Architectural Review Board Checklist

Please initial all items below to verify that your submittal includes all requirements:

The following items shall be submitted via email to aquinn@cityofladue-mo.gov by 11:00 am, no later than 7 days prior to the regularly scheduled meeting.

Your combined PDF should contain the following:

_N/A_ Signatures of Subdivision trustees if home is part of an HOA (If in question, please check with the building department to verify before submitting). These signatures can be on the digital plans OR you can submit one signed hard copy to our offices. **If these are not included, your project will not be placed on the agenda until that is obtained.**

_X_ Completed ARB application

_X_ Schematic site plan at a scale of not less than one-inch equals 20 feet including the following:

- X Dimensioned property lines,
- X Building setback lines,
- X Easements identified,
- X Existing and proposed area of work,
- X Location of driveways and parking areas,
- X Topographic contours of the existing grades and proposed finished grades at two-foot interval minimums for a distance 25 feet from the face of the existing and proposed area of work with an indication of direction of flow of storm water. (For new residence and home additions only)
- X Location of proposed landscape material (New residence only)
- X Landscape material proposed to be removed (New residence only), and
- X Identifying any accessory structures proposed or existing.
- X Hardscape and greenspace coverage calculations for existing and proposed front, rear, side and overall lot.

_X_ Schematic floor plans (at a minimum scale of one-quarter inch equals one foot) showing overall building dimensions. Plans may be printed in half-size.

_X_ Building elevations (at a minimum scale of one-quarter inch equals one foot) showing vertical dimensions, fenestration, proposed materials and colors, and any existing construction where an addition or modification is proposed. All existing and proposed building materials shall be indicated on the existing building elevations. Plans may be printed in half-size

_X_ Color photographs of the main building located on adjoining property. Color photographs of all building elevations of existing structures for projects involving remodeling or additions.

Application for Architectural Review Board

**** This application must be filled out completely and signed before submittals are placed on the ARB agenda.***

The purpose of Architectural Review Board shall be to two-fold; to develop architectural and design guidelines for the City of Ladue in accordance with section 110-70 and to apply those guidelines in reviewing projects within the City as to whether or not the project adheres to such guidelines.

APPLICANT INFORMATION

Name of Applicant: Dominion Homes, LLC

Phone #: (314) 220-7733

Email address of Applicant (for review comments): doug@dominionhomesstl.com

PROJECT PROPERTY INFORMATION

Address for proposed work: 18 Midpark Lane

If this ARB application is amending a project that is currently under construction, list permit #: _____

Zoning District: E-1 Sq. Footage of improvements: 3,619

DESCRIPTION OF PROPOSED PROJECT: a new, single-family residence

Additional Information:

- Professionally sealed plans are not required for ARB review.
- Plans for projects involving alterations and repairs, which do not affect the outward appearance of a building, and existing decks, fences, window replacements and roofing shingle replacements shall not require approval of the Architectural Review Board.
- Revised plans with any changes predicated by the ARB will need to be submitted with the building permit application to the Department of Planning and Development with final trustee approval (if applicable.)
- Projects approved by ARB should be submitted for building permits within 180 days or the ARB approval may become void.

By signing this application, you acknowledge that by submitting an incomplete application, your petition will not be added to the meeting agenda.

X Douglas J Mullenix Date: August 14, 2025

** This application and review for City of Ladue building permitted purposes only. Please be aware of any additional covenants and indentures which may be recorded with your subdivision. Approval of this ARB proposal does not waive any other permit or other authorization by the City that may be required for you to fully complete your proposed project.*

DOMINION
HOMES, LLC

18 Midpark Lane, Subject property

16 Midpark Lane,
Adjacent home, west side

20 Midpark Lane,
Adjacent home, east side

A SITE PLAN FOR
18 MIDPARK LANE
A TRACT OF LAND BEING LOT 46 IN BLOCK 3 OF CLAYTON ROAD PARK, PLAT BOOK 21, PAGE 51, ST. LOUIS COUNTY, MISSOURI

SHEET INDEX
1. SITE DEVELOPMENT PLAN
2. EXISTING CONDITIONS & DEMO PLAN

DEVELOPMENT NOTES:

1. Site Address:
   18 Midpark Lane
   Ladue, MO
   Loc.#19M320753

2. Owner Information:
   Equity RE Investment Partners LLC
   8077 Maryland Avenue
   St. Louis, MO 63105
   Deed Doc No. 202506200281

3. Area of Tract: 7,164 Square feet or 0.16 Acres, more or less.

4. Present Zoning: E-1 Residential District (Ladue)

   E-1 Residential District Dimensional Requirements

Front Yard Setback:	25 Feet
Side Yard Setback:	10 Feet
Rear Yard Setback:	30 Feet
Minimum Site Area:	10, 000 Square feet
Minimum Lot Width:	70 Feet
Maximum Lot Coverage:	40%

