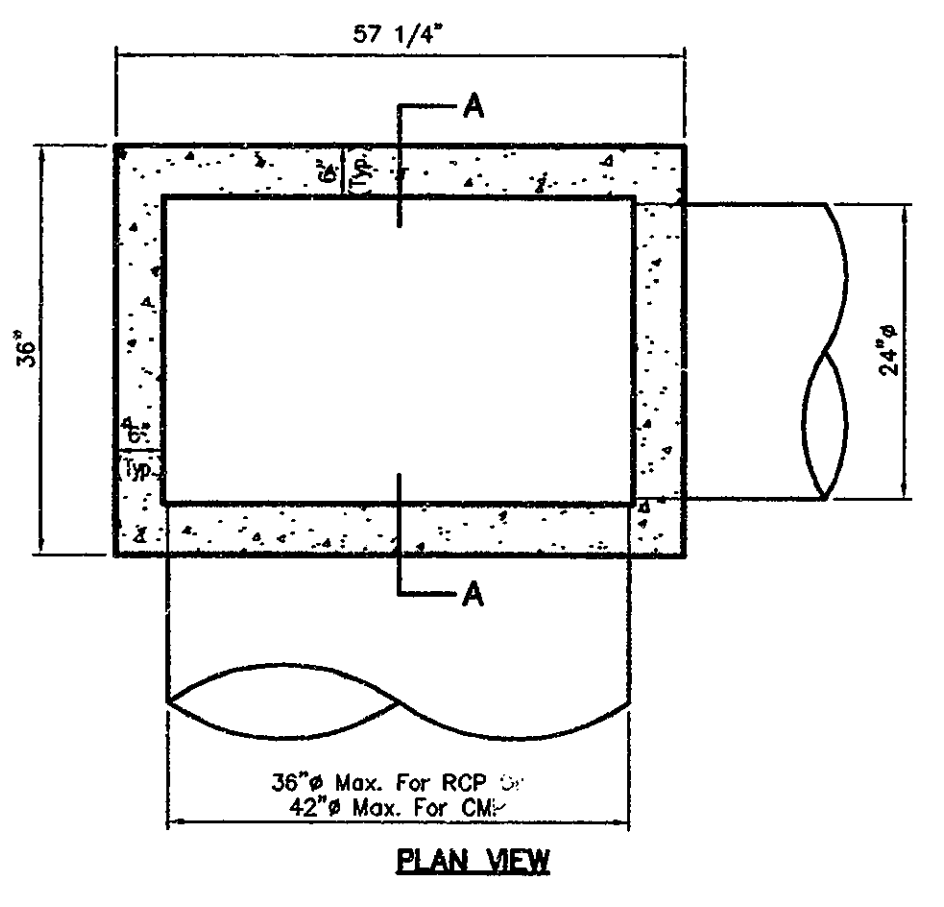
RECEIVED  
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COUNTY OF DAUPHIN  
PENNSYLVANIA



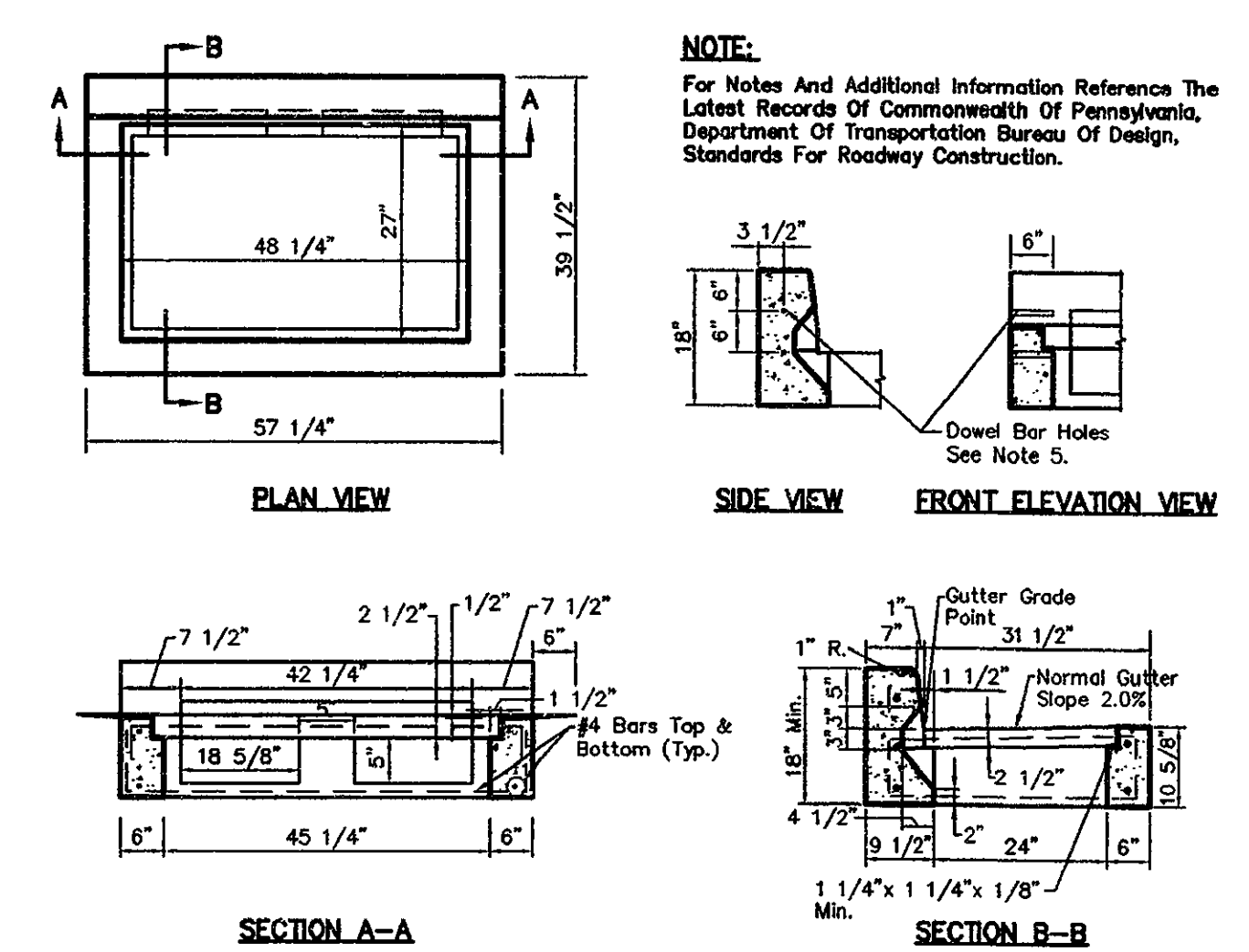
**PUMP STATION TO MH 1031A**  
SCALE: 1" = 40' H  
1" = 5' V



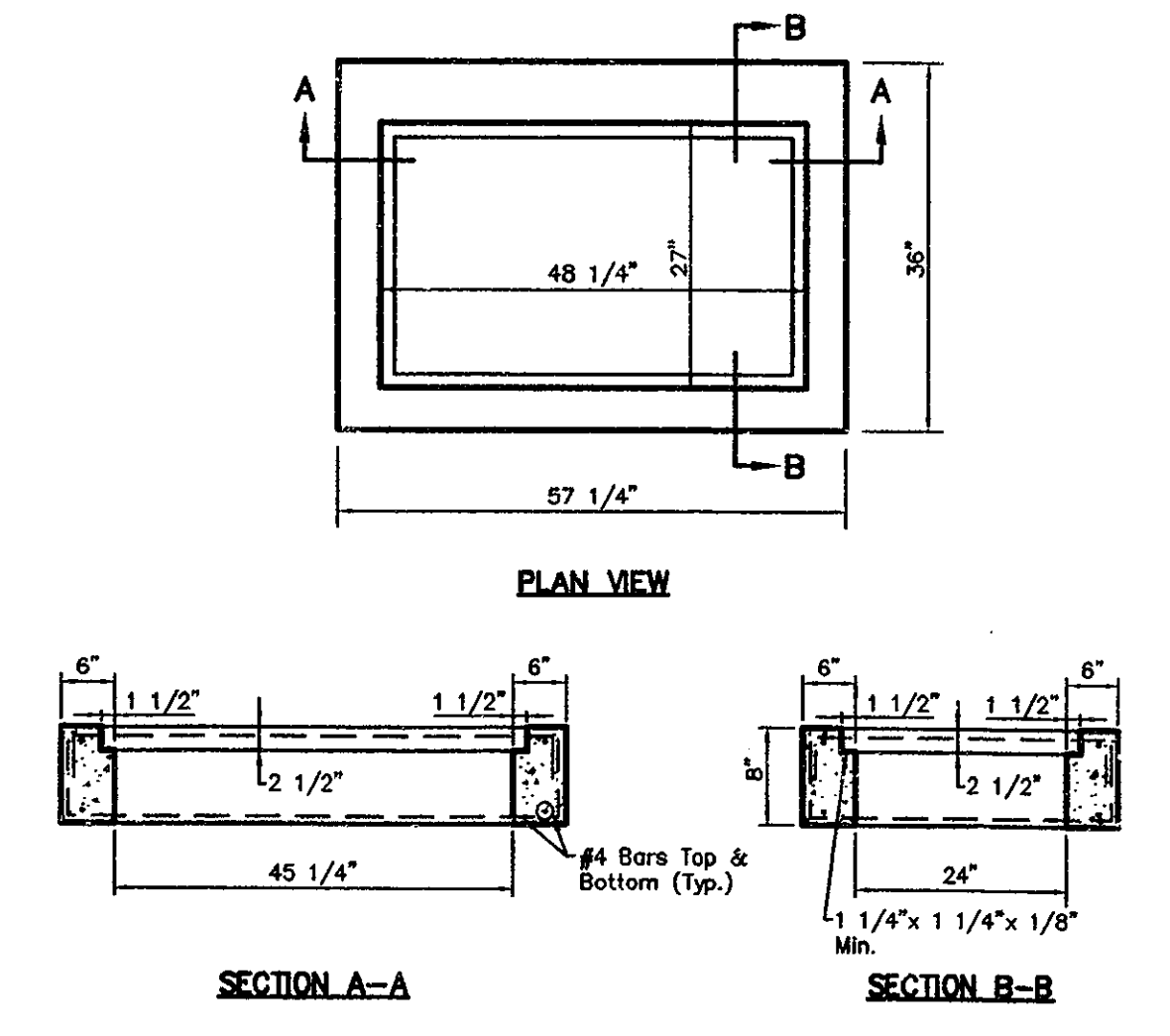
**PUMP STATION TO MH 1031A**  
SCALE: 1" = 40' H  
1" = 5' V



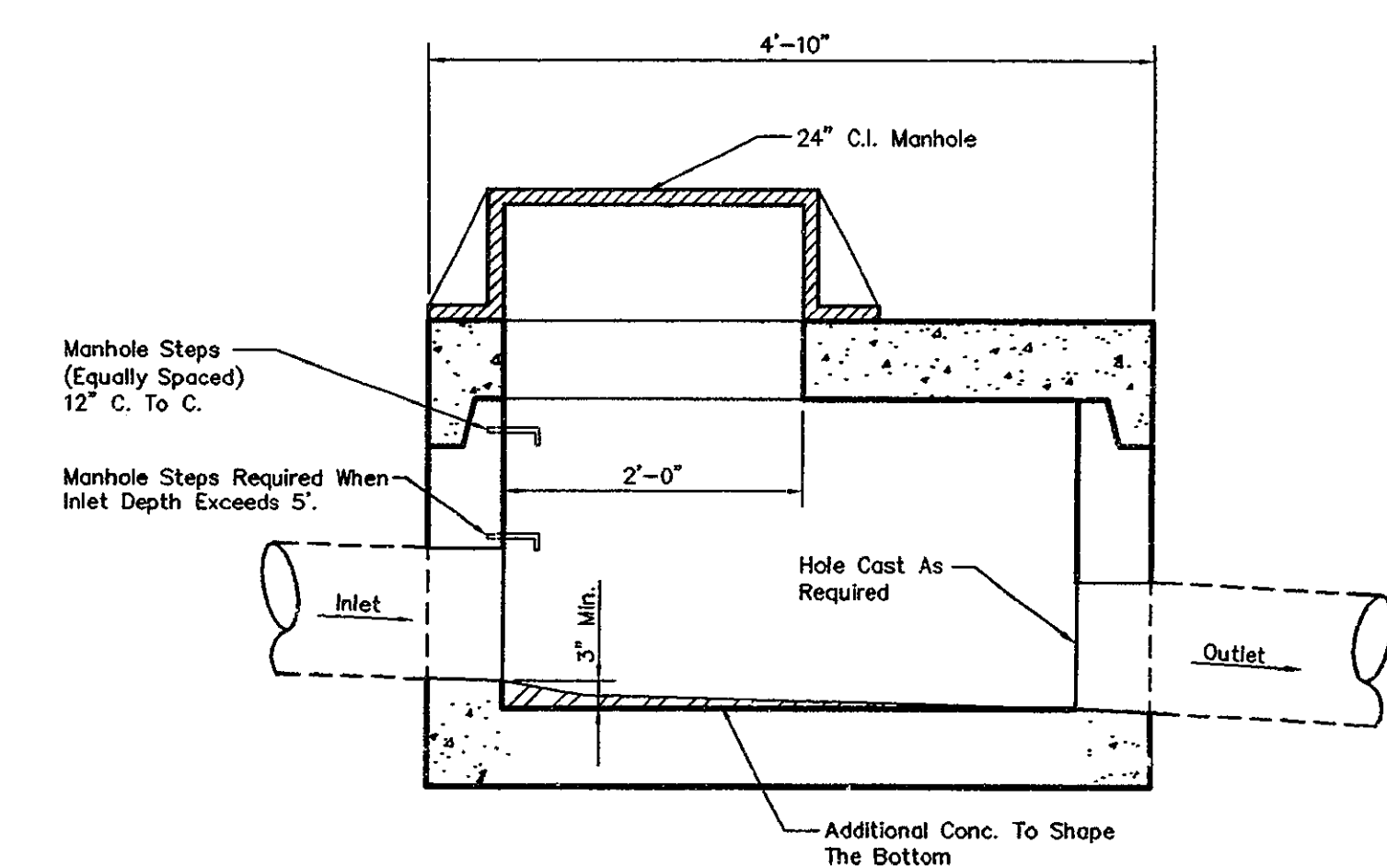
**STANDARD INLET CONCRETE TOP UNIT**  
NOT TO SCALE



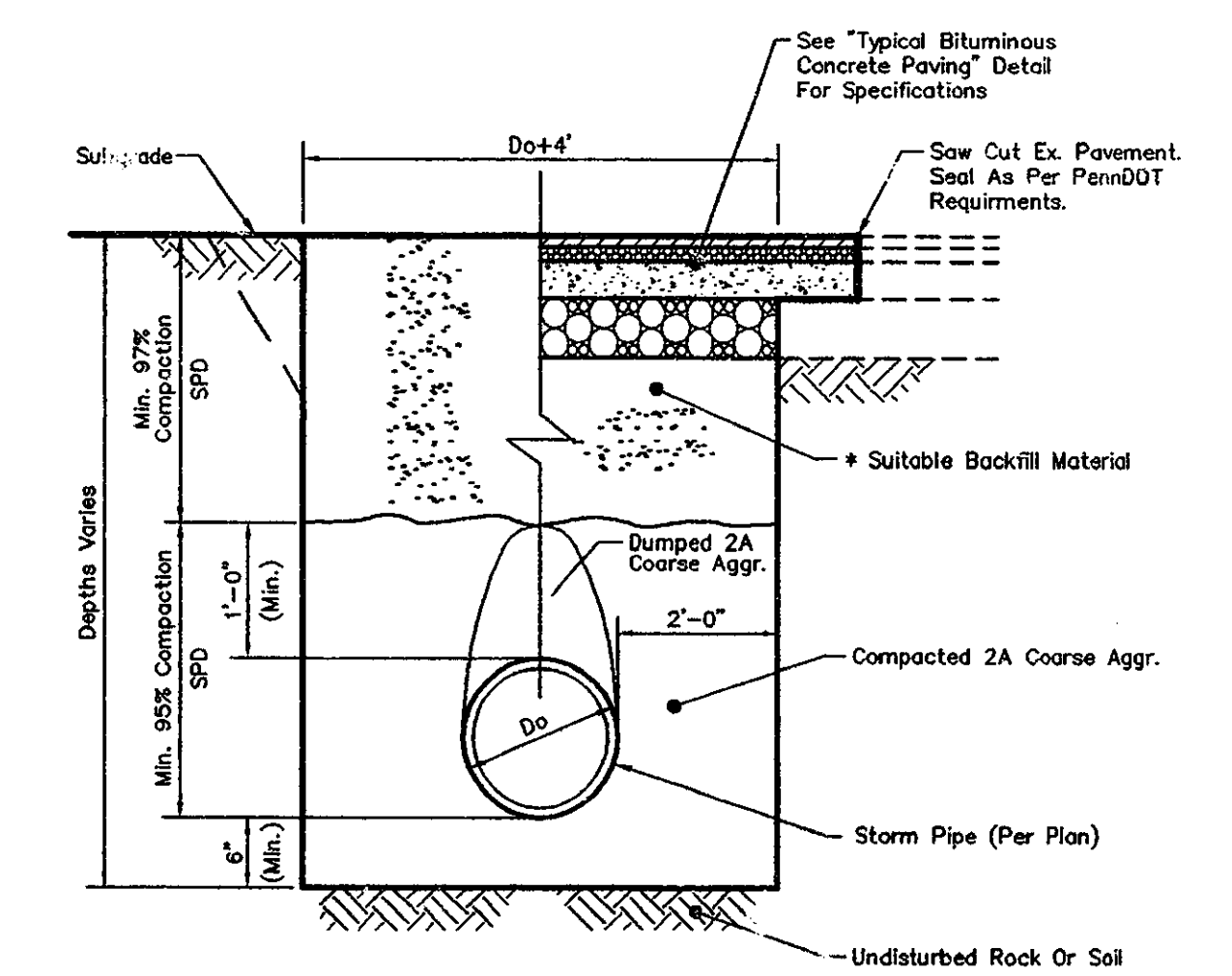
**TYPE C INLET CONCRETE TOP UNIT**  
NOT TO SCALE



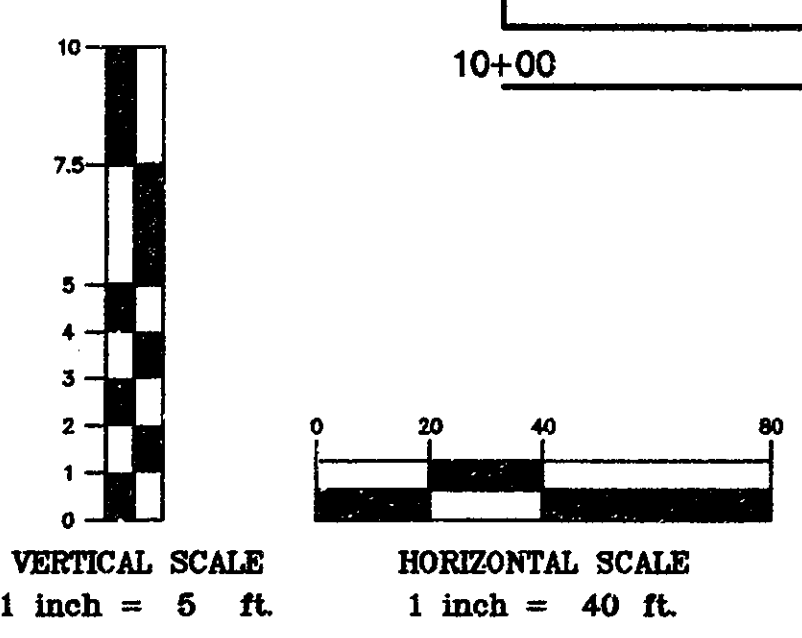
**TYPE M INLET CONCRETE TOP UNIT**  
NOT TO SCALE



**JUNCTION BOX**  
NOT TO SCALE



**(Storm Sewer) TRENCH**  
NOT TO SCALE



**LEGEND:**  
Vertical Lettering Represents Proposed Conditions.  
Slanted Lettering Represents Existing Conditions.

DATE	REVISIONS	BY
9/16/02	TOWNSHIP COMMENTS - 12/12/01	
8/28/02	SEWER AUTHORITY COMMENTS - 4/19/02	
2/20/02	SEWER AUTHORITY COMMENTS - 10/9/01	
12/10/01	TOWNSHIP COMMENTS - 10/11/01	
10/4/01	TOWNSHIP COMMENTS - 9/13/01	

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THE TOWNS AT HERSHEY ROAD  
SITE ADDRESS: PA ROUTE 39 & MANOR DRIVE  
WEST HANOVER TOWNSHIP DAUPHIN COUNTY, PA

**PHASE I  
FINAL SUBDIVISION & LAND DEVELOPMENT PLAN  
PROFILES**

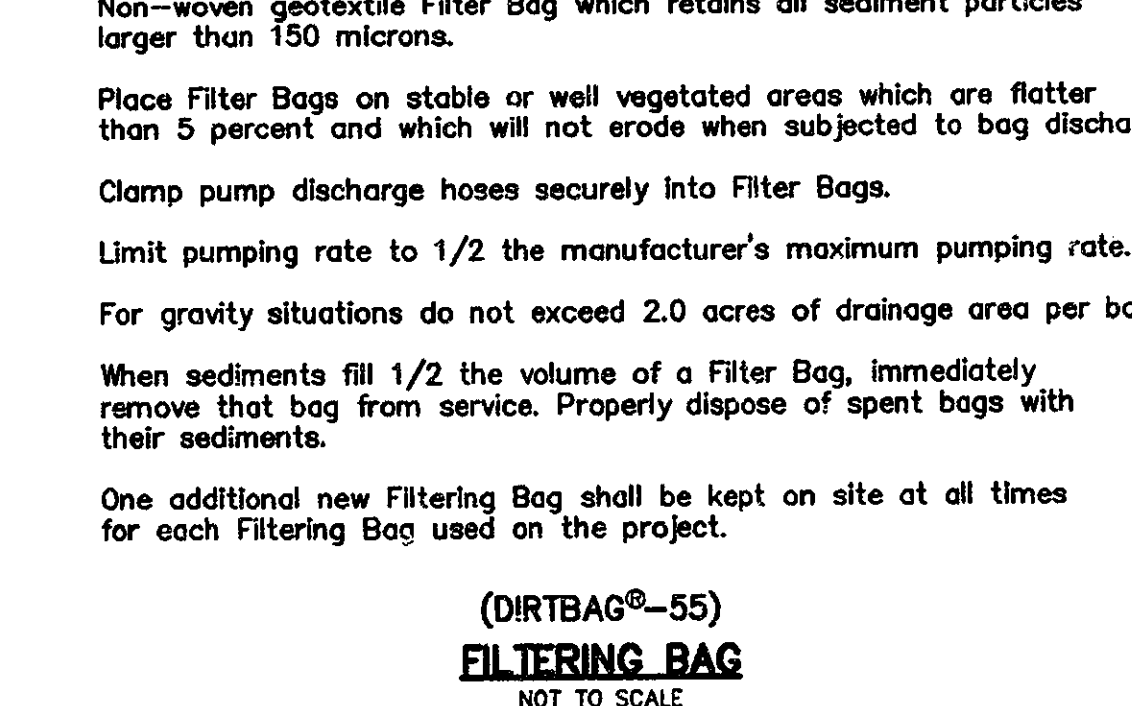
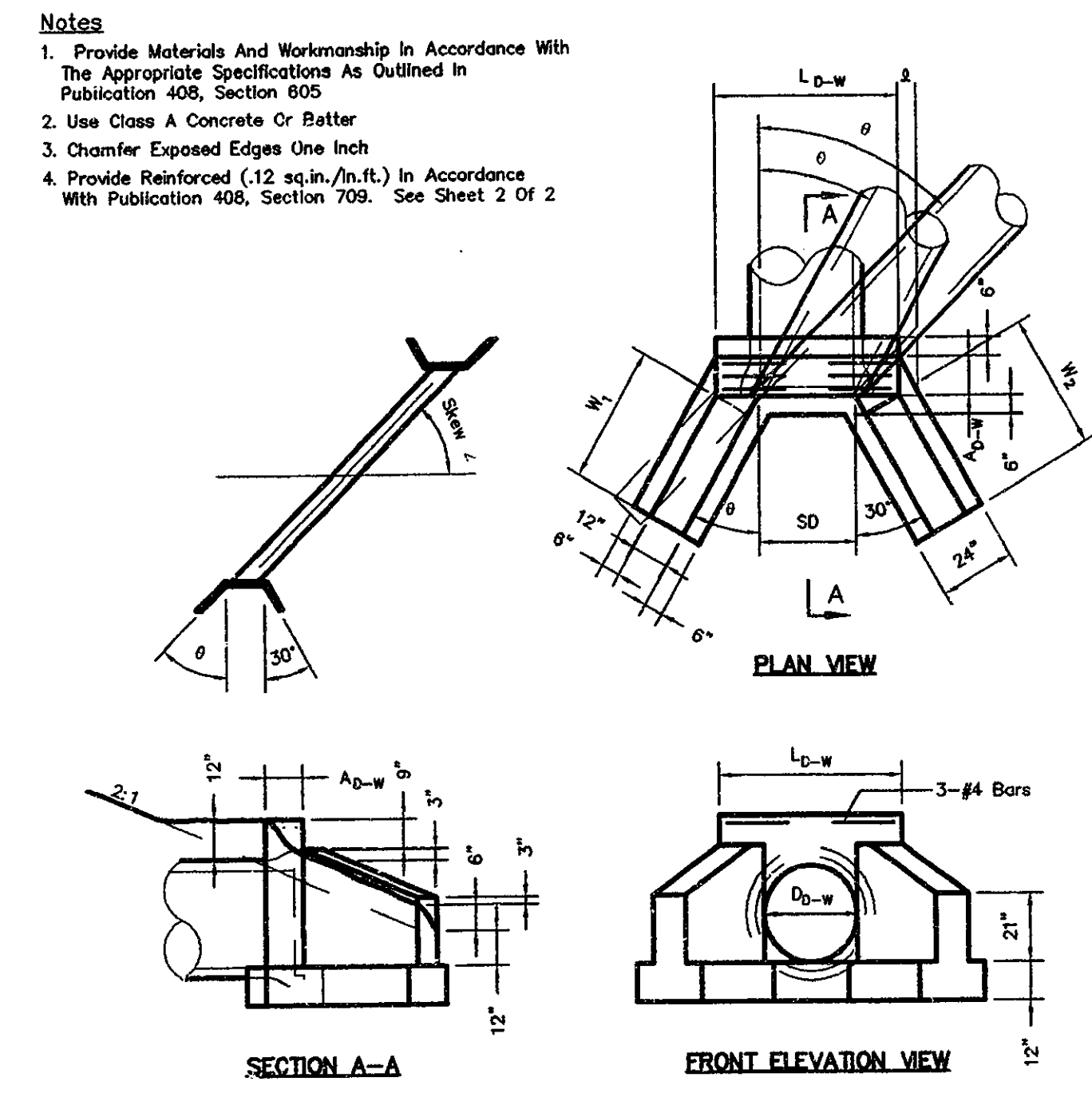
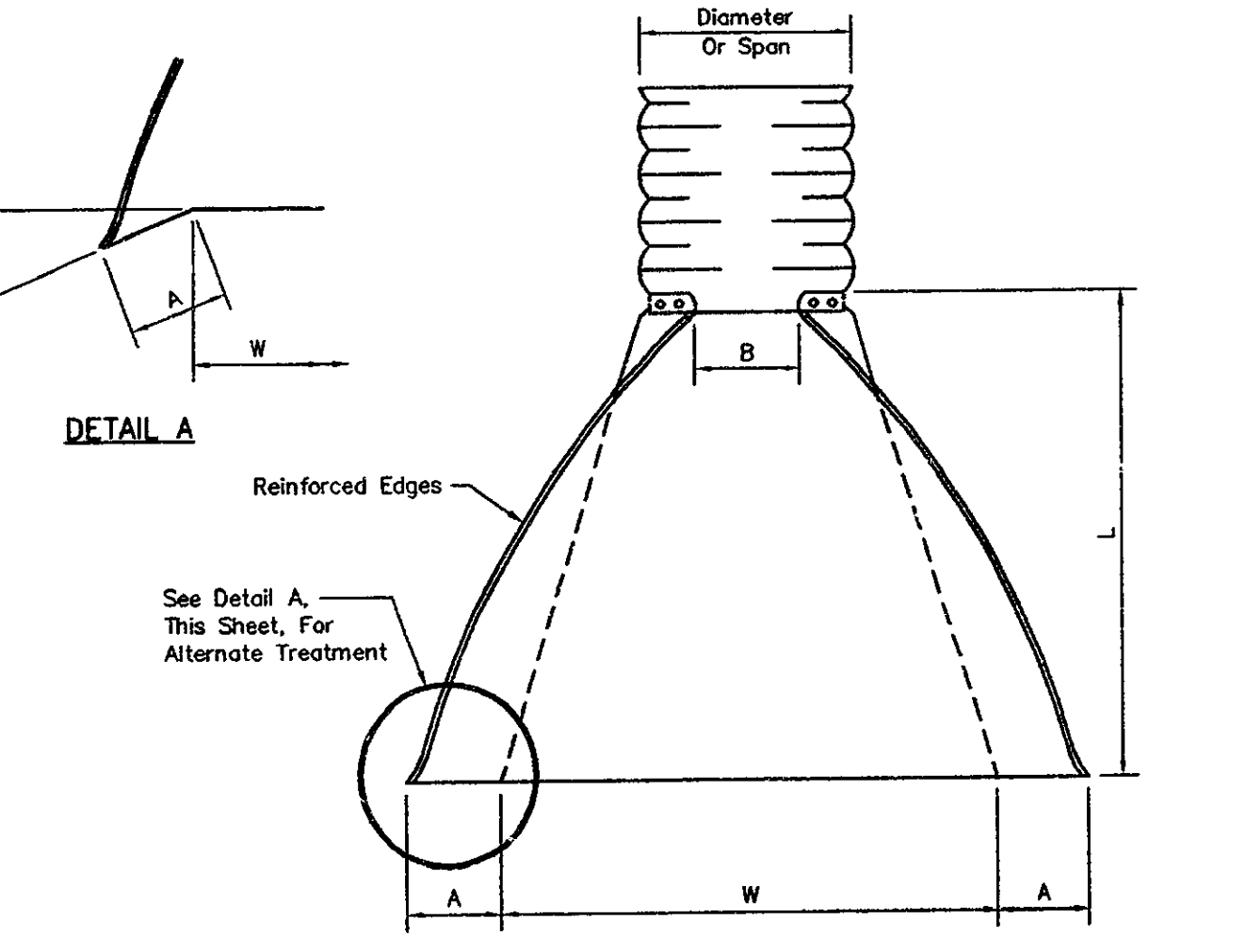
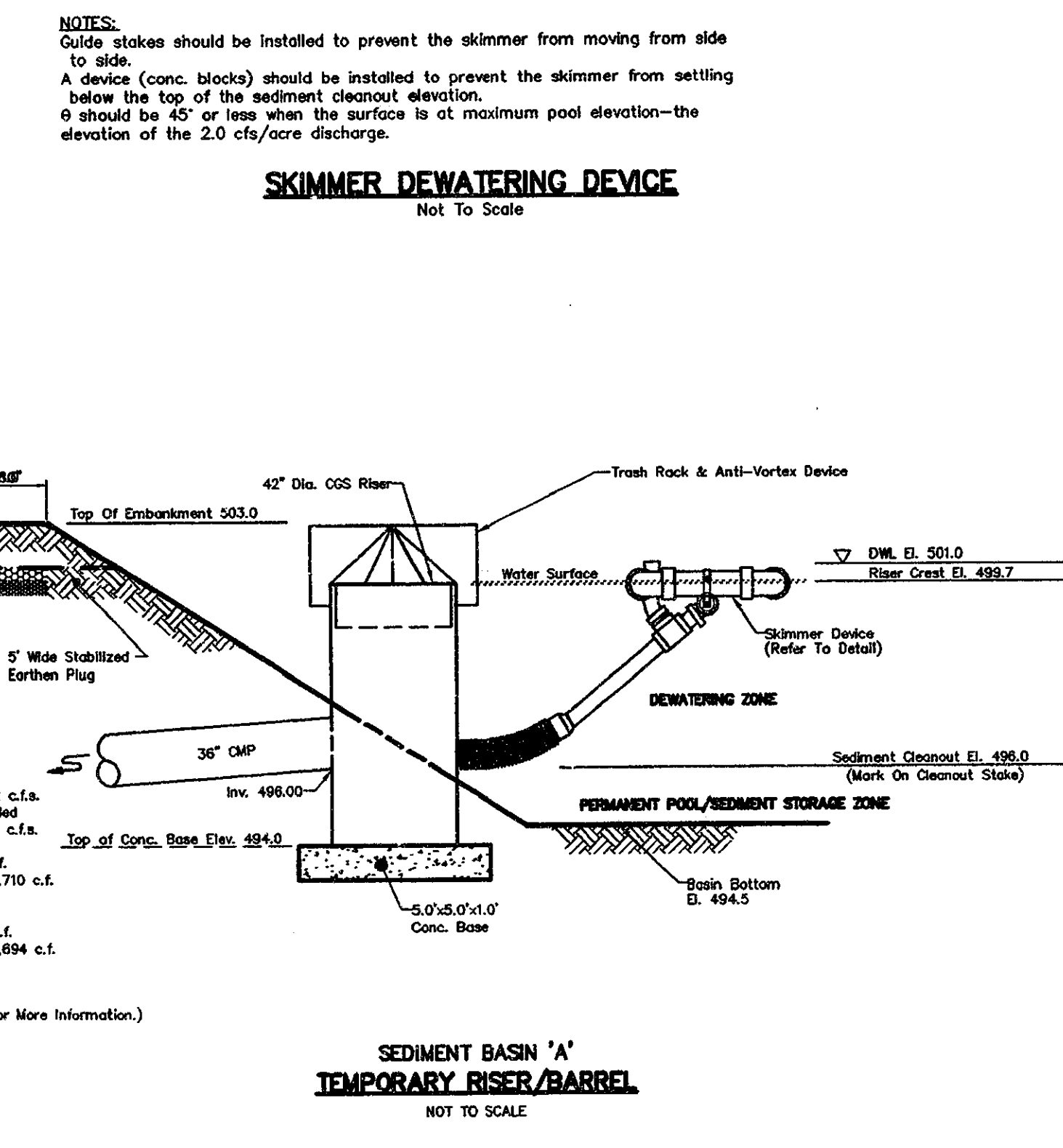
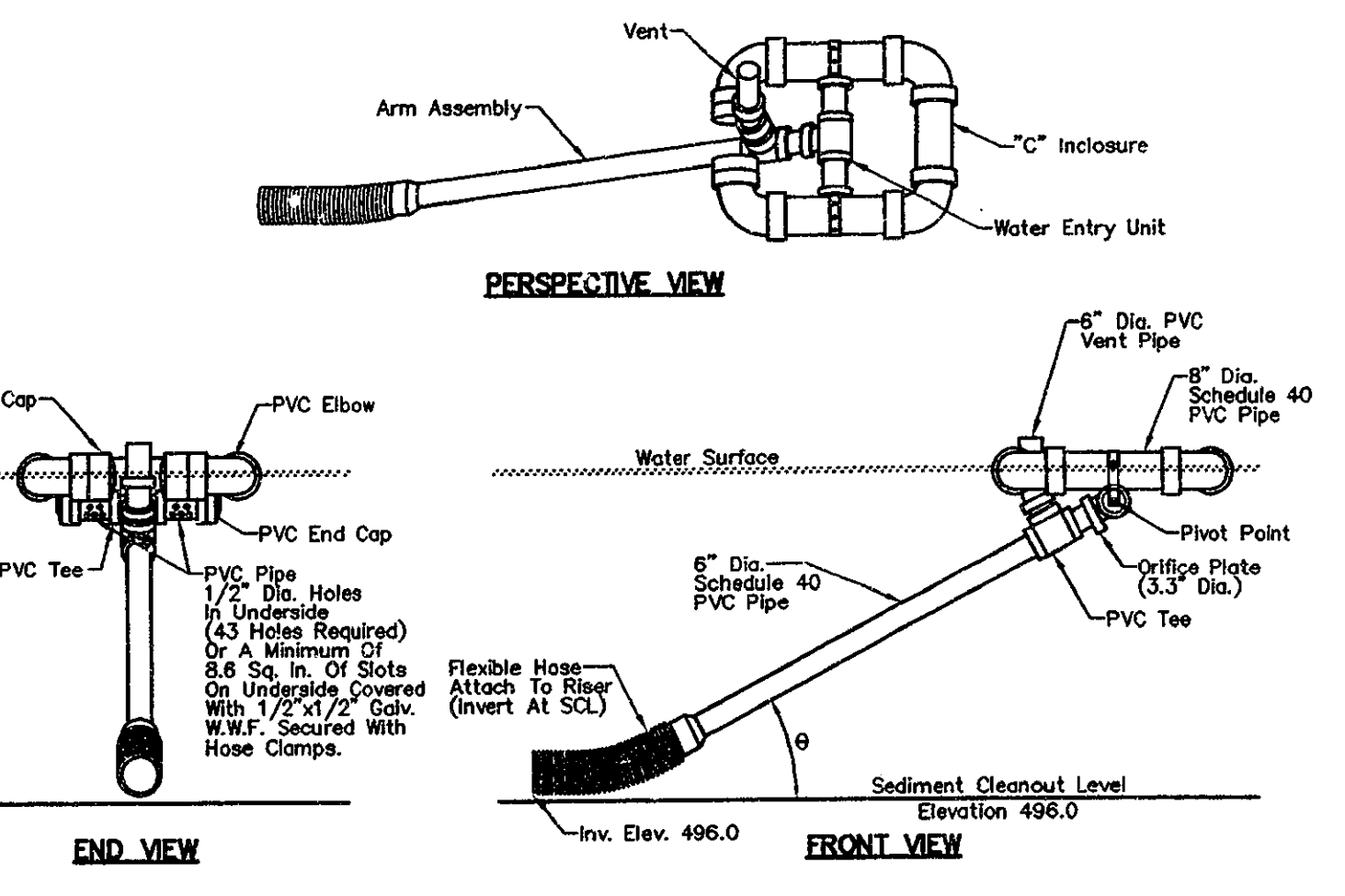
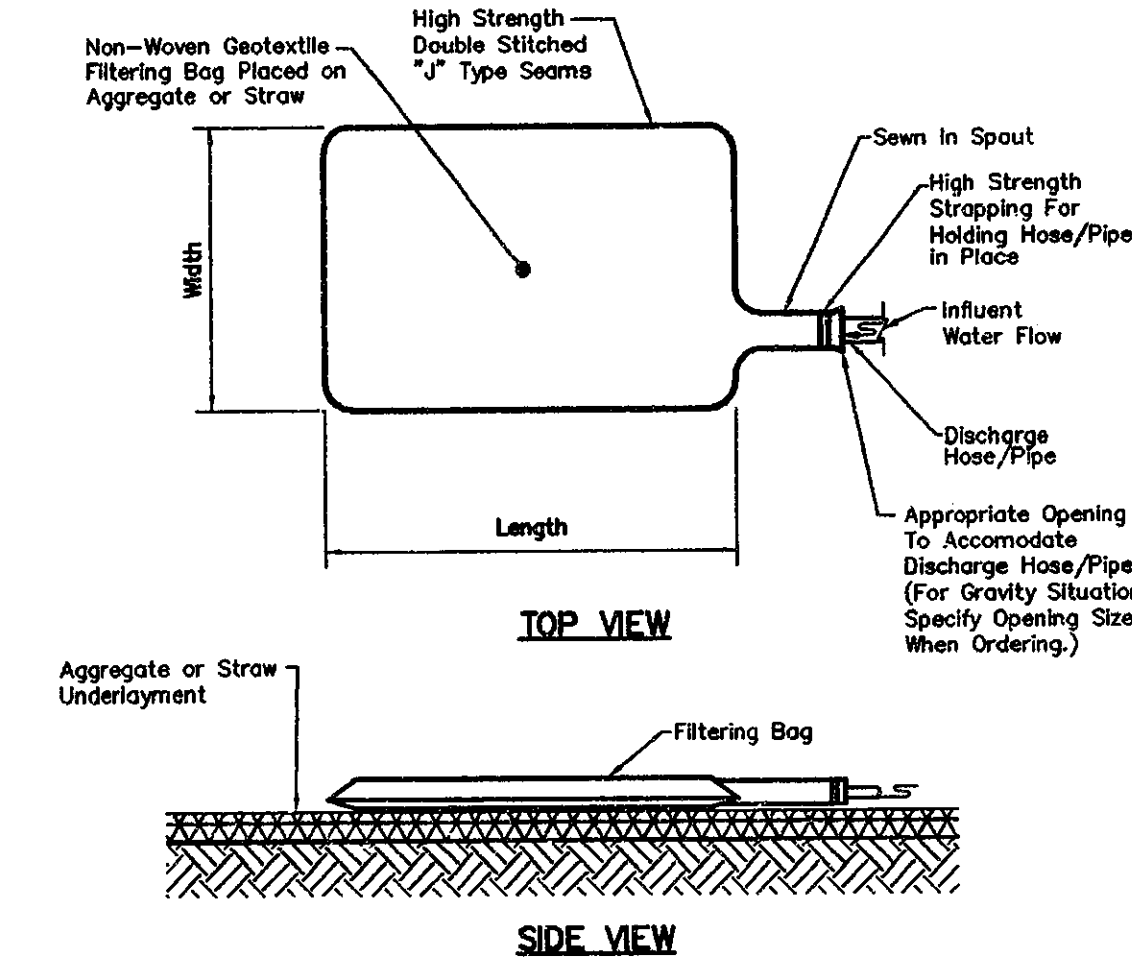
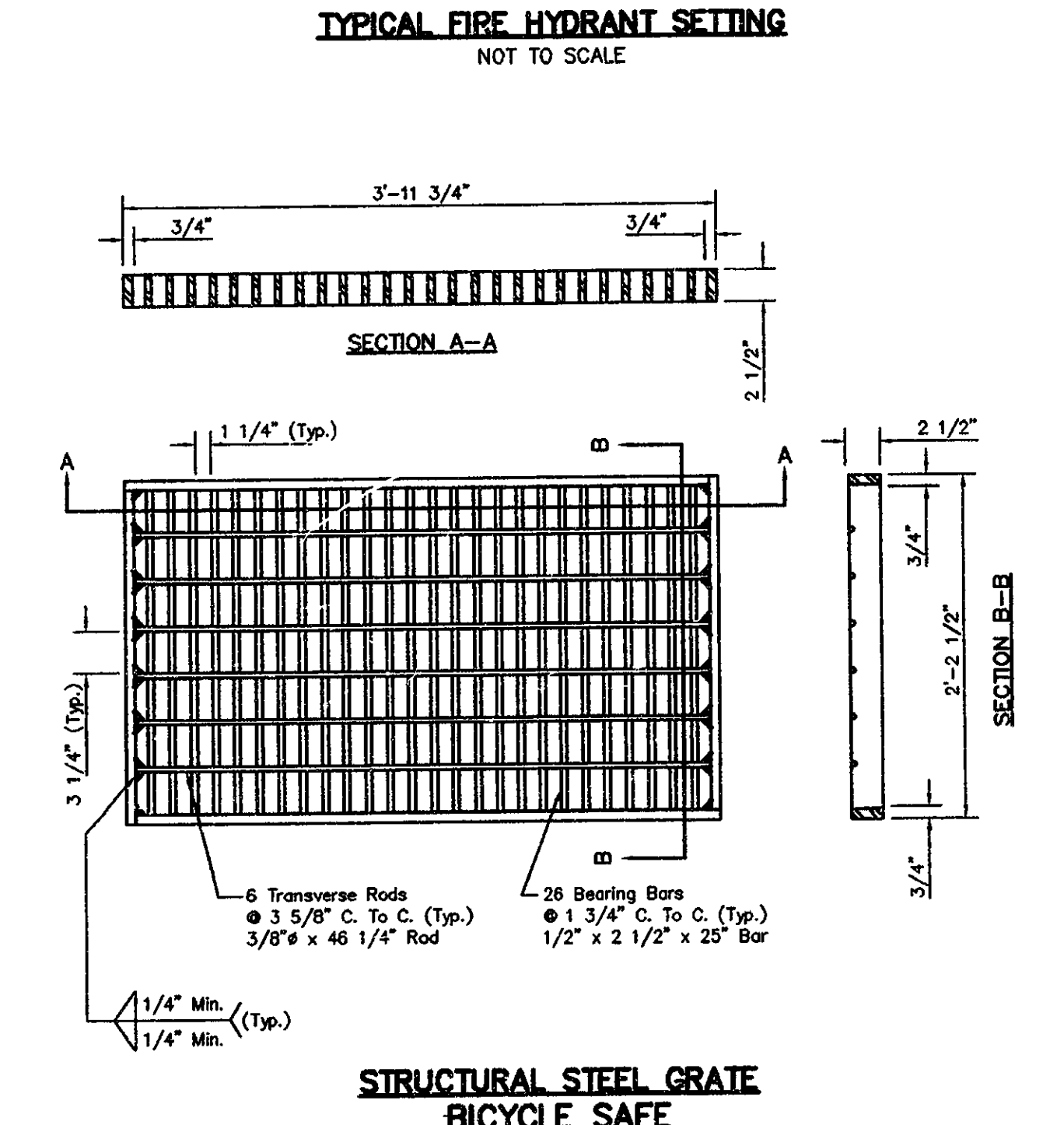
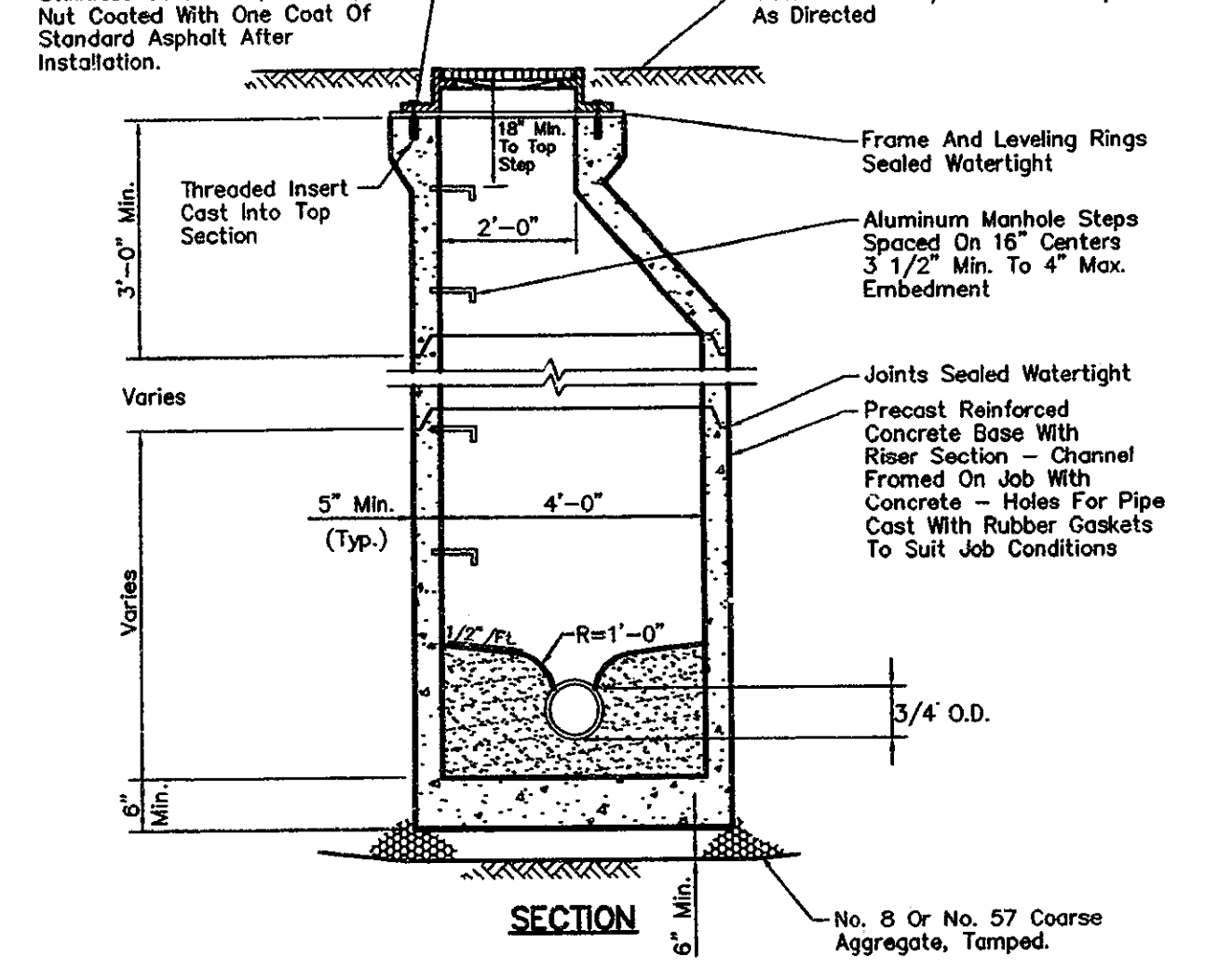
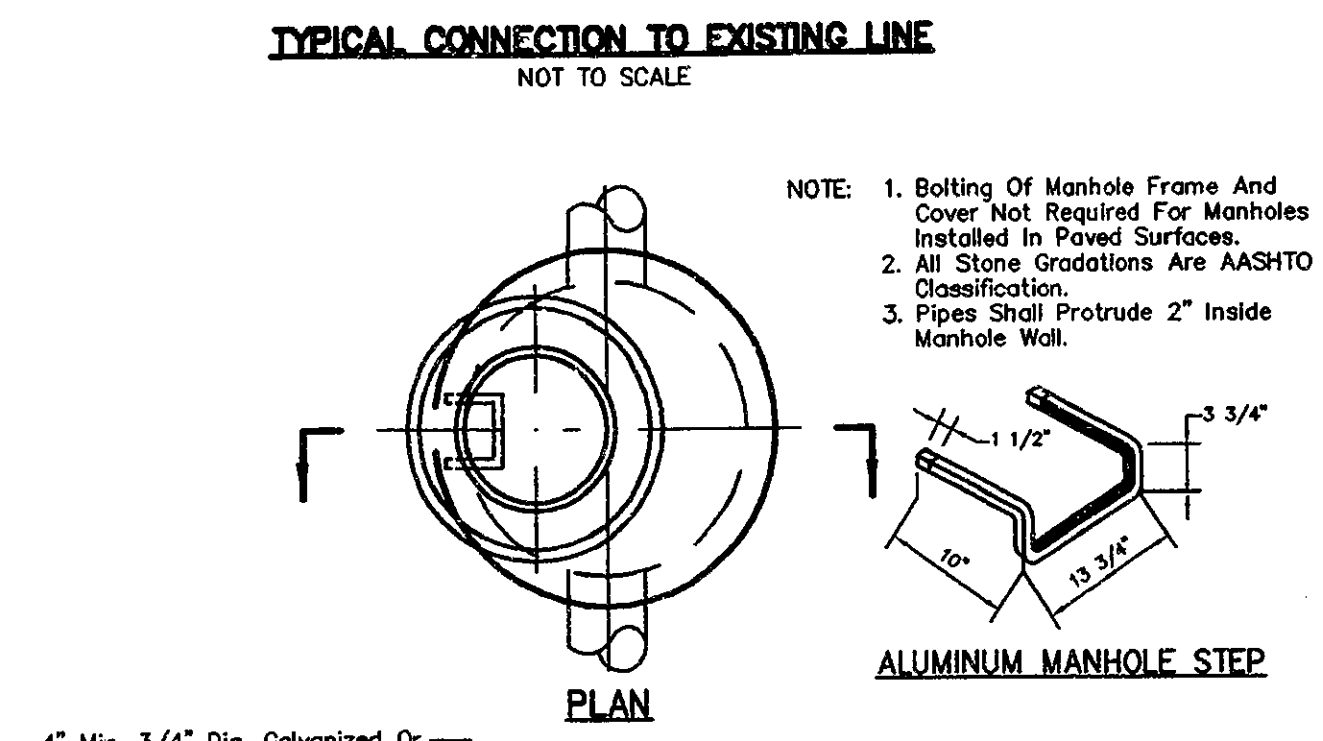
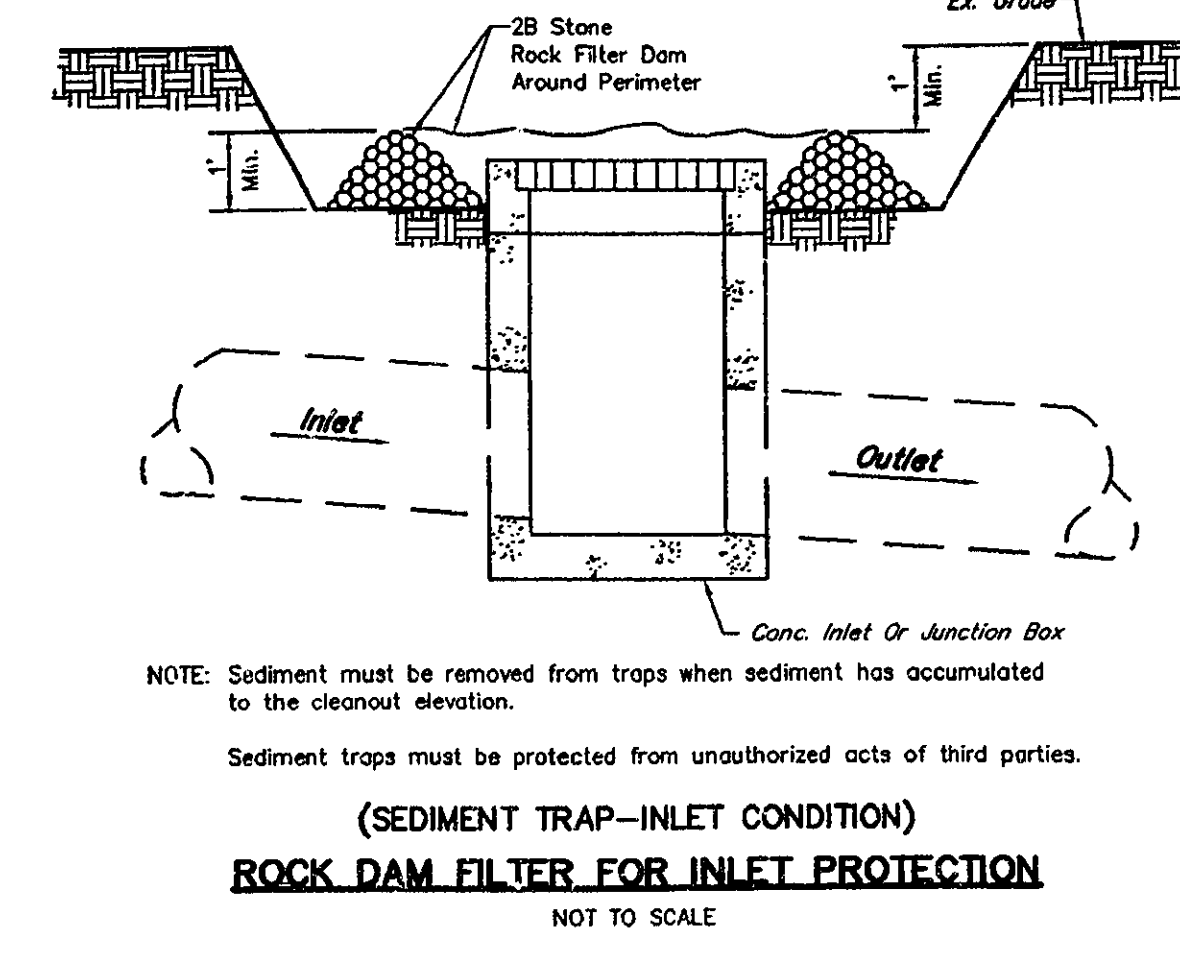
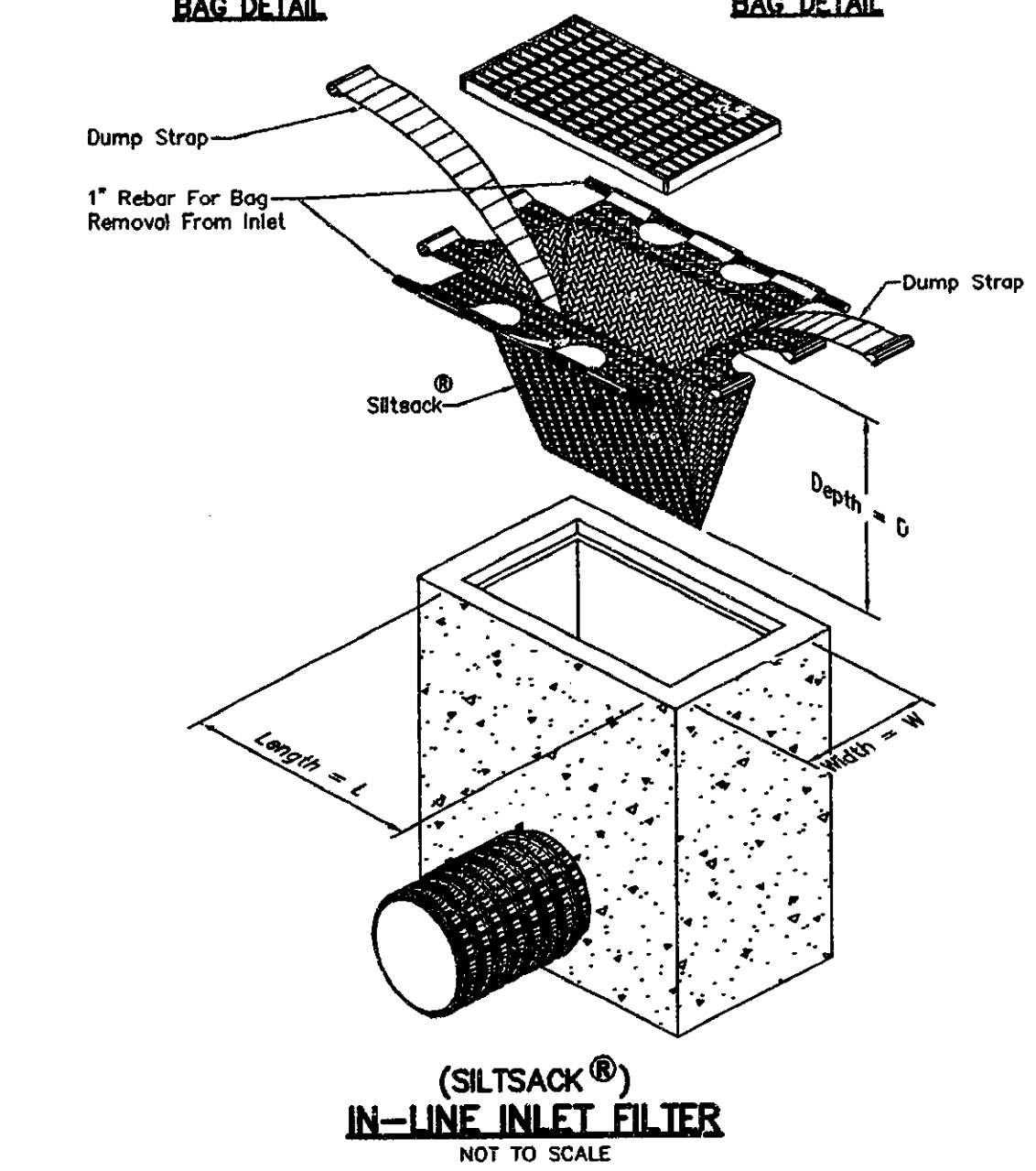
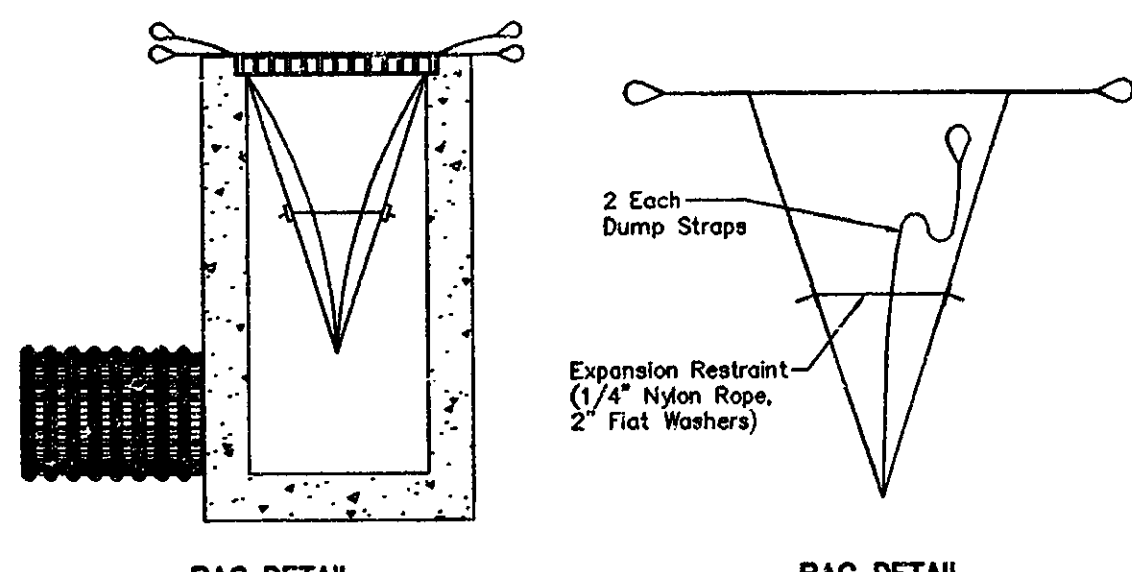
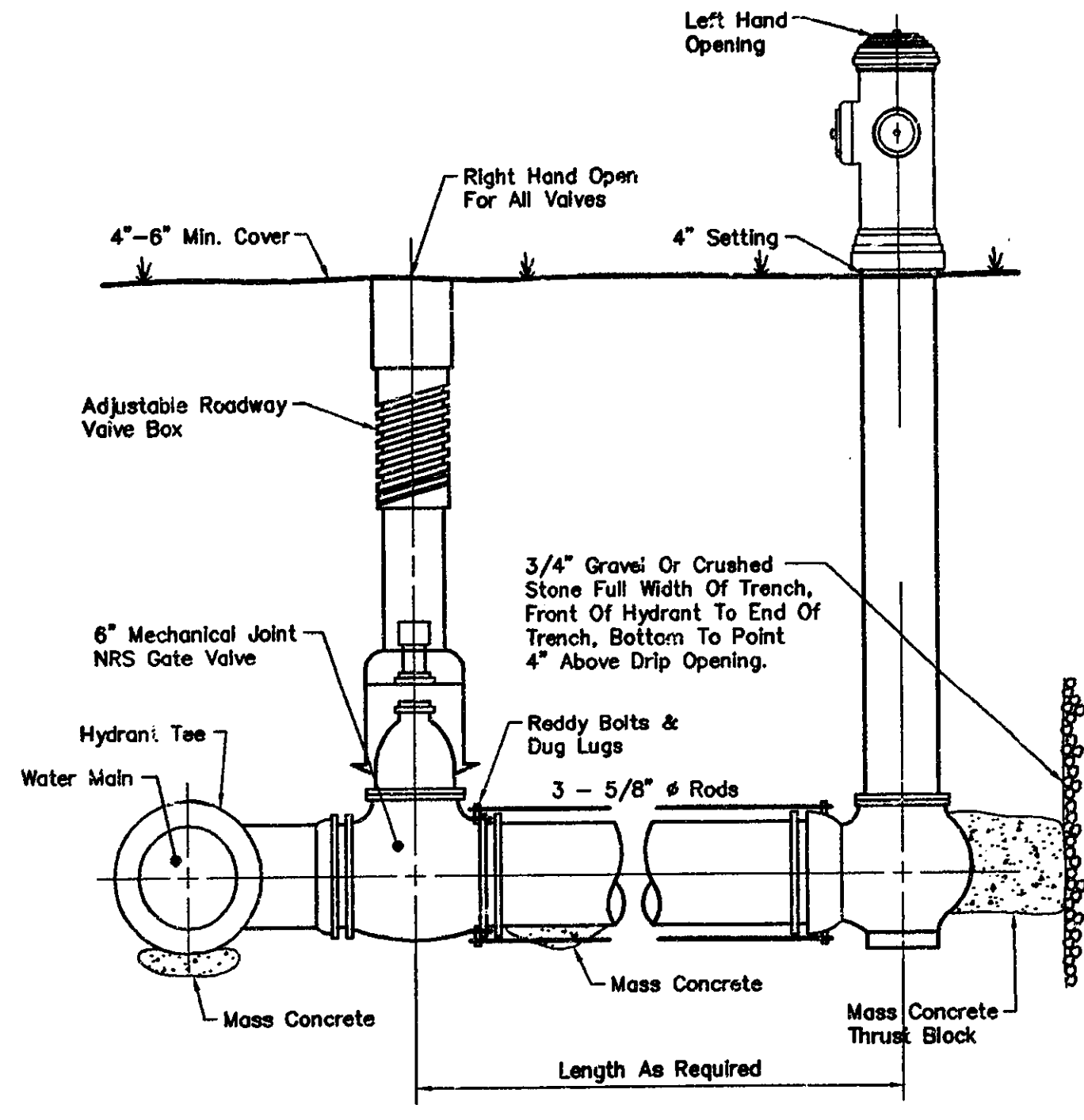
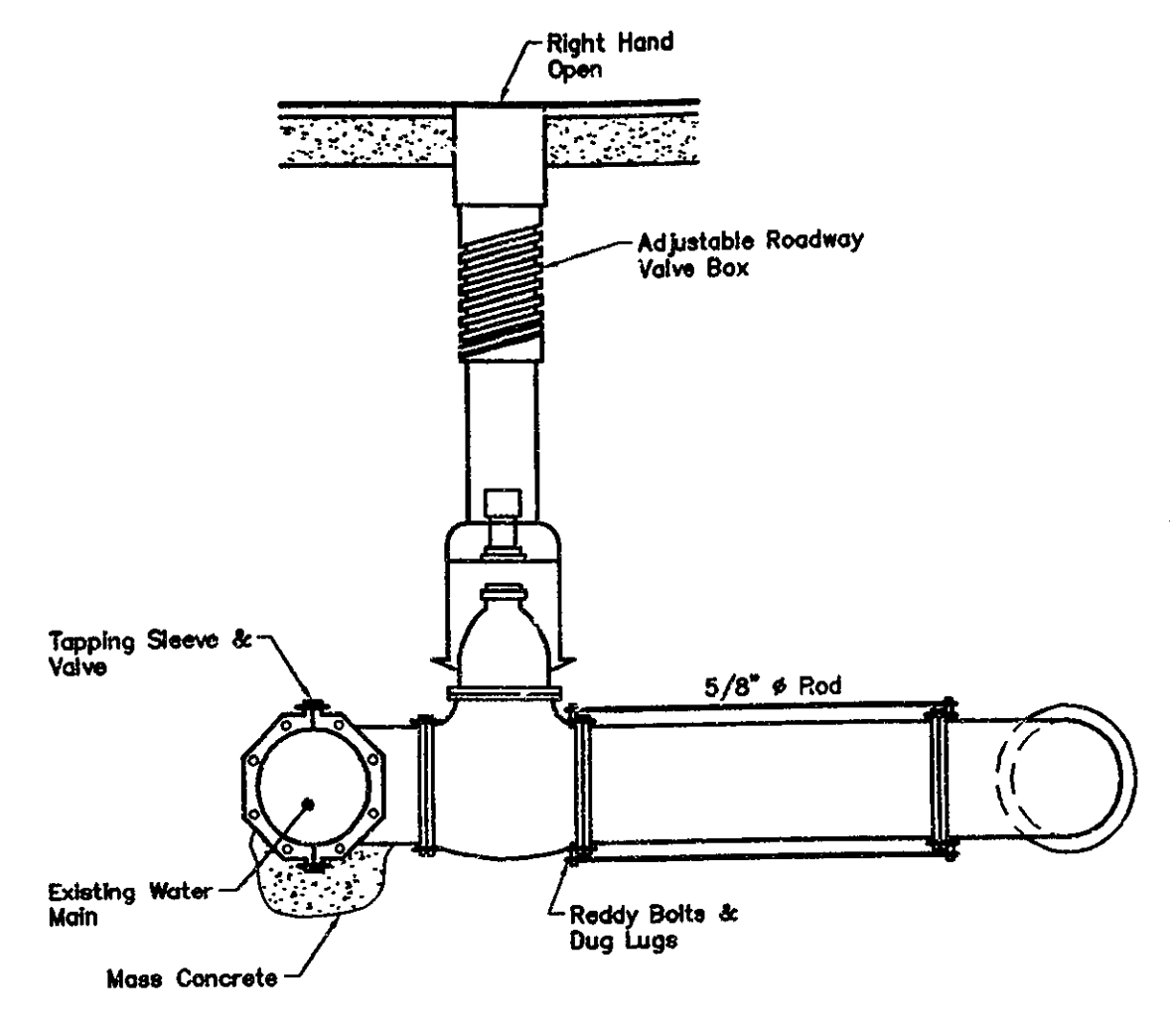
CHECKED BY: J.W.S.  
DRAWN BY: D.E.C.  
SCALE: AS NOTED  
CONTOUR INT.: N/A  
DATE: 9/6/01  
SHEET NO. 16 OF 24