5. Utility Provider Districts:

		Situs Served
Water:	Missouri American Water	Yes
Sewer:	MSD	Yes
Telephone:	AT&T Distribution	No
Gas:	Spire Missouri East	Yes
Electric:	Ameren Missouri Electric	Yes
Fire District:	West County EMS and Fire	
School District:	Parkway	

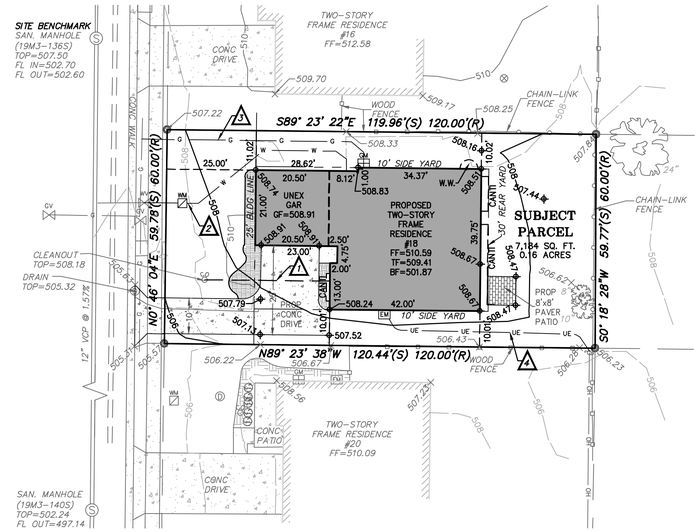
6. According to the FIRM Flood Insurance Rate Map 29189C0194K Dated February 4, 2015, this development is located in Zone X unshaded, Areas determined to be outside the 0.2% chance annual floodplain.

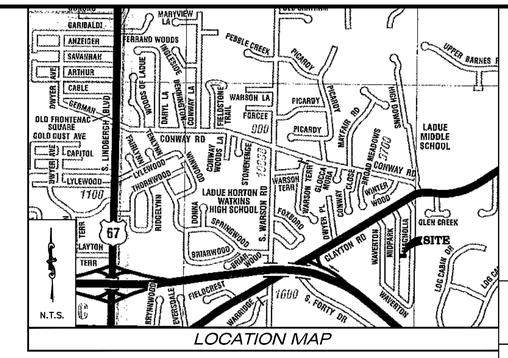
7. Existing utilities shown hereon are per field collected evidence and available utility maps and should be considered approximate only.

8. This is not a boundary survey. Boundary information shown hereon is per the survey performed by THD Design Group, Inc. during August, 2025.

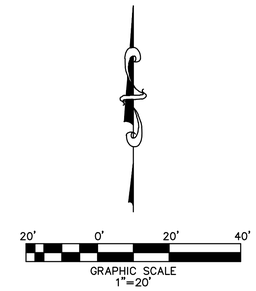
9. Area of Disturbance:

10. A grinder pump is required to provide sanitary sewer relief to the basement floor of the proposed residence. Basement Floor = 501.87, Lateral = 502.16 (Contractor to verify lateral elevation prior to connecting to existing cleanout).





LOCATION MAP



1. PROPOSED 6" PVC SEWER LATERAL, MIN. 2% PIPE SLOPE, CONTRACTOR TO VERIFY EX. CLEAN OUT CONDITION PRIOR TO CONNECTION WITH NEW LATERAL
2. PROPOSED 1" WATER SERVICE LINE
3. PROPOSED GAS SERVICE LINE
4. PROPOSED ELECTRIC SERVICE LINE

PROJECT BENCHMARK:

This project was performed with the use of Global Positioning System (GPS) equipment and the use of a Continuous Operating Reference Station (CORS) as part of the Missouri Department of Transportation (MoDOT) Virtual Reference System (VRS) Network. Data was obtained with the use of a Trimble R10 GPS Receiver and a TSC7 Data Collector.

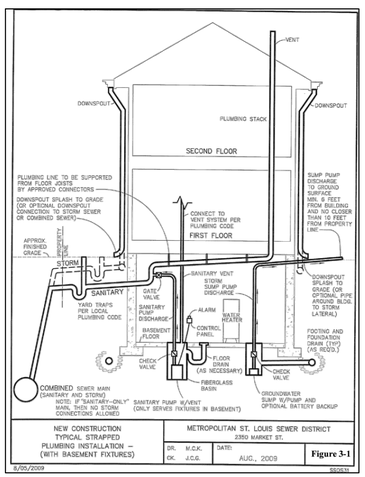
Horizontal Datum is Grid North, Missouri State Plane Coordinate System NAD'83 (2401), East Zone Vertical Datum is NAVD'88. Horizontal and Vertical data observation tolerance is 0.10 feet, horizontal and vertical Control point (CORS).