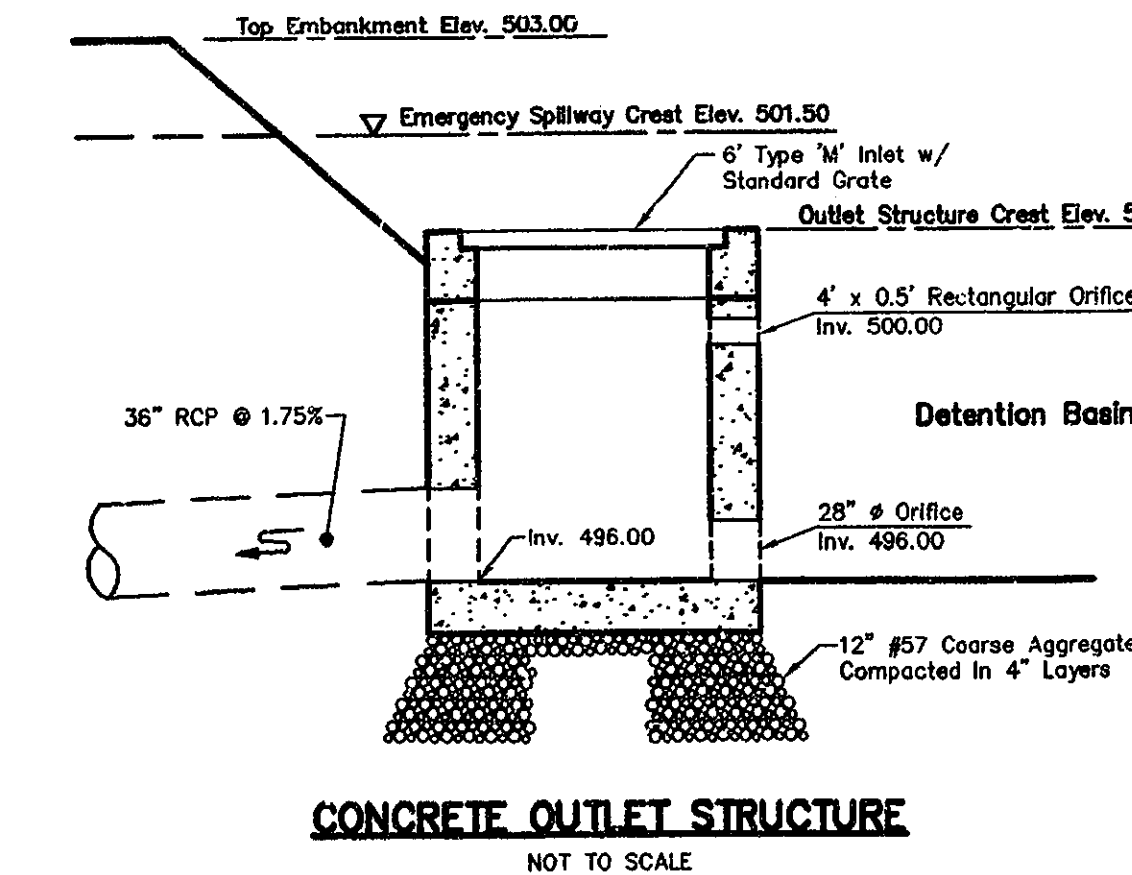


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**SWALE DESIGN TABLE**

SWALE	MAX. D.A. (ft.)	SLOPE (%)	Q (cfs)	V (fps)	V (ft³/s)	MAXIMUM WATER LEVEL (ft.)	DEPTH (ft.)	BOTTOM WIDTH (ft.)	SIDE SLOPE (R:1)	TEMPORARY LINING TYPE	PERMANENT LINING TYPE	COMMENTS
RS-1	0.589	6.2	1.82	2.30	1.10	0.60	0.67	0	6:1/2:1	SC150	Grass	Permanent
RS-2	0.351	4.8	0.97	1.82	0.69	0.57	0.67	0	6:1/3:1	SC75	Grass	Permanent
RS-3	0.123	1.1	0.34	0.77	0.25	0.52	0.67	0	6:1/3:1	SC75	Grass	Permanent
RS-4	0.120	1.4	0.33	0.85	0.27	0.49	0.67	0	6:1/3:1	SC75	Grass	Permanent
RS-5	1.895	1.6	5.21	2.41	1.37	0.92	1.0	0	6:1/3:1	SC75	Grass	Permanent
RS-6	0.390	6.2	1.07	2.10	0.88	0.56	0.67	0	6:1/2:1	SC75	Grass	Permanent



Notes: Stabilize swales immediately with specified lining. \* Reference to erosion control blanket by North American Green (or equal).  
Refer to Erosion And Sedimentation Control/Siltwater Plan Narrative for more information.  
If swales are constructed in existing rock, no lining is required.  
For additional swale design data refer to Erosion and Sedimentation Control Plan Narrative.  
Design Q = 2.75 cfs/acre - 10 yr./24 hr. storm (Permanent Swale)  
Mannings "n" values used for design: \*\* n (temporary lining) = manufacturer specified  
\*\*\* n (permanent lining)

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PHONE: (717) 233-3095

**THE TOWNES AT HERSHEY ROAD**  
MANOR DRIVE  
DAUPHIN COUNTY, PA  
NEST HANOVER TOWNSHIP

**PHASE I FINAL SUBDIVISION & LAND DEVELOPMENT PLAN**

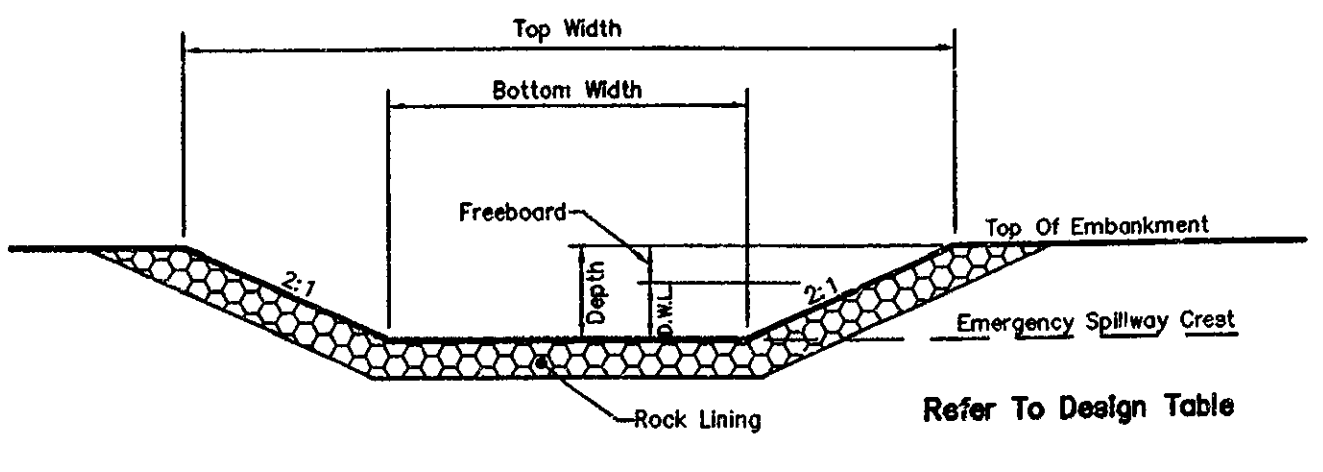
**MISCELLANEOUS CONSTRUCTION DETAILS**

CHECKED BY: J.W.S.  
DRAWN BY: D.E.C.  
SCALE: AS NOTED  
CONTOUR INT: N/A  
DATE: 9/8/01  
SHEET NO. 18 OF 24



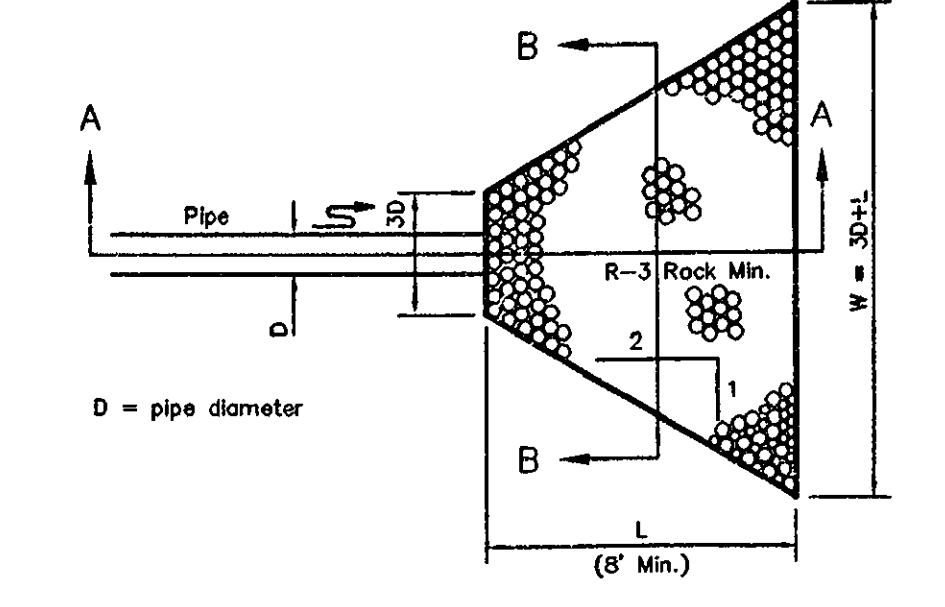
SLOPE REFERENCE	SLOPE (Ratio)	MAXIMUM LENGTH OF SLOPE (ft.)	RECOMMENDED EROSION CONTROL BLANKET PROTECTION (%)
ECB-1	2:1	15	S75
ECB-2	2:1	25	S75
ECB-3	3:1	35	S75
ECB-4	2:1	30	S75
ECB-5	3:1	25	S75
ECB-6	3:1	33	SC150

\* Reference to erosion control blanket by North American Green (Or Equal).



EMERGENCY SPILLWAY SECTION  
NOT TO SCALE

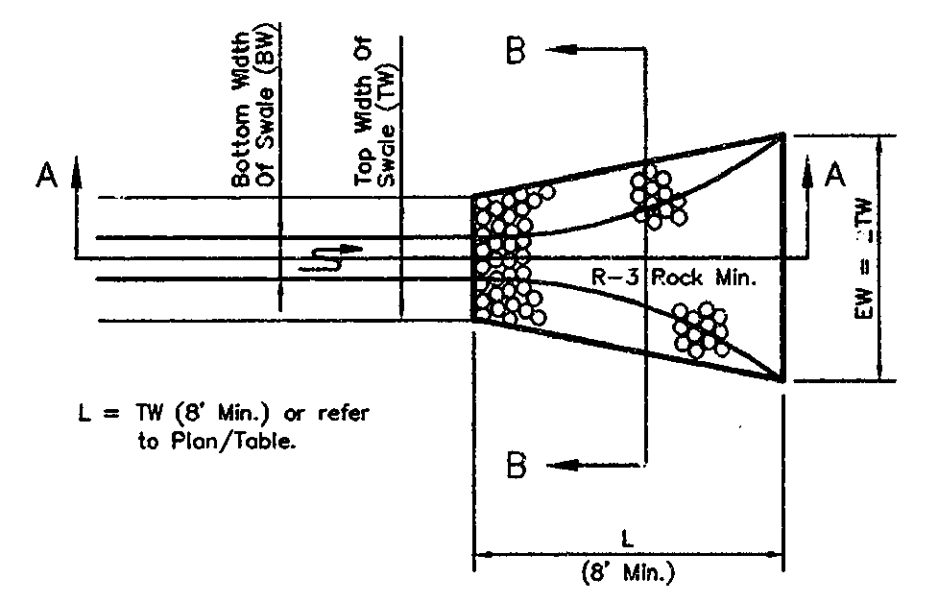
SWALE REFERENCE	MAXIMUM DISCHARGE Q (cfs)	VELOCITY AT SWALE DISCHARGE V (fps)	TOP WIDTH TW (ft.)	BOTTOM WIDTH BW (ft.)	DEPTH D (ft.)	LENGTH L (ft.)	ENDING WIDTH EW (ft.)	ROCK PLACEMENT THICKNESS RPT (ft.)	ROCK SIZE	COMMENTS
D-1	2.88	5.29	6.0	0	1.5	12.0	12.0	0.75	R-3	Temporary
C-1	1.28	2.06	6.0	0	1.5	18.0	12.0	0.75	R-3	Temporary
C-2	3.52	2.37	6.0	0	1.5	50.0	12.0	0.75	R-3	Temporary
C-3	7.20	2.50	8.0	0	2.0	40.0	16.0	0.75	R-3	Temporary
C-4	4.68	1.64	13.0	3.0	1.25	18.0	Blend	0.75	R-3	During Construction (Direct Toward Diversion Dike)
C-11	1.65	2.63	6.0	3.0	1.0	12.0	Blend	0.75	R-3	During Construction



PLAN  
NOT TO SCALE

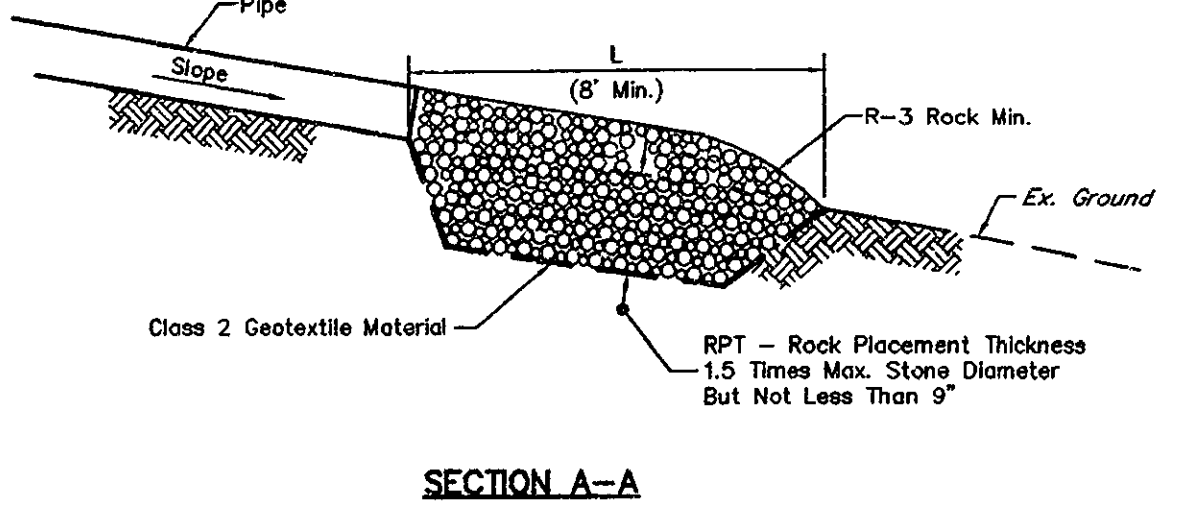
REFERENCE	D.A. (Ac.)	DESIGN Q (cfs)	TOTAL DEPTH (ft.)	D.W.L. (ft.)	TOP WIDTH (ft.)	BOTTOM WIDTH (ft.)	SIDE SLOPE	LINING TYPE	COMMENTS
Detention Basin 'A'	-	139.5	1.5	0.50	144	138	2:1	R-4 Rock	Governing Design Criteria
Sediment Basin 'A'	24.71	49.42	1.5	0.50	144	138	2:1	R-4 Rock	-

Notes: Design:  $Q_{det}(N)$  Stormwater = 139.5 cfs //  $Q_{det}$  = 49.4 cfs (2.0 cfs/drainage acre).  
The sediment basin has been designed to discharge the required 2.0 cfs/drainage acre through the principal spillway, therefore the emergency spillway would only function if the principal spillway becomes blocked.