SITE BENCHMARK:

Description: Sanitary Sewer Manhole (19M3-140S)

Collected Elev. = 507.50 feet

Location: Approximately 25.5 feet North 20.0 feet West of the Northwestern corner of subject parcel.



Differential Runoff Calculations - Parcel 1						
Existing						
		Area (s.f.)	Area (Ac)	PI	Q	
	Building	1,748	0.040	3.54	0.14	cfs
	Pavement	2,987	0.069	3.54	0.24	cfs
	Green Space	2,449	0.056	1.7	0.10	cfs
	Total	7,184	0.165		**0.48**	cfs
Proposed						
	Building	2,093	0.048	3.54	0.17	cfs
	Pavement	1,027	0.024	3.54	0.08	cfs
	Paver Patio	100	0.002	2.58	0.01	
	Green Space	4,064	0.093	1.7	0.16	cfs
	Total	7,284	0.167		**0.42**	cfs
	Differential Runoff =		**-0.06**	cfs		

*Runoff volumes shown hereon are per the component rational methd
* Time of concentration is assumed at 20min for the 15yr-20min rainfall
*Runoff differential shown above is for the area of the property only and does not include offsite drainage areas.

Coverage Calculations					
Existing		Impervious Area (sq.ft.)	Percentage		
	Building	1,748	24.3%		
	Pavement	2,987	41.6%		
	Green Space	2,449	34.1%		
	Total	7,184			
	Existing Impervious Coverage		65.9%		
Proposed		Impervious Area (sq.ft.)	Percentage		
	Building	2,093	29.1%		
	Pavement	727	10.1%		
	Paver Patio	64	0.7%		
	Green Space	4,364	60.7%		
	Total	7,248			
	Proposed Impervious Coverage		39.9%		

* The percentage of impervious are for the paver patio has been calculated to provide a 25% greenspace credit as per City of Ladue Zoning Ordinance Section VII, G-3(a)

City of Ladue - Yard Area Coverage Calculation Table					
Yard	Area (sq.ft.)	Impervious Area	% Coverage Allowed	% Coverage Provided	Code Compliant
Front Yard	1,495	251	30.0%	16.8%	Yes
Rear Yard	1,793	64	30.0%	2.7%	Yes
Righ Side Yard	630	153	25.0%	24.3%	Yes
Left Side Yard	630	0	25.0%	0.0%	Yes

* Right and Left yard setback are identified by orientation of the house face as viewed from the street
* Rear yard paver patio impervious area has been calculed to provide 25% greenspace credit

Call BEFORE you DIG
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1-800-344-7483
MISSOURI ONE-CALL SYSTEM, INC.

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING AND/OR CONSTRUCTION OF IMPROVEMENTS.

ABBREVIATIONS

AC	ACRE	XSEC	CROSS SECTION	DAI	DOUBLE AREA INLET	GI	GRATE INLET	PVMT	PAVEMENT	TBP	TO BE PROTECTED
AI	AREA INLET	XING	CROSSING	DS	DOWNSPOUT	HDPEHIGH	DENSITY POLYETHYLENE	PDE EASEMENT	PERMANENT DRAINAGE	TBR	TO BE REMOVED
ATG	ADJUST TO GRADE	CFS	CUBIC FEET PER SECOND	ESMT	EASEMENT	HW	HIGH WATER	PVC	POLYVINYL CHLORIDE	TBR&REL	TO BE REMOVED & RELOCATED
APPROX	APPROXIMATELY	CI	CURB INLET	ELEV	ELEVATION	HGL	HYDRAULIC GRADE LINE	PCC	PORTLAND CEMENT CONCRETE	TBR&R	TO BE REMOVED & REPLACED
ASPH	ASPHALT	CO	CLEANOUT	EP	END OF PIPE	HYD	HYDRANT	PC	PRECAST CONCRETE	TW	TOP OF WALL ELEVATION
BW	BASE OF WALL ELEVATION	C&G	CURB & GUTTER	EX	EXISTING	IMP	IMPROVEMENT	PROP	PROPOSED	TYP	TYPICAL
BM	BENCHMARK	CO	CLEANOUT	FPS	FEET PER SECOND	IP	IRON PIPE OR PIN	RR	RAILROAD	UIP	USE IN PLACE
BMP	BEST MANAGEMENT PRACTICE	CMP	CORRUGATED METAL PIPE	FF	FINISH FLOOR	LS	LAND SURVEYOR	RCP	REINFORCED CONCRETE PIPE	VCP	VITRIFIED CLAY PIPE
BLDG	BUILDING	CONC	CONCRETE	FH	FIRE HYDRANT	MH	MANHOLE	ROW	RIGHT-OF-WAY	WV	WATER VALVE
CATV	CABLE TELEVISION	DCI	DOUBLE CURB INLET	FE	FLARED END	MSD	METROPOLITAN ST. LOUIS SEWER DISTRICT	SCH	SCHEDULE	YD	YARD DRAIN
CALC	CALCULATED	DIP	DUCTILE IRON PIPE	FBD	FLAT BOTTOM DITCH	NTS	NOT TO SCALE	SWPPP	STORMWATER POLLUTION PREVENTION PLAN		
CIP	CAST IRON PIPE	DIA	DIAMETER	FD	FLOOR DRAIN	OC	ON CENTER	TBA	TO BE ABANDONED		
CL	CENTERLINE	Q	DISCHARGE	FL	FLOW LINE	OH	OVERHEAD				
CP	CLAY PIPE			FTG	FOOTING						