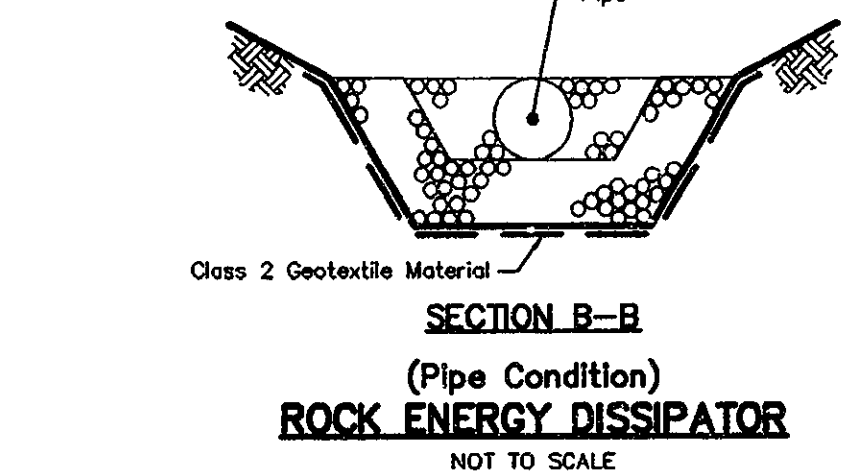


PLAN  
NOT TO SCALE

ROCK	DEPTH (ft.)
R-3	0.75
R-4	1.50
R-5	2.25
R-6	3.00
R-7	3.75



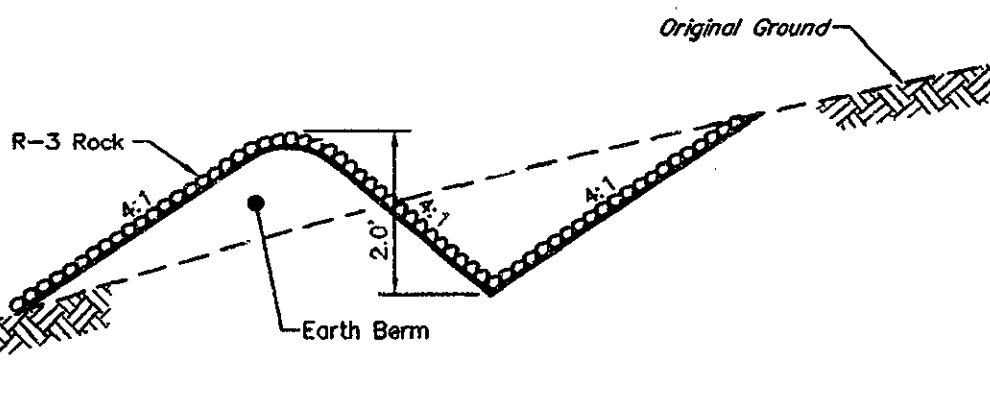
SECTION A-A  
NOT TO SCALE



SECTION B-B  
NOT TO SCALE

OUTLET REFERENCE	MAXIMUM DISCHARGE Q (cfs)	MAXIMUM VELOCITY AT PIPE SWALE V (fps)	DISCHARGE PIPE DIAMETER (ft.)	SD (ft.)	LENGTH L (ft.)	WIDTH W (ft.)	ROCK PLACEMENT THICKNESS RPT (ft.)	ROCK SIZE	COMMENTS
EW-1	11.47	8.8	1.5	4.5	11.0	15.5	1.5	R-4	Permanent
EW-2	40.12	16.7	2.5	7.5	18.0	25.5	2.25	R-5	Permanent
EW-3	48.3	15.2	2.5	7.5	21.0	28.5	2.25	R-5	Permanent
EW-4	59.9	14.8	3.0	9.0	26.0	35.0	3.0	R-6	Permanent

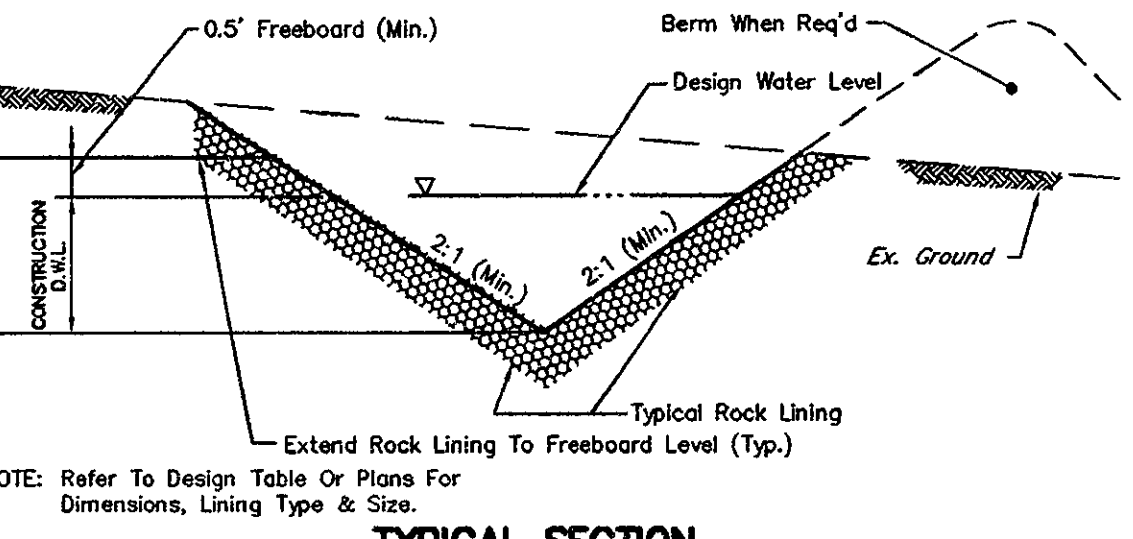
Note: Design Based On Figure 21 - Riprap Apron Design, Minimum Tailwater Condition (Erosion And Sediment Pollution Control Program Manual - March 2000, Commonwealth of Pennsylvania, Department Of Environmental Protection, Office Of Water Management).



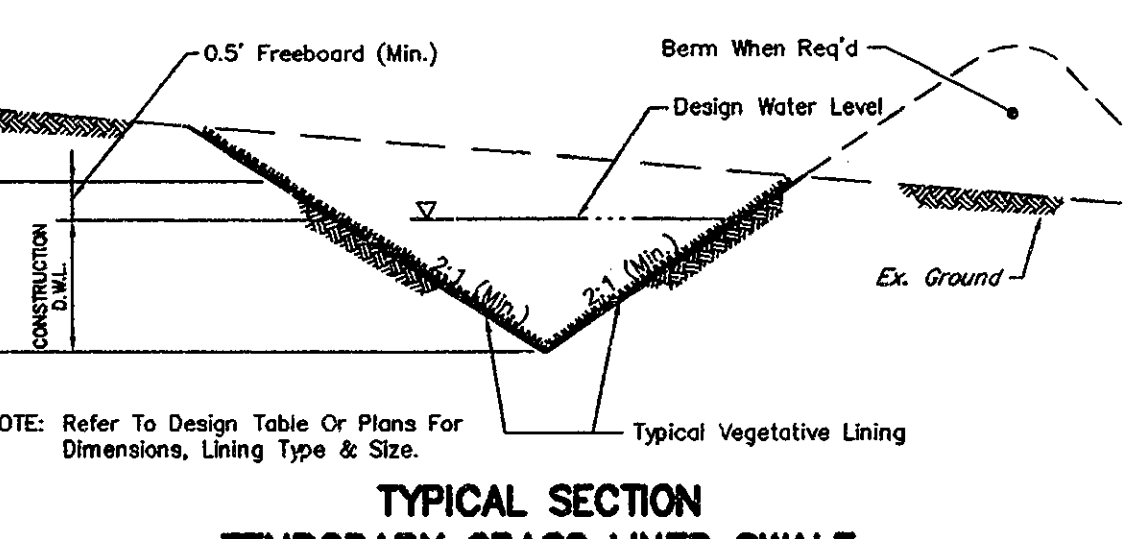
TEMPORARY DRIVABLE DIVERSION DIKE  
NOT TO SCALE

SWALE	MAX. D.A. (Ac.)	SLOPE (%)	Q (cfs)	V (fps)	V (fps) (n=0.020)	CONSTR. D.W.L. (ft.)	TOTAL DEPTH (ft.)	BOTTOM WIDTH (ft.)	SIDE SLOPE (Ratio)	LINING TYPE	COMMENTS
D-1	1.8	4.2	2.88	5.48	5.29	0.52	1.5	0	2:1	C125	Temporary
C-1	0.8	3.5	1.28	4.41	2.06	0.56	1.5	0	2:1	S75	Temporary
C-2	2.2	2.0	3.52	4.58	2.37	0.86	1.5	0	2:1	S75	Temporary
C-3	4.5	1.0	7.20	4.14	2.50	1.20	2.0	0	2:1	S75	Temporary
C-4	1.7	1.3	4.68	3.48	1.64	0.55	1.25	3.0	6:1/2:1	S75	Permanent
C-5	2.6	1.0	7.15	3.60	1.88	0.73	1.5	3.0	3:1	S75	Permanent
C-6	1.1	1.5	3.03	3.18	1.50	0.43	1.0	3.0	6:1/2:1	S75	Permanent
C-7	2.2	5.6	6.05	6.22	3.17	0.46	1.0	3.0	2:1/3:1	S150	Permanent
C-8	2.2	2.5	6.05	4.72	2.44	0.57	1.25	3.0	3:1/2:1	S75	Permanent
C-9	1.4	1.7	3.85	3.59	1.77	0.48	1.0	3.0	3:1	S75	Permanent
C-10	0.5	2.9	1.38	2.97	1.46	0.23	1.0	3.0	6:1/4:1	S75	Permanent
C-11	0.6	12.1	1.65	5.04	2.63	0.17	1.0	3.0	3:1	S75	Permanent
C-12	1.4	1.0	3.85	2.88	1.28	0.50	1.0	3.0	6:1	S75	Permanent

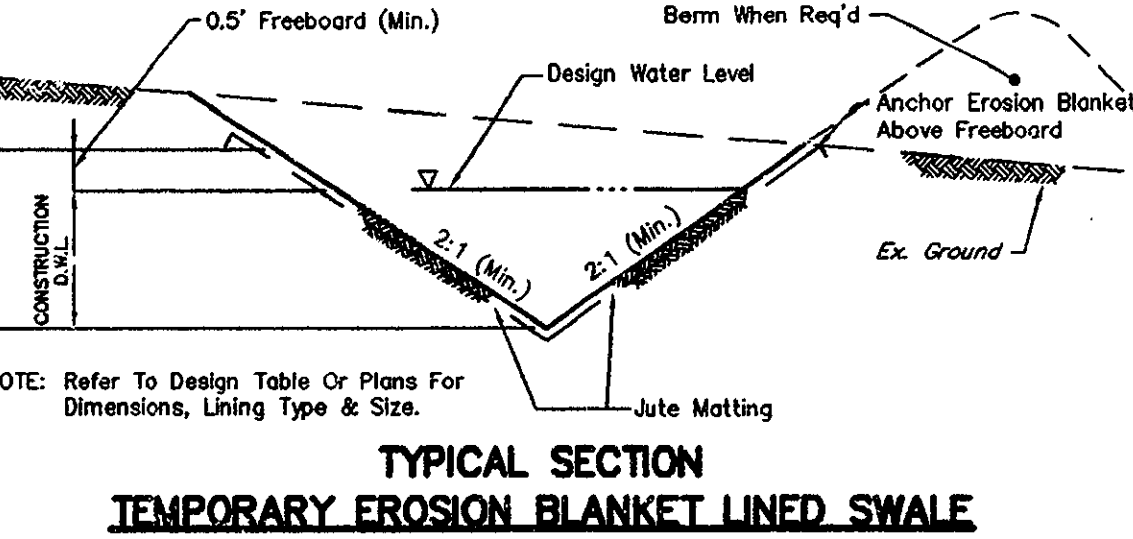
Notes: Stabilize swales immediately with specified lining. \* Reference to erosion control blanket by North American Green (or equal).  
If swales are constructed in a non-growing season substitute jute matting for grass lining. Vegetation can then be established in the spring.  
If swales are constructed in existing rock, no lining is required.  
For additional swale design data refer to Erosion and Sedimentation Control Plan Narrative.  
Design Q = 1.8 cfs/acre (Temporary Swale)  
Design Q = 2.75 cfs/acre (Permanent Swale)  
Design freeboard = 0.5 feet (min.)  
Manning's "n" values used for design: n (bare earth) = 0.020  
n (established lining) = 0.040 or manufacturer specified



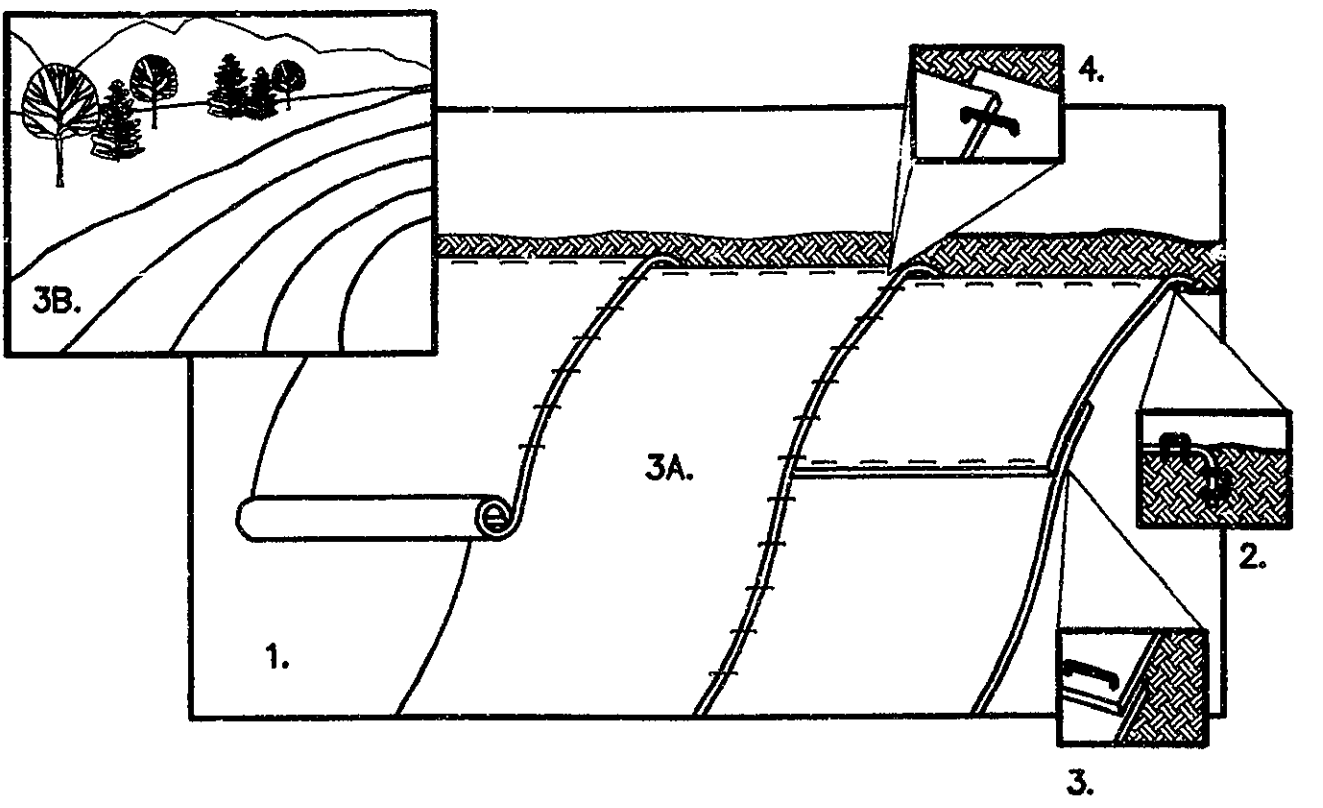
TYPICAL SECTION  
TEMPORARY ROCK LINED SWALE  
NOT TO SCALE



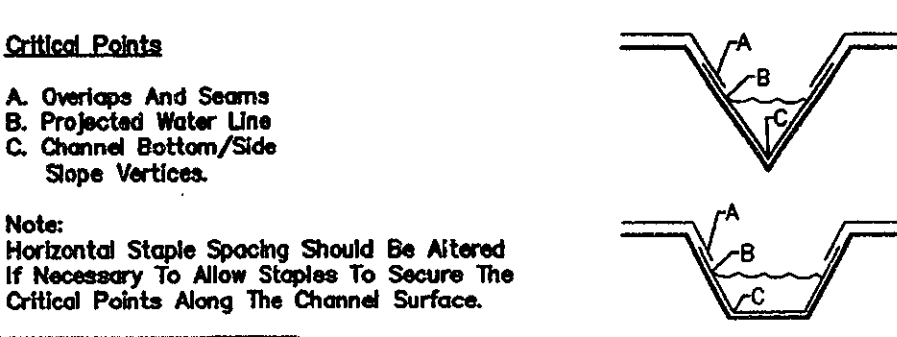
TYPICAL SECTION  
TEMPORARY GRASS LINED SWALE  
NOT TO SCALE



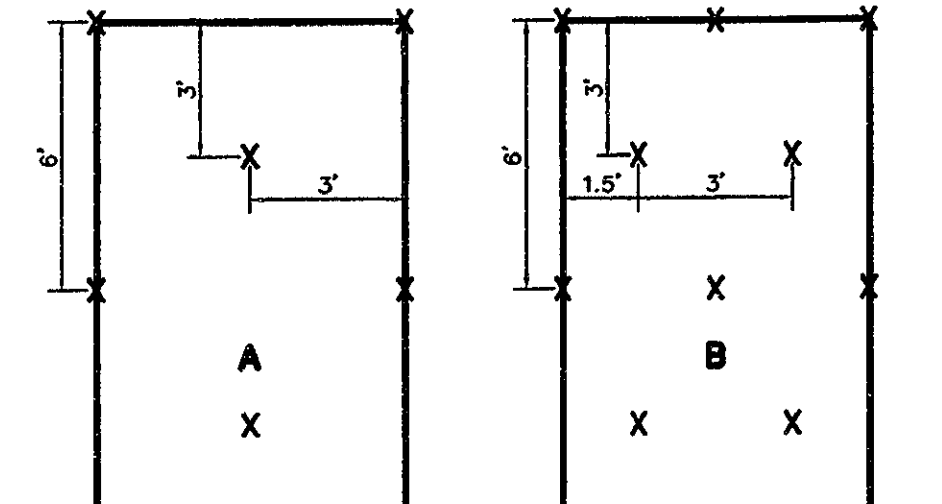
TYPICAL SECTION  
TEMPORARY EROSION BLANKET LINED SWALE  
NOT TO SCALE



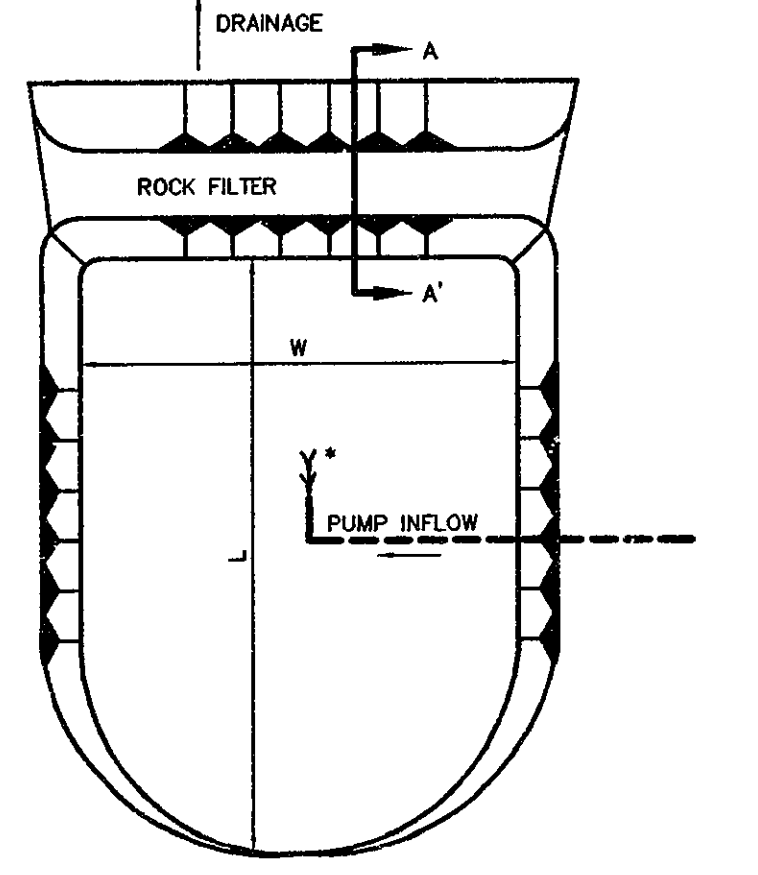
(Slope Stabilization)  
EROSION CONTROL BLANKET INSTALLATION  
NOT TO SCALE



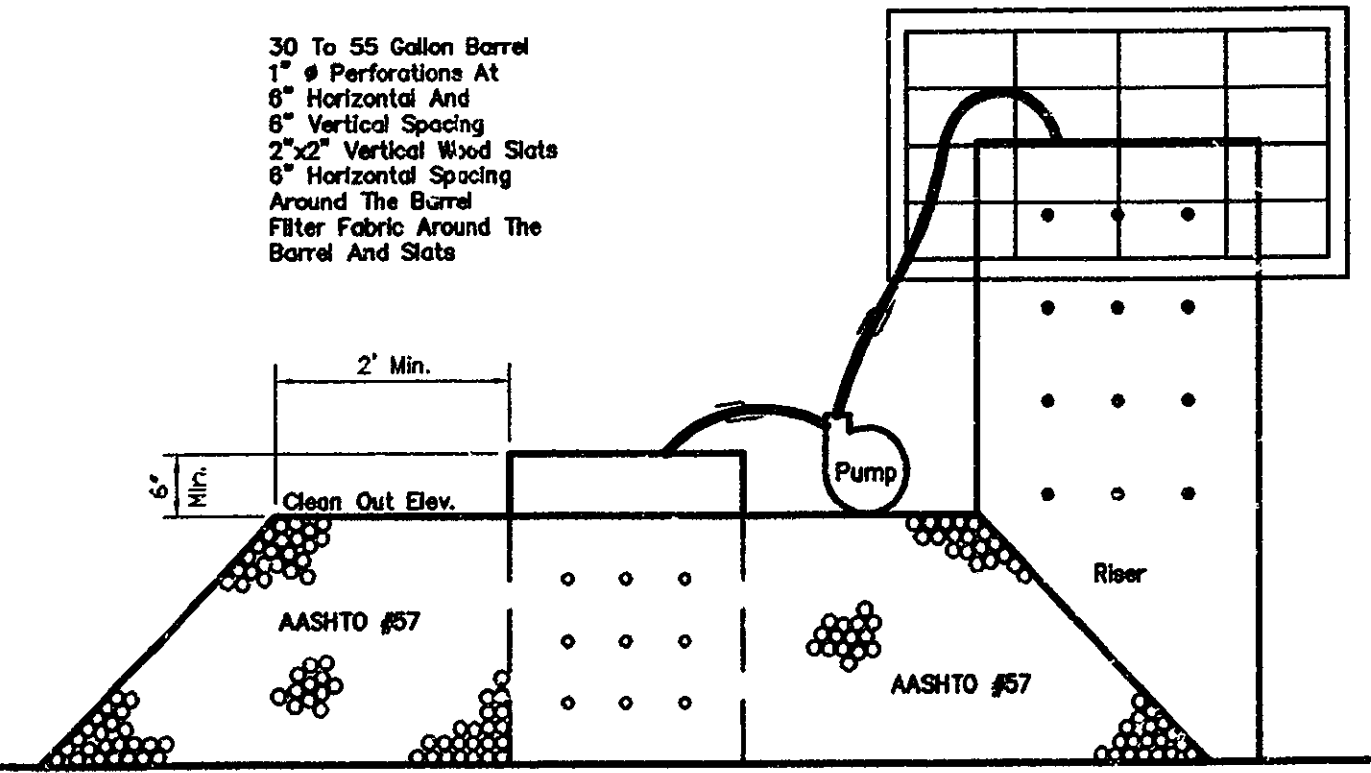
(Channel Stabilization)  
EROSION CONTROL BLANKET INSTALLATION  
NOT TO SCALE



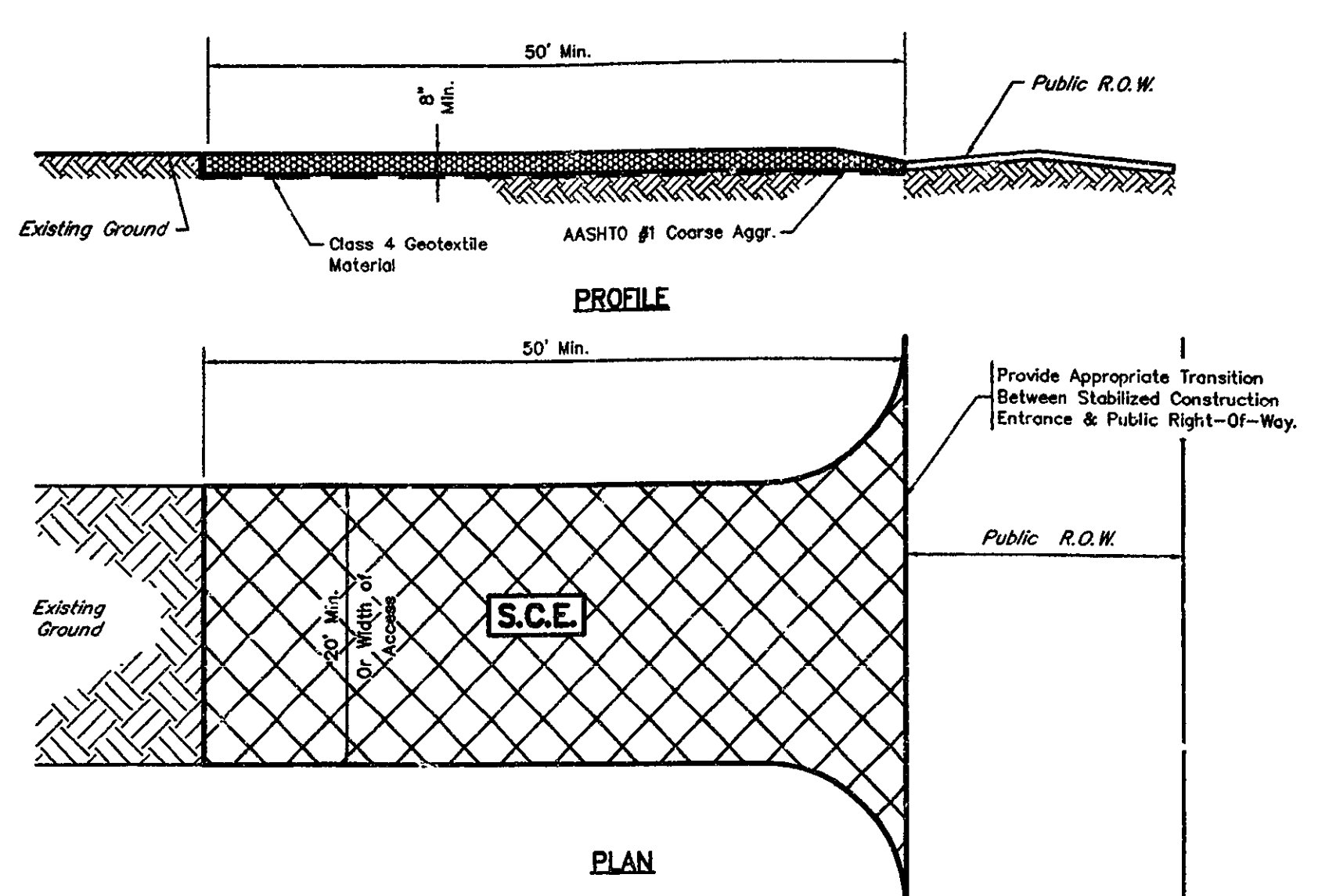
EROSION CONTROL BLANKET STAPLE ANCHORING  
NOT TO SCALE



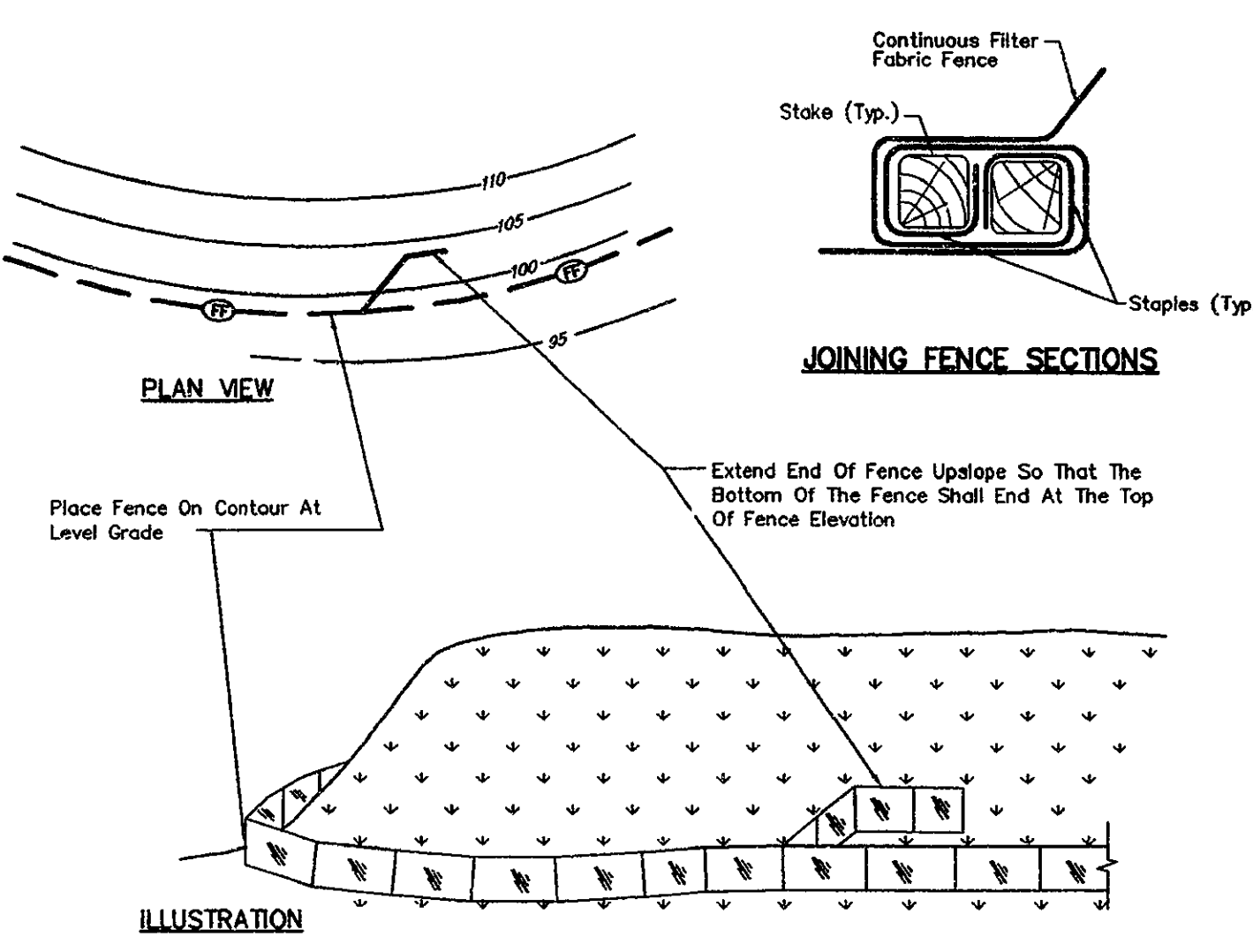
ROCK DIKE FILTER  
NOT TO SCALE



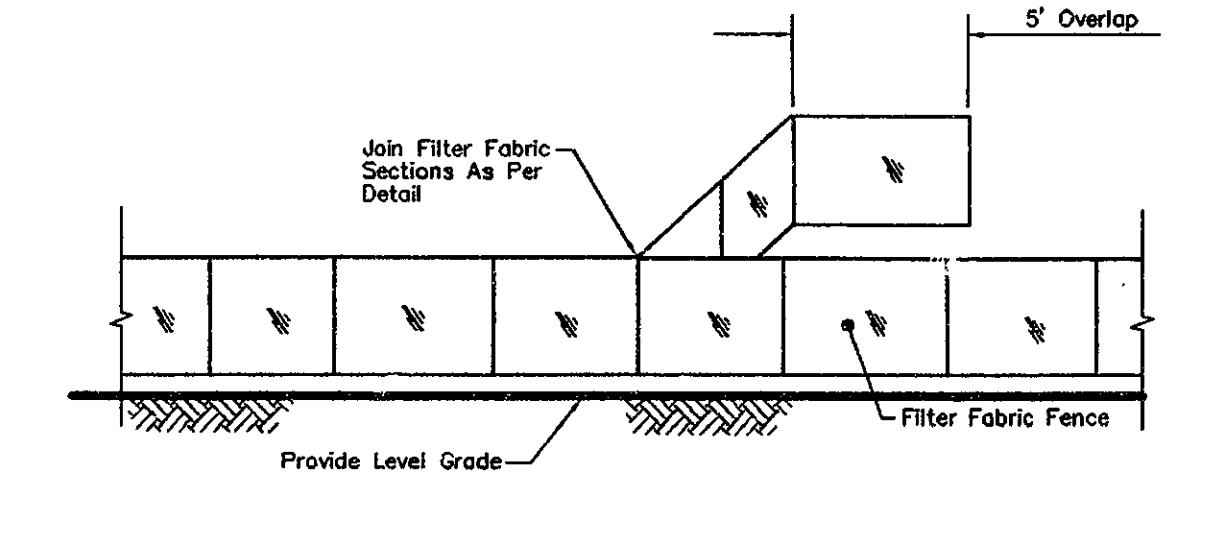




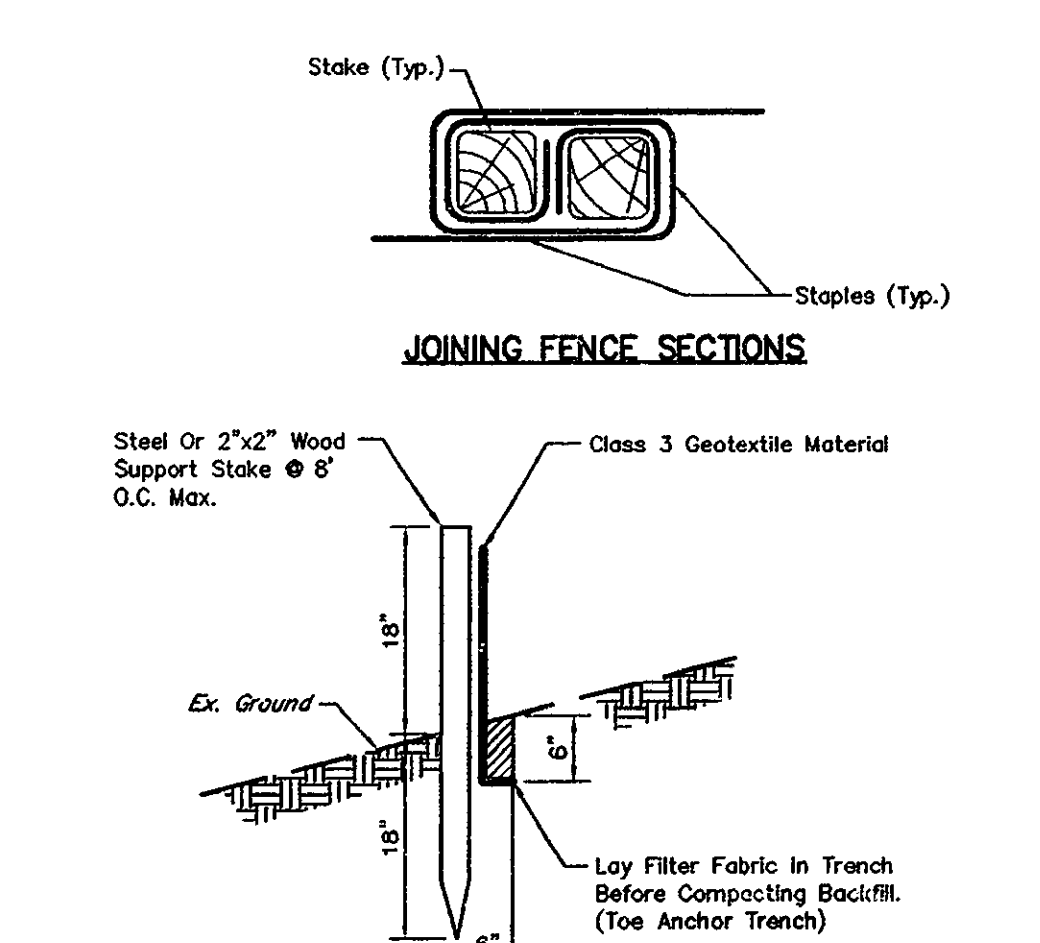
**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



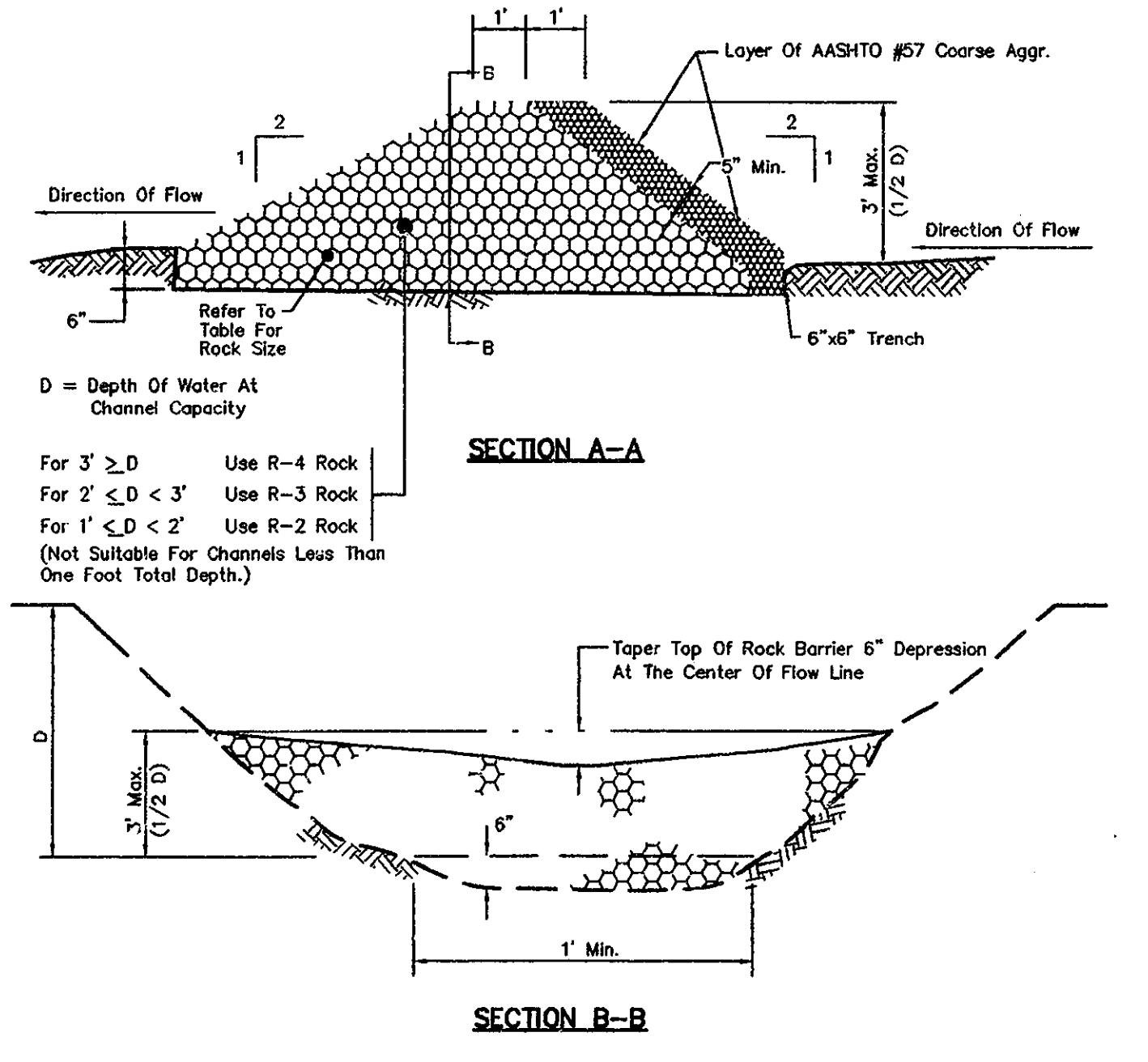
**TYPICAL E & S CONTROL MEASURES FOR INDIVIDUAL LOT CONSTRUCTION**  
NOT TO SCALE



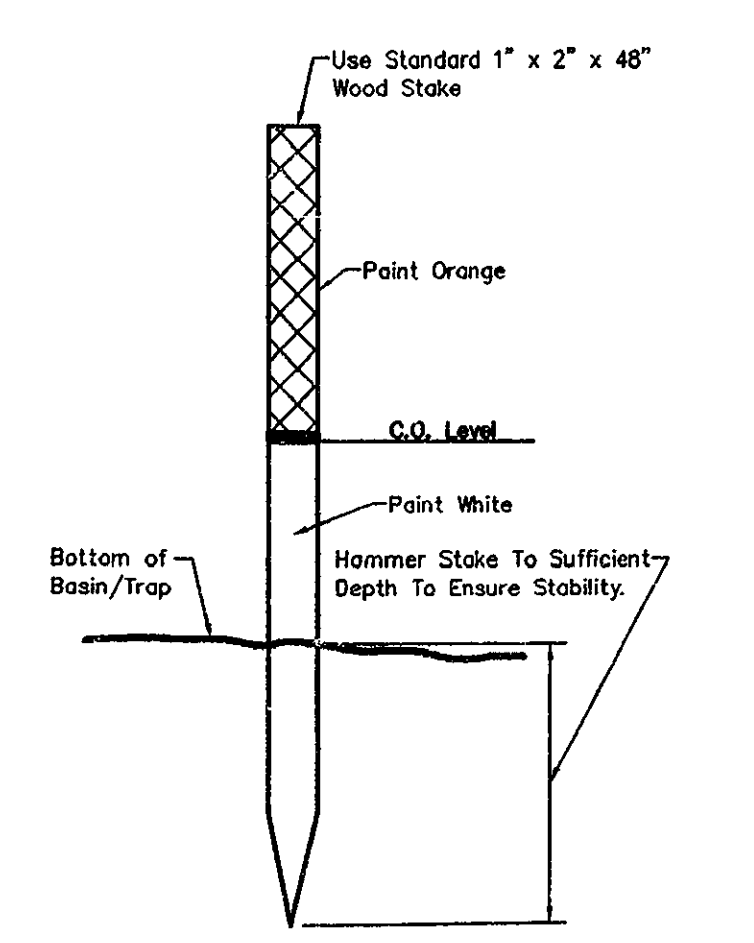
**FILTER FABRIC FENCE INSTALLATION**  
NOT TO SCALE



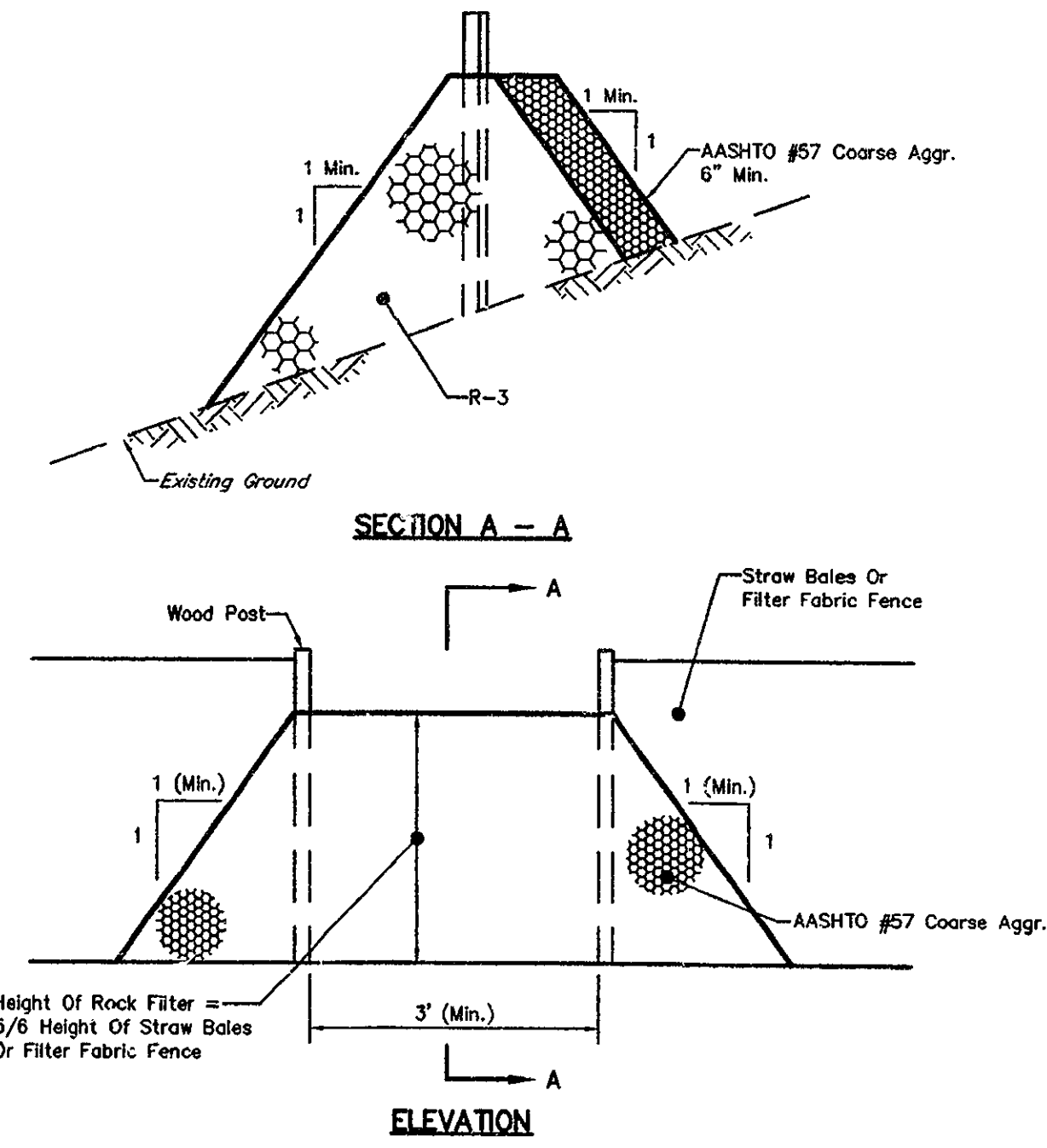
**STANDARD SECTION - 18" MAX. HEIGHT FILTER FABRIC FENCE**  
NOT TO SCALE



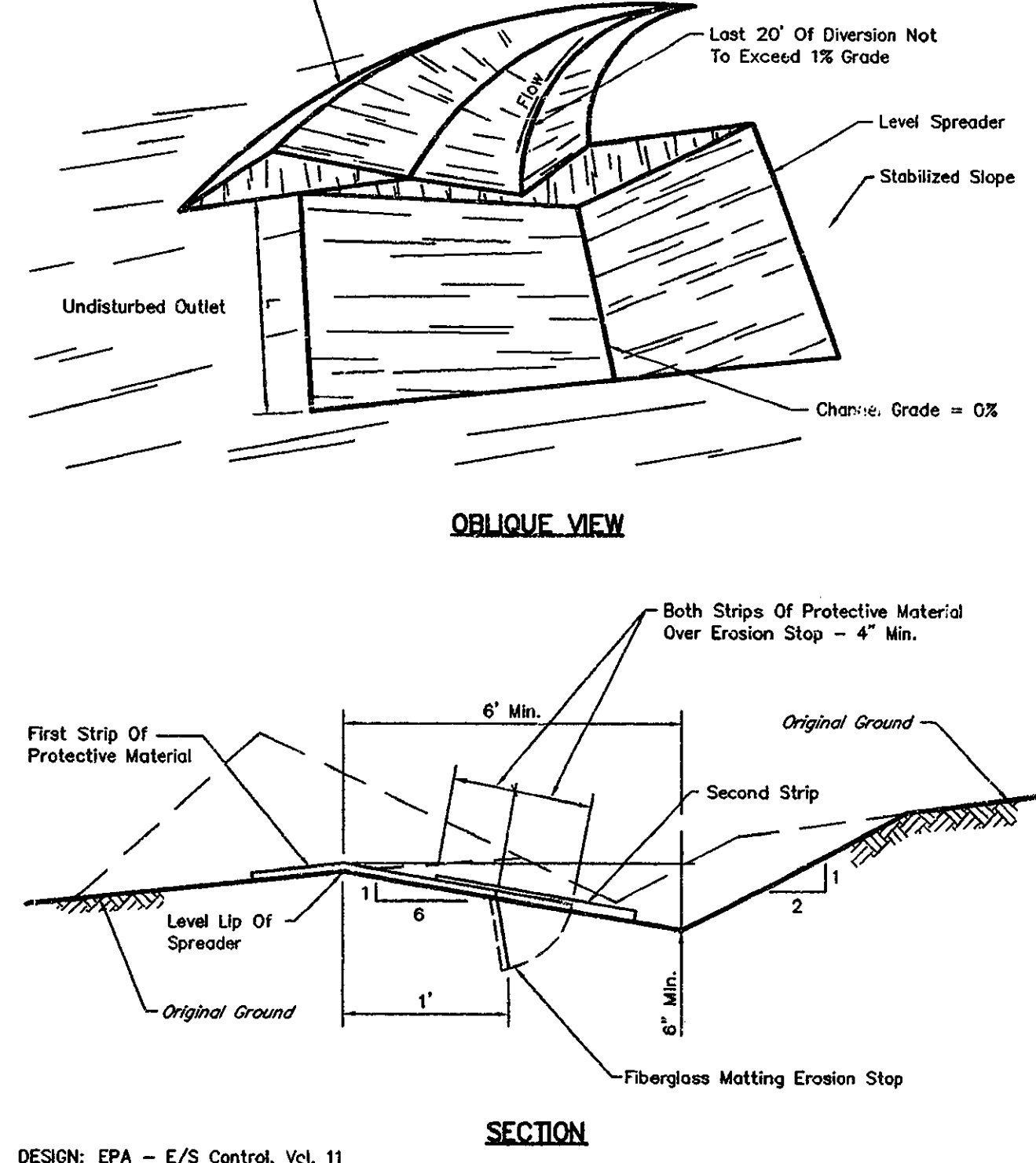
**(Swale Condition) ROCK BARRIER FILTER**  
NOT TO SCALE



**CLEAN OUT STAKE**  
NOT TO SCALE



**(IF REQ'D) ROCK FILTER OUTLET**  
NOT TO SCALE



**LEVEL SPREADER**  
NOT TO SCALE

**RECOMMENDED STAGING OF MAJOR EROSION CONTROL/CONSTRUCTION ACTIVITIES**

**NOTES:** The contractor shall notify the Dauphin County Conservation District at least 72 hours prior to the commencement of on-site earthmoving operations.

Before starting any earth disturbance activities, the general contractor shall invite all appropriate contractors, utility companies, owners, engineers and the County Conservation District for an on-site pre-construction meeting.

Should any non-permitted, off-site spoil areas be required to dispose of excess material, the contractor shall be responsible for developing an erosion and sedimentation control plan and obtaining all necessary permits for those areas.

All appropriate contractors shall comply with the provisions of Act 887 Notification of Utilities before excavation in the project area in order to determine the existence and location of all utilities. A minimum of 72 hours prior to construction, the contractor shall contact L.I. utilities and request them to mark their underground utility locations in the field. The Pennsylvania One Call System, incorporated telephone number is 1 (800) 242-1776.

Erosion and sediment control BMPs (Best Management Practices) must be constructed, stabilized and functional prior to any site disturbance within the contributing drainage areas of those BMPs.

The Erosion and Sedimentation Control Plan has been developed for the entire project area. This project has the option to be constructed in two phases, therefore, only the appropriate erosion control BMPs need be constructed within the specific drainage area that disturbance will take place. Diversion swale D-1 must be constructed in its entirety.

- Construct the temporary stabilized construction entrances. The rock construction entrance thickness shall be continually maintained to the specified dimensions. A stockpile of AASHTO #1 coarse aggregate shall be on the site for this purpose. At the end of each work day, any sediment deposited on paved roadways shall be removed and returned to the construction site.
- Place filter fabric fence at all locations shown on the Erosion and Sedimentation Control Plan.
- Install diversion swale D-1, associated rock energy dissipator and level spreader. Stabilize swale immediately with the specified lining.
- Begin clearing and grubbing in the areas of the sediment basin 'A'. Temporarily stockpile spoil in the designated area until it can be disposed of in an environmentally acceptable manner. Place filter fabric fence around the low side of the stockpiled spoil area.
- Remove topsoil in the area of sediment trap 'A'. Stockpile topsoil in the designated area and place filter fabric fence around the low side of the stockpiled topsoil.
- Install inlet I-42, associated culvert pipe, endwall EW-4 and associated rock energy dissipator. Protect inlet I-42 with a rock dam filter or in-line inlet filter.
- Prior to beginning any earthmoving or construction activities, construct sediment basin 'A', principal spillway, related collection swales, culverts and rock energy dissipators. Stabilize all control facilities immediately.
- Limiting the aerial extent of disturbed areas, clear, grub and remove any available topsoil in only the areas necessary for concurrent earthmoving and construction, stockpile spoil and topsoil in the designated area and place filter fabric fence around the low side of the stockpiled topsoil. Seed topsoil stockpile with temporary seed mixture.
- Apply temporary seeding to any erosion control facilities not previously seeded.
- Commence excavation and grading for the proposed new streets. Place temporary berms along each side of the roadway when in a fill area. The temporary berms shall be maintained and adjusted continuously until 90% vegetative growth is established on all exterior slopes and permanent storm drainage is functioning. Collection berms will be utilized to divert water to slope drains. Slope drains will discharge into filtering bags, collection swales and/or sediment traps. Install rock dike filters across roadway to reduce water velocity as needed. See details.
- Stabilize all slopes immediately. Install specified erosion control blankets on designated slopes. All other slopes shall be stabilized with appropriate seed mixture and mulch.
- Construct improvements along South Hershey Road (S.R. 0039).
- Construct pump station, force main, sanitary sewers, manholes and laterals. Construct storm sewers, storm sewer inlets, water lines and water line services. Install underground electric, telephone and TV cable.
- Any trenching through a swale during utility construction shall be scheduled so that the trench will be backfilled and the swale restored and stabilized that same day.
- Place rock dam filters or in-line inlet filters for inlet protection at all inlets. See Erosion and Sedimentation Control Plan.
- Commence construction of townhome dwellings. If applicable, utilize individual lot erosion and sedimentation control measures where applicable.
- Final grade streets. Construct concrete curb. Place coarse aggregate on streets. Fine grade coarse aggregate and place bituminous binder course pavement. Construct sidewalks.
- As soon as any area of the site has been final graded, replace topsoil and seed final graded areas with permanent seed mixture.
- Commence landscaping.
- As the drainage area contributing to each BMP is stabilized, removal of that BMP can take place. Conversion of the temporary sediment basin to the permanent stormwater detention basin, in conjunction with the replacement of the temporary principal outlet structure with the permanent outlet structure, should be scheduled when the sediment basin is completely dewatered and no anticipated rainfall is projected during the time frame proposed to complete the construction. If the sediment basin is not completely dewatered, use an approved dewatering BMP. Areas disturbed during the removal of any erosion and sediment control BMP must be restored and stabilized immediately.
- Remove remainder of the erosion and sediment control BMPs only after the entire site has been stabilized. Areas disturbed during the removal of the erosion and sediment control BMPs must be restored and stabilized immediately.