SYMBOL LEGEND

EXISTING		PROPOSED	EXISTING		PROPOSED
×	FOUND CROSS	✖	TV	CABLE TV BOX	TV
○	FOUND IRON PIPE	○		LIGHT STANDARD	
●	SET IRON ROD	◉		CLEAN OUT	
	BENCHMARK		Ⓢ	SANITARY MANHOLE	Ⓢ
×500	SPOT GRADE	+500	○	SAMPLING TEE	○
TS	TRAFFIC SIGNAL BOX	TS	Ⓣ	SEPTIC TANK ACCESS	Ⓣ
▫	PHONE BOX	▫	Ⓓ	STORM SEWER MANHOLE	Ⓓ
Ⓤ	UTILITY MANHOLE	Ⓤ	▤	GRATE INLET	▤
○	BOLLARD	○	⊡	AREA INLET	⊡
✉	MAILBOX	✉		DOWNSPOUT	
	SIGN			DRAINAGE SWALE	
◦	POST	◦	516	SURFACE CONTOUR	516
	SHRUB			TREE LINE	
	DECIDUOUS TREE		8" PVC	SAN. SEWER	8" PVC
	EVERGREEN TREE		12" CMP	STORM SEWER	12" CMP
EB	ELECTRIC BOX	EB	OH	OVERHEAD ELECTRIC LINE	OH
EM	ELECTRIC METER	EM	UE	UNDERGROUND ELECTRIC	UE
	UTILITY POLE		G	GAS LINE	G
	GUY WIRE		W	WATER LINE	W
GM	GAS METER	GM	T	TELEPHONE LINE	T
GV	GAS VALVE	GV	FOL	FIBER OPTIC LINE	FOL
WM	WATER METER	WM	UTV	CABLE TV	UTV
WV	WATER VALVE	WV		GUARDRAIL	
	HYDRANT		X	WIRE FENCE	X
	WATER SHUT OFF			WROUGHT IRON FENCE	
⊙	SPRINKLER HEAD	⊙		CHAIN LINK FENCE	
⊗	IRRIGATION VALVE BOX	⊗	MH A	SANITARY DESIGNATOR	MH A
W	WELL	W	CI 204	STORM DESIGNATOR	CI 204
TP	TEST HOLE	TP			

THD DESIGN GROUP, INC.
"your solution for engineering and surveying"
148 CHESTERFIELD INDUSTRIAL BLVD. STE.E CHESTERFIELD, MO 63005
TEL: 636-394-3972
FAX: 636-394-3037
WEB: THDDESIGNGROUP.COM
Corporate Certificate of Authority #2011004415