**NOTE:** Appropriate erosion and sediment control BMPs shall be in place at all times. Any disturbed areas exposed for more than 20 consecutive days shall be stabilized with temporary seeding specifications. Disturbed areas, which are either at finished grade or will not be redisturbed within one year, must be stabilized in accordance with permanent seeding specifications. Vegetative stabilization will be periodically inspected for proper growth. Any areas not stabilized shall be promptly reseeded. All erosion and sediment control measures shall be inspected on a weekly basis and after each measurable rain event and, if required, shall include the maintenance and repair to ensure effective and efficient operation. If erosion and sediment control BMPs fail to perform as expected, replacement BMPs or modifications to those failing BMPs will be required.

**GENERAL NOTES**

The contractor shall keep a copy of the Erosion and Sedimentation Control Plan and the Erosion and Sedimentation Control Plan Narrative on site at all times.

The contractor should obtain a copy of the latest revision of the 'Erosion and Sediment Pollution Control Program Manual' from the County Conservation District for reference.

The contractor shall maintain a vegetative buffer along the low side of the disturbed area and along wetland areas where possible.

The contractor shall conduct earthmoving activities in a manner that minimizes the amount of land disturbed at any given time.

The contractor shall keep the site well drained at all times.

Stockpile heights shall not exceed 35 feet and slopes shall not be steeper than 2:1.

Responsibility for the implementation of the Erosion and Sedimentation Control Plan shall be designated to at least one individual who will be present at the project site daily.

When the Municipal Official, Engineer, County Conservation District or its' authorized representative, determines that additional erosion and sediment control BMPs are necessary that were not foreseen in the design stage, then the contractor shall immediately implement the selected control measures.

Permanent soil stabilization shall be completed as early as practical. Permanent seeding and mulching will be incorporated into the construction phases during the approved planting seasons.

**Recommended Seeding Types and Rates:**

**Temporary Seeding:**

Temporary seeding shall consist of annual ryegrass (100 percent by weight), or equivalent, and shall be placed at the minimum rate of 50 lbs./acre. Temporary seeding shall be applied to those areas that are a potential erosion problem during construction and to those areas exposed for longer than 20 consecutive calendar days. Disturbed areas which are not at finished grade and which will be redisturbed within one year may be stabilized in accordance with temporary seeding specifications. If conditions do not permit temporary seeding, stabilization by mulching shall be employed.

Temporary mulching shall consist of straw, reasonably free of viable seed, and shall be placed at a rate of 3 tons/acre, uniformly applied in a continuous blanket. The mulch shall be anchored with emulsified asphalt spread uniformly at a rate not less than 150 gallons/acre.

**Permanent Seeding:**

Lawn type applications:  
Seed @ 100 lbs./acre.  
(a) Kentucky Bluegrass - 50% total weight.  
(b) Pennlawn Red Fescue - 30% total weight.  
(c) Perennial Ryegrass - 20% total weight.

Soil amendments: 2 tons/acre of dolomitic limestone and 600 lbs./acre of 10-20-20 fertilizer prior to seeding.

Mulching: Straw @ 3 tons/acre, reasonably free of viable seed, well cured to less than 20% moisture content by weight, uniformly applied in a continuous blanket. The mulch shall be anchored with emulsified asphalt spread at a rate not less than 150 gallons/acre.

**Steep slope applications (greater than 3:1 slope ratio):**

Seed @ 100 lbs./acre.  
(a) KY-31 Tall Fescue - 80% total weight.  
(b) Birdfoot Trefoil - 20% total weight.  
(c) Alsike Clover - 10% total weight.  
(d) Perennial Ryegrass - 10% total weight.

Soil amendments: 2 tons/acre of dolomitic limestone and 600 lbs./acre of 10-20-20 fertilizer prior to seeding.

Mulching: Straw @ 3 tons/acre, reasonably free of viable seed, well cured to less than 20% moisture content by weight, uniformly applied in a continuous blanket. The mulch shall be anchored with emulsified asphalt spread at a rate not less than 150 gallons/acre.

Disturbed areas, which are either at finished grade or will not be redisturbed within one year must be stabilized in accordance with permanent seeding specifications. Vegetative stabilization will be periodically inspected for proper growth. Any areas not stabilized will be promptly reseeded.

NO.	DATE	REVISIONS	BY
1	9/16/02	TOWNSHIP COMMENTS - 12/12/01	J.W.S.
2	2/20/02	SEWER AUTHORITY COMMENTS - 10/9/01	D.E.C.

**Dauphin Engineering Company**  
CONSULTANTS & PLANNERS  
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**MTF ASSOCIATES, INC.**  
(Owner & Developer)  
4701 NORTH FRONT STREET HARRISBURG, PA 17110  
PHONE: (717) 233-3085

THE TOWNS AT HERSHEY ROAD DRIVE  
SITE ADDRESS: PA ROUTE 39 & MANOR DRIVE  
WEST HANOVER TOWNSHIP DAUPHIN COUNTY, PA

**PHASE I  
FINAL SUBDIVISION & LAND DEVELOPMENT PLAN  
MISCELLANEOUS CONSTRUCTION  
DETAILS**

CHECKED BY: J.W.S.  
DRAWN BY: D.E.C.  
SCALE: AS NOTED  
CONTOUR INT: N/A  
DATE: 9/6/01  
SHEET NO. 20 OF 24







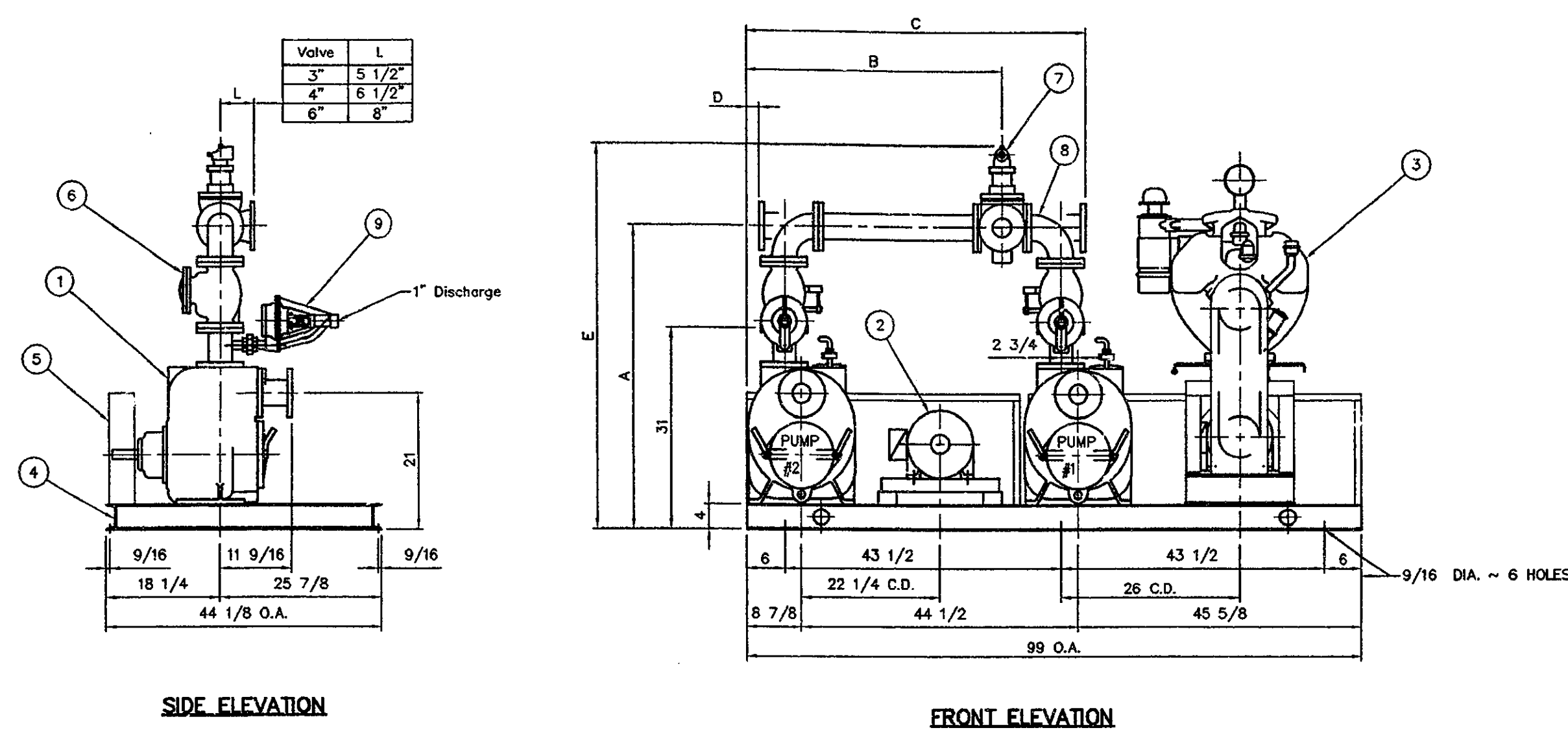
Plan BK-J Vol 8 Pg 32

RECEIVED  
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DIVISION OF DAMS  
& BRIDGES

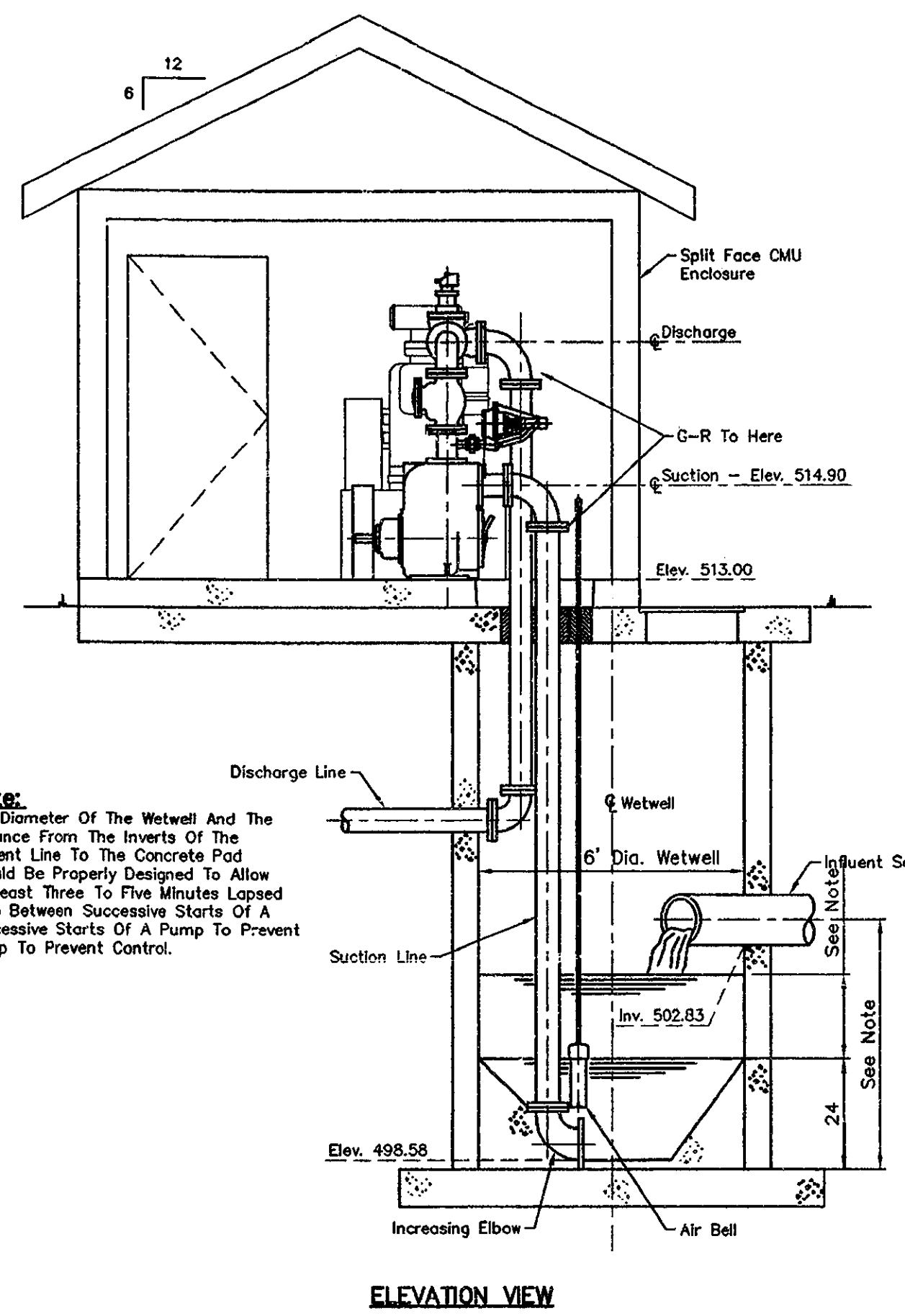
Item	Description	Mat'l & Size
1	Pump	Cast Iron T3A3-B
2	Motor	Cast Iron
3	Engine (Wisconsin)	Model
4	Pump & Motor Base	Steel
5	Belt Guard Assy	Steel
6	Discharge Check Valve	Cast Iron
7	Discharge Plug Valve	Cast Iron 3-Way
8	Elbow 90	Cast Iron
9	Air Release Valve	Cast Iron 1" (Shipped Loose)

Center Discharge					
Spull	Check 1	HDR	A	B	E
3	3	3	48	3/4	41 1/8
3	3	4	42	3/4	39 1/8
3	3	4	48	1/2	39 1/8
3	4	4	48	1/2	39 1/8
3	4	6	50	3/4	41 7/8

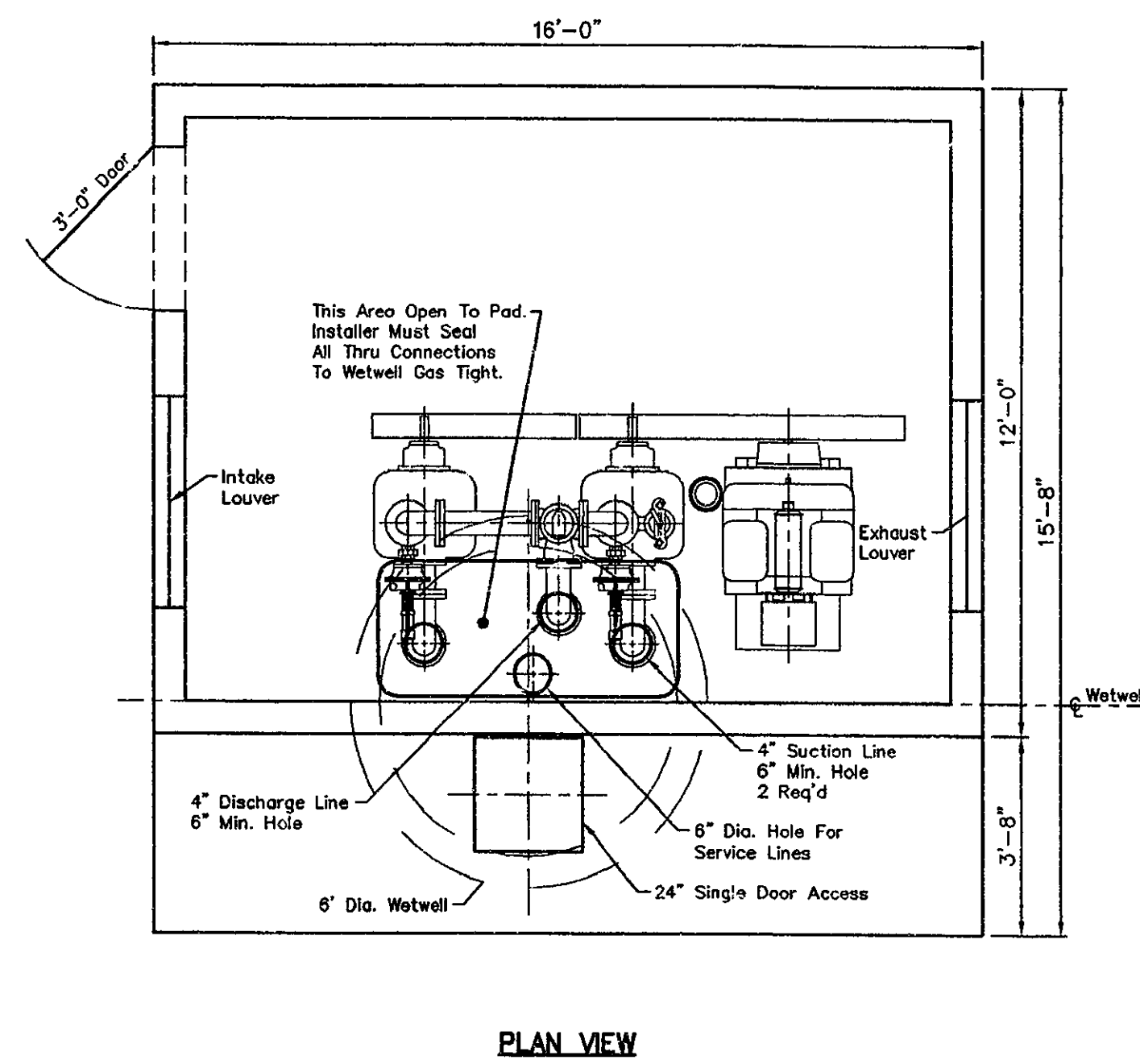
Valve	L
3"	5 1/2"
4"	6 1/2"
6"	8"



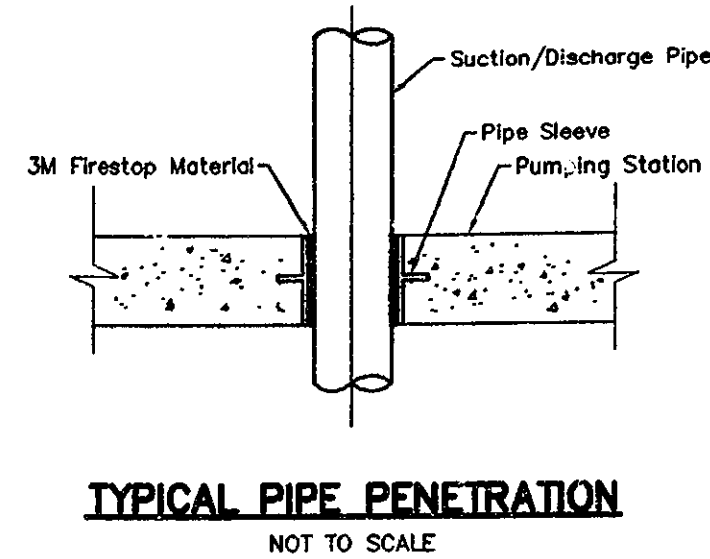
BASE MOUNTED DUPLEX W/SIMPLEX  
STANDBY T3A3-B PUMPS  
NOT TO SCALE