A THD DESIGN GROUP PROJECT
SITE PLAN
SITE DEVELOPMENT PLAN

STATE OF MISSOURI
ROBERT S. TIEMANN
NUMBER PE-2016001308
PROFESSIONAL ENGINEER

Date: Aug 13, 2025
Robert Tiemann
License No. PE-2016001308
Civil Engineer

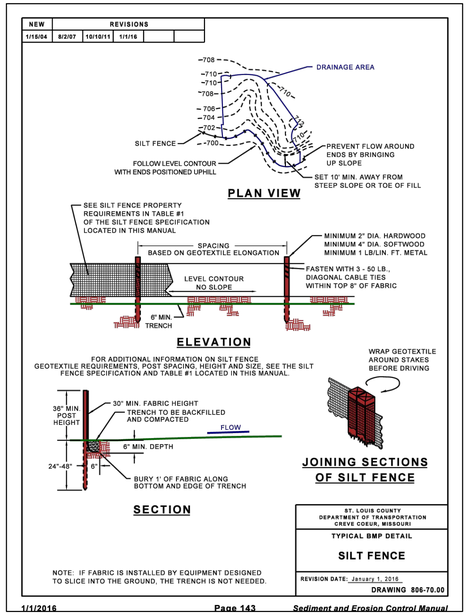
PROJECT NUMBER: 25-5070

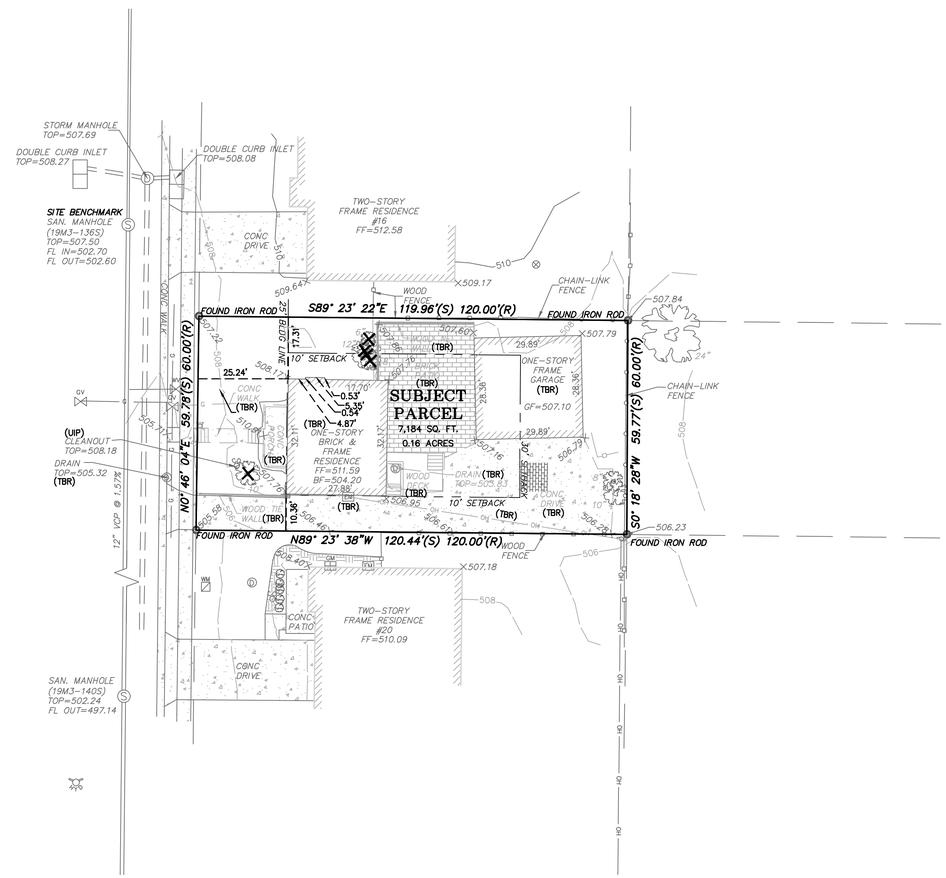
DATE: 08/13/2025

DRAWN BY: MLP

20' 0' 20' 40'

GRAPHIC SCALE
1"=20'





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A THD DESIGN GROUP PROJECT

SITE PLAN

EXISTING CONDITIONS & DEMO PLAN

STATE OF MISSOURI
ROBERT S. TIEMANN
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PROFESSIONAL ENGINEER

Date: Aug 13, 2025
Robert Tiemann
License No. PE-2016001308
Civil Engineer

PROJECT NUMBER: 25-5070

DATE: 08/13/2025

DRAWN BY: MLP

Front

Grading plan to govern all grades. Scale: 1/4"=1'-0"

Right Side

Grading plan to govern all grades. Scale: 1/4"=1'-0"

Left Side

Grading plan to govern all grades. Scale: 1/4"=1'-0"

ARCHITECT
Thompson Design Group LLC
452 Jungs Station Rd.
St. Charles MO 63303-6243 (314) 283 8735