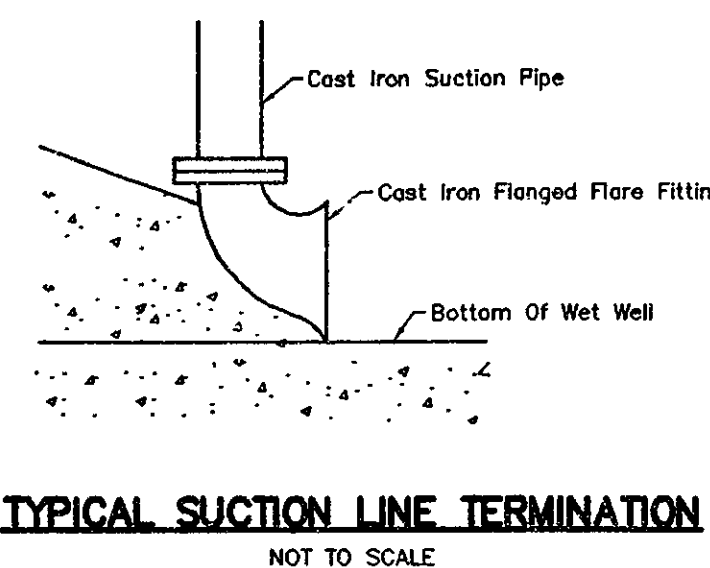
ABOVEGROUND SEWAGE LIFT  
STATION W/SIMPLEX STANDBY T3A3-B PUMPS  
NOT TO SCALE



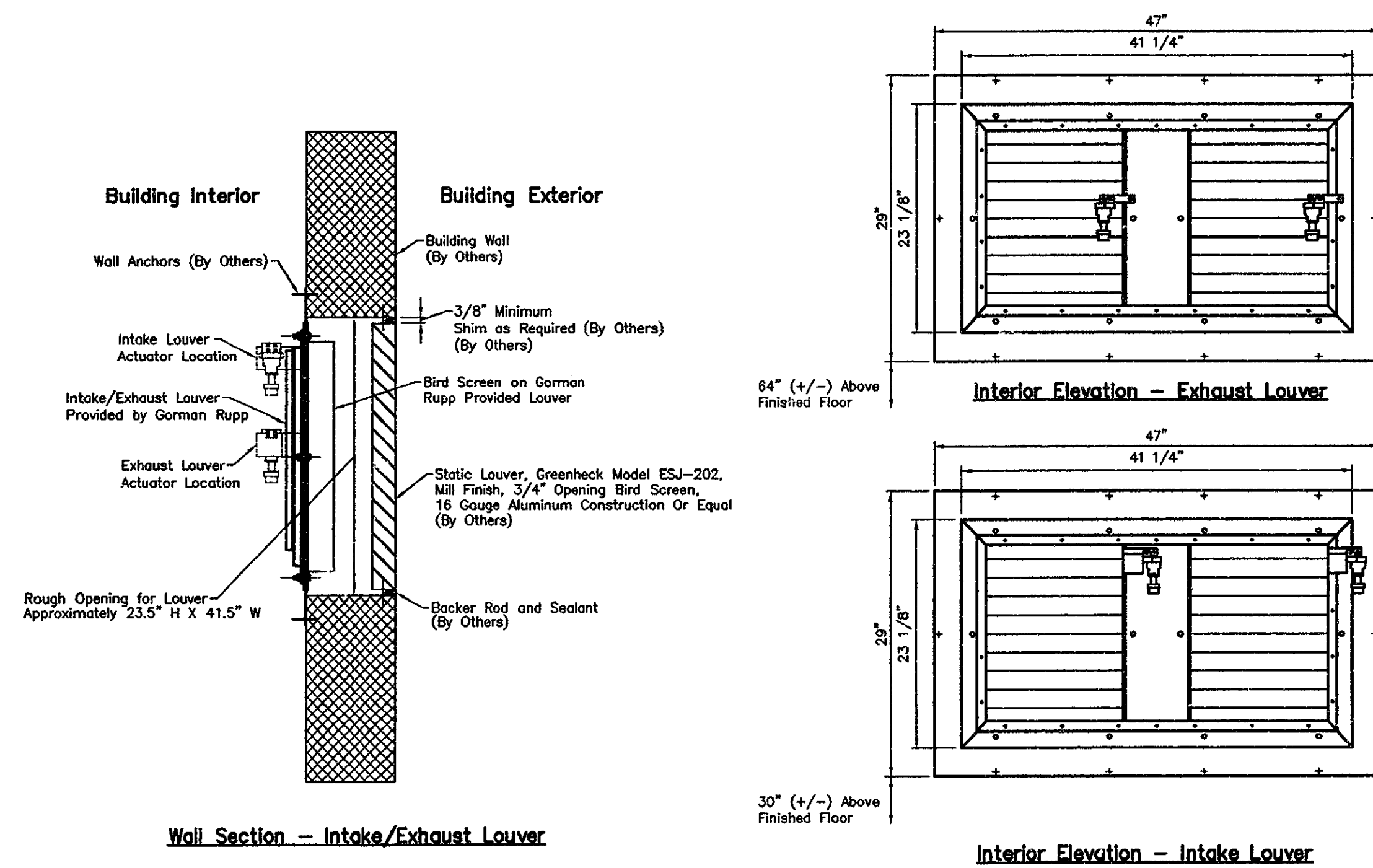
PLAN VIEW



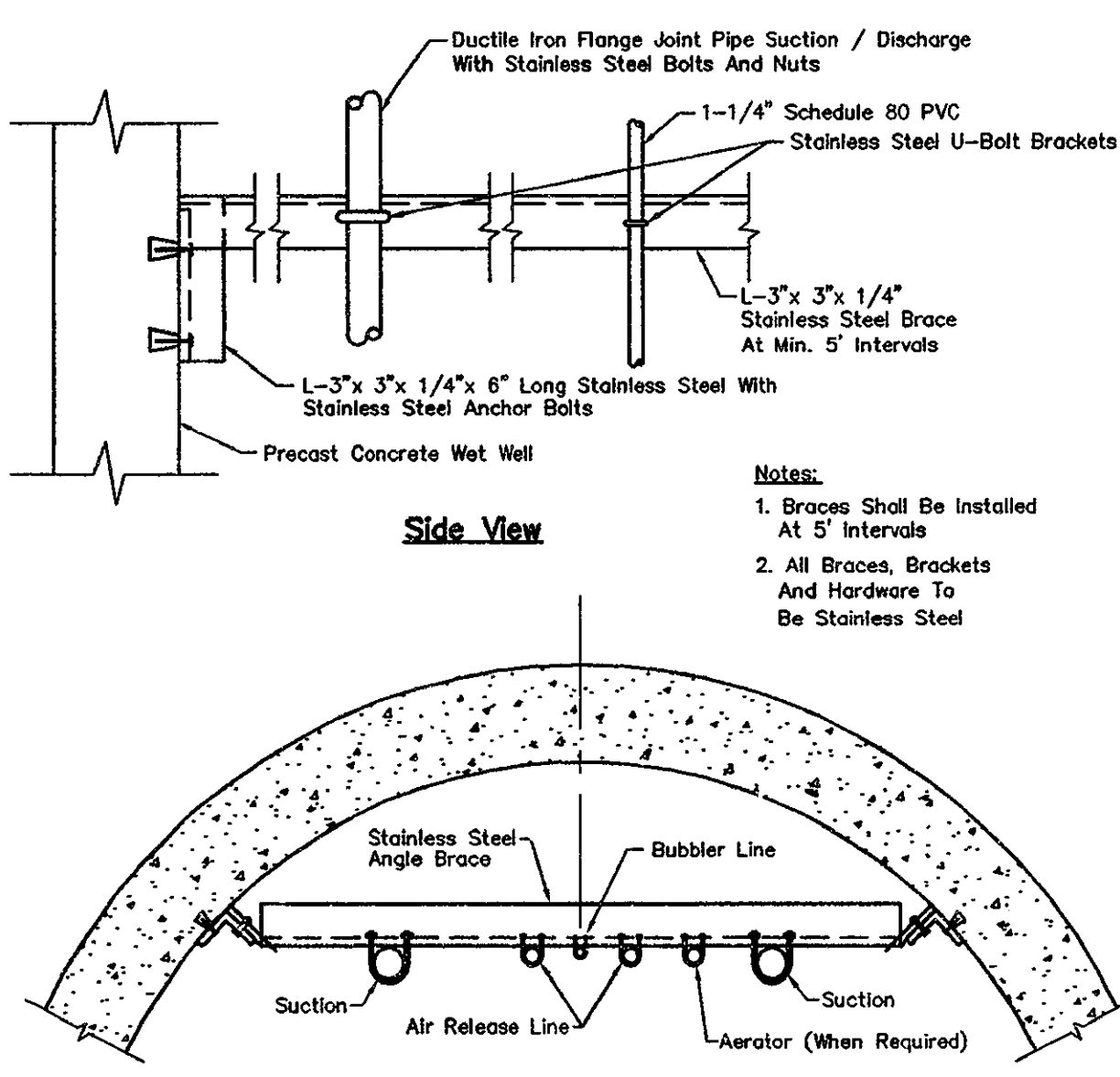
TYPICAL PIPE PENETRATION  
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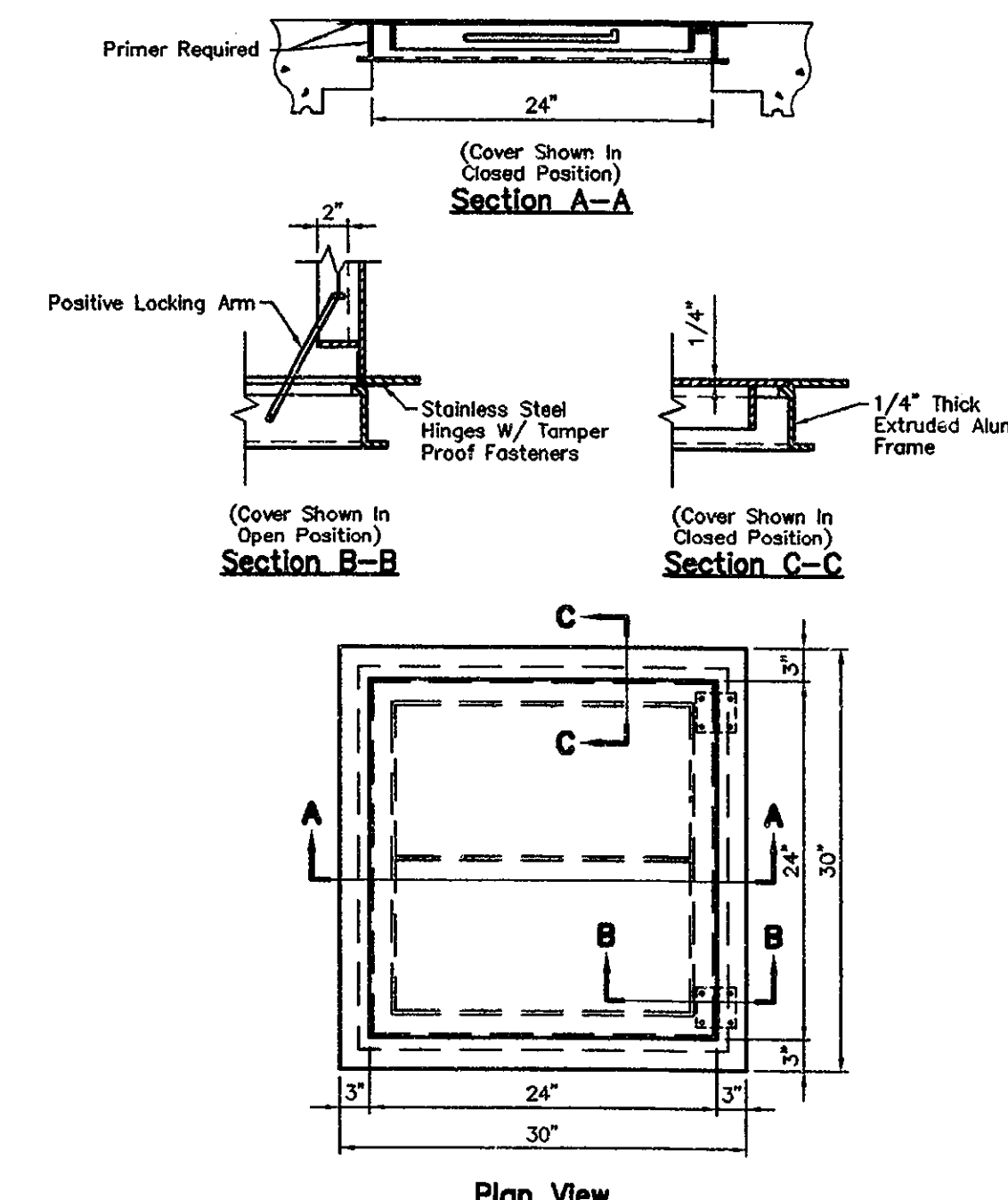
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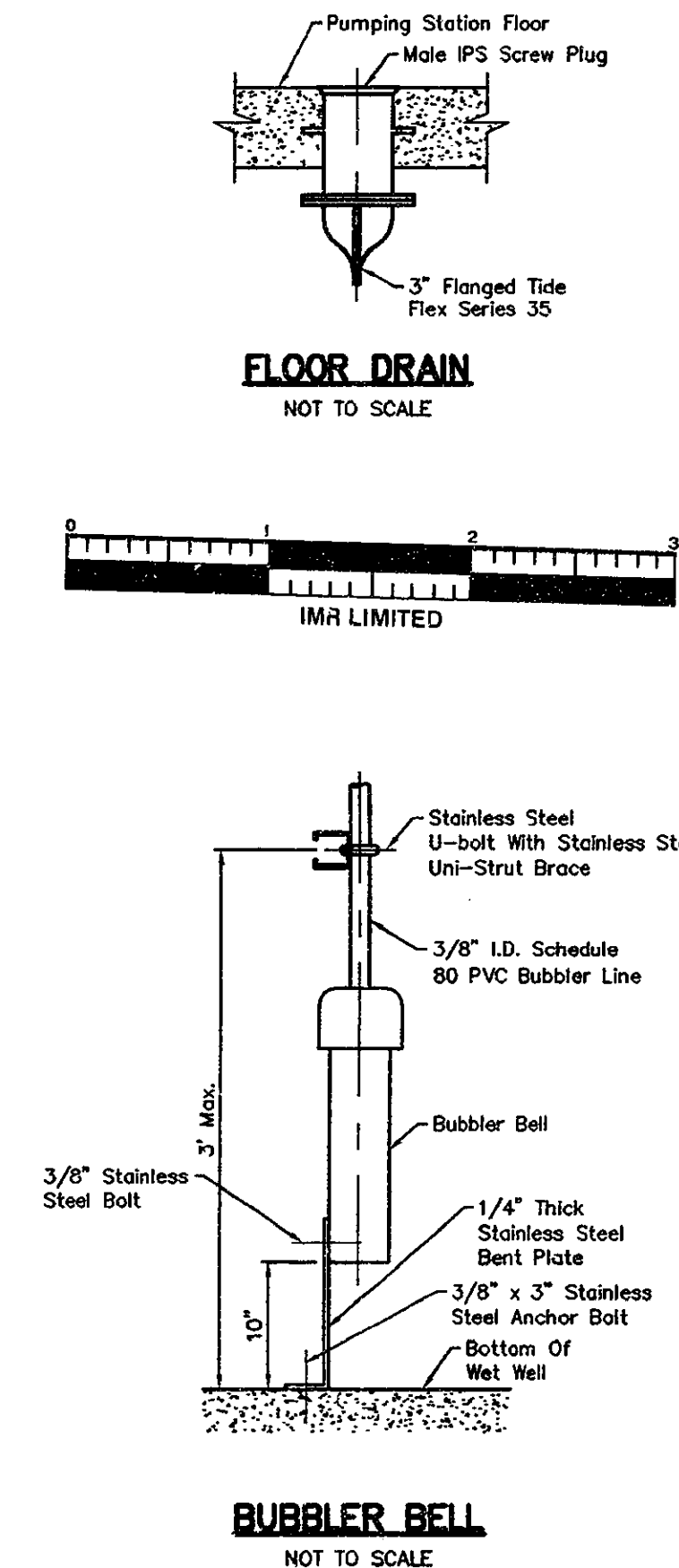
TYPICAL INSTALLATION  
GORMAN-RUPP INTAKE/EXHAUST LOUVER  
NOT TO SCALE



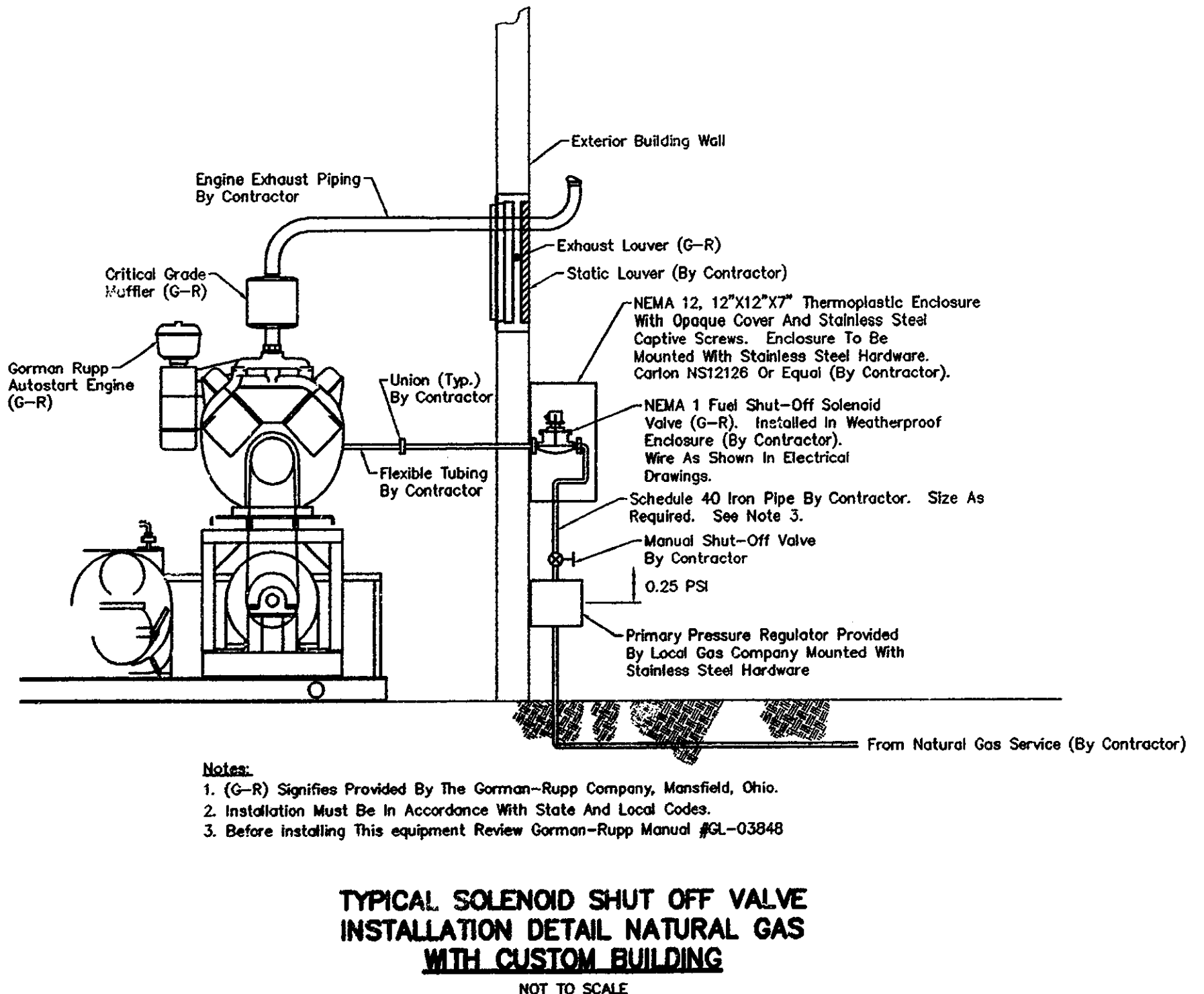
PIPE BRACE  
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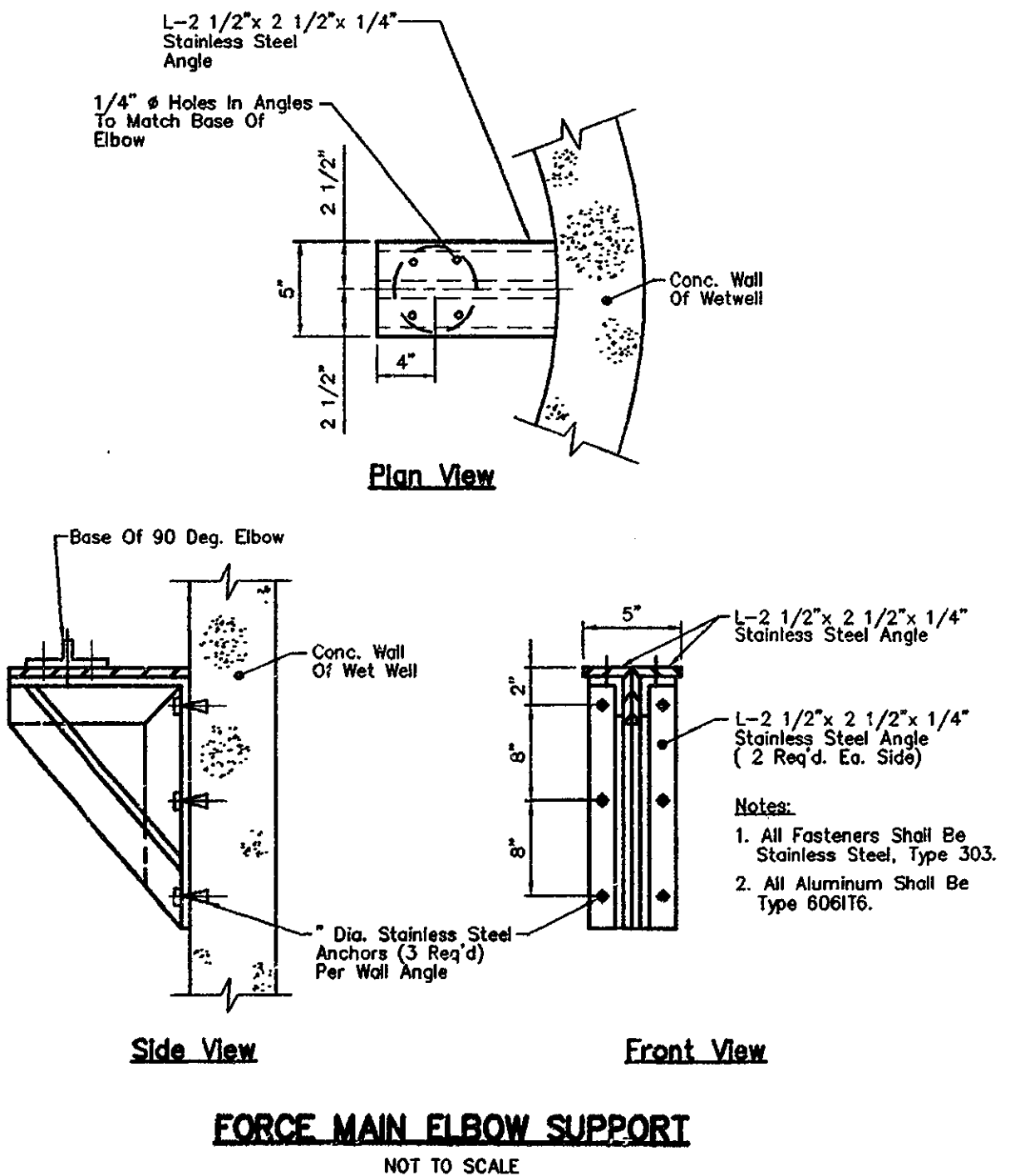
SINGLE DOOR ACCESS  
FRAME AND COVER  
NOT TO SCALE



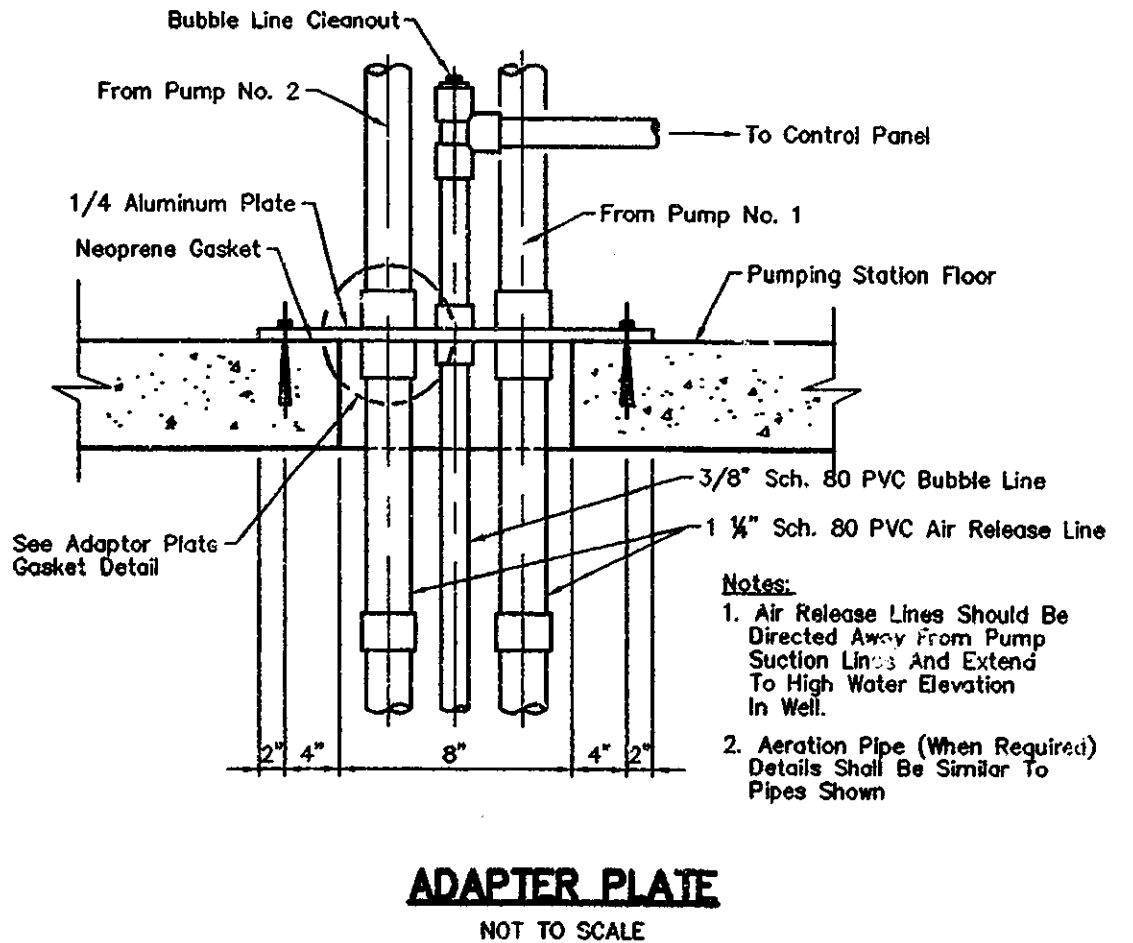
BUBBLER BELL  
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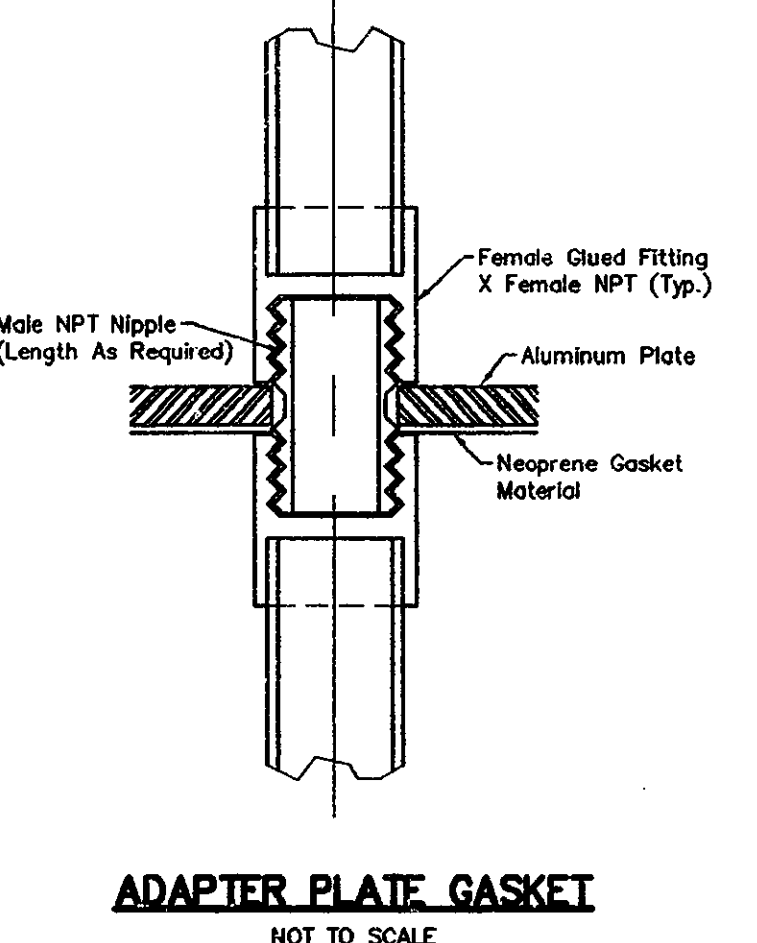
TYPICAL SOLENOID SHUT OFF VALVE  
INSTALLATION DETAIL NATURAL GAS  
WITH CUSTOM BUILDING  
NOT TO SCALE



FORCE MAIN ELBOW SUPPORT  
NOT TO SCALE



ADAPTER PLATE  
NOT TO SCALE



ADAPTER PLATE GASKET  
NOT TO SCALE

DAUPHIN COUNTY

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THE TOWNS AT HERSHEY ROAD  
SITE ADDRESS: PA ROUTE 39 & MANOR DRIVE  
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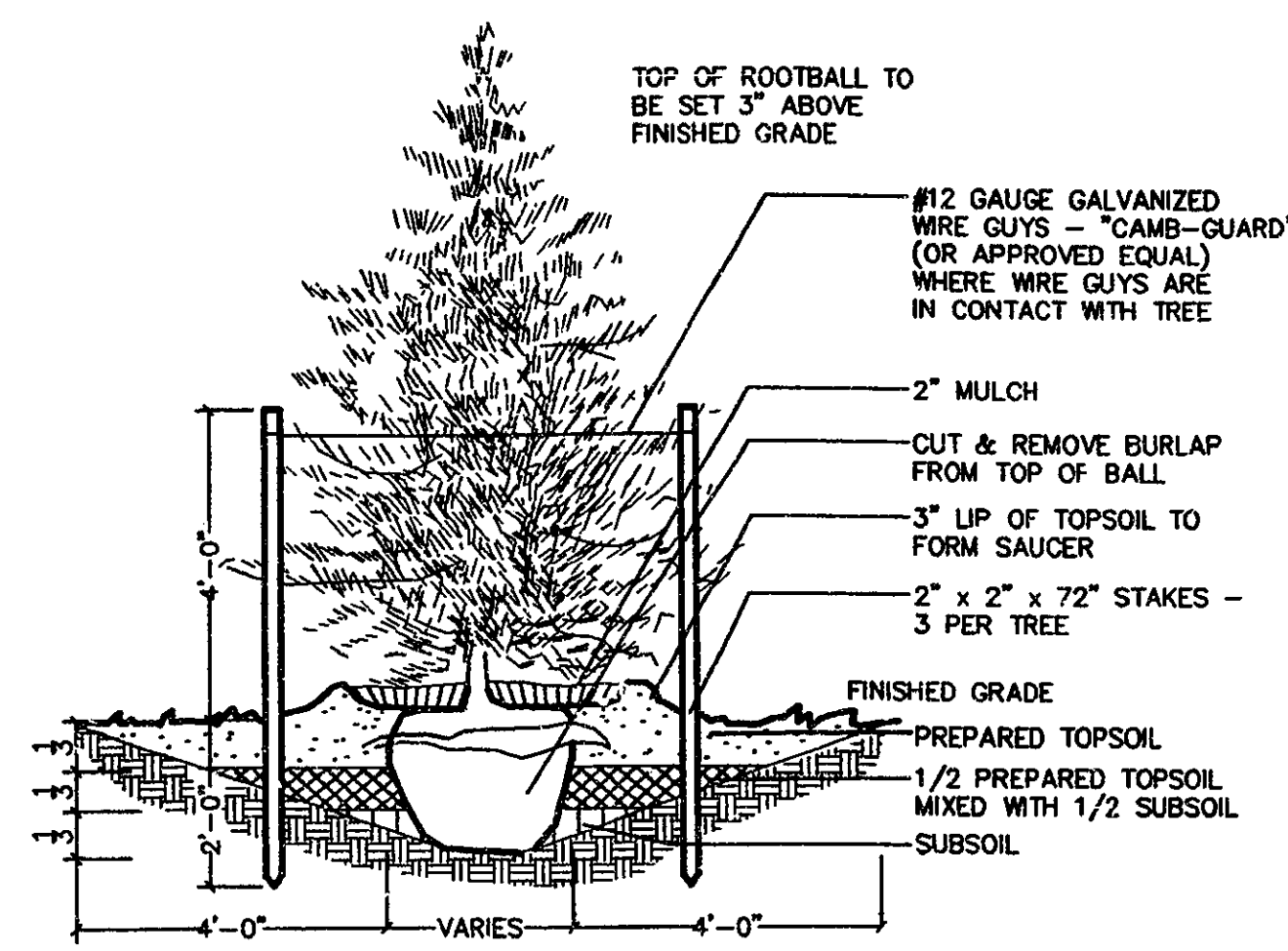
PHASE I  
FINAL SUBDIVISION & LAND DEVELOPMENT PLAN  
**MISCELLANEOUS CONSTRUCTION DETAILS**

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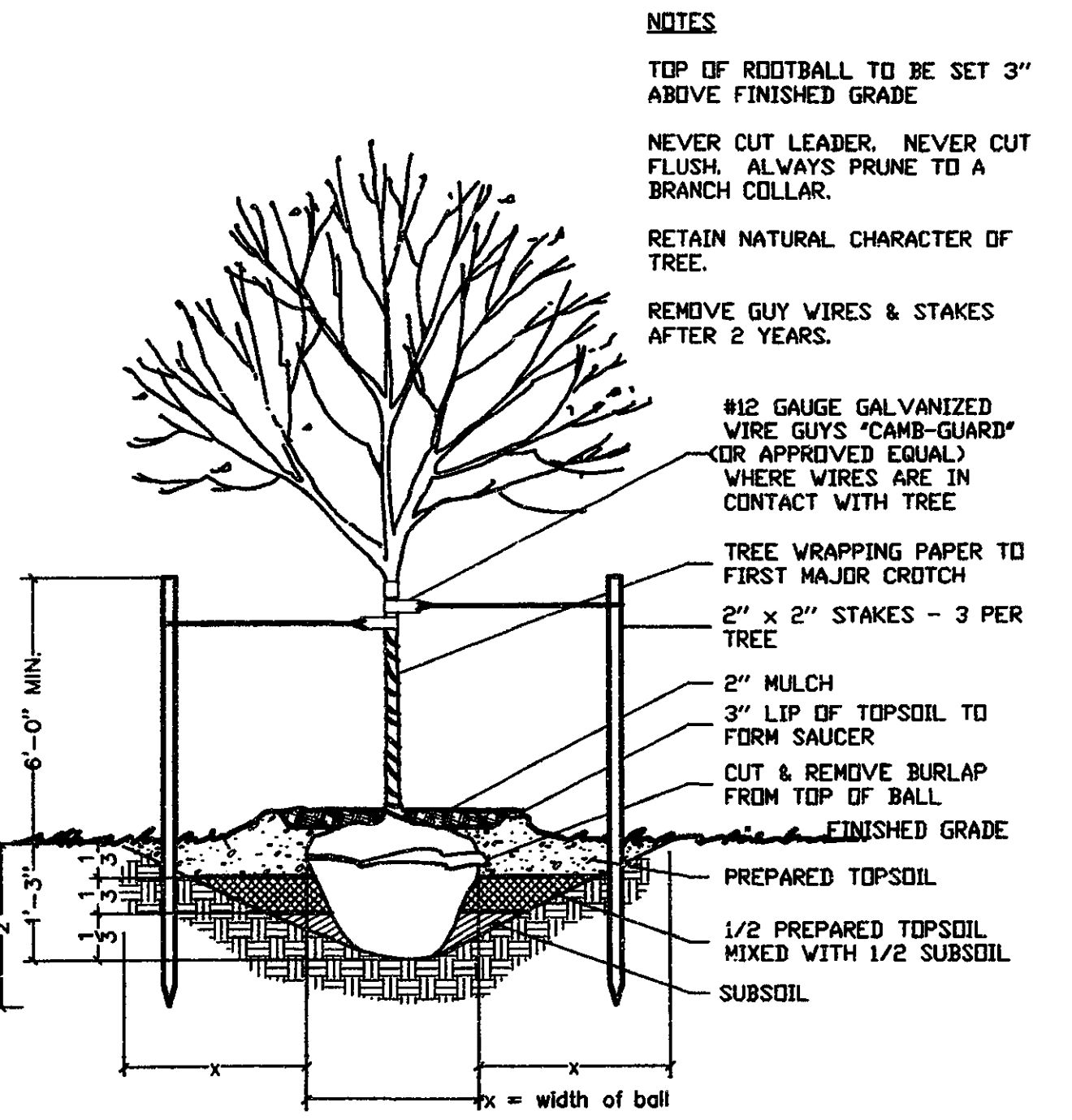
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SCALE: AS NOTED  
CONTOUR INT: N/A  
DATE: 9/6/01  
SHEET NO. 22 OF 24