18 Midpark Lane

Ladue, MO, 63124 Saint Louis County

Dominion Homes, LLC

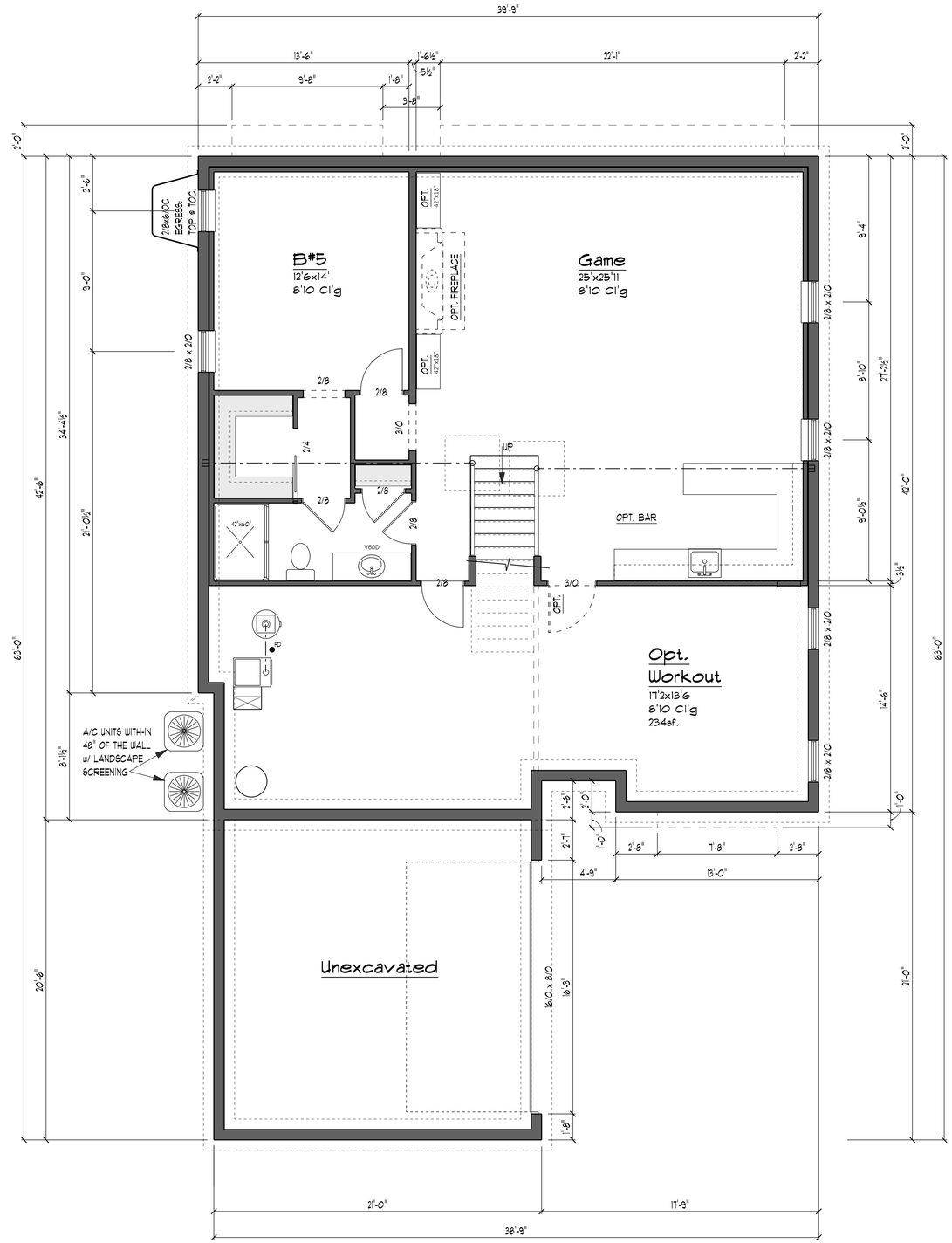
Doug@dominionhomesstl.com (314) 220-1733

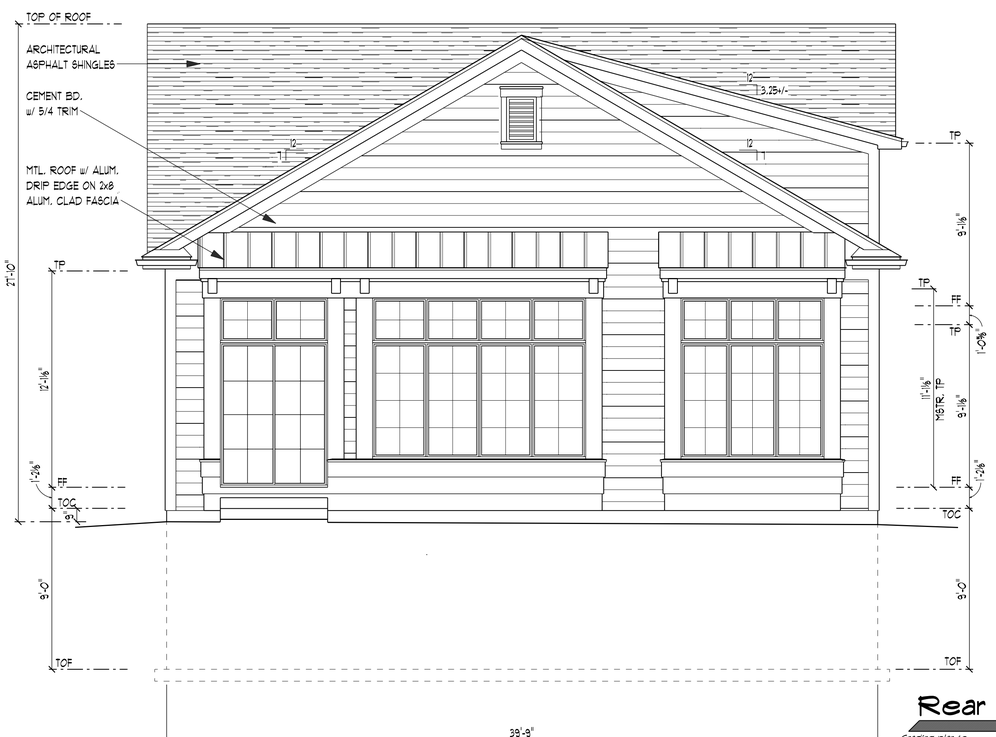
REVISIONS:

A3 of 3

8/13/25

Job#: 0T0925





Rear

Grading plan to govern all grades.

Scale: 1/4"=1'-0"

Dominion Homes

All room dimensions and square footages are approximate.

Basement 1,027sf. Finished, 1,663sf. Total

18 MidPark, Ladue

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St. Charles MO 63303-6243 (314) 283 8735

18 Midpark Lane

Ladue, MO, 63124 Saint Louis County

Dominion Homes, LLC

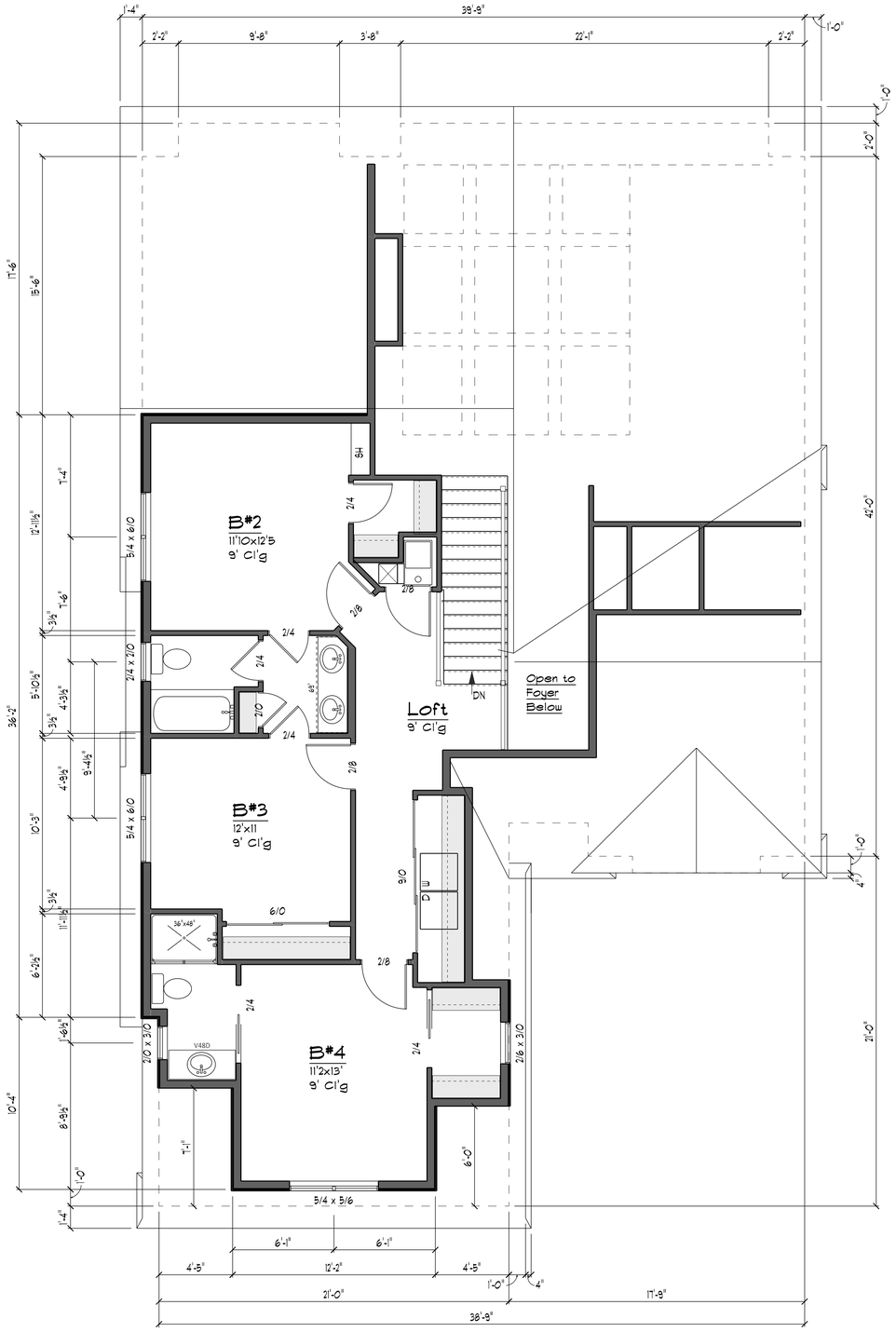
Doug@dominionhomesstl.com (314) 220-7133

REVISIONS:

A2 of 3

8/13/25

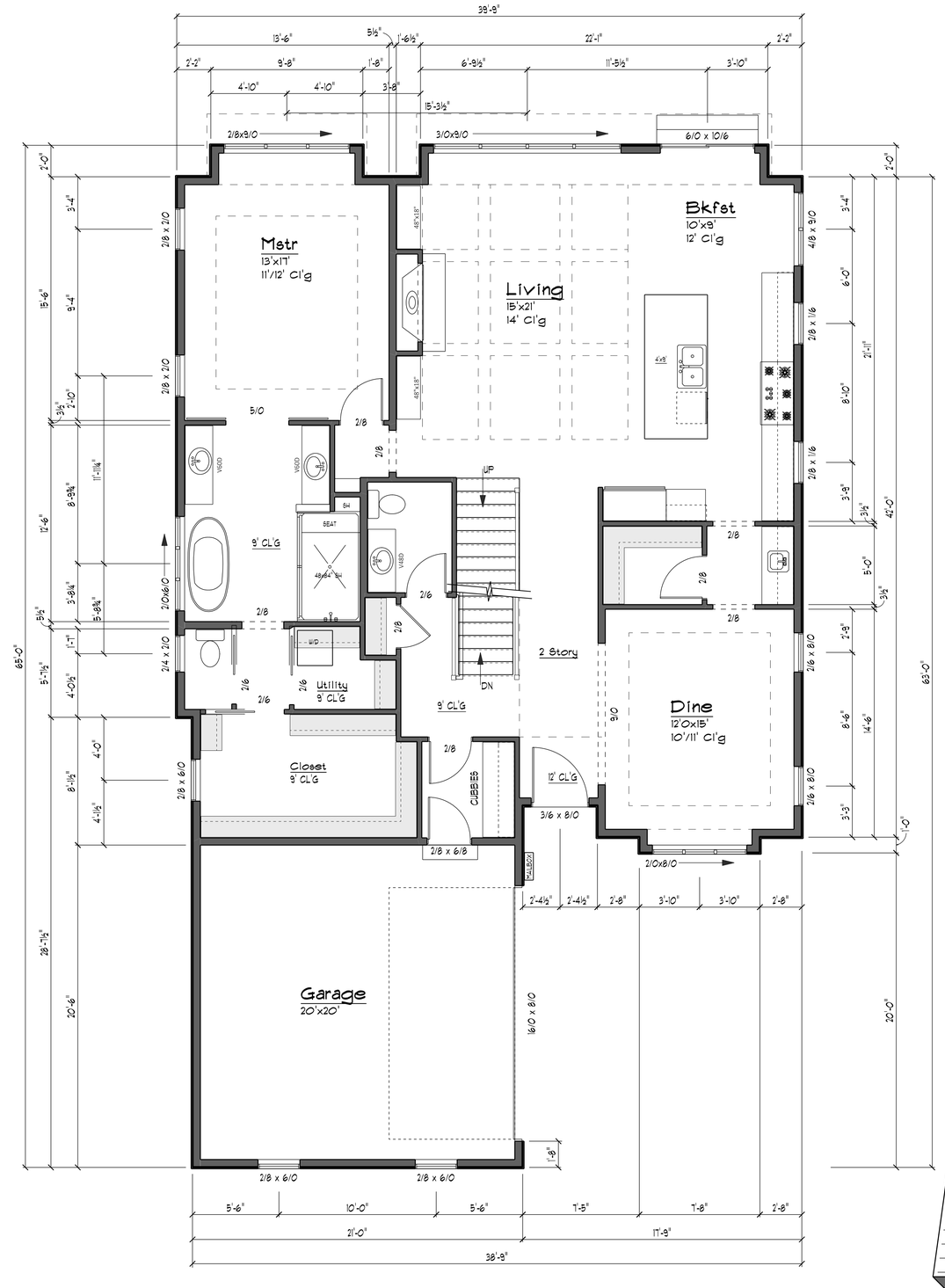
Job#: 070925



Dominion Homes

All room dimensions and square footages are approximate.

2nd Floor 1,734sf. + 850sf. 2nd flr. = 2,584sf. 18 MidPark, Ladue



Dominion Homes

All room dimensions and square footages are approximate.

1st Floor 1,734sf. + 850sf. 2nd flr. = 2,584sf. 18 MidPark, Ladue

ARCHITECT
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Ladue, MO, 63124 Saint Louis County
Dominion Homes, LLC
Doug@dominionhomeset.com (314) 220-7733

REVISIONS:

A1 of 3
8/13/25
Job#: 070925

Exterior Materials
18 Midpark Lane

Horizon-Loc Metal Roof, Charcoal Gray

Sierra Pacific, H3 Casement, White

Certainteed Asphalt Shingle Roof, Georgetown Gray

JamesHardie Plank Siding, Select Cedarmill, Statement Collection, Light Mist

JamesHardie Trim Batten Boards, Smooth Grain, Statement Collection, Light Mist

Delden Delvation DV400 Garage Door, White, No Windows

Poured concrete w/ exposed aggregate, Glacial

DOMINION HOMES, LLC