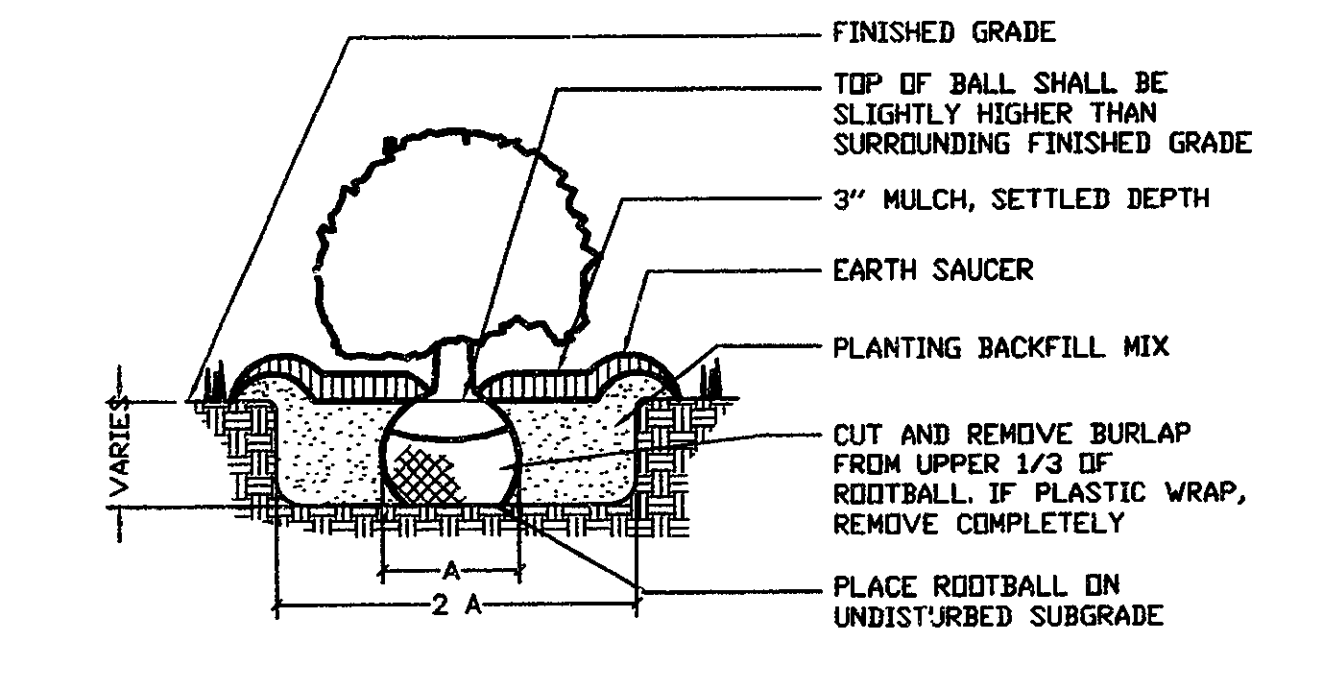
Plan BK-J Vol 8 Pg 33



EVERGREEN PLANTING DETAIL  
NOT TO SCALE



DECIDUOUS TREE PLANTING  
SECTION - NOT TO SCALE



SHRUB PLANTING  
SECTION - NOT TO SCALE

**LANDSCAPING NOTES**

- The Contractor shall furnish, deliver and install plant material. The term plant material shall mean trees, shrubs, and other growing plants to the extent of the Planting Schedule shown on the Drawing. All plant material shall conform to the American Association of Nurserymen's American Standard for Nursery Stock (latest edit).
- The Contractor shall inspect all planting areas before any topsoil is placed or planting begins to ensure adequate drainage exists. If any areas to be planted show evidence of poor drainage, the Contractor shall notify the Landscape Architect immediately for corrective action. Any plant material that dies due to poor or inadequate drainage shall be the responsibility of the Landscape Contractor.
- The Contractor shall notify the Landscape Architect to approve all plant material and staked locations prior to installation.
- All trees and shrubs shall be placed in a continuously mulched bed. Mulch shall be 3 inches deep and shall be shredded hardwood bark.
- All trees and shrubs shall be as specified and installed in accordance with the details and comments noted on the Drawing.
- All plant material shall be guaranteed for one (1) calendar year from date of completion and final acceptance by Owner.
- Planting beds in areas where extensive weed elimination is necessary shall have the following measures of bed preparation in addition to the stripping of all turf and the filling of bed area.
  - Prior to disturbing the area of the planting bed, a pre-emergent herbicide shall be applied to all areas per the manufacturer's instruction. Care shall be taken to assure the pre-emergent is placed only in planting areas.
  - Prior to disturbing the area of the planting bed, a spray application of a post-emergent herbicide shall be applied to all proposed plant bed area per manufacturer's instructions. Care must be taken so that coverage does not extend beyond the bed areas. Plants to be eliminated must be in an active growing state.
  - After a seven (7) day waiting period, a determination shall be made if a repeat application of the post-emergent herbicide is required. If needed, a second application should be made.
- Prior to beginning any planting, topsoil shall be tested by the Contractor to determine chemical and mechanical analysis. Test results shall be submitted to the Landscape Architect for approval. The contractor is to provide additional topsoil as needed for planting operations.
- Backfill material around root balls shall be a mixture of the following materials in quantities specified: 1/5 peat moss, 4/5 topsoil. Backfill material by analysis shall have at least 15% organic matter.
- The Contractor shall maintain all plantings prior to the beginning of the guarantee period by watering, fertilizing, disease control, pruning, and weeding to keep the completed work and/or uncompleted work in a clean and neat condition at all times.
- Inspection of the work to determine its completion for beginning the one-year guarantee period will be made by the Owner and Landscape Architect upon written notice requesting such inspection submitted by the Contractor at least five (5) days prior to the anticipated date.
- After inspection, the Contractor will be notified of the date that the work has been approved for beginning the guarantee period or, if there are any deficiencies, the Contractor will be given a list of items to be corrected prior to beginning the guarantee period.
- During the time between the installation of plants and the beginning of the guarantee period, the Contractor shall be fully responsible for the superintendent of the plantings. Should any plant be stolen or otherwise removed, any such plant shall be replaced by the Contractor at the Contractor's expense. The guarantee period will begin when all plants are installed as shown and specified in these plans.
- The Contractor shall guarantee that plants shall be in vigorous and thriving condition at the end of the guarantee period. Should any plants appear to be in poor health or lack normal growth habits, they shall be removed at once and replaced in a manner and time as herein before specified.
- Within the guarantee period, the Contractor shall notify the Owner of any maintenance practices being followed or omitted which would be detrimental to the healthy vigorous growing conditions of the plant.
- The Contractor shall notify the Owner and Landscape Architect at the time of planting completion and request a final inspection prior to issuance of the final payment for the work.
- The contractor shall remove wire baskets and nylon rope from the root ball of all plant material.
- All areas other than planting bed areas shall be considered lawn areas.
- Contractor must verify all utility locations prior to start of construction and shall assume all responsibilities for damages to utilities and property as a result of his work. Proof of PA one call is required.
- The landscape contractor shall be responsible to clean and remove/dispose from the site all debris that is a part of the landscape contractor's operation.
- Permanent seed shall be Team Mates Mixture by Lesco Inc. or approved equal. Mixture shall be 80.0% of three Turf-Type Tall Fescues which may include Lancaster, Station, Bravo, Lancelot, Laramie, or Trobriand II and 20% Atlasgrass, Lone Drive, or Legacy II Perennial Ryegrass.

**PROJECT NARRATIVE:**

THE LANDSCAPING ASSOCIATED WITH THE PROPOSED TOWNHOUSES FOR TMM ASSOCIATES, INC. IS SENSITIVE TO ISSUES ENVIRONMENTALLY, SOCIALLY, AND COMPLY WITH THE ORDINANCE REQUIREMENTS SET FORTH BY WEST HANOVER TOWNSHIP. THIS IS DONE BY SELECTING PLANT MATERIAL THAT PROVIDES A VISUAL BUFFER, AESTHETICALLY ENHANCES THE SITE, AND UTILIZES VEGETATION THAT IS INDIGENOUS TO THE REGION. PLANT MATERIAL SELECTED FOR THIS SITE IS NATIVE PLANT MATERIAL (GREATER THAN 60%), WHICH SATISFIES THE REQUIREMENT SET FORTH BY WEST HANOVER TOWNSHIP. DECIDUOUS AND ORNAMENTAL TREES ARE INTENDED TO PROVIDE INTEREST DURING ALL SEASONS OF YEAR. EVERGREEN SPECIES ARE TO PROVIDE SCREENING AND ADDITIONAL WINTER INTEREST TO THE PROJECT SITE. THE PLANT MATERIAL USED FOR THIS PROJECT WAS CHOSEN TO FIT THE CONDITION AND THE NATURAL ENVIRONMENT OF THE SITE. TREES SUCH AS: MAPLE, OAK, ASH, HEMLOCK, SPRUCE, SERVICEBERRY, DOGWOOD, ETC. ARE FOUND ON OR NEARBY, MAKING THE PROJECT SITE PART OF THE SURROUNDING ENVIRONMENT.

**LONG TERM MAINTENANCE**

- ANNUAL LANDSCAPE MAINTENANCE SHALL BE PERFORMED BY A QUALIFIED LANDSCAPE CONTRACTOR KNOWLEDGEABLE IN PRUNING TECHNIQUES, FERTILIZER APPLICATION, PEST CONTROL, AND LAWN CARE.
- THE OWNER SHALL BE RESPONSIBLE FOR REGULAR MOWING OF ALL LAWN AREAS.
- ANY PLANT MATERIAL SHOWN ON THE APPROVED LANDSCAPE PLAN, WHICH DOES NOT SURVIVE OR IS DAMAGED, SHALL BE REPLACED IN BY THE OWNER WITHIN A SIX MONTH PERIOD.

**SHORT-TERM MAINTENANCE:**

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING PLANT MATERIAL AND LAWN AREAS BEFORE, DURING AND AFTER INSTALLATION UNTIL ACCEPTANCE OF PLANTINGS BY WEST HANOVER TOWNSHIP AND THE OWNER.
- NEWLY INSTALLED PLANTINGS SHALL BE SELECTIVELY PRUNED, IF NECESSARY TO PROVIDE A NEAT, HEALTHY, UNIFORM APPEARANCE.
- ANY DEAD OR BROKEN BRANCHES SHALL BE REMOVED.
- ALL NOTICEABLY DISEASED OR DAMAGED PLANT MATERIAL SHALL BE REMOVED AND REPLACED PRIOR TO FINAL ACCEPTANCE.
- MAINTAIN AN EARTH SAUCER AROUND ALL TREES FOR ONE YEAR TO HELP INCREASE WATER INTAKE BY PLANT.
- MAINTAIN HARDWOOD MULCH TO A DEPTH OF 3" TO HELP HOLD MOISTURE DURING THE SUMMER MONTHS AND INSULATE DURING THE WINTER MONTHS.
- NEWLY PLANTED TREES AND SHRUBS SHALL BE WATERED REGULARLY DURING THE DRY PERIODS TO COMPLETELY SATURATE THE ROOT BALL DURING THE FIRST GROWING SEASON.
- ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES AND VARIETY AND SHALL CONFORM TO MEASUREMENTS AND MINIMUM STANDARDS AS SET FORTH IN THE PLANT SCHEDULE.
- ALL SHRUBS AND STAMBS SHALL BE MAINTAINED REGULARLY TO ASSURE PLANT STABILIZATION AND STRAIGHT, UNIFORM GROWTH FOR AT LEAST THE FIRST YEAR FOLLOWING THE DATE OF PLANTING.
- MAINTAIN TREE-ROAD TO A MAJOR CROTCH FOR FIRST YEAR TO INSURE AGAINST TREE DAMAGE BY WILDLIFE.
- THE LANDSCAPE CONTRACTOR UNTIL FINAL ACCEPTANCE SHALL MAINTAIN NEAT LAWN AREAS.
- ALL LAWN AREAS SHALL BE WATERED ONCE WEEKLY DURING DRY PERIODS OF THE FIRST GROWING SEASON TO ESTABLISH A HEALTHY TURFGRASS.
- WATERING SHOULD OCCUR DURING THE EARLY PART OF THE DAY TO AN EVEN SATURATION DEPTH OF ONE INCH TO ESTABLISH A DEEP HEALTHY ROOT SYSTEM.
- DISEASE, INSECT, AND WEED CONTROL AND PREVENTION SHOULD BE PERFORMED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS FOR NEWLY PLANTED LANDSCAPES DURING THE FIRST SEASON.
- ALL PLANT MATERIAL IS TO BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF INSTALLATION AND THE ACCEPTANCE BY WEST HANOVER TOWNSHIP AND THE OWNER.

**LANDSCAPE REQUIREMENTS**

**Z.O. ARTICLE 19, SECTION 179-3(B) (STREET TREES)**

-SOUTH HERSHEY ROAD (RTE 39) STREET FRONTAGE = 1,125 LF.  
-STREET A,B,C STREET FRONTAGE (BOTH SIDES) = 1,016 LF.

**REQUIRED**

SOUTH HERSHEY ROAD SPACING AT 50'-70' O.C. (MAX.) = 16 TREES  
STREET A,B,C SPACING AT 50'-70' O.C. (MAX.) = 85 TREES

**PROPOSED**

SOUTH HERSHEY ROAD SPACING AT 50'-70' O.C. (MAX.) = 16 TREES  
STREET A,B,C SPACING AT 50'-70' O.C. (MAX.) = 85 TREES

**Z.O. ARTICLE 19, SECTION 179-3(A) (REQUIRED 20% LANDSCAPING)**

-20% OF THE GROSS LOT AREA EXCLUDING BUILDING FLOOR AREA, IMPERVIOUS SURFACE AND SENSITIVE ENVIRONMENTAL FEATURES SHALL BE LANDSCAPED.

**REQUIRED LANDSCAPING**

-MIN. 12 TREES FOR EACH 1 ACRE  
-5 DECIDUOUS SHRUBS MAY BE SUBSTITUTED FOR 1 DECIDUOUS (MAX. 20% OF TREES REQUIRED)

**CALCULATIONS**

TOTAL TRACT AREA = 23.4185 ACRES  
IMPERVIOUS AREA = 7.8402 ACRES (INCLUDES STREETS, BLDGS, AND DRIVEWAYS)  
NET AREA = 15.5783 ACRES  
X .20% = 3.1157 ACRES

**REQUIRED**

3.11 ACRE X 12 TREE/ACRE = 37 TREES (2 1/2" CAL.)

**PROVIDED**

TOTAL DECIDUOUS 2 1/2" CAL. TREES = 37

**LANDSCAPE REQUIREMENTS:**

**Z.O. ARTICLE 19, SECTION 179-3(C) (8)**

SHRUBS TO BE USED ON SLOPES GREATER THAN 3:1 SHALL BE CHOSEN FROM PLANT LIST SET FORTH BY WEST HANOVER TOWNSHIP (179-3(E)).

**PROPOSED VEGETATION- NORTHERN BAYBERRY AND RED-TWIG DOGWOOD.**

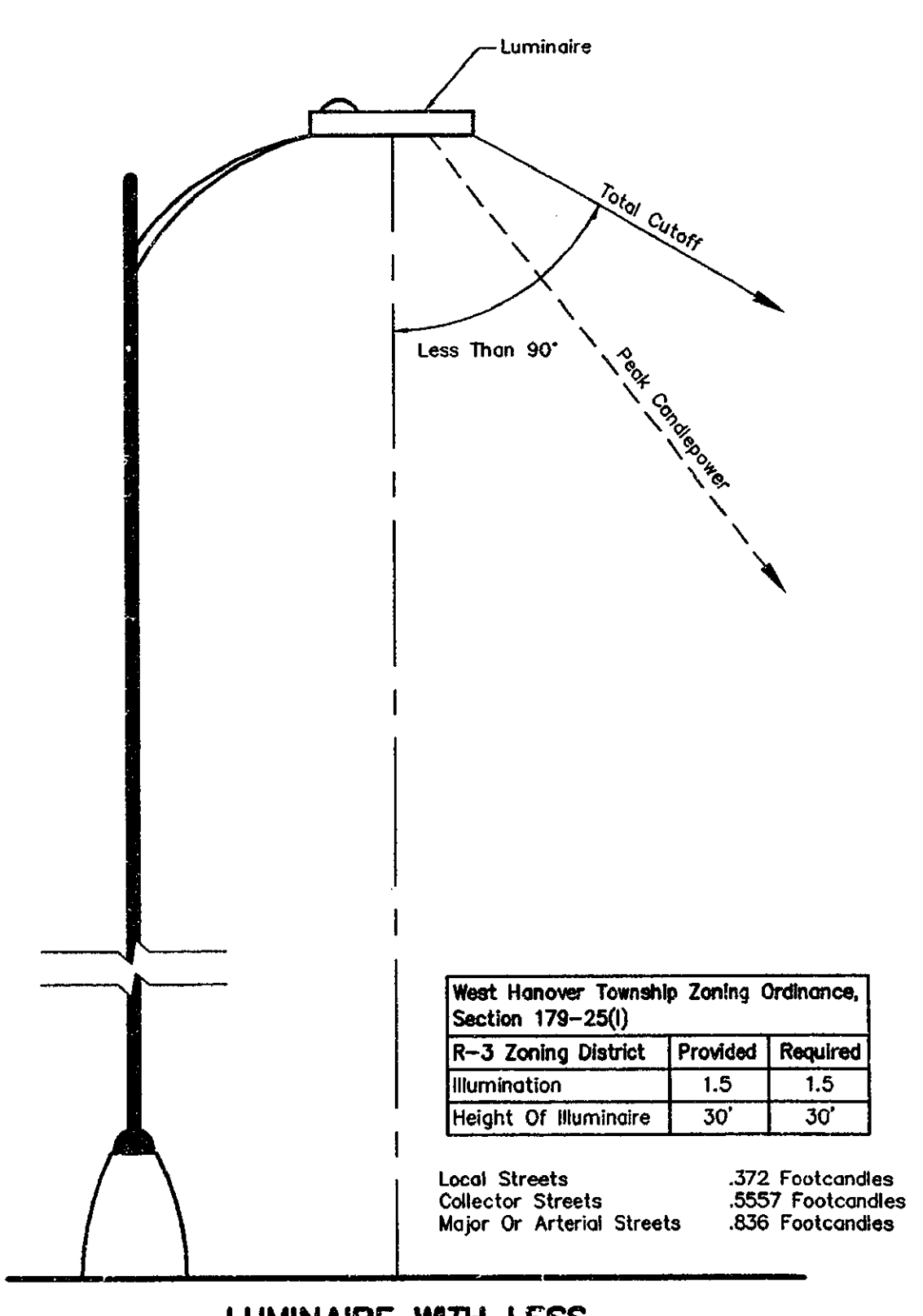
**Z.O. ARTICLE 19, SECTION 179-3(A)(1)**

AT LEAST 60% OF ALL TREES, SHRUBS, AND GROUNDCOVER REQUIRED BY THIS SECTION SHALL BE NATIVE PLANT MATERIAL.

TOTAL QUANTITY OF PLANTS USED = 640  
REQUIRED 60% = 384  
PROPOSED = 90.3% (586)

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OCT 23 10 24 AM '19

USE REQUIREMENT	KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT REFERENCE
<b>DECIDUOUS TREE</b>						
Buffer Planting	16	Ar	39	Red Sunset Maple	Acer rubrum 'Red Sunset'	2 1/2" cal. B&B BP-16
Street Tree	43					ST-52
20% Landscape	23					20%-23
Street Tree	29	As	12	Green Mountain Maple	Acer saccharum 'Green Mountain'	B&B ST-29
N Buffer Planting	22	Ac	3	Shadblow Serviceberry	Amelanchier canadensis	5'-6" B&B BP-22
N Buffer Planting	13	Cf	2	White Dogwood	Cornus florida 'Cherokee Chief'	5'-6" B&B BP-13
Street Tree	29	Fp	24	Patmore Ash	Fraxinus pennsylvanica 'Patmore'	2 1/2" cal. B&B ST-29
20% Landscape	14	Qr	2	Northern Red Oak	Quercus rubra	2 1/2" cal. B&B 20%-14
N Buffer Planting	26	Hv	3	Common Witchhazel	Hamamelis virginiana	5'-6" B&B BP-26
N Buffer Planting	18	Qp	3	Pin Oak	Quercus palustris	2 1/2" cal. B&B BP-18
N Buffer Planting	14	Qr	2	Northern Red Oak	Quercus rubra	2 1/2" cal. B&B BP-14
<b>DECIDUOUS SHRUB</b>						
N Buffer Planting	24	Aq	19	Brilliant Red Chokeberry	Aronia arbutifolia 'Brilliantissima'	30"-36" B&B BP-24
N Buffer Planting	55	Ca	9	Tatarian Dogwood	Cornus alba 'Siberica'	30"-36" B&B BP-55
N Buffer Planting	85	Mp	2	Northern Bayberry	Myrica pennsylvanica	30"-36" B&B BP-85
N Buffer Planting	67	Vd	19	Arrowwood Viburnum	Viburnum dentatum	30"-36" B&B BP-67
<b>EVERGREEN TREE</b>						
Buffer Planting	44	Pa	7	Norway Spruce	Picea abies	6'-7" B&B BP-44
Buffer Planting	40	Pm	7	Douglas Fir	Pseudotsuga menziesii	6'-7" B&B BP-40
N Buffer Planting	31	Tc	6	Canadian Hemlock	Tsuga canadensis	5'-6" B&B BP-31



DATE	REVISIONS
9/16/02	TOWNSHIP COMMENTS - 12/12/01
7/20/02	SEWER AUTHORITY COMMENTS - 10/9/01
10/7/01	TOWNSHIP COMMENTS - 9/15/01

**Dauphin Engineering Company**

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**MTF ASSOCIATES, INC.**  
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PHONE: (717) 233-3095

THE TOWNES AT HERSHEY ROAD  
SITE ADDRESS: PA ROUTE 39 & MANOR DRIVE  
WEST HANOVER TOWNSHIP, PA

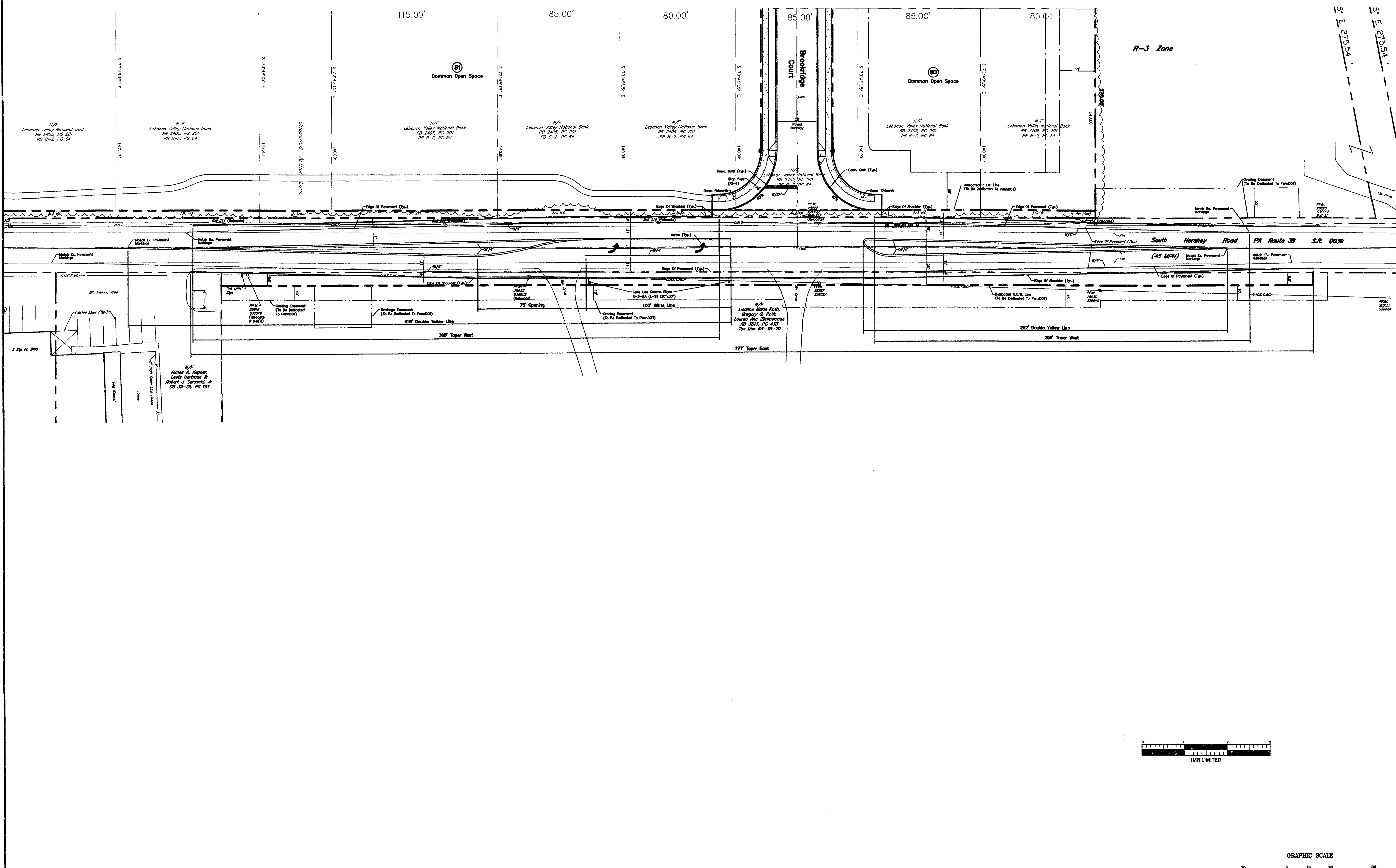
PHASE I  
FINAL SUBDIVISION & LAND DEVELOPMENT PLAN  
LANDSCAPE PLAN NOTES & MISCELLANEOUS CONSTRUCTION DETAILS

CHECKED BY: J.W.S.  
DRAWN BY: D.E.C.  
SCALE: AS NOTED  
CONTOUR INT: N/A  
DATE: 9/6/01  
SHEET NO. 23 OF 24



Plan Bk J Vol 8 Pg 34

RECEIVED  
2002 OCT 23 0 2:48  
CORNER  
COUNTY OF DAUPHIN  
PENNSYLVANIA



LEGEND:  
Vertical Lettering Represents Proposed Conditions.  
Slanted Lettering Represents Existing Conditions.



NO.	DATE	REVISIONS	BY
1	9/16/02	TOWNSHIP COMMENTS - 12/12/01	M.D.S.
2	2/20/02	SEWER AUTHORITY COMMENTS - 10/29/01	C.K.N.
3	12/10/01	TOWNSHIP COMMENTS - 10/11/01	M.D.S.
4	10/4/01	TOWNSHIP COMMENTS - 9/13/01	M.D.S.

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WEST HANOVER TOWNSHIP DAUPHIN COUNTY, PA

PHASE I  
FINAL SUBDIVISION & LAND DEVELOPMENT PLAN  
SIGNING & MARKING PLAN

CHECKED BY: J.W.S.  
DRAWN BY: D.E.C.  
SCALE: 1" = 30'  
CONTOUR INT: N/A  
DATE: 9/6/01  
SHEET NO. 24 OF 